

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-25-037
<b>PROPOSED DEVELOPMENT:</b>	Alterations, Addition, Change of Use to Residential (Single Dwelling), Associated Outbuildings, Vegetation Clearing, and Fill
<b>LOCATION:</b>	101 Suhrs Road Collinsvale
<b>APPLICANT:</b>	Spacewise Design Pty Ltd
<b>ADVERTISING START DATE:</b>	29/04/2025
<b>ADVERTISING EXPIRY DATE:</b>	13/05/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **13/05/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **13/05/2025**, or for postal and hand delivered representations, by 5.00 pm on **13/05/2025**.

GLENORCHY CITY COUNCIL  
PLANNING SERVICES

APPLICATION No. : PLN-25-037

DATE RECEIVED: 16/04/2025

DWELLING AND OUTBUILDINGS  
(RETROSPECTIVE APPROVAL)  
101 SUHRS ROAD | COLLINSVALE

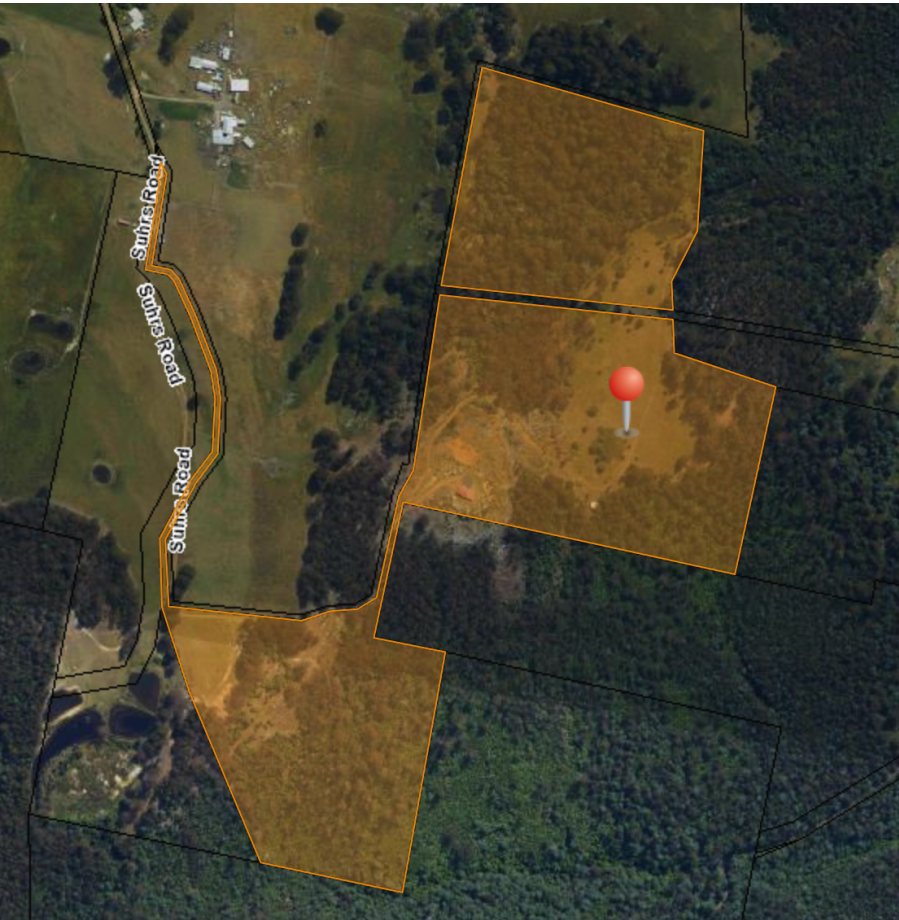
DRAWING No. DESCRIPTION

	Cover Page
	Unsealed Road R01
A00	Site Plan with Access Road
A01	Site Plan with Storm Water Plan 1:300
A02	Site Plan 1:500
A03	Cleared Areas
A04	Floor Plan Dwelling (As-Built)
A05	Upper Floor Plan As-Built
A06	Roof Plans
A07	Elevations
A08	Shed 03 and Cubby 06 As-Built
A09	Shed 01
A10	Sections Driveway
A10	Shed 02
A11	Sections Driveway

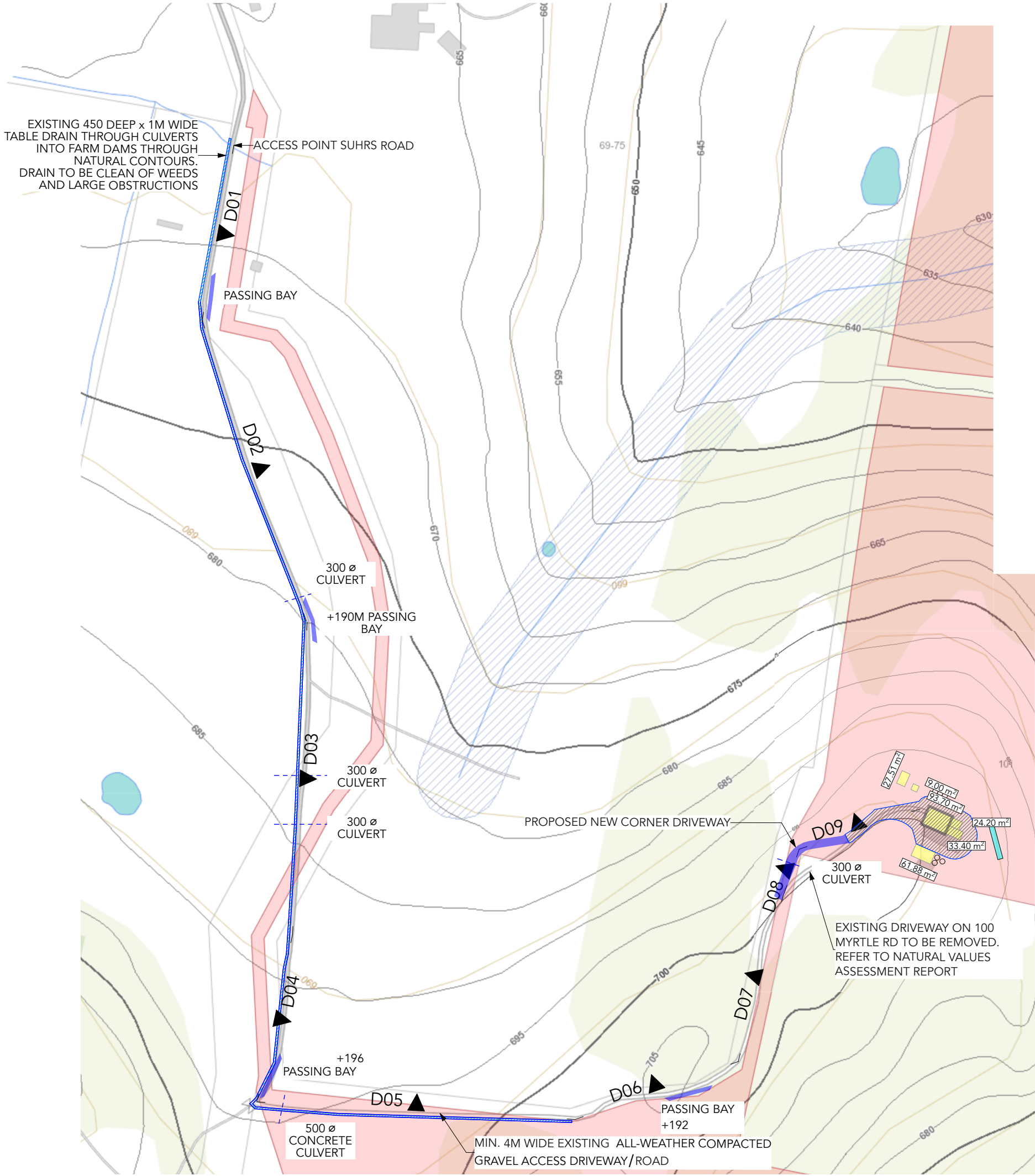
SOIL CLASSIFICATION: CLAY LOAM (category 4)

BAL 19

<b>Property Identification Number</b>	<b>Certificate of Title Reference (Volume/Folio)</b>
3460096	170917/1
<b>Locality</b>	<b>Municipality</b>
COLLINSVALE	Glenorchy
<b>Planning Zones</b>	<b>Planning Codes Overlay</b>
Rural	Low landslip hazard band, Medium landslip hazard band, Waterway and coastal protection area, Bushfire-prone areas, Priority vegetation area, Scenic protection area
<b>Total Area</b>	<b>Planning Scheme</b>
207600 sqm	Tasmanian Planning Scheme



