

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-058
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	4 Matteo Circle Claremont
APPLICANT:	Wilson Homes Tasmania Pty Ltd
ADVERTISING START DATE:	11/04/2025
ADVERTISING EXPIRY DATE:	25/04/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **25/04/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **25/04/2025**, or for postal and hand delivered representations, by 5.00 pm on **25/04/2025**.

DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
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10	FLOOR COVERINGS
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12	BATHROOM DETAILS
13	ENSUITE DETAILS
14	LAUNDRY DETAILS

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR

LIVING	127.01
PORCH	1.33
	128.34 m²

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	BAL-12.5
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N2 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC2.5
TOPOGRAPHIC CLASSIFICATION	T1
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	24.50km
ZONING	GENERAL RESIDENTIAL

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	4,500mm
SIDE A	MIN. 1,500mm	1,050mm
SIDE B	MIN. 1,500mm	6,567mm
REAR	MIN. 1,500mm	4,950mm

BULK & SCALE

SITE AREA	450m ²	
SITE COVERAGE	MAX. 50%	28.52%
BUILDING HEIGHT	MAX. 8,500mm	7,050mm

LANDSCAPE

NO APPLICABLE CONTROLS

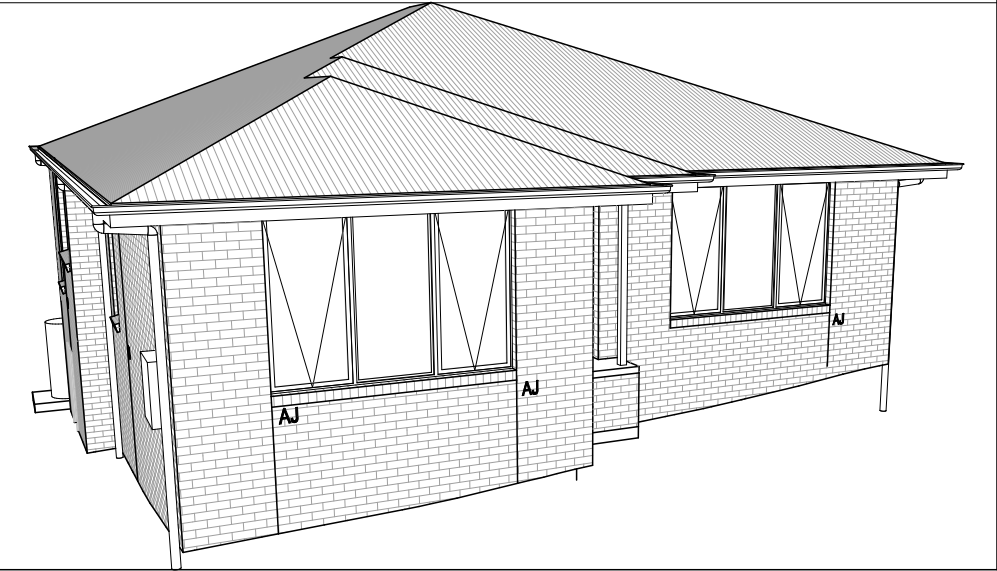
EARTHWORKS

CUT DEPTH	MAX. 2,000mm	530mm
FILL DEPTH	MAX. 1,000mm	0mm

ACCESS & AMENITY

PARKING SPACES	MIN. 2 SPACES	2 SPACES
PRIVATE OPEN SPACE	MIN. 24m²	24m²

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey. Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)	2445mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	DARK
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	MIN. 50mm FOIL FACED BLANKET UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	AIRCELL FOR B&J

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. PLN-25-058

DATE RECEIVED 07/04/2025

BUSHFIRE REQUIREMENTS - BAL-12.5

THE BUILDER USES MATERIALS THAT COMPLY WITH AS 3959-2018 OR HAVE BEEN TESTED TO AS 1530.8.1 IN ACCORDANCE WITH AS 3959-2018 (CLAUSE 3.8).

ROOF:

- PROVIDE FOIL FACED BLANKET INSULATION TO ALL COLORBOND SHEET ROOFING.
- PROVIDE SARKING TO ALL TILED ROOFING INCLUDING PRESSTITE TO VALLEYS.
- PROVIDE BAL-12.5 RATED DEKTITE TO ALL AIR VENTS ON ROOF.
- PROVIDE BAL-12.5 RATED ALUMINIUM MESH TO ALL SOFFIT AND EAVE VENTS.
- PROVIDE BAL-12.5 RATED ALUMINIUM MESH TO ALL EXHAUST VENTS.

WALLS, POSTS AND BEAMS:

- PROVIDE SPARK ARRESTORS TO ALL EXTERNAL BRICKWORK.
- EXTERNAL TIMBER POSTS WITHIN 400mm OF ADJACENT FINISHED FLOOR LEVEL TO BE BUSHFIRE-RESISTING TIMBER UNLESS MOUNTED ON STIRRUPS TO PROVIDE MIN. 75mm CLEARANCE ABOVE ADJACENT FINISHED FLOOR LEVEL.

WINDOWS AND DOORS:

- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD / FRENCH / SLIDING / STACKER DOORS).
- PROVIDE BAL-12.5 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING / STACKER DOORS.
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS.
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS TO FIXED PANELS.
- PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS.
- PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH TO EXTERNAL TIMBER HUNG DOORS (IF REQUIRED).
- PROVIDE SEAL TO ALL GARAGE PANELIFT / ROLLER DOORS.

OTHER:

- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE.

PRELIMINARY PLAN SET

6	PRELIMINARY PLAN SET - INITIAL ISSUE - SHADOW DIAGRAMS	ALL	2025.04.07	PL1	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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SPECIFICATION: DISCOVERY	REVISION 2 DRAFT SALES PLAN	DRAWN MLG 22/01/2025	CLIENT: CASSANDRA HANSSON & RHYS QUARRELL	HOUSE DESIGN: ASCOT 12	HOUSE CODE: H-WDCASC10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714183
COPYRIGHT: © 2025	3 DRAFT SALES PLAN - CT-1 UPDATE	RT2 04/02/2025	ADDRESS: 4 MATTEO CIRCLE, CLAREMONT TAS 7011	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCASC10CLASA	
	4 PRELIM PLANS - INITIAL ISSUE	TNG 17/02/2025	LOT / SECTION / CT: 50 / - / 185903	SHEET TITLE: COVER SHEET	SCALES: 1:100	
	5 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TNG 24/03/2025	COUNCIL: GLENORCHY COUNCIL	SHEET No.: 1 / 14		
	6 PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS	PL1 07/04/2025				

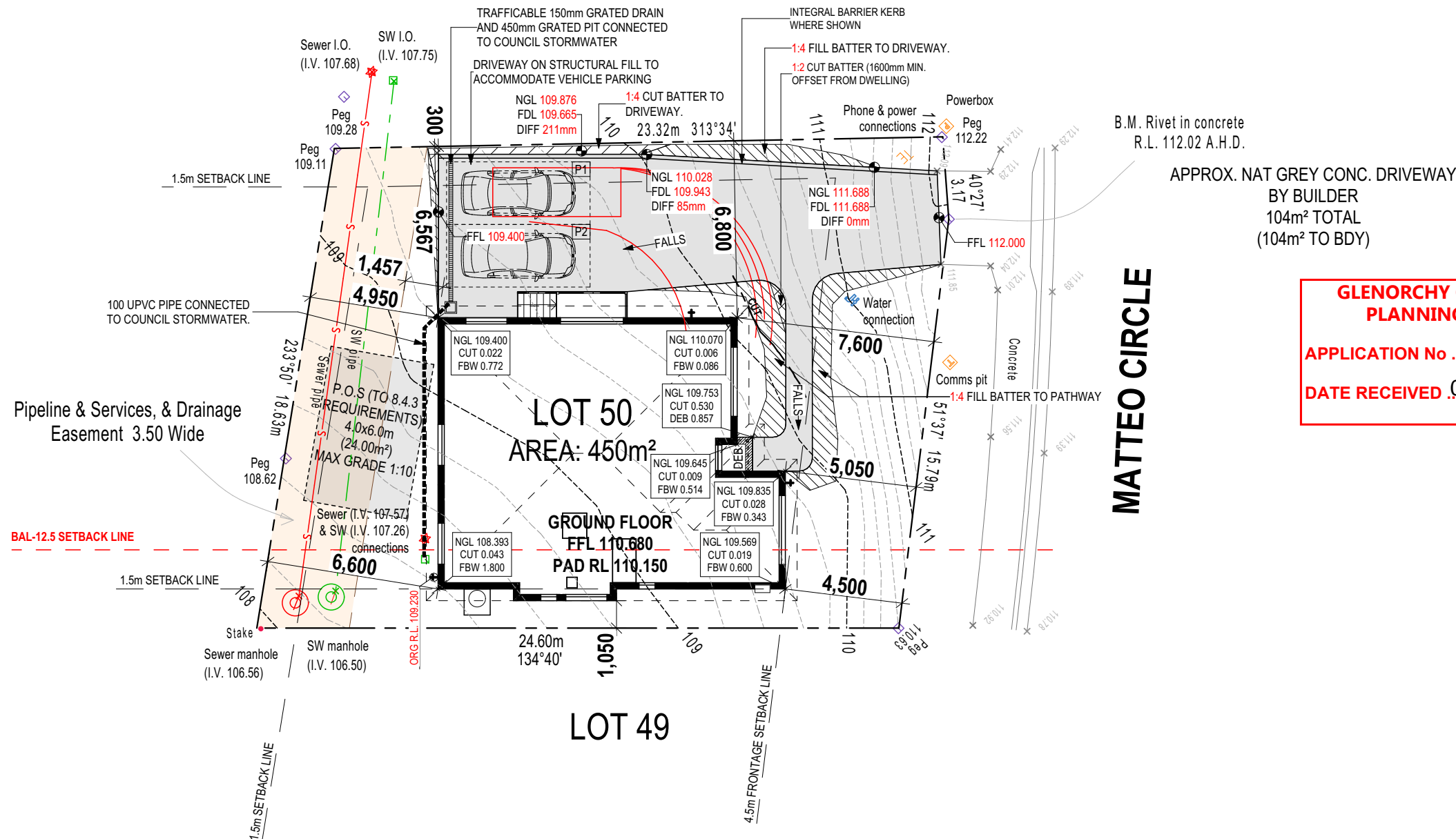
APPROX. CUT/FILL		
CUT	30.85m³	69.41
FILL	0.00m³	0.00
DIFFERENCE	30.85m³	69.41
69 TONNES OF EXPORT FILL		

LOT SIZE: 450m²
HOUSE (COVERED AREA): 128.34m²
SITE COVERAGE: 28.52%

DEB AREA	
DROPPED EDGE BEAMS	
HEIGHT (mm)	SURFACE AREA (m²)
857	1.62
	1.62 m²

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

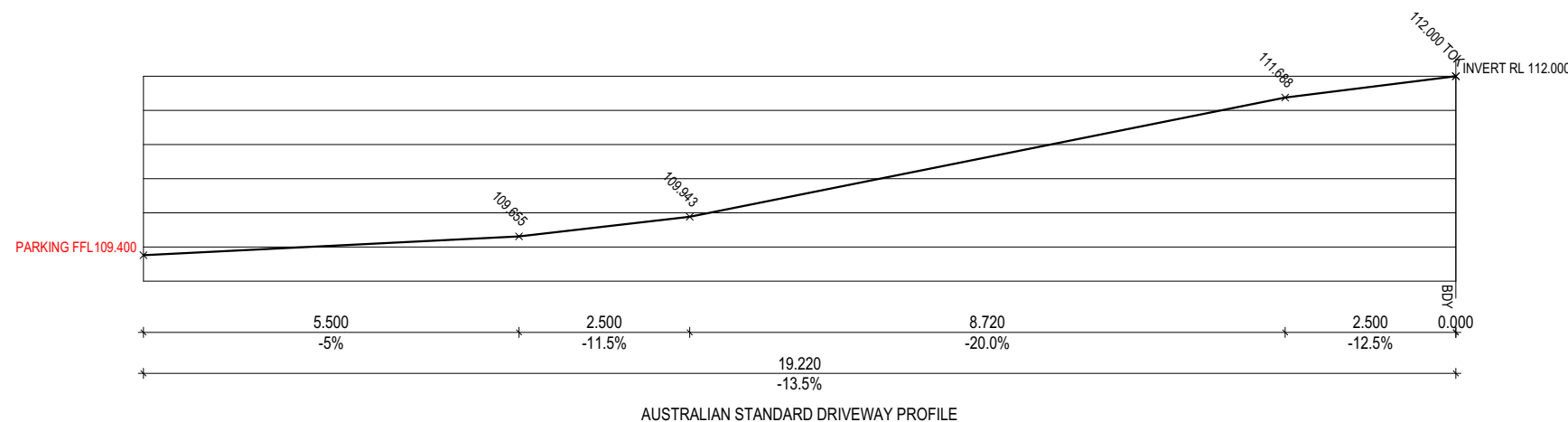
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-25-058

DATE RECEIVED 07/04/2025



**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
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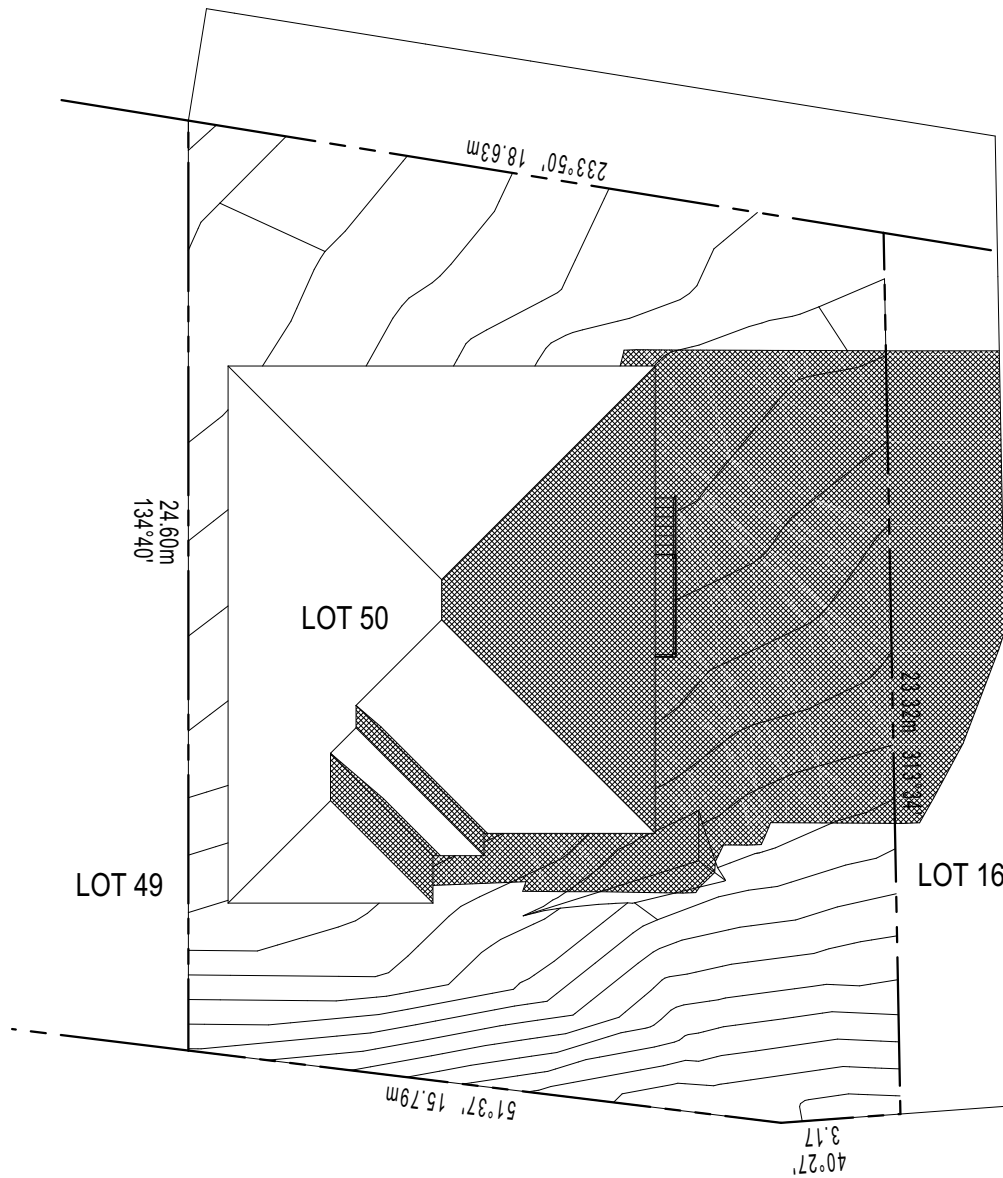
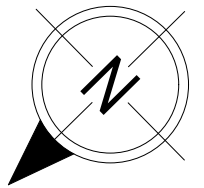
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	6	PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS	PL1 07/04/2025	50 / - / 185903	GLENORCHY COUNCIL	SITE PLAN		2 / 14	1:200		
										714183	