LOCATION PLAN



Access Road


1:2000

GLENORCHY CITY COUNCIL  
PLANNING SERVICES

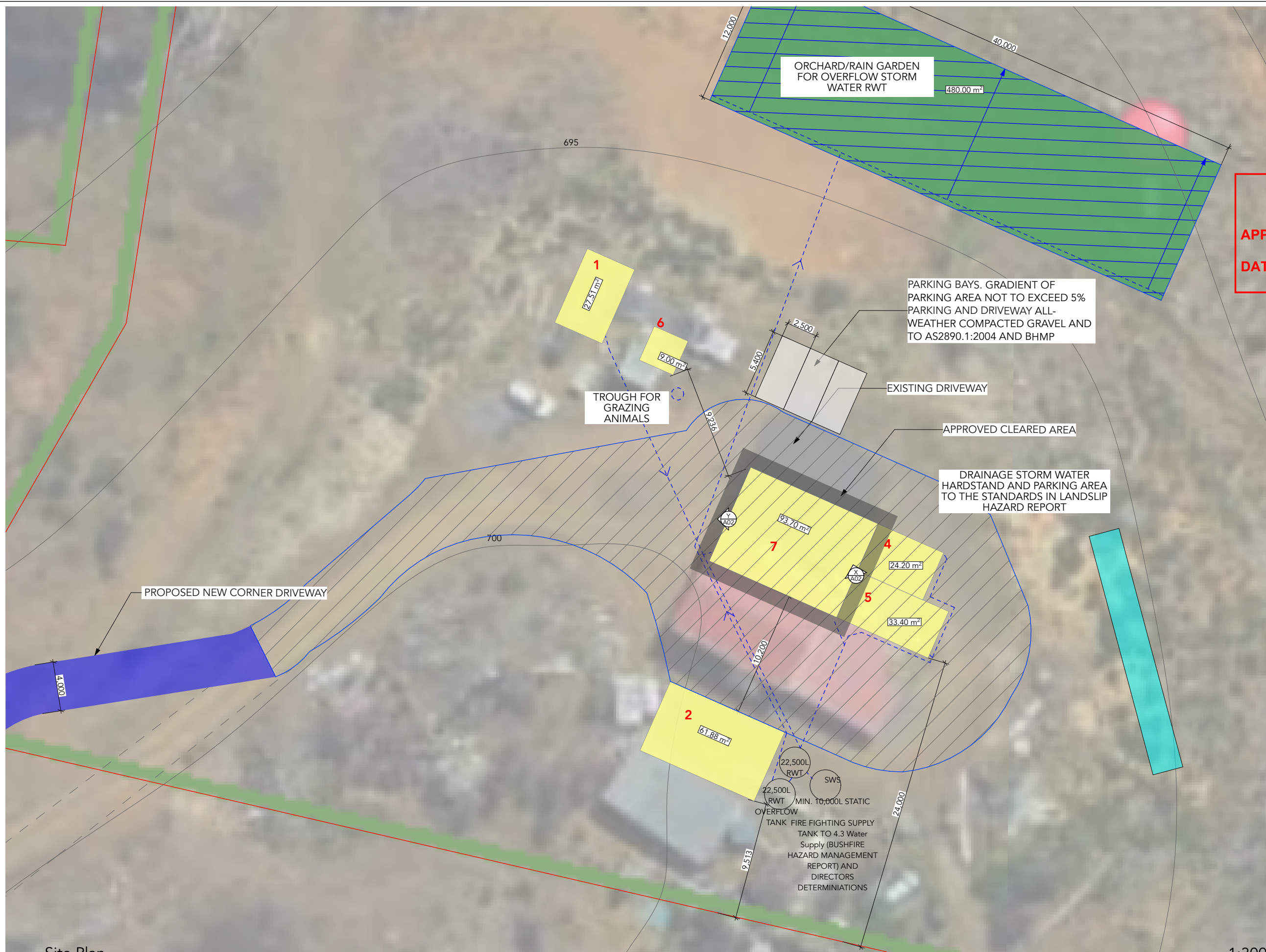
APPLICATION No. :  
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- ALL ROAD WORKS TO BE IN ACCORDANCE WITH IPWEA TASMANIAN STANDARD DRAWINGS AND SPECIFICATIONS AND IPWEA TASMANIAN SUBDIVISION GUIDELINES. RELEVANT DRAWINGS INCLUDE: TSD-R01-V3 RURAL ROADS UNSEALED TSD-R03-V3 RURAL ROADS TYPICAL PROPERTY ACCESS TSD-R04-V3
- ALL ROAD AND STORMWATER WORKS ARE TO BE IN ACCORDANCE WITH TAS ROADWORKS SPECIFICATIONS DSG (FORMERLY DIER) SPECIFICATIONS: R21 CLEARING AND GRUBBING R22 EARTHWORKS R23 SUBGRADE ZONE R24 GEOTEXTILES R31 OPEN DRAINS AND CHANNELS R33 SUBSURFACE DRAINAGE
- FILLING. ALL FILLING OF MORE THAN 300MM IS TO BE APPROVED BY COUNCIL. FILLING IS TO COMPLY WITH AS3789 EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT. 3. ALL FILLING IS TO BE UNDERTAKEN IN MAX 300MM LAYERS AND ACHIEVE 95% OF STANDARD COMPACTION.
- STORMWATER ALL STORMWATER TO BE IN ACCORDANCE WITH IPWEA TASMANIAN STANDARD DRAWINGS AND SPECIFICATIONS. GRAVEL TO BE FINE AND COMPACTED TO ACHIEVE IMPERMEABLE SURFACE. 5, PLACE 150mm NON DISPERSIVE TOPSOIL OVER EXPOSED BATTERS AND DRAINS AND GRASS. AND KEEP STOCK OFF UNTIL GRASS ESTABLISHED. ALL SURFACES AND DRAINS TO BE GRADED SO THERE IS NO PONDING OF STORMWATER

 <div>mariska@spacewisedesign.com.au 0412 040 035 License number: 665044574</div>	CLIENT: Raymond Green ADDRESS: 101 Suhrs Road COLLINSVALE TAS		DRAWING TITLE: Site Plan with Access Road	APPROVED BY CLIENT:	© COPYRIGHT PRINT DATE: 14/4/2025
	ZONING: Rural	COUNCIL: City of Glenorchy	STAGE: DA	Retrospective Approval	SHEET NR: A00





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Site Plan 1:300



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CLIENT: Raymond Green  
ADDRESS: 101 Suhrs Road COLLINSVALE TAS  
ZONING: Rural COUNCIL: City of Glenorchy