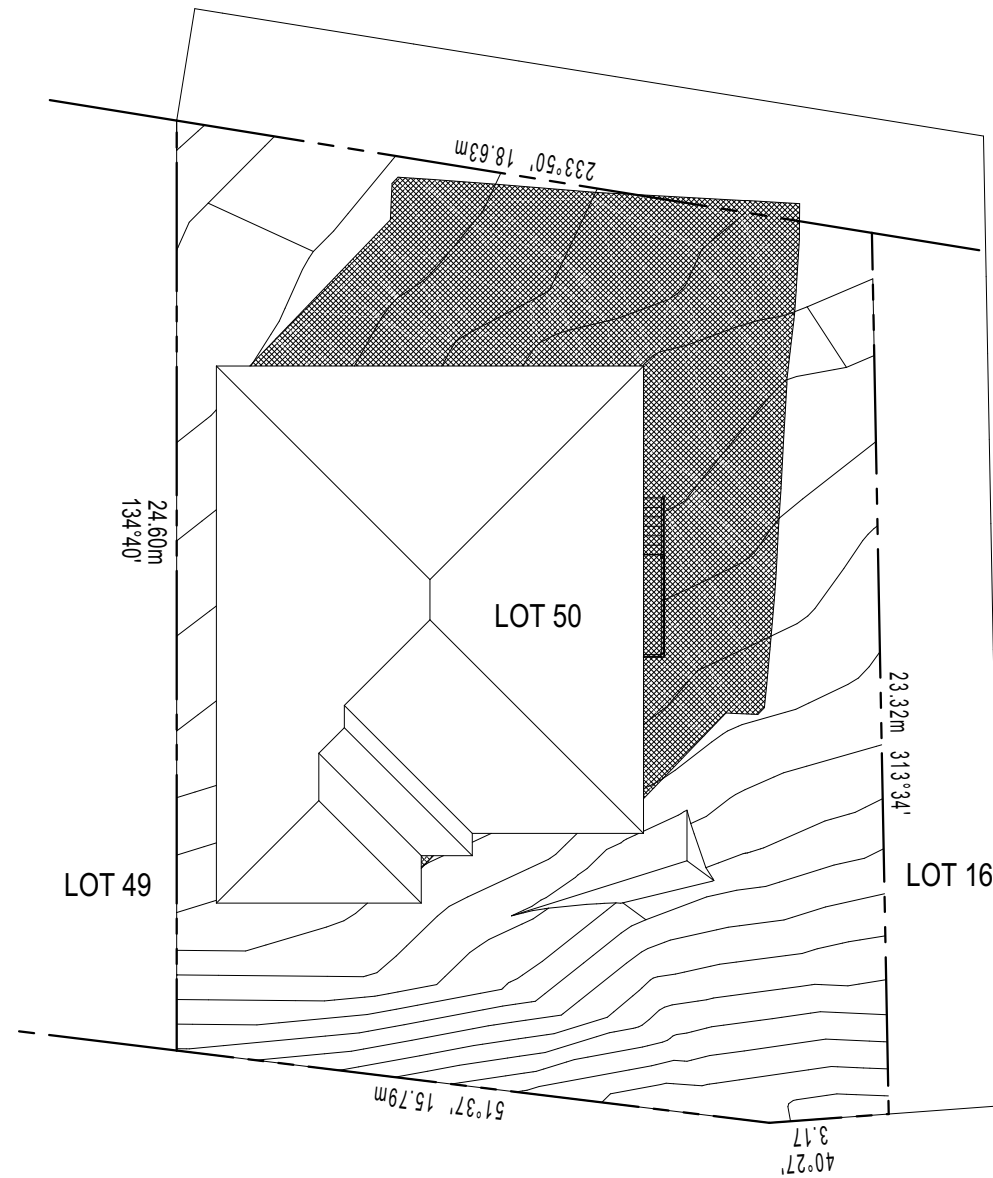
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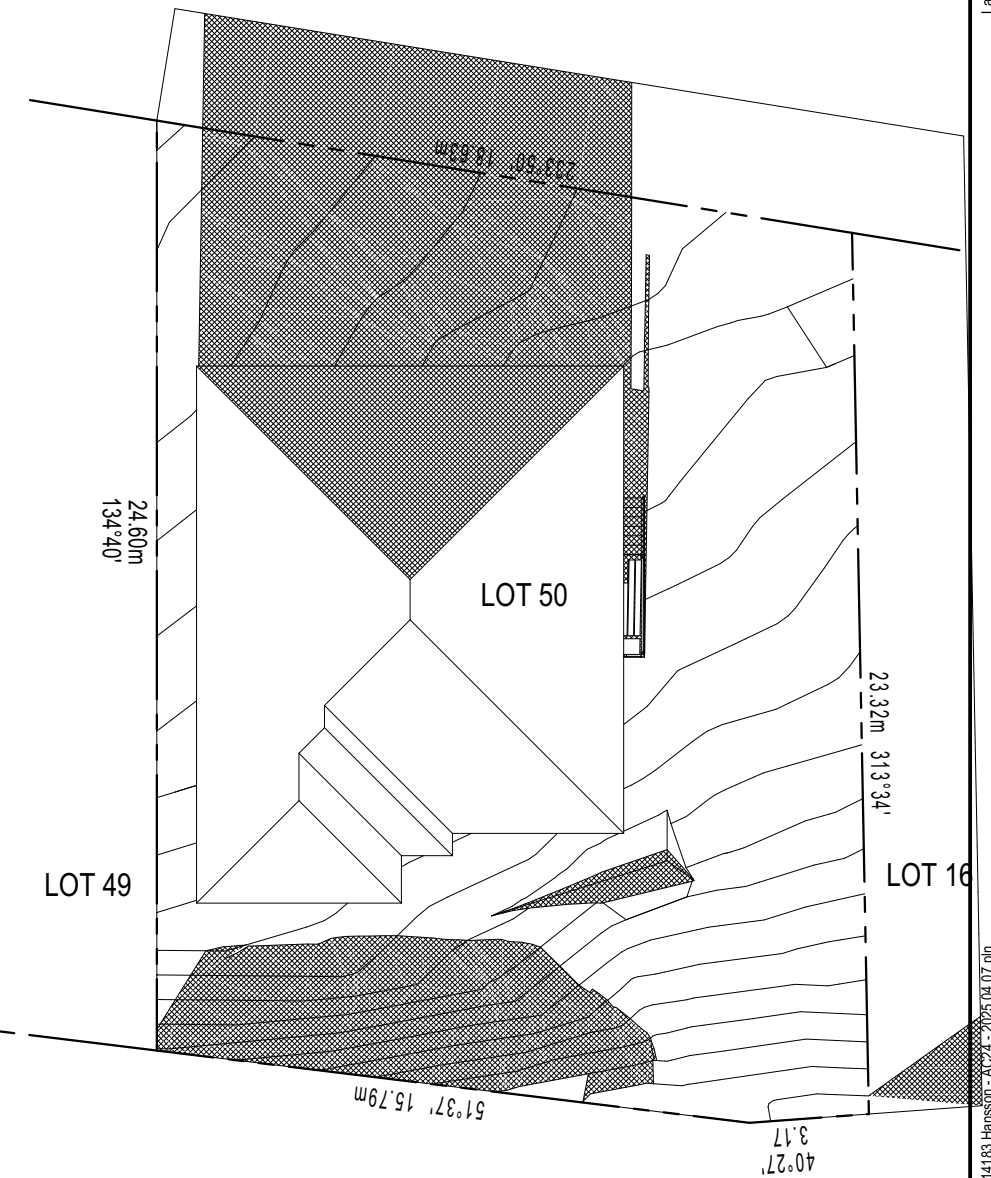
MATTEO CIRCLE

JUNE 21 - 0900



MATTEO CIRCLE


JUNE 21 - 1200



MATTEO CIRCLE

JUNE 21 - 1500

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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

- | | |
|---------|---------------------------|
| HS / WS | HOB SPOUT / WALL SPOUT |
| | FACE BRICK / COMMON BRICK |
| | RENDER |
| | SOUND INSULATION |
| AJ | BRICK ARTICULATION JOINT |
| SDP | STANDARD DOWNSPIPE |
| CDP | CHARGED DOWNSPIPE |
| | DENOTES DRAWER SIDE |
| | MECHANICAL VENTILATION |
| L.B.W | LOAD BEARING WALL |
| PB | PLASTERBOARD |
| FC | FIBRE CEMENT |
| | THIS DOOR OPENS FIRST |
| | SMOKE ALARM |
| # | LIFT OFF HINGE |
| † | WATER POINT |
| | FLOOR WASTE |
| | GAS BAYONET |

MAIN DWELLING, GROUND FLOOR

LIVING	127.01
PORCH	1.33
	128.34 m²

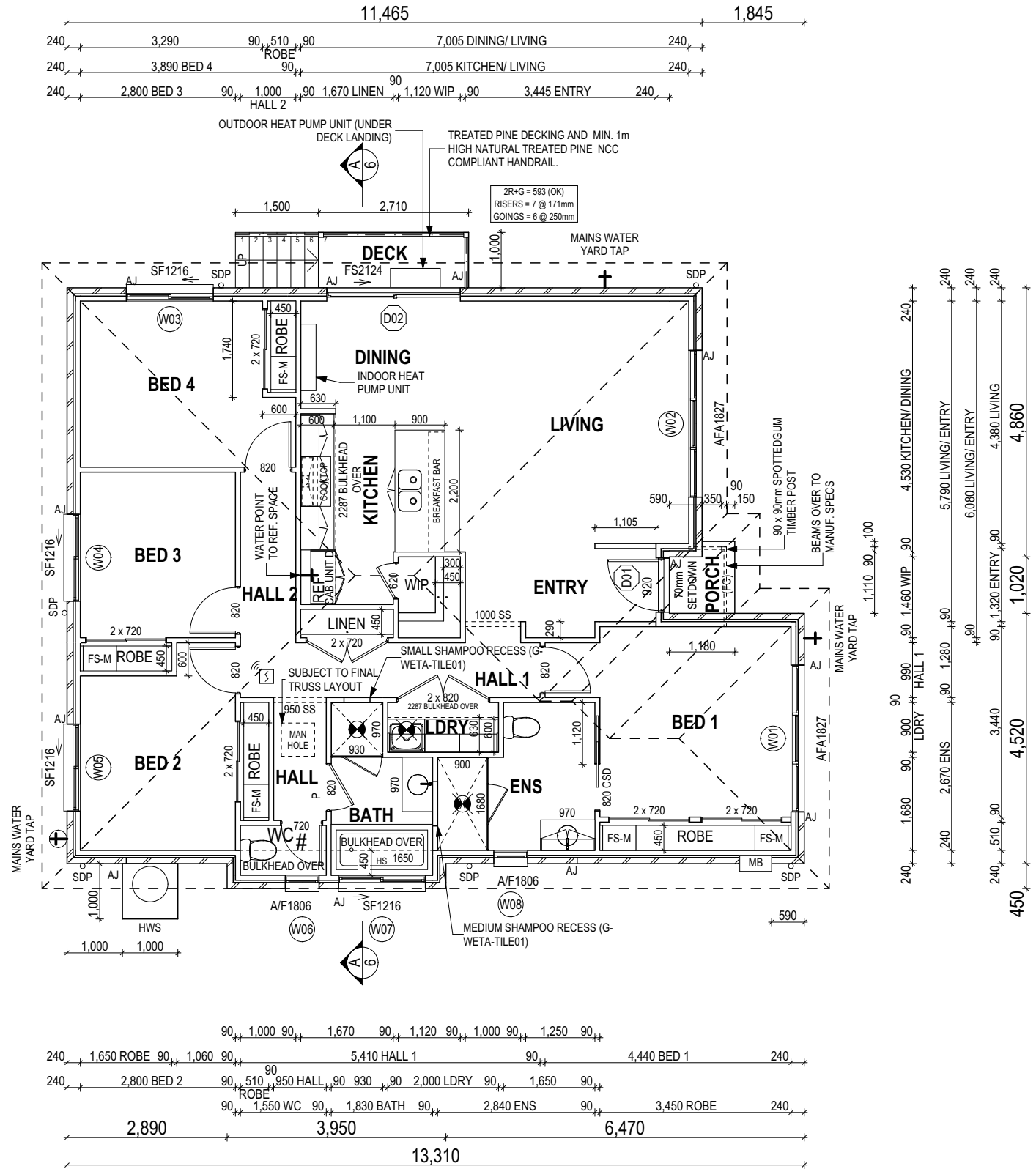
ANY PART OF THE FASCIA, GUTTERING OR DOWNSPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No **PLN-25-058**