DRAWING TITLE: Site Plan with Storm Water Plan 1:300

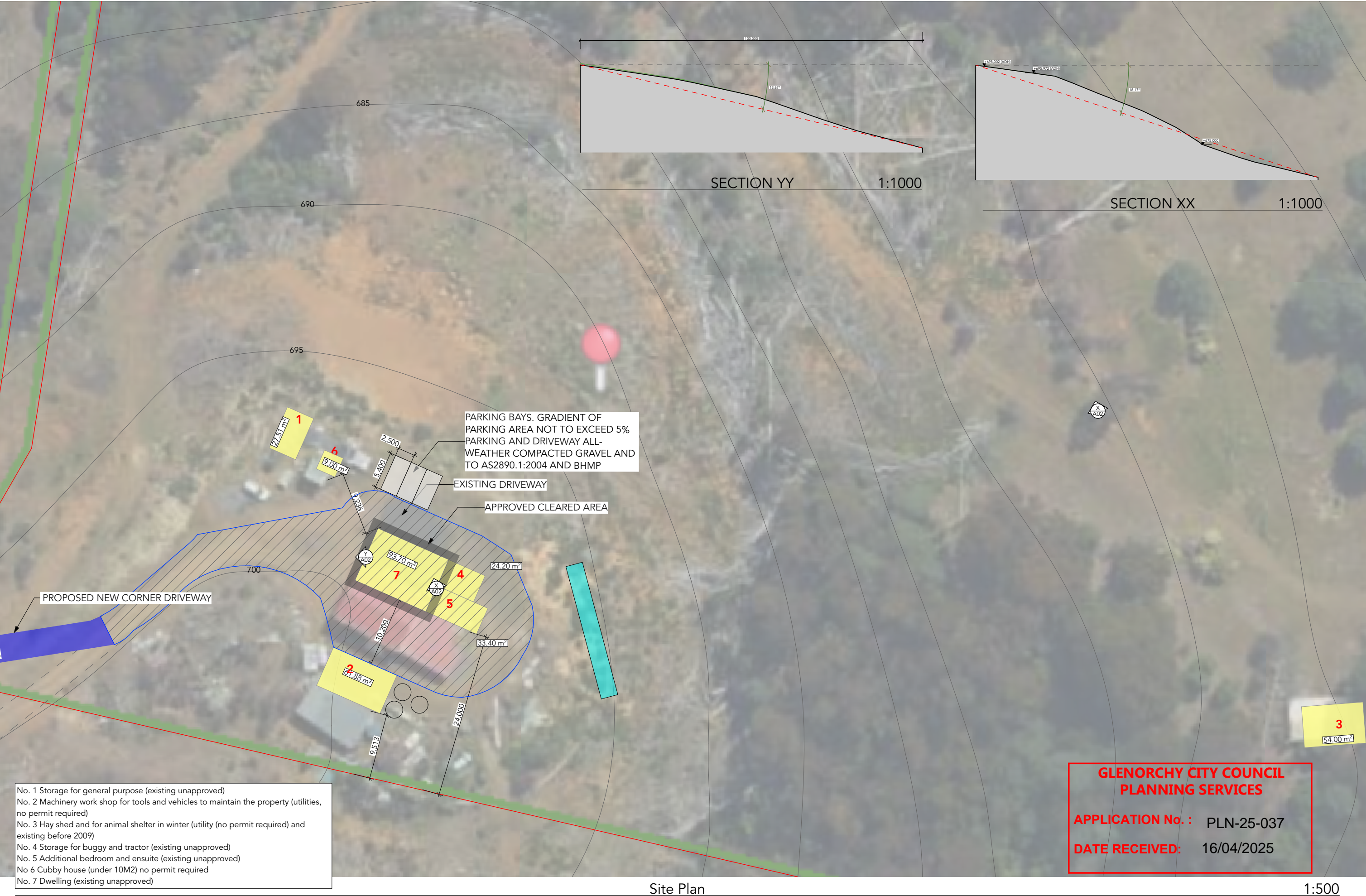
Retrospective Approval  
STAGE: DA

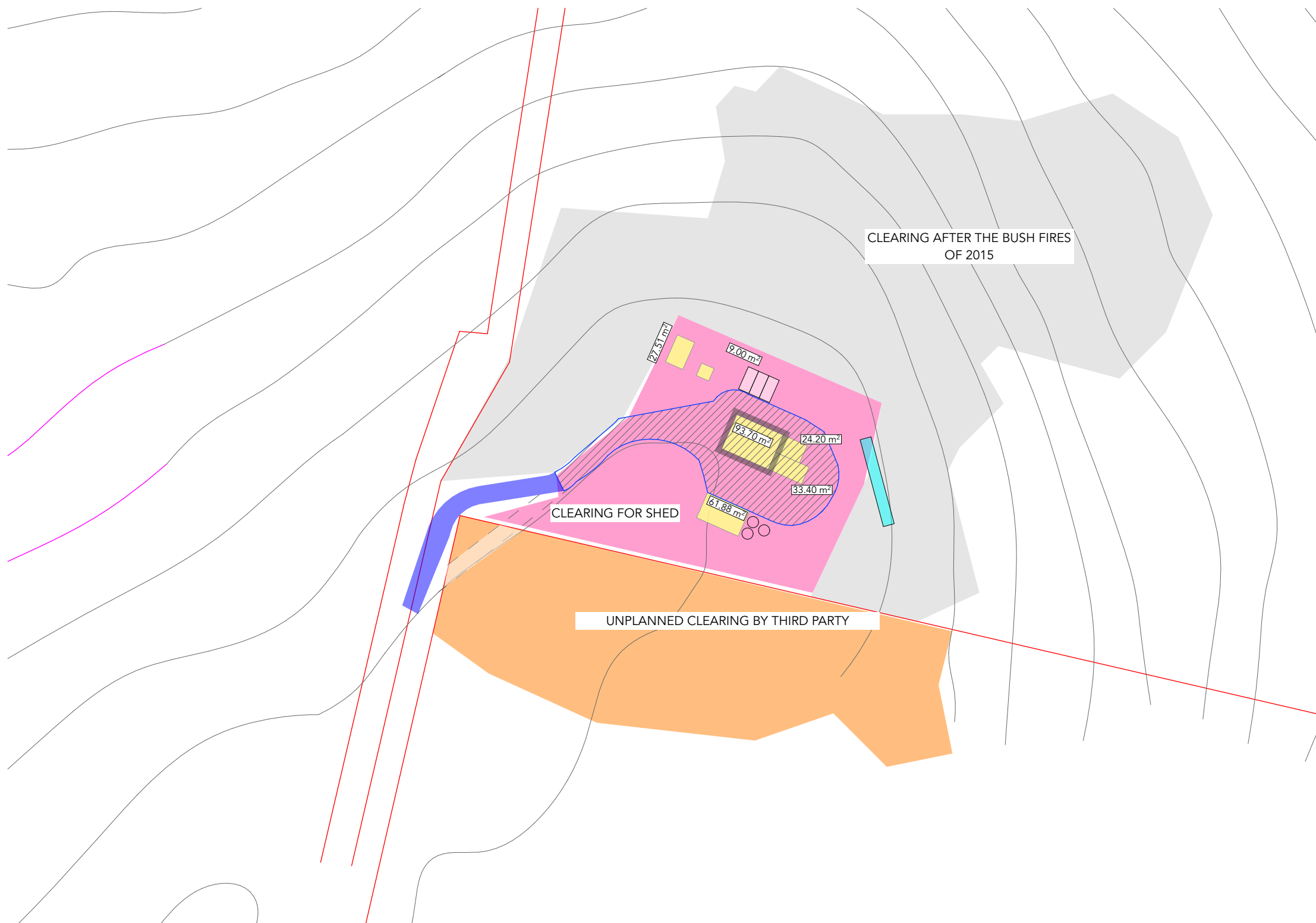
APPROVED BY CLIENT:

SHEET NR:  
A01

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14/4/2025







Cleared Areas

1:1000

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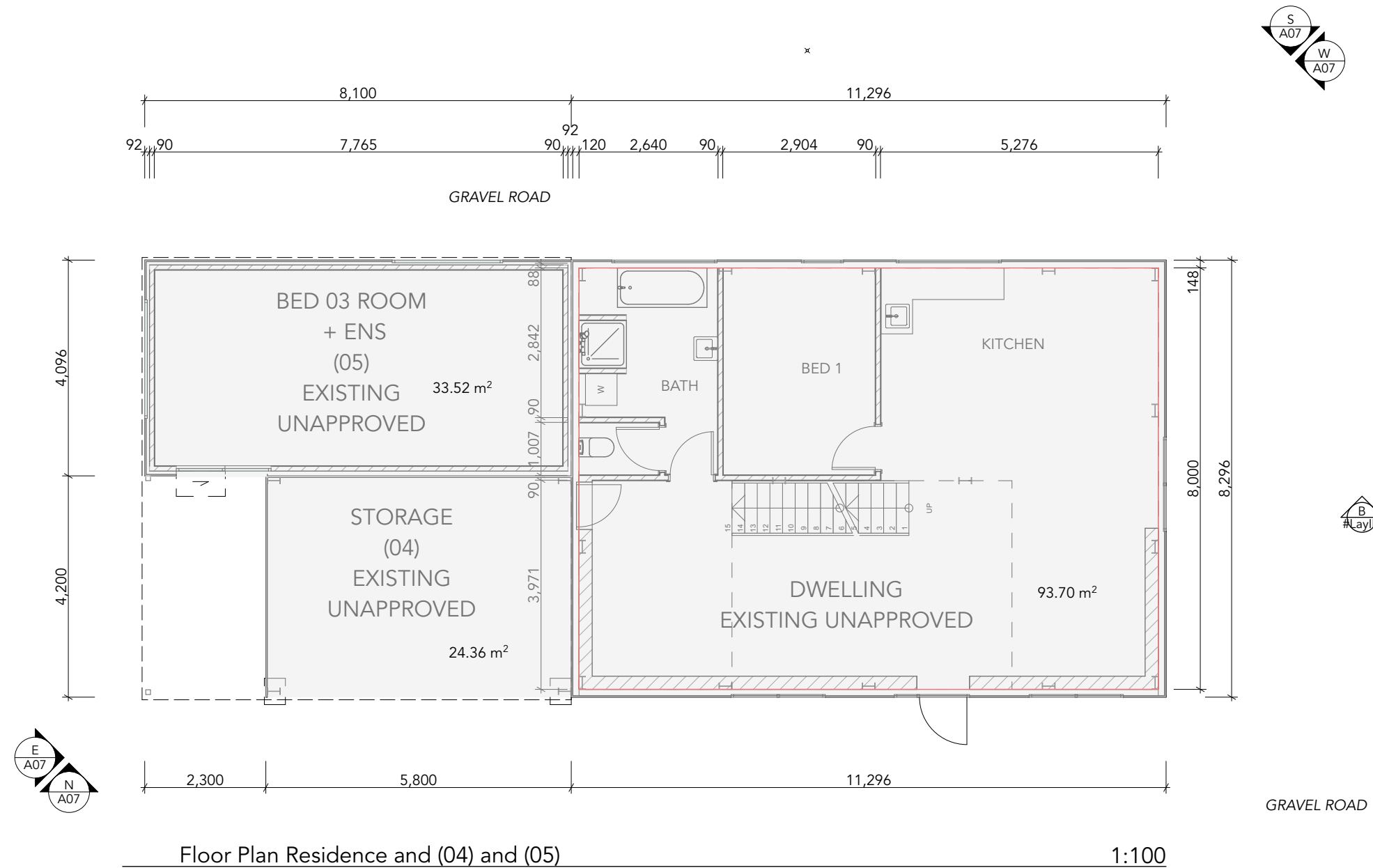
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	Spacewise Design Pty Ltd ABN 72 604 335 408 mariska@spacewisedesign.com.au 0412 040 035 License number: 665044574	CLIENT: Raymond Green ADDRESS: 101 Suhrs Road COLLINSVALE TAS ZONING: Rural COUNCIL: City of Glenorchy	DRAWING TITLE: Cleared Areas	Retrospective Approval STAGE: DA	APPROVED BY CLIENT:	SHEET NR: A03	© COPYRIGHT PRINT DATE: 14/4/2025
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Floor Plan Residence and (04) and (05)