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ALL DIMENSIONS ARE FRAME DIMENSIONS

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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

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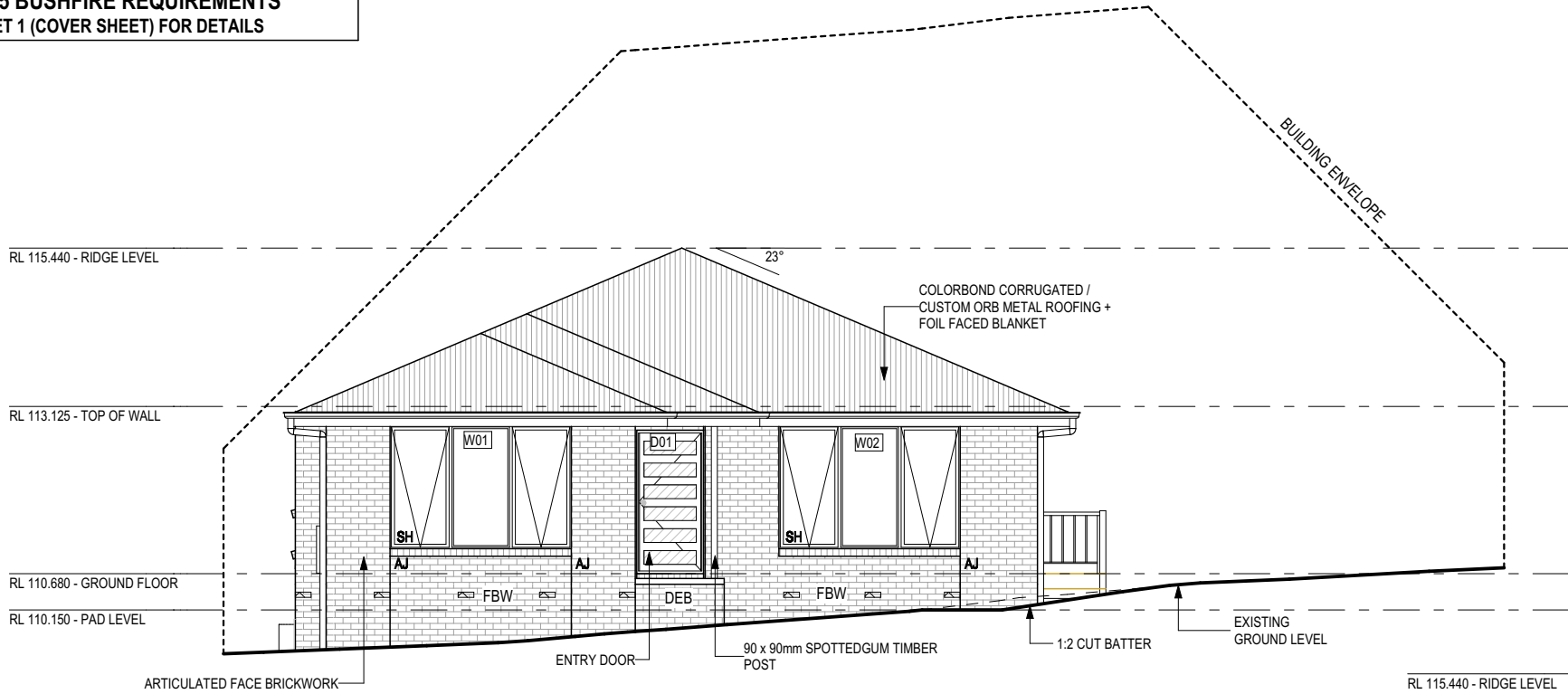
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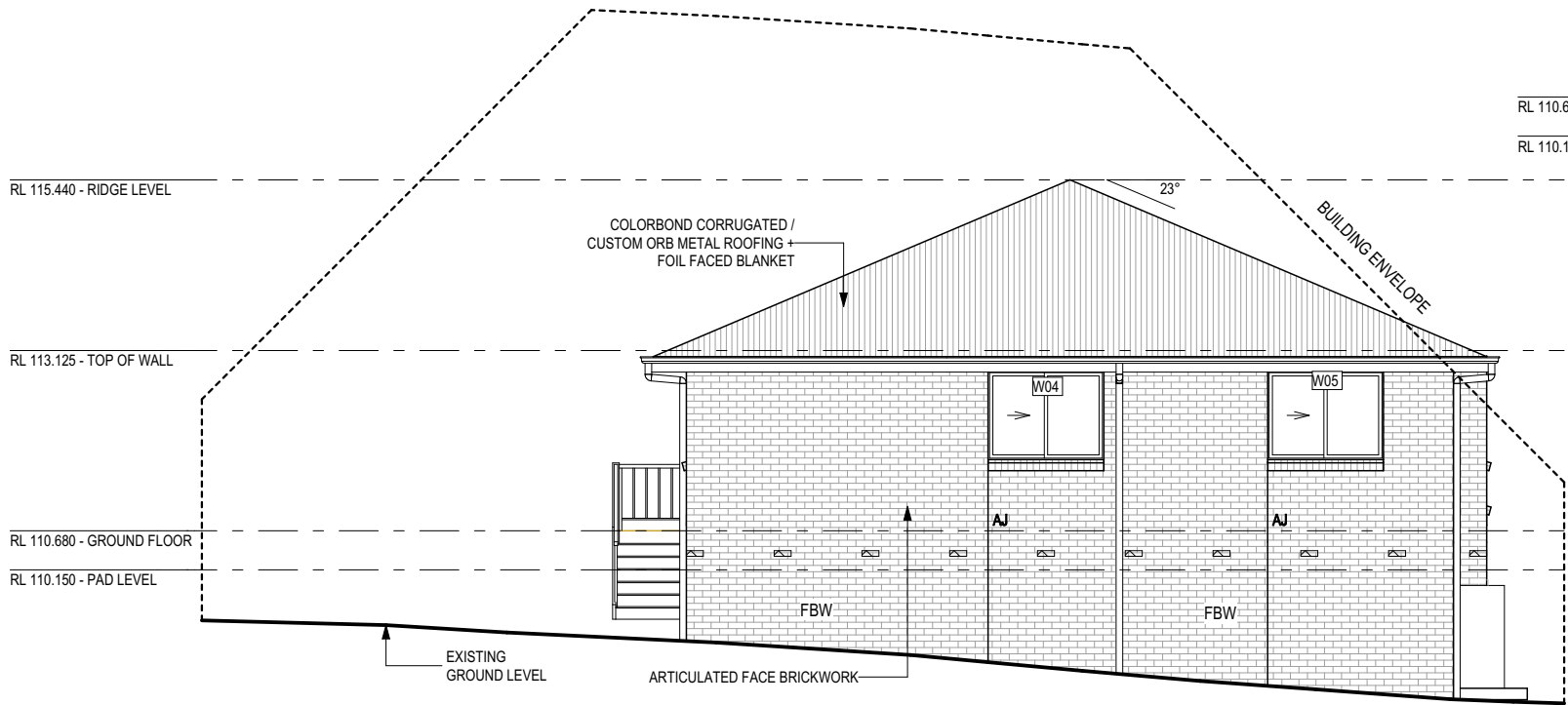


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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



NORTH WEST ELEVATION
SCALE: 1:100



SOUTH EAST ELEVATION
SCALE: 1:100

**GLENORCHY CITY COUNCIL
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

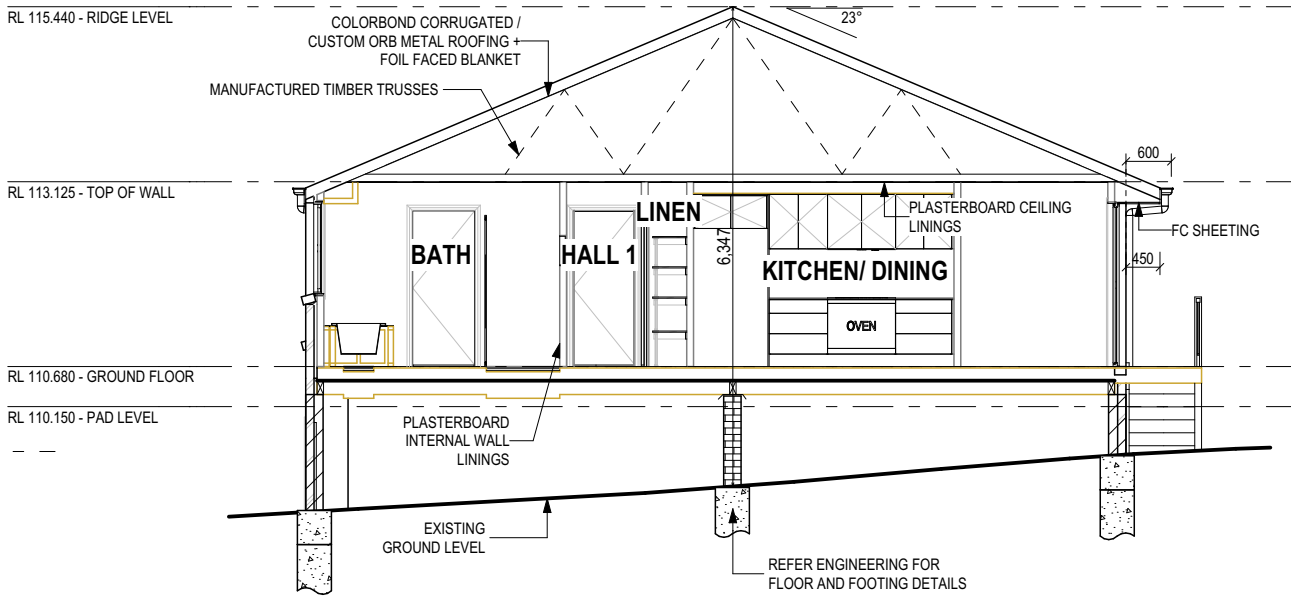
SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**

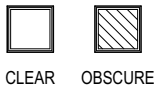


GROUND CLEARANCE IN ACCORDANCE WITH NCC TABLE 3.4.1.2 FOR CLIMATIC ZONE C TO BE 150mm FOR THE FIRST 2m THEN 400mm CLEARANCE FOR ACCESS TO SERVICES.