1:100



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CLIENT: Raymond Green  
ADDRESS: 101 Suhrs Road COLLINSVALE TAS  
ZONING: Rural COUNCIL: City of Glenorchy

DRAWING TITLE: Floor Plan Dwelling (As-Built)

Retrospective Approval  
STAGE: DA

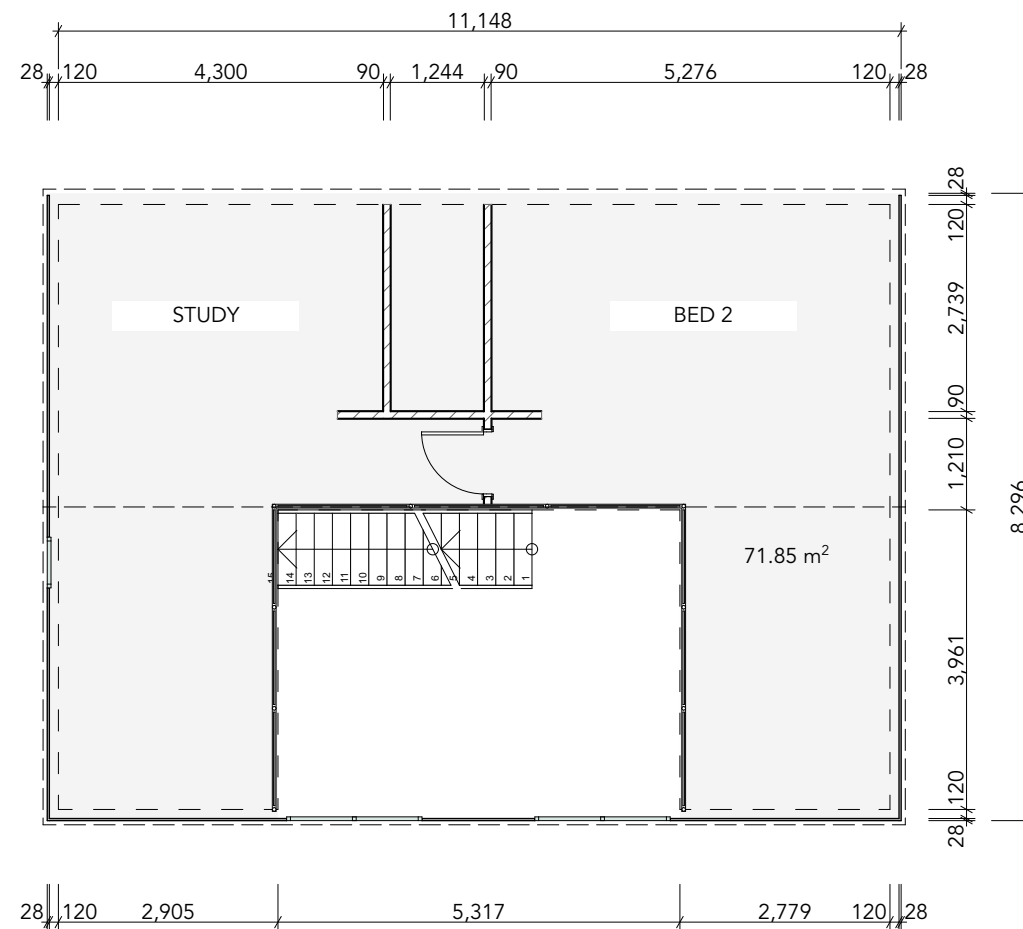
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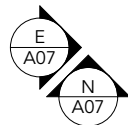
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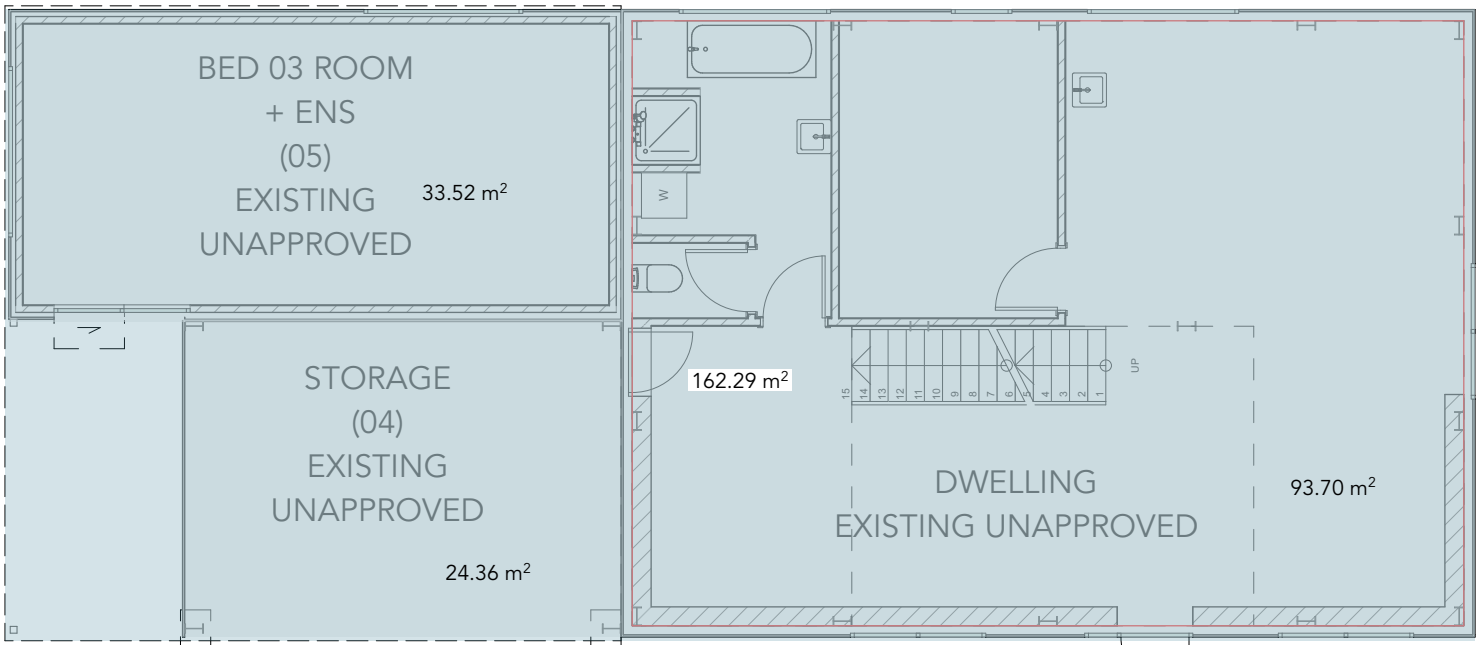


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Upper Floor Plan 1:100

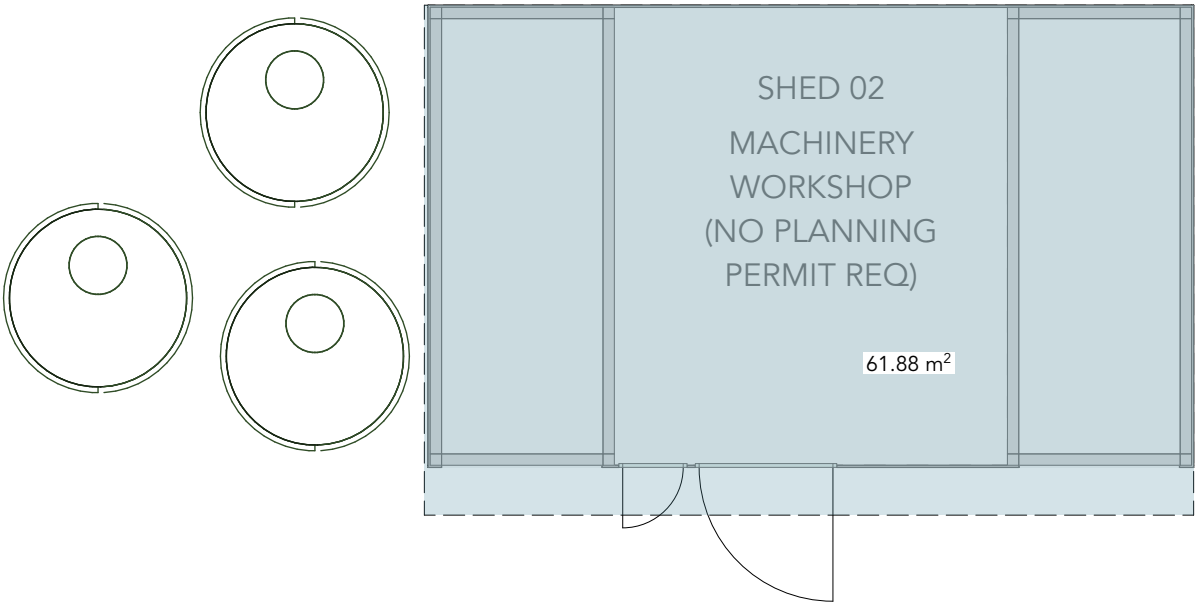




Roof Plan 1:100



Roof Plan Storage 1:100



Roof Plan Machinery Workshop Shed 02 1:100

EAVES GUTTER AND DOWN PIPE DESIGN TO AS/NZS 3500.3: 2021			
DWELLING, BEDROOM AND STORAGE			
Horizontal catchment area	Ah	= 163	sq.m
Roof Average slope	S	= 2	degrees
Intensity ARI 20 (AEP 5%)(5 min)	I	= 86	mm/hr
Is Gutter slope steeper than 1:500 ?		No	
Down pipe size selected	dia	= 90	mm
Cross referencing From Table 3.5.2 and Fig 3.5.4(A)or(B)			
Theoretical number of DPs required	Tnum	= 1.91	
Selected Number of Down pipes	n	= 2	
from AS3500 Table 3.4.3.2, C'ment Area Multiplier	f	= 1.02	
Roof Area allowing for slope	Ac	= Ah*f	
		= 166.3	sq.m
Catchment Area per DP	A	= Ac/n	sq.m
		= 83.1	sq.m
			litres/
Flow/DP	q	= I*A/3600	sec
		= 1.99	litres/
			sec
from AS/NZS 3500 fig 3.5.4(B), Gutter Area		= 8481	sq.mm
Gutter Area rounded to nearest 100sq.mm		= 8500	sq.mm
From AS/NZS 3500 Table 3.5.2, Down Pipe size		= 90	mm
Down Pipe size selected		= 90	mm
<b>Summary</b>			
This catchment requires :- number of DPs		= 2	
Downpipe size		= 90	mm
minimum eaves gutter cross sectional Area		= 8481	sq.mm
<b>Notes:</b> Catchment area of each DP to be roughly similar size. Length of any gutter draining to a downpipe to be not longer than 12m.(NCC vol2).			

GLENORCHY CITY COUNCIL  
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EAVES GUTTER AND DOWN PIPE DESIGN TO AS/NZS 3500.3: 2021			
STORAGE			
Horizontal catchment area	Ah	= 29	sq.m
Roof Average slope	S	= 2	degrees
Intensity ARI 20 (AEP 5%)(5 min)	I	= 86	mm/hr
Is Gutter slope steeper than 1:500 ?		No	
Down pipe size selected	dia	= 90	mm
Cross referencing From Table 3.5.2 and Fig 3.5.4(A)or(B)			
Theoretical number of DPs required	Tnum	= 0.34	
Selected Number of Down pipes	n	= 1	
from AS3500 Table 3.4.3.2, C'ment Area Multiplier	f	= 1.02	
Roof Area allowing for slope	Ac	= Ah*f	
		= 29.6	sq.m
Catchment Area per DP	A	= Ac/n	sq.m
		= 29.6	sq.m
			litres/
Flow/DP	q	= I*A/3600	sec
		= 0.71	litres/
			sec
from AS/NZS 3500 fig 3.5.4(B), Gutter Area		= 3252	sq.mm
Gutter Area rounded to nearest 100sq.mm		= 3300	sq.mm
From AS/NZS 3500 Table 3.5.2, Down Pipe size		= 65	mm
Down Pipe size selected		= 90	mm
<b>Summary</b>			
This catchment requires :- number of DPs		= 1	
Downpipe size		= 90	mm
minimum eaves gutter cross sectional Area		= 3252	sq.mm
<b>Notes:</b> Catchment area of each DP to be roughly similar size. Length of any gutter draining to a downpipe to be not longer than 12m.(NCC vol2).			

STORM WATER HARVEST: 254M² x 626mm p/y = 159,004L p/y

TOTAL RWT (EXCLUDING FIRE FIGHT TANK) 2 x 22,500L = 45,000L

AVERAGE USAGE (2x 200L p/d x 365) = 146,000



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CLIENT: Raymond Green  
ADDRESS: 101 Suhrs Road COLLINSVALE TAS  
ZONING: Rural COUNCIL: City of Glenorchy

DRAWING TITLE: Roof Plans

Retrospective Approval  
STAGE: DA

APPROVED BY CLIENT:

SHEET NR:  
A06

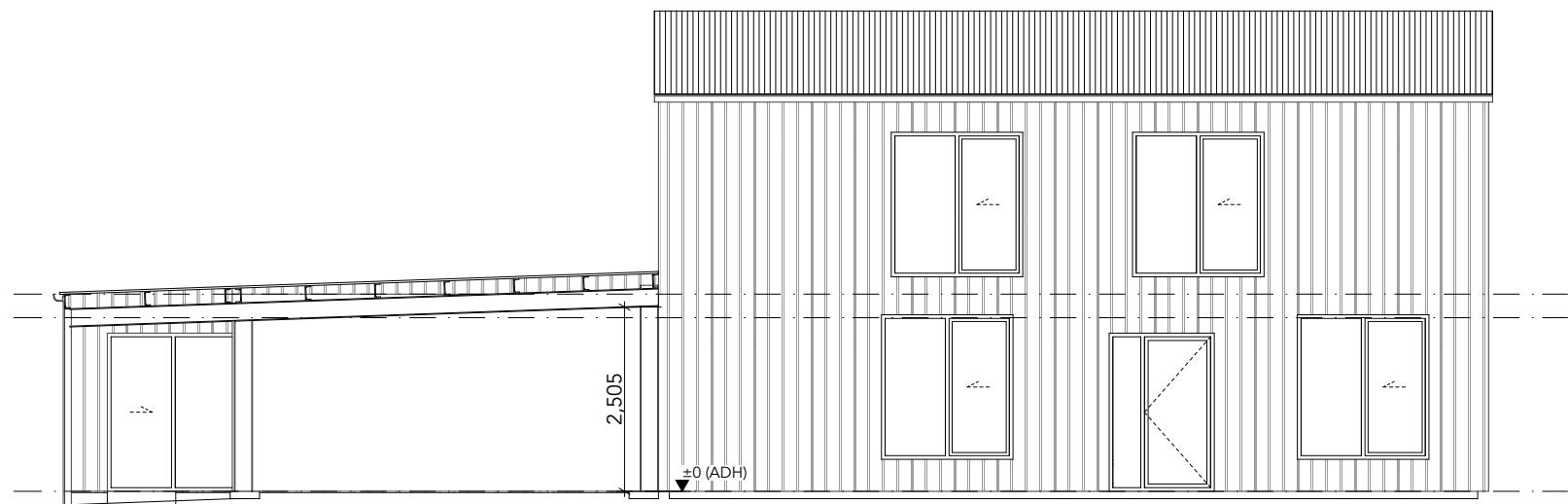
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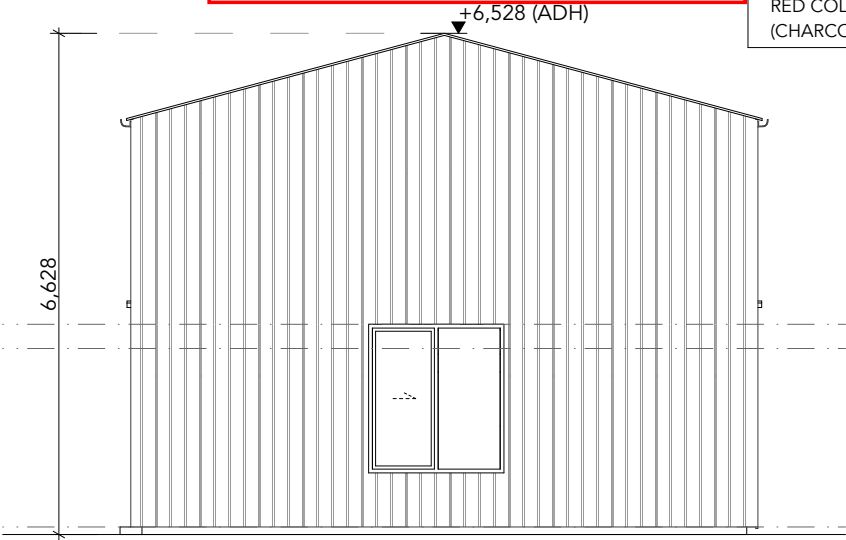
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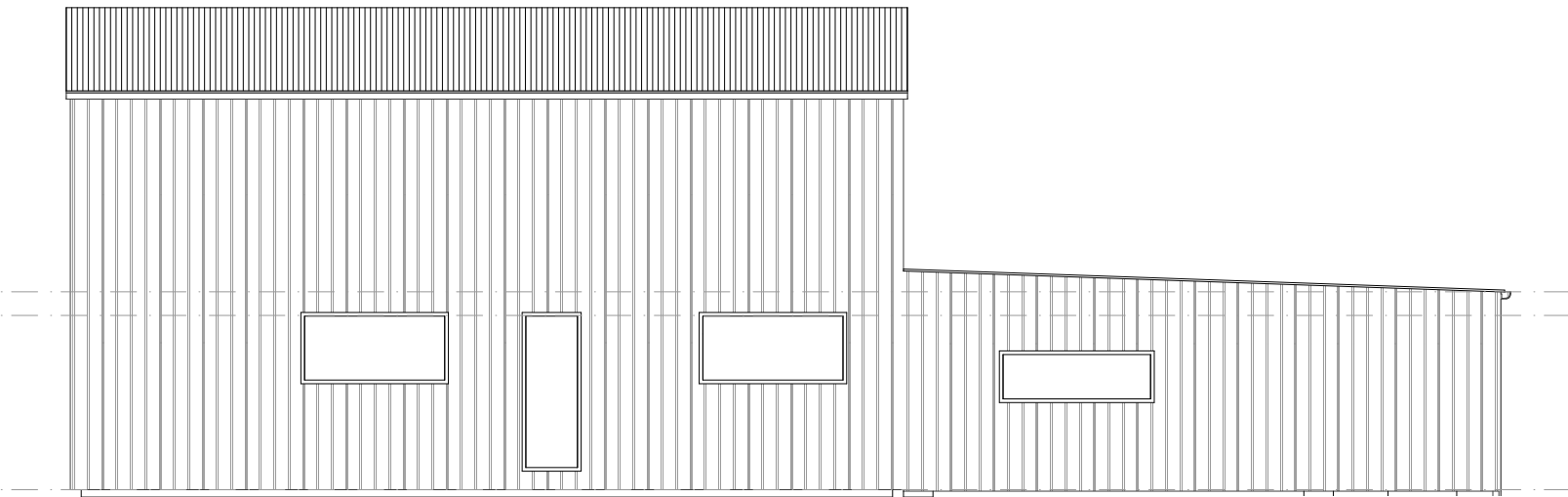
- MATERIALS**
- COLORBOND CUSTUM ORB ROOFING
  - COLORBOND ROOF GUTTER AND FLASHINGS
  - UPVC DOWN PIPES
  - ALUMINIUM WINDOW AND DOOR FRAMES
  - TRIMDEK WALL CLADDING IN HERITAGE RED COLOUR, EXCEPT NORTHERN SIDE IN (CHARCOAL) BLACK