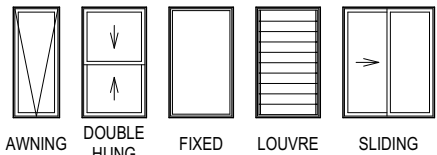
SECTION A-A
SCALE: 1:100

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

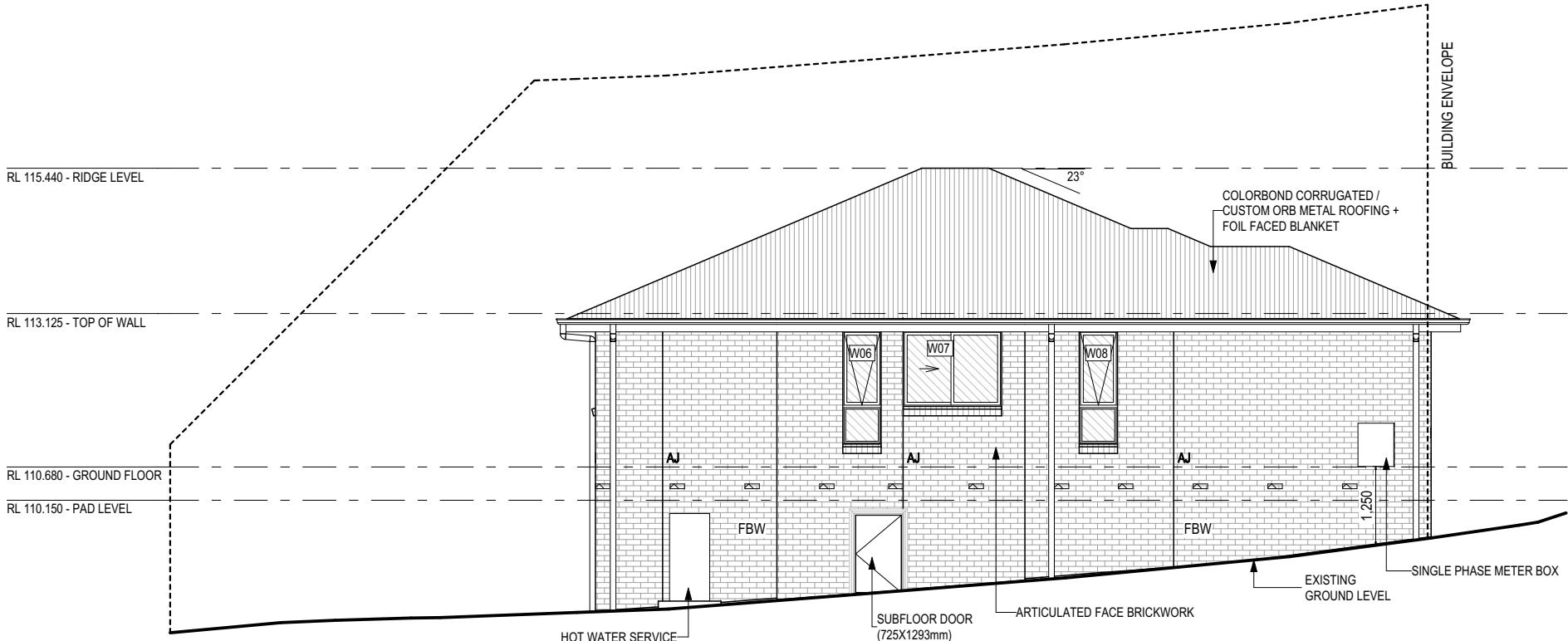
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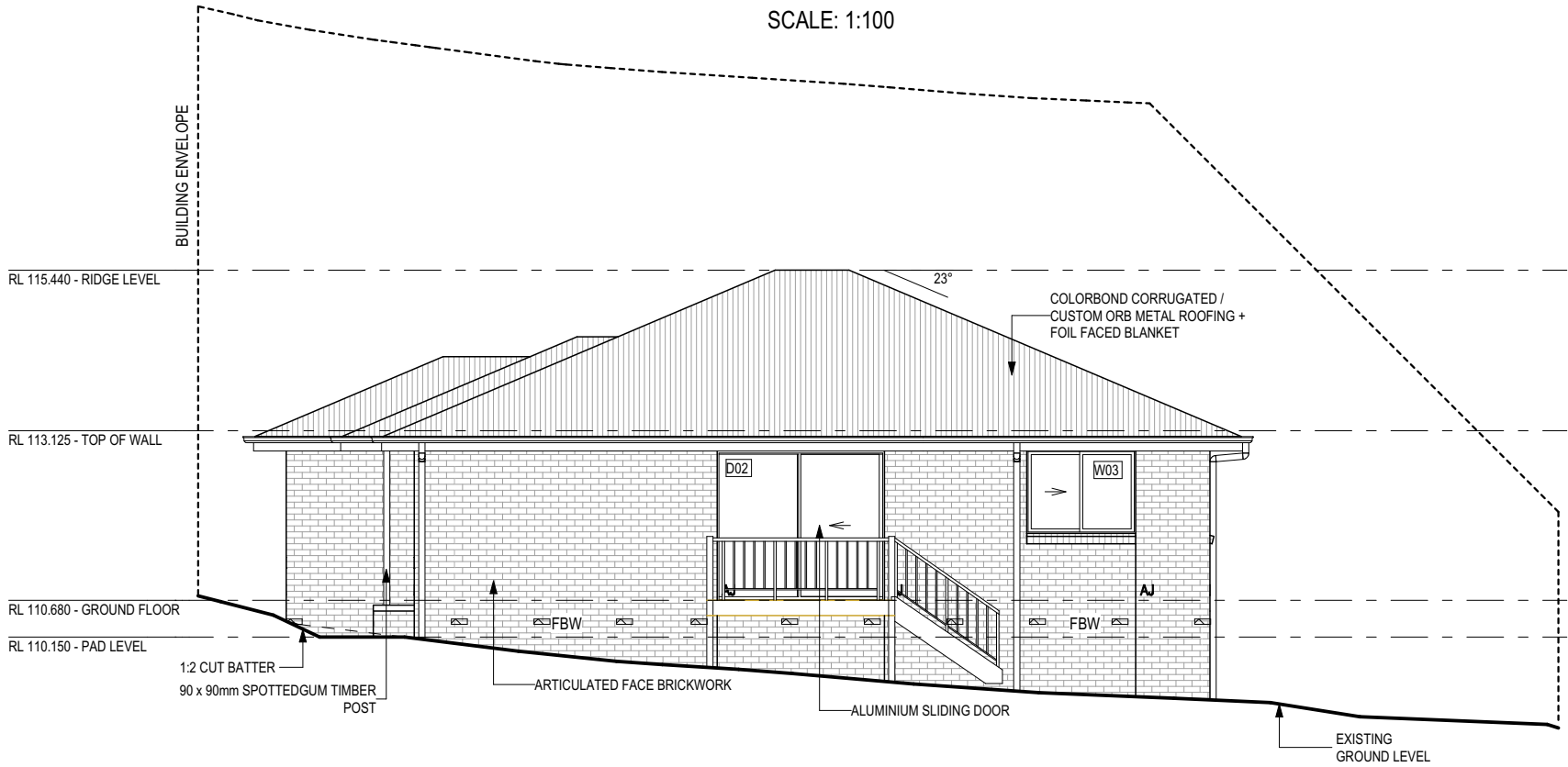


SPECIFICATION: DISCOVERY	REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2025	2 DRAFT SALES PLAN	MLG 22/01/2025	CASSANDRA HANSSON & RHYS QUARRELL	ASCOT 12	H-WDCASC10SA	
	3 DRAFT SALES PLAN - CT-1 UPDATE	RT2 04/02/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	4 PRELIM PLANS - INITIAL ISSUE	TNG 17/02/2025	4 MATTEO CIRCLE, CLAREMONT TAS 7011	CLASSIC	F-WDCASC10CLASA	
	5 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TNG 24/03/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	6 PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS	PL1 07/04/2025	50 / - / 185903	ELEVATIONS / SECTION	6 / 14	
			COUNCIL:		SCALES:	
			GLENORCHY COUNCIL		1:100	
						714183

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

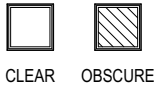


NORTH EAST ELEVATION
SCALE: 1:100

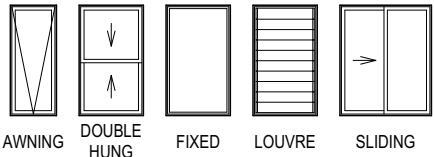


SOUTH WEST ELEVATION
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. **PLN-25-058**

DATE RECEIVED **07/04/2025**

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SOME DETAILS ON THIS SHEET ARE
INDICATIVE ONLY FOR EXAMPLE
BRICKWORK AND CLADDING (EXPANSION
JOINTS, ORIENTATION AND LAYOUT) AND
ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS
ABOVE 2m OFF THE SURFACE
BENEATH TO BE RESTRICTED AS
REQUIRED BY NCC 11.3.7 (VOLUME
TWO)

ROOMS OTHER THAN BEDROOM
WINDOW OPENINGS ABOVE 4m OFF
THE SURFACE BENEATH TO BE
RESTRICTED AS REQUIRED BY NCC
11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**

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SPECIFICATION:

DISCOVERY

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REVISION

DRAWN

CLIENT:

CASSANDRA HANSSON & RHYS QUARRELL

ADDRESS:

4 MATTEO CIRCLE, CLAREMONT TAS 7011

LOT / SECTION / CT:

50 / - / 185903

COUNCIL:

GLENORCHY COUNCIL

HOUSE DESIGN:

ASCOT 12

FACADE DESIGN:

CLASSIC

SHEET TITLE:

ELEVATIONS

SHEET No.:

7 / 14

HOUSE CODE:

H-WDCASC10SA

FACADE CODE:

F-WDCASC10CLASA

SCALES:

1:100

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DISCREPANCIES TO BE REPORTED
TO THE DRAFTING OFFICE.