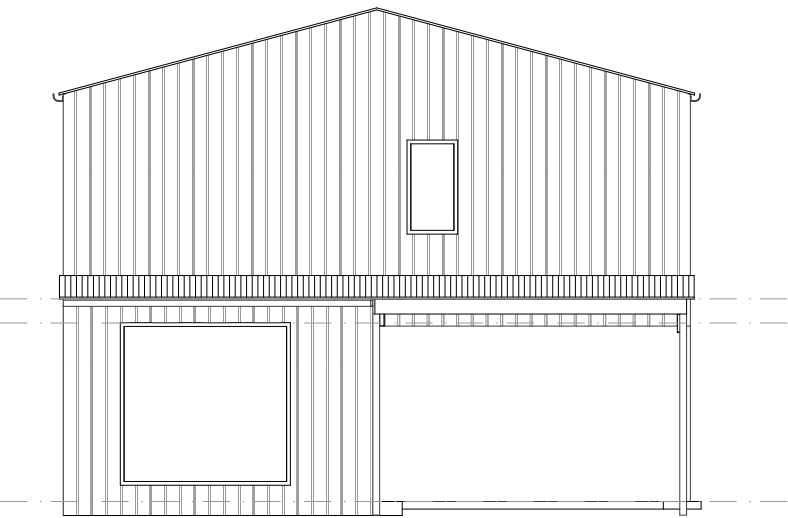
NORTHERN ELEVATION 1:100



WESTERN ELEVATION 1:100



SOUTHERN ELEVATION 1:100



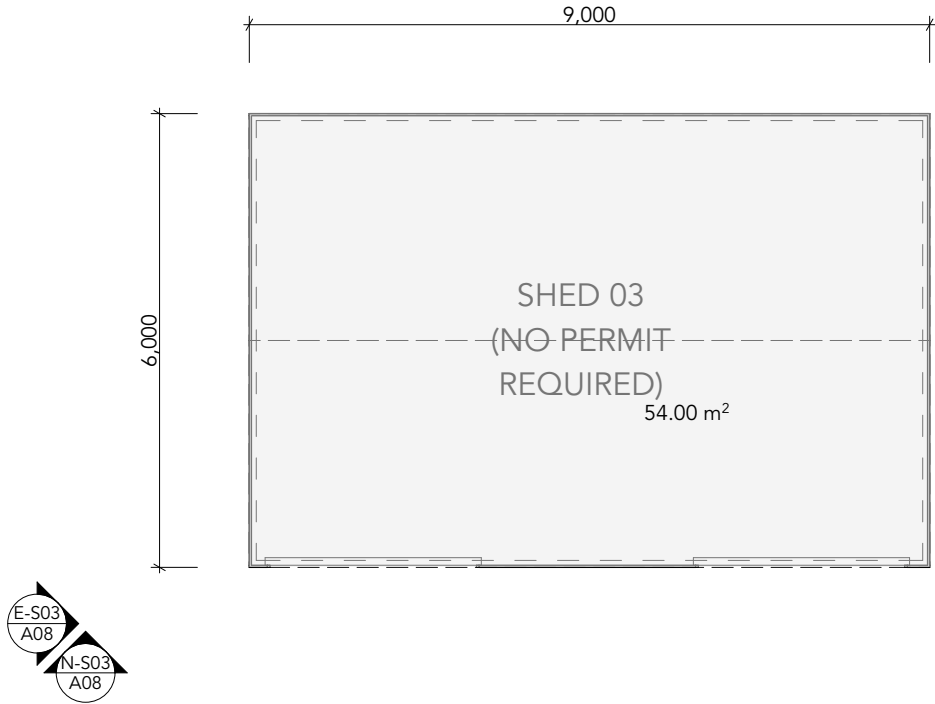
EASTERN ELEVATION 1:100



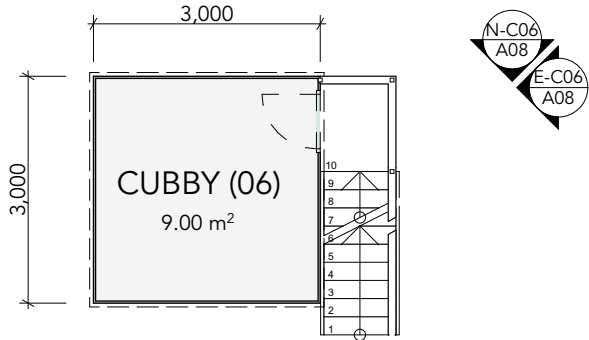
GLENORCHY CITY COUNCIL  
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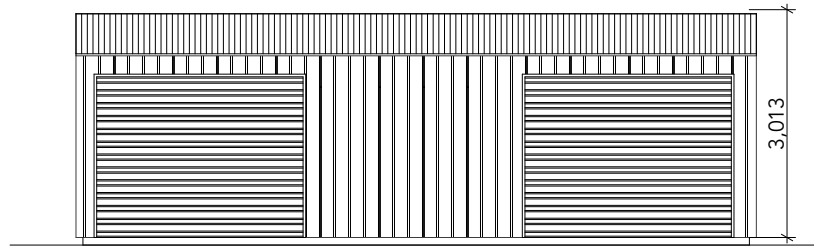
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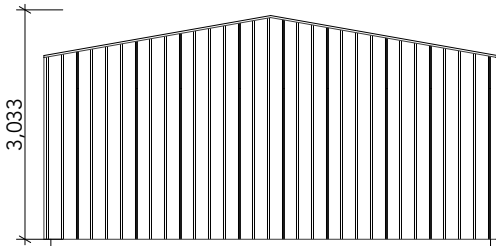
Floor Plan Shed (03) 1:100