714183

EXTERIOR WINDOW & DOOR SCHEDULE <small>1,2 ASSUME LOOKING FROM OUTSIDE</small>														MANUFACTURER: CLARK	
STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AFA1827	AWNING	BED 1	1,800	2,650	8,900	4.77	ALUMINIUM	BAL-12.5	SNAP HEADER	NW	3.93	CLEAR	MP 883-883, ROLLER BLINDS & SHEER ROLLER BLINDS
GROUND FLOOR	W02	AFA1827	AWNING	LIVING	1,800	2,650	8,900	4.77	ALUMINIUM	BAL-12.5	SNAP HEADER	NW	3.93	CLEAR	MP 883-883, ROLLER BLINDS & SHEER ROLLER BLINDS
GROUND FLOOR	W03	SF1216	SLIDING	BED 4	1,200	1,570	5,540	1.88	ALUMINIUM	BAL-12.5	ANGLED	SW	1.64	CLEAR	ROLLER BLINDS & SHEER ROLLER BLINDS
GROUND FLOOR	W04	SF1216	SLIDING	BED 3	1,200	1,570	5,540	1.88	ALUMINIUM	BAL-12.5	ANGLED	SE	1.64	CLEAR	ROLLER BLINDS & SHEER ROLLER BLINDS
GROUND FLOOR	W05	SF1216	SLIDING	BED 2	1,200	1,570	5,540	1.88	ALUMINIUM	BAL-12.5	ANGLED	SE	1.64	CLEAR	ROLLER BLINDS & SHEER ROLLER BLINDS
GROUND FLOOR	W06	A/F1806	AWNING	WC	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	ANGLED	NE	0.80	OBSCURE, TOUGHENED	BP 600
GROUND FLOOR	W07	SF1216	SLIDING	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	BAL-12.5	ANGLED	NE	1.64	OBSCURE, TOUGHENED	
GROUND FLOOR	W08	A/F1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	ANGLED	NE	0.80	OBSCURE, TOUGHENED	BP 600
								19.26					16.02		
DOOR															
GROUND FLOOR	D01	920	SWINGING	ENTRY	2,097	976	6,146	2.05	ALUMINIUM	BAL-12.5	SNAP HEADER	NW	1.41	OBSCURE	
GROUND FLOOR	D02	FS2124	SLIDING	DINING	2,158	2,410	9,136	5.20	ALUMINIUM	BAL-12.5	SNAP HEADER	SW	4.64	CLEAR, TOUGHENED	ROLLER BLINDS & SHEER ROLLER BLINDS
								7.25					6.05		
								26.51					22.07		

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-25-058

DATE RECEIVED 07/04/2025

NOTE:
Provide BAL-12.5 rated aluminium windows and external glass sliding doors in lieu of standard.

Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE:DATE:

SIGNATURE:DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED


INTERIOR WINDOW & DOOR SCHEDULE							
STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
GROUND FLOOR	5	2 x 720	ROBEMAKER SLIDING	2,040	1,460	N/A	
GROUND FLOOR	1	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	1	2 x 820	SWINGING	2,040	1,640	N/A	
GROUND FLOOR	1	620	SWINGING	2,040	620	N/A	
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	5	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	1	820 CSD	CAVITY SLIDING	2,040	820	N/A	
GROUND FLOOR	1	950 SS	SQUARE SET OPENING	2,155	950	N/A	

PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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	DISCOVERY	2	DRAFT SALES PLAN		MLG	22/01/2025	CASSANDRA HANSSON & RHYS QUARRELL				ASCOT 12				H-WDCASC10SA		
	COPYRIGHT:	3	DRAFT SALES PLAN - CT-1 UPDATE		RT2	04/02/2025	ADDRESS:				FACADE DESIGN:				FACADE CODE:		
	© 2025	4	PRELIM PLANS - INITIAL ISSUE		TNG	17/02/2025	4 MATTEO CIRCLE, CLAREMONT TAS 7011				CLASSIC				F-WDCASC10CLASA		
		5	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE		TNG	24/03/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:			
		6	PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS		PL1	07/04/2025	50 / - / 185903		GLENORCHY COUNCIL		WINDOW & DOOR SCHEDULES		8 / 14	714183			

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

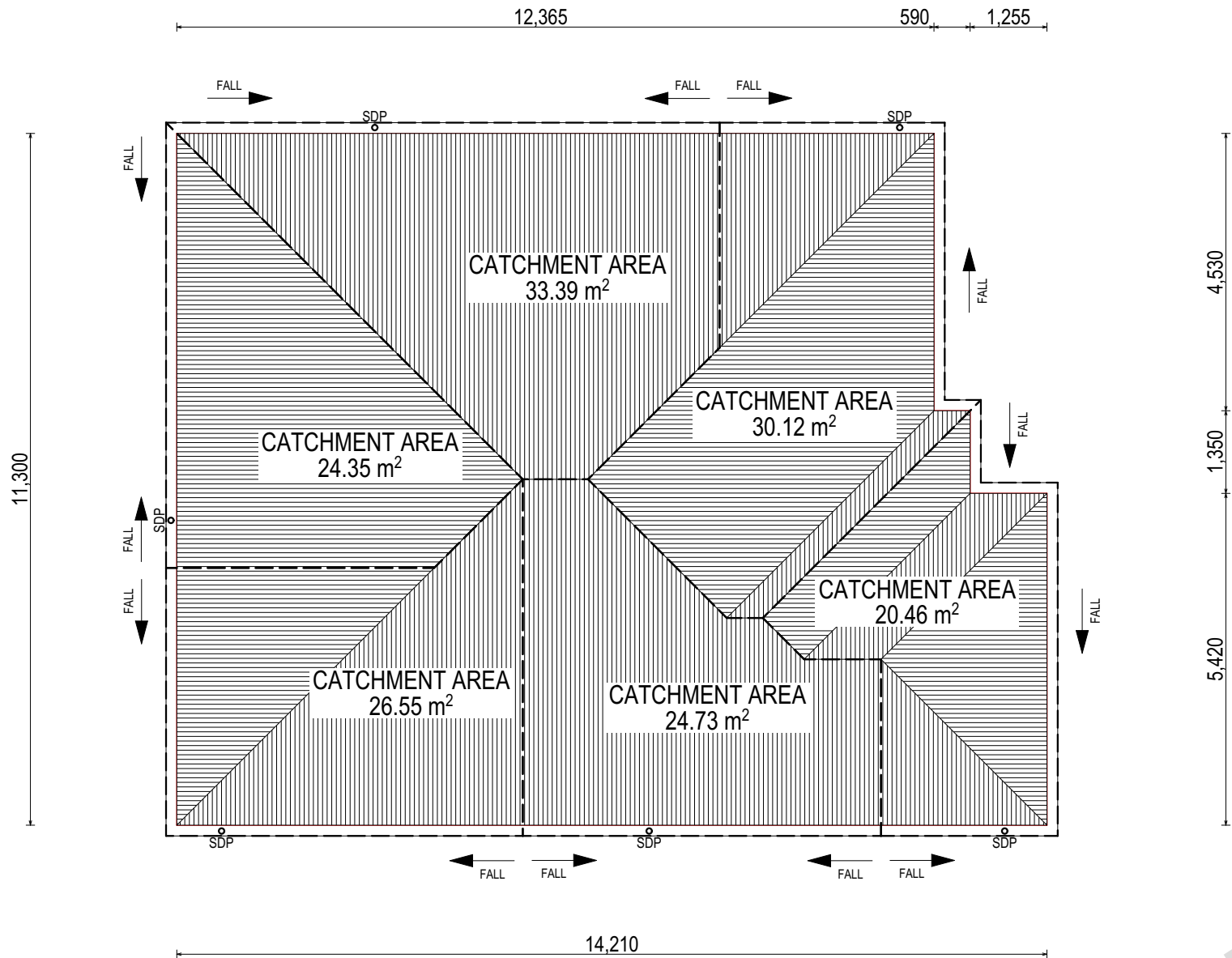
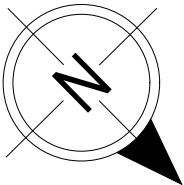
Roofing Data		
	150.52	Flat Roof Area (excluding gutter and slope factor) (m²)
	163.52	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	159.60	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	193.12	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	3.02	Ac / Acdp
Downpipes Provided	6	

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COPYRIGHT:		3	DRAFT SALES PLAN - CT-1 UPDATE	RT2	04/02/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:				
© 2025		4	PRELIM PLANS - INITIAL ISSUE	TNG	17/02/2025	4 MATTEO CIRCLE, CLAREMONT TAS 7011		CLASSIC		F-WDCASC10CLASA				
		5	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TNG	24/03/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:	SHEET No.:	SCALES:		
		6	PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS	PL1	07/04/2025	50 / - / 185903		GLENORCHY COUNCIL		ROOF DRAINAGE PLAN		9 / 14	1:100	714183

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-25-058
DATE RECEIVED 07/04/2025



EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES. TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