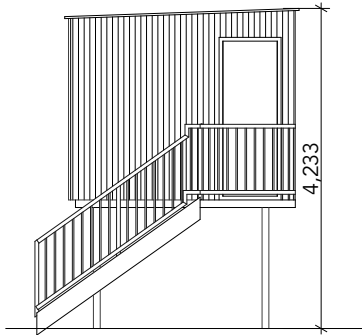
Floor Plan Cubby (06) 1:100



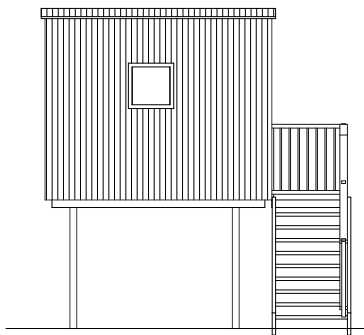
N-S03 NOTHERN ELEVATION 1:100



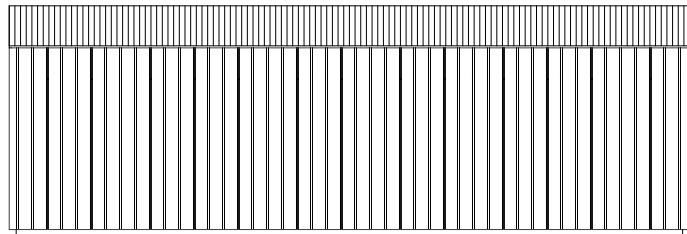
E-S03 EASTERN ELEVATION 1:100



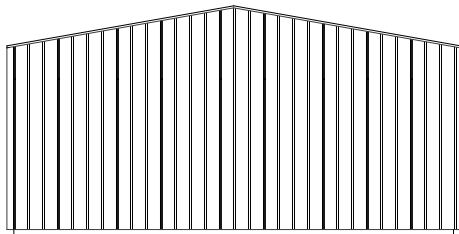
E-C06 EASTERN ELEVATION 1:100



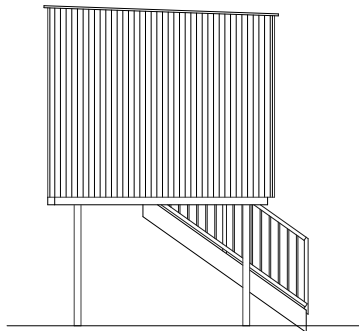
S-C06 SOUTHERN ELEVATION 1:100



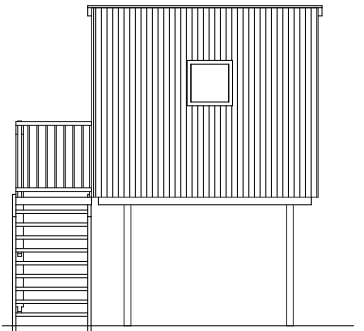
S-S03 SOUTHERN ELEVATION 1:100



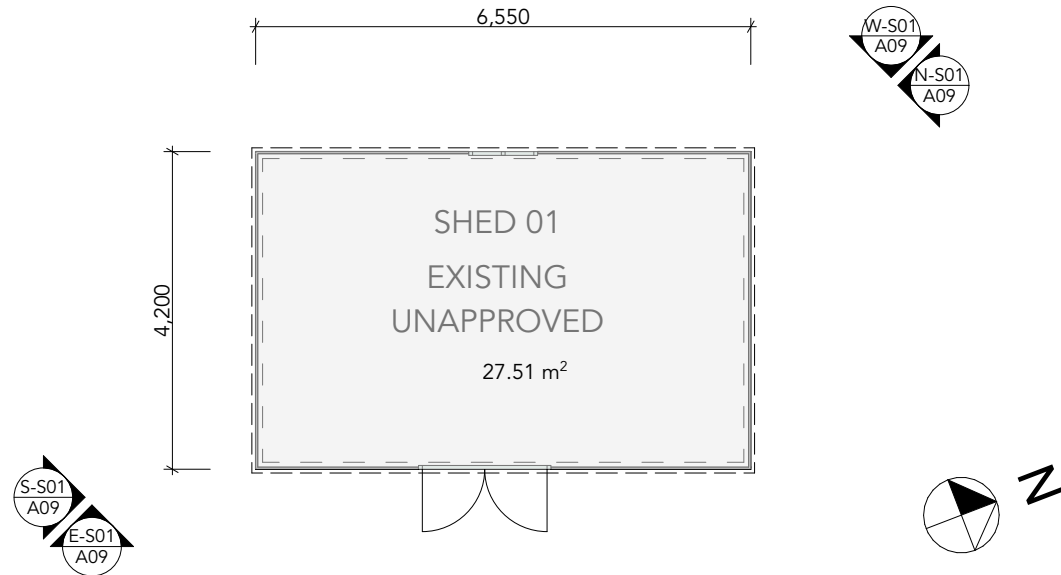
W-S03 WESTERN ELEVATION 1:100



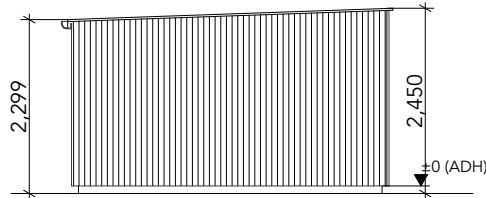
W-C06 WESTERN ELEVATION 1:100



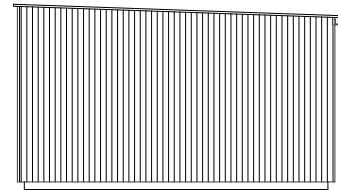
N-C06 NORTHERN ELEVATION 1:100



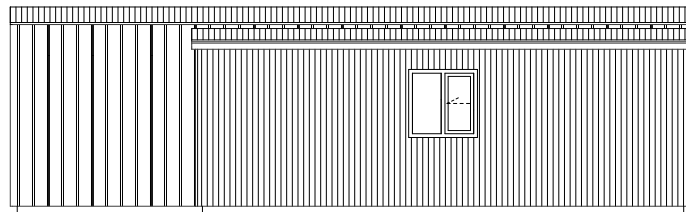
Ground Floor Plan 1:100



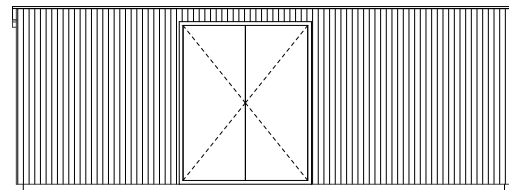
SOUTHERN ELEVATION 1:100



NORTHERN ELEVATION 1:100



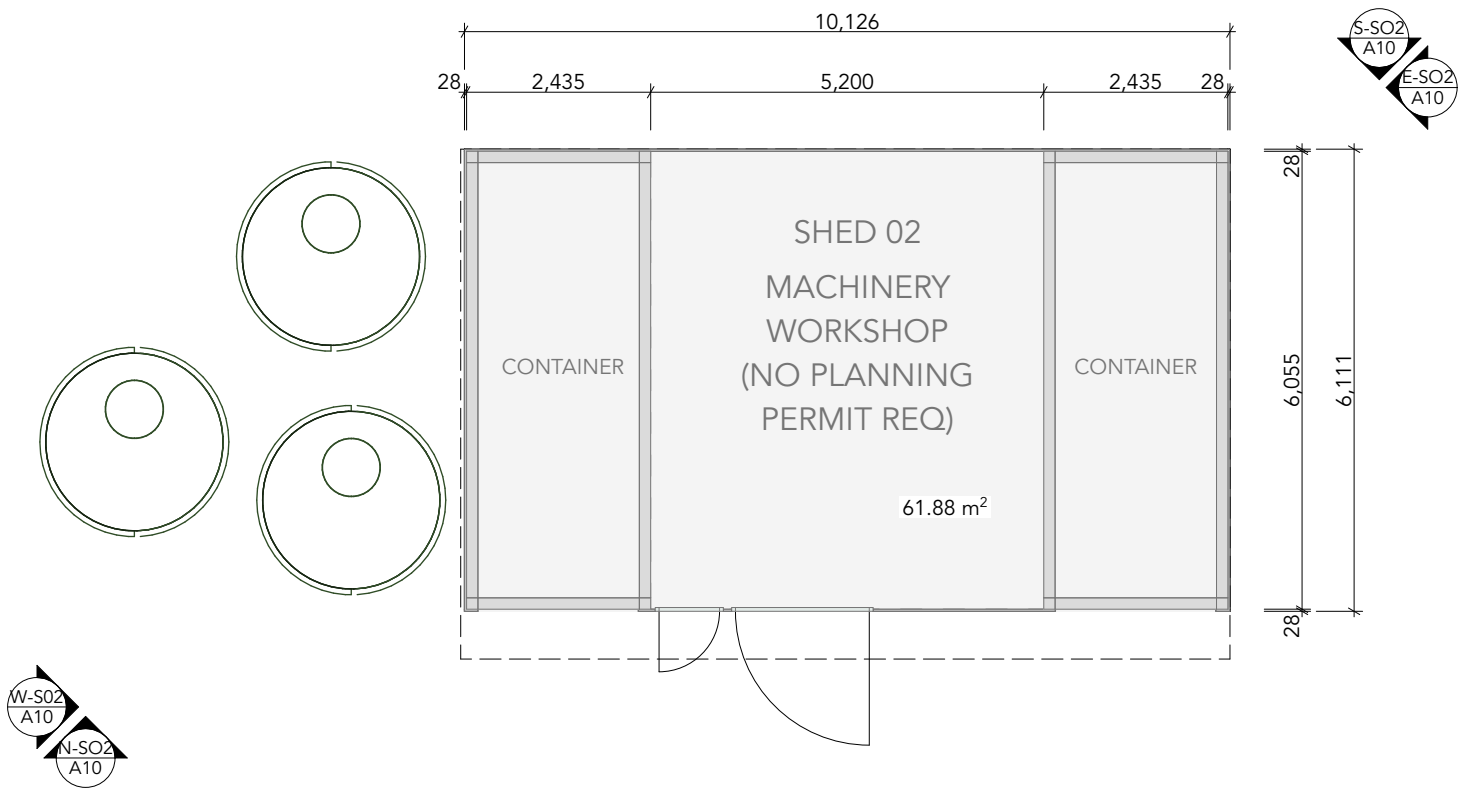
WESTERN ELEVATION 1:100



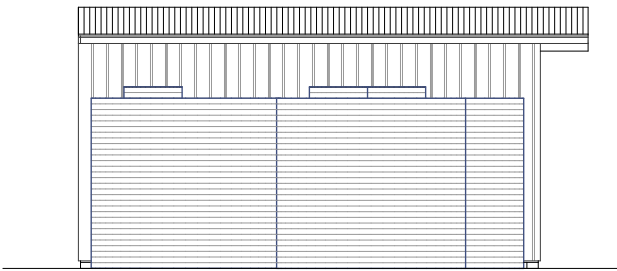
EASTERN ELEVATION 1:100

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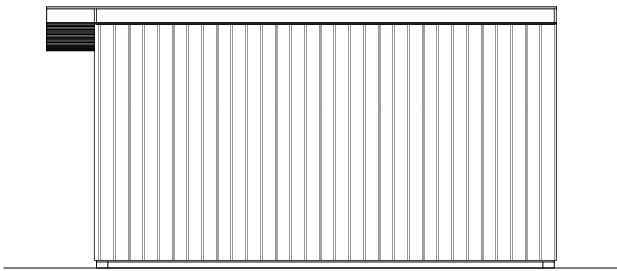
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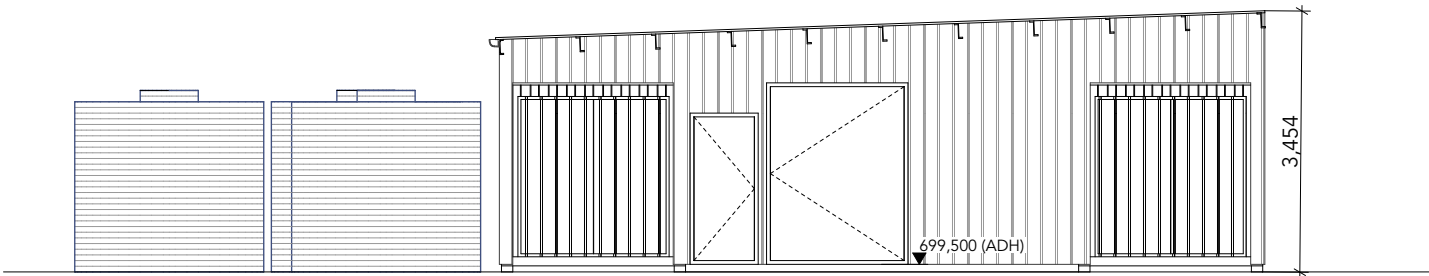
Floor Plan Shed 02 1:100



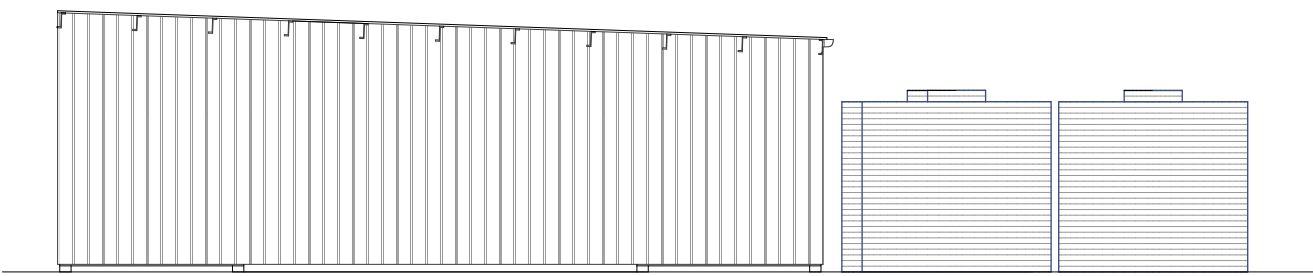
WESTERN ELEVATION 1:100



EASTERN ELEVATION 1:100

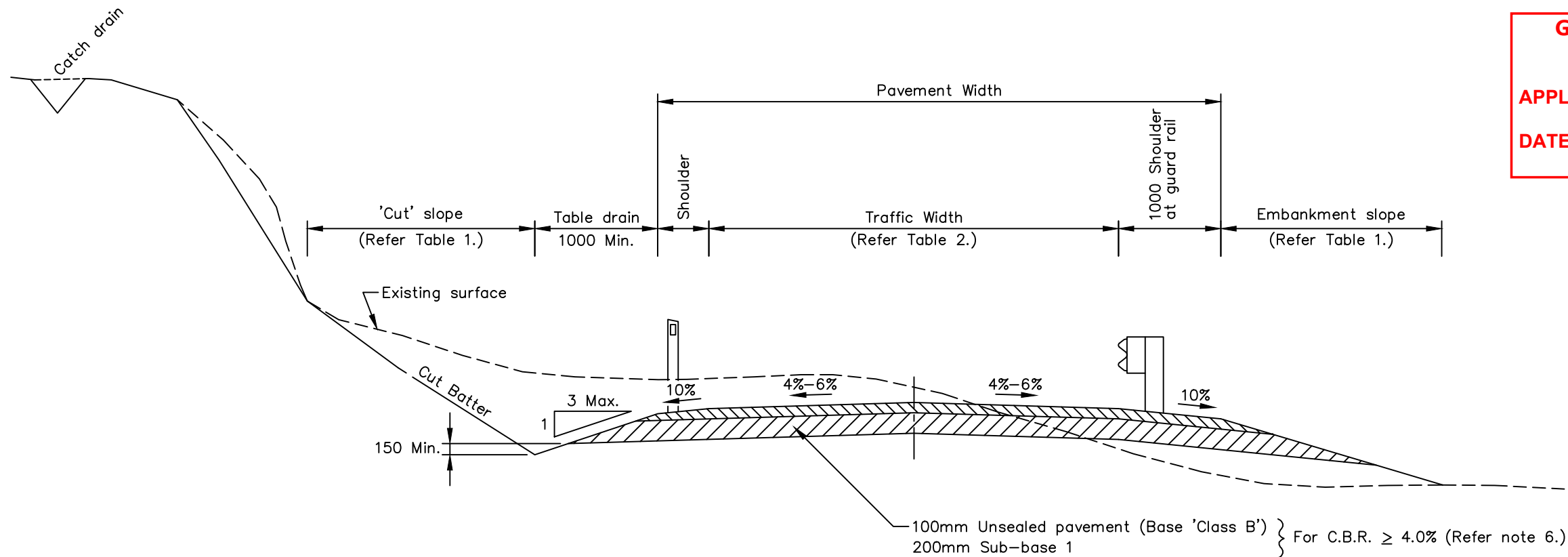


NORTHERN ELEVATION 1:100



SOUTHERN ELEVATION 1:100





TYPICAL CROSS SECTION  
SCALE 1 : 50

TABLE 1

SOIL / ROCK TYPE	EMBANKMENT		CUTTING	
	Vertical	Horizontal	Vertical	Horizontal