COVER GRADE CONCRETE

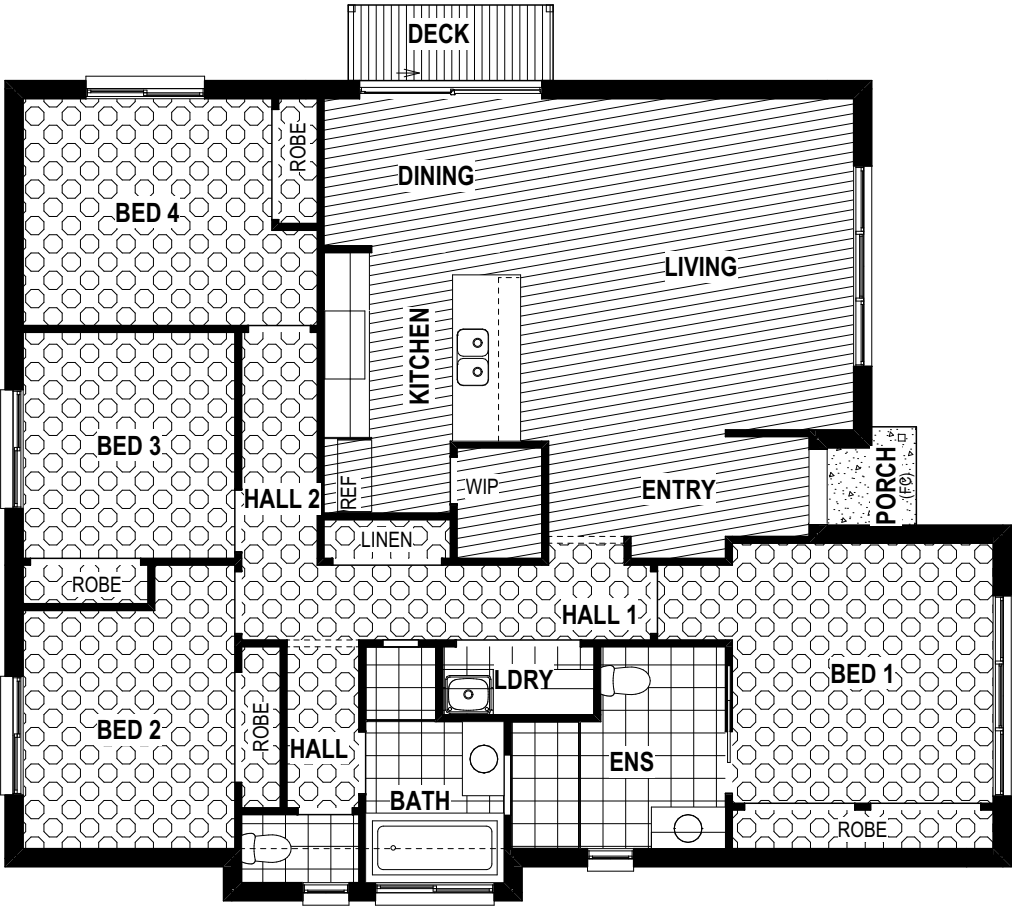
CARPET

LAMINATE

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)

DECKING



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-25-058

DATE RECEIVED 07/04/2025

**BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS**

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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

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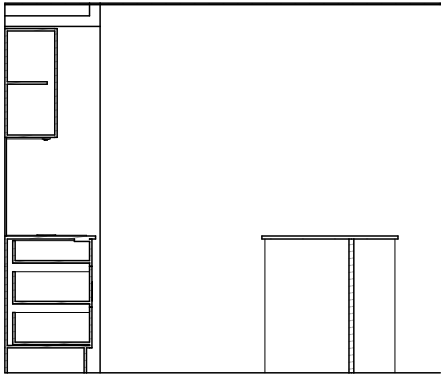
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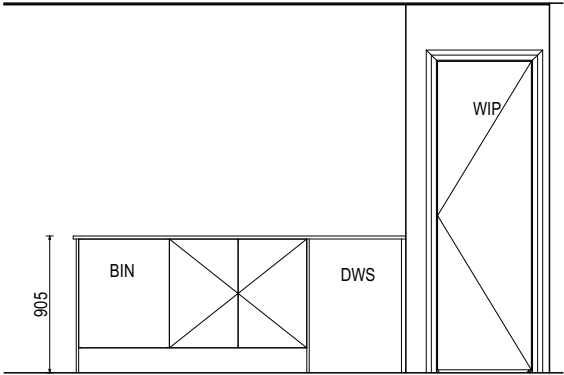


SPECIFICATION: DISCOVERY	2	DRAFT SALES PLAN	MLG	22/01/2025	CLIENT: CASSANDRA HANSSON & RHYS QUARRELL	HOUSE DESIGN: ASCOT 12	HOUSE CODE: H-WDCASC10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714183
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	5	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TNG	24/03/2025	LOT / SECTION / CT: 50 / - / 185903	SHEET TITLE: FLOOR COVERINGS	SCALES: 1:100	
	6	PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS	PL1	07/04/2025	COUNCIL: GLENORCHY COUNCIL	SHEET No.: 10 / 14		

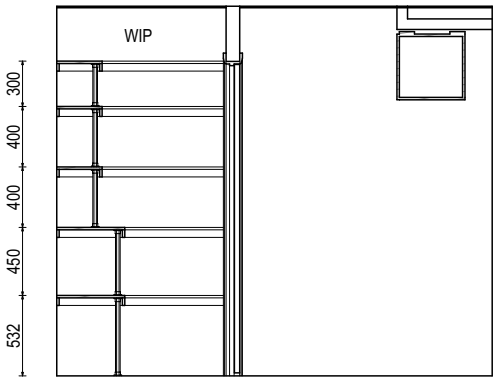
BAL-12.5 BUSHFIRE REQUIREMENTS
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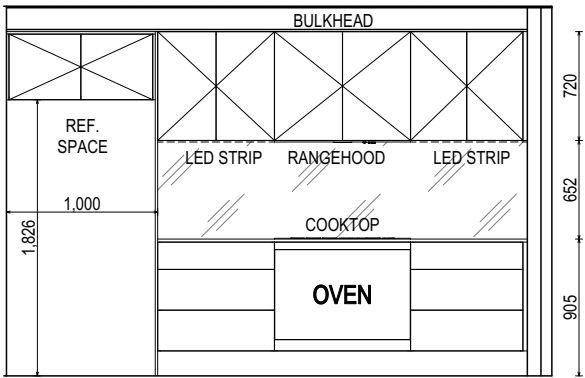
ELEVATION A
SCALE: 1:50



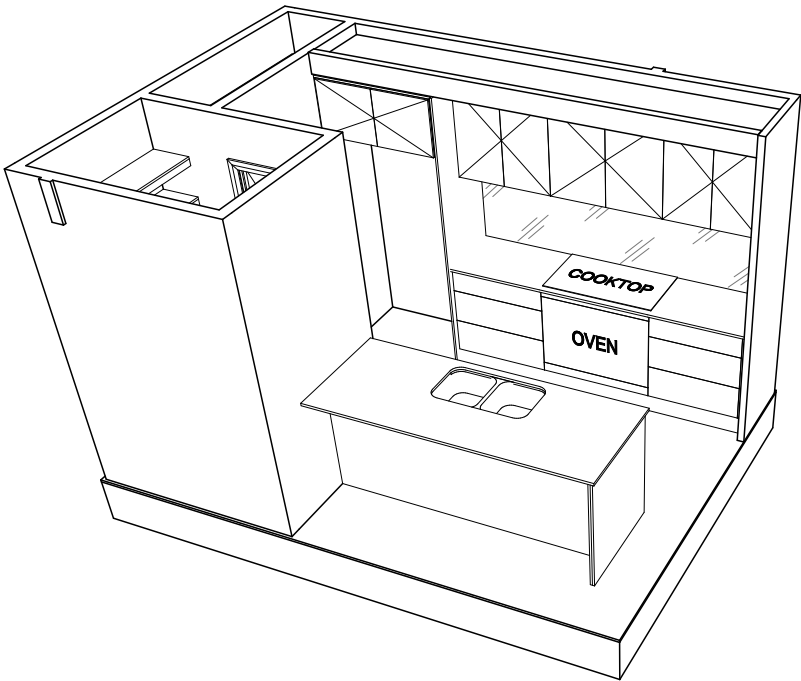
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-25-058

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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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ALL DIMENSIONS ARE FRAME DIMENSIONS

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			COUNCIL:		SCALES:	
			GLENORCHY COUNCIL		1:50	

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

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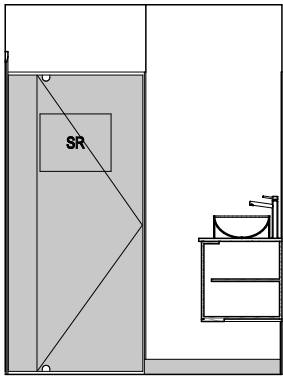
GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-25-058

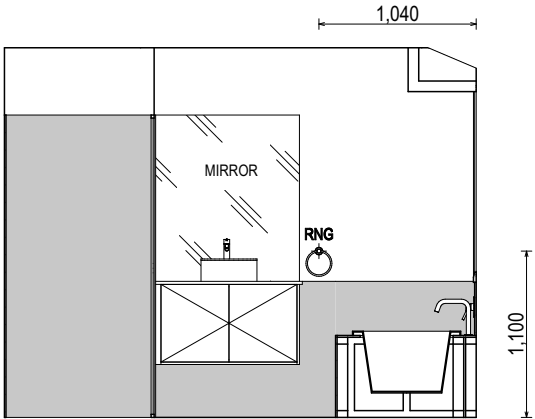
DATE RECEIVED 07/04/2025

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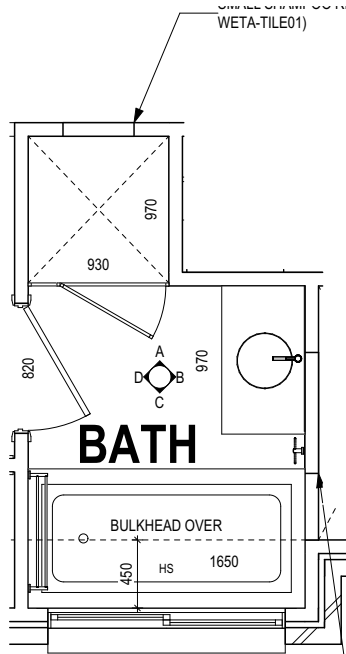
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ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