Solid Rock	—	—	1.00	0.25
Loose Rock	1.00	2.00	1.00	1.33
Sand	1.00	3.00	1.00	3.00
Stiff Clay	1.00	1.00	1.00	1.00
Soft Clay	1.00	3.00	1.00	1.50

TABLE 2

CODE*	A.A.D.T.	(w) TRAFFIC WIDTH	GRAVEL SHOULDER	VERGE	PAVEMENT WIDTH	LOGGING ROUTE	HEAVY VEHICLES	BUS ROUTE	Bends with < 60m sight line
US1	<30	4000 (S)	500	NO	5	NO	< 5%	NO	w + 1000
US2	30 – 100	4000 (S)	1000	NO	6	YES < 5%	< 5 %	YES	w + 1000
US3	100 – 300	5500 (D)	1000	NO	7.5	YES	< 10%	YES	w + 500
US4	> 300	6000 (D)	1000	NO	8	YES	> 10%	YES	w + 500

\*To satisfy a Road Class (eg. US3) the capability to comply with A.A.D.T, LOGGING ROUTE, HEAVY VEHICLE and BUS ROUTE is necessary.  
(S) – SINGLE LANE  
(D) – DUAL LANE

NOTES

1. Alignment to satisfy min. Design speed.
2. Roadside table drains, cut off drains and culverts to be installed to suit topography.
3. Provision for widening or passing bays may be required where sight distance requirements cannot be met or there are limited options for vehicles to pull off the road.
4. Refer Sheets TSD–R25, TSD–R28, TSD–R29 and TSD–R30 for Guide Post / Guard Rail installation.
5. Refer to Austroads AGRD–10 Part 6: Roadside Design, Safety and Barriers
6. Design of pavements to consider project traffic loading, sub–grade strength and comply with the procedures in either:
  - A.R.R.B. A.P.R.G. Report no. 21, A Guide to the Design of New Pavements for Light Traffic.
  - Austroads – Pavement Design (2004)  
‘A Guide To The Structural Design Of Road Pavements’