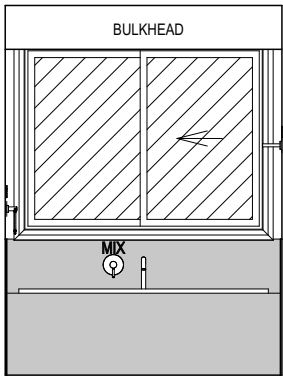
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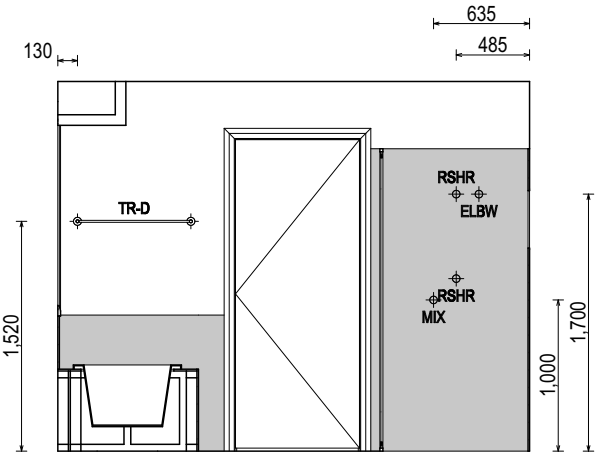
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BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSIONS

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COPYRIGHT: © 2025	2 DRAFT SALES PLAN	MLG 22/01/2025	CASSANDRA HANSSON & RHYS QUARRELL	ASCOT 12	H-WDCASC10SA	
	3 DRAFT SALES PLAN - CT-1 UPDATE	RT2 04/02/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	4 PRELIM PLANS - INITIAL ISSUE	TNG 17/02/2025	4 MATTEO CIRCLE, CLAREMONT TAS 7011	CLASSIC	F-WDCASC10CLASA	
	5 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TNG 24/03/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	6 PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS	PL1 07/04/2025	50 / - / 185903	BATHROOM DETAILS	12 / 14	
			COUNCIL:		SCALES:	714183
			GLENORCHY COUNCIL		1:50	

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS **G-VANI-001**
 WINDOW OVER BATH HOB **D-WIND-ALU001**
 STANDARD BATH HOB **D-WETA-BATH003**
 WET AREA TILING LAYOUTS **D-WETA-TILE002**
 SQUARE SET WINDOWS **G-WIND-SSET02**
 FULL HEIGHT TILING **D-LINI-WETA**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

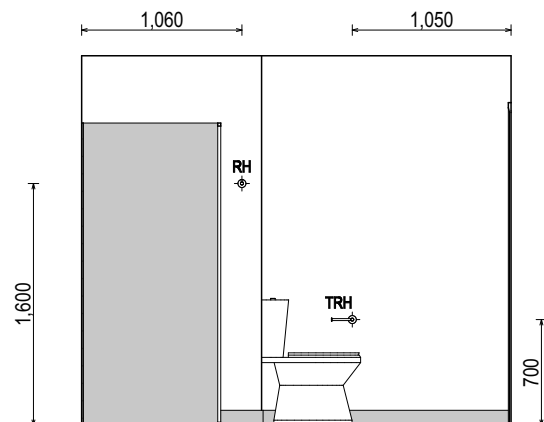
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ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
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RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
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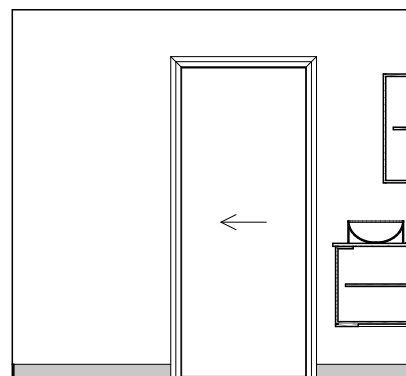
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. PLN-25-058

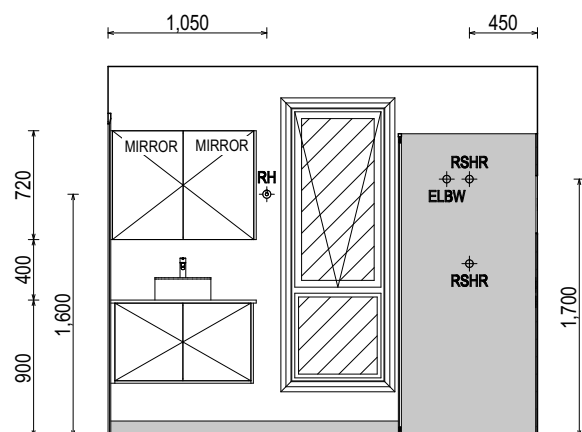
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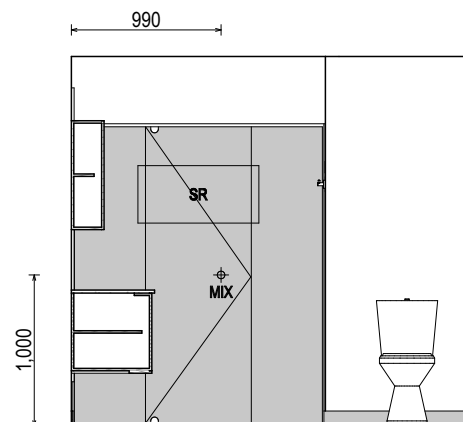
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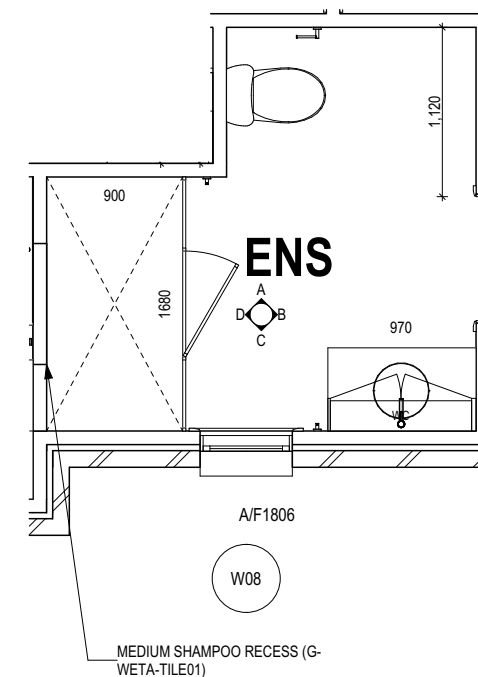
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ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**


PLAN ACCEPTANCE BY OWNER

SIGNATURE:	DATE:
SIGNATURE:	DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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	DISCOVERY	2	DRAFT SALES PLAN	MLG 22/01/2025	CASSANDRA HANSSON & RHYS QUARRELL	ASCOT 12		H-WDCASC10SA	
	COPYRIGHT:	3	DRAFT SALES PLAN - CT-1 UPDATE	RT2 04/02/2025	ADDRESS:	FACADE DESIGN:		FACADE CODE:	
	© 2025	4	PRELIM PLANS - INITIAL ISSUE	TNG 17/02/2025	4 MATTEO CIRCLE, CLAREMONT TAS 7011		CLASSIC	F-WDCASC10CLASA	
		5	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TNG 24/03/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	
		6	PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS	PL1 07/04/2025	50 / - / 185903	GLENORCHY COUNCIL	ENSUITE DETAILS	13 / 14	
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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

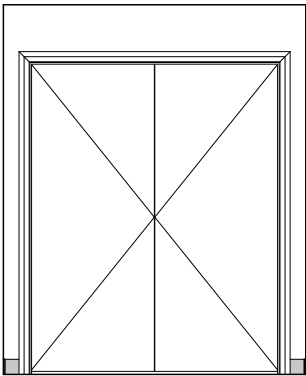
GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-25-058

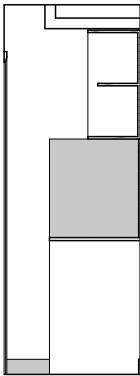
DATE RECEIVED 07/04/2025

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

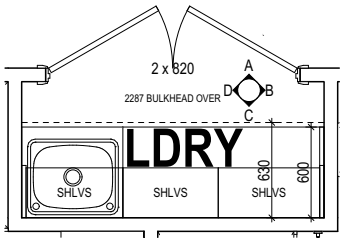
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REPRESENTATION ONLY



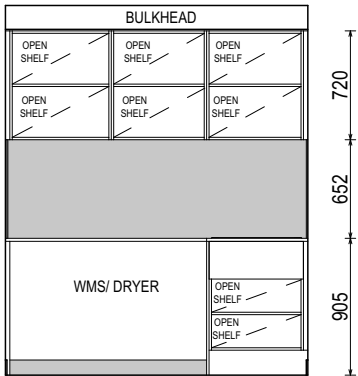
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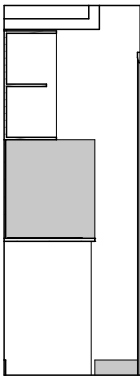
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

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SPECIFICATION: DISCOVERY	2	DRAFT SALES PLAN	MLG	22/01/2025	CLIENT: CASSANDRA HANSSON & RHYS QUARRELL	HOUSE DESIGN: ASCOT 12	HOUSE CODE: H-WDCASC10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714183
COPYRIGHT: © 2025	3	DRAFT SALES PLAN - CT-1 UPDATE	RT2	04/02/2025	ADDRESS: 4 MATTEO CIRCLE, CLAREMONT TAS 7011	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCASC10CLASA	
	4	PRELIM PLANS - INITIAL ISSUE	TNG	17/02/2025	LOT / SECTION / CT: 50 / - / 185903	SHEET TITLE: LAUNDRY DETAILS	SHEET No.: 14 / 14	
	5	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TNG	24/03/2025	COUNCIL: GLENORCHY COUNCIL		SCALES: 1:50	
	6	PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS	PL1	07/04/2025				