

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-24-272
<b>PROPOSED DEVELOPMENT:</b>	Three Multiple Dwellings (one existing and two new)
<b>LOCATION:</b>	3 Morriss Avenue Montrose
<b>APPLICANT:</b>	Pinnacle Drafting & Design
<b>ADVERTISING START DATE:</b>	25/07/2025
<b>ADVERTISING EXPIRY DATE:</b>	08/08/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **08/08/25**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **08/08/25** or for postal and hand delivered representations, by 5.00 pm on **08/08/25**.

# PINNACLE

GLENORCHY CITY COUNCIL  
PLANNING SERVICES

APPLICATION No    PLN-24-272

DATE RECEIVED    22/07/25



## 3 Morriss Ave, Montrose 7010

Owner(s) or Clients	Amandeep Singh	Title Reference	60985/13
Building Classification	1a	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	1241m <sup>2</sup>
Total Floor Area (Combined)	Refer to Floor Plans	Design Wind Speed	TBA
Alpine Area	N/A	Soil Classification	TBA
Other Hazards	N/A	Climate Zone	7
<small>(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow &amp; ice, or other relevant factors)</small>		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	TBA

ID	Sheet Name	Issue
A0.01	Location Plan	DA - 04
A0.02	Site Plan - Existing	DA - 04
A0.03	Site Plan - Demolition	DA - 04
A0.04	Site Plan - Proposed	DA - 04
A0.05	Site Elevations	DA - 04
A1.01	U1 - Floor Plan	DA - 04
A1.02	U1 - Elevations	DA - 04
A1.03	U1 - Elevations	DA - 04
A1.04	U1 - Roof Plan	DA - 04
A1.05	U1 - Electrical Plan	DA - 04
A2.01	U2 - Floor Plan	DA - 04
A2.02	U2 - Elevations	DA - 04
A2.03	U2 - Elevations	DA - 04
A3.01	U3 - Floor Plan	DA - 04
A3.02	U3 - Elevations	DA - 04
A3.03	U3 - Elevations	DA - 04
A3.04	U3 - Roof Plan	DA - 04
A3.05	U3 - Electrical Plan	DA - 04
C.01	Parking	DA - 04

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Site Areas

Site Area	1241 m <sup>2</sup>
Building Footprint	387.58 m <sup>2</sup>
Total Site Coverage	407.89 m <sup>2</sup>
Total Site Coverage	32.87%

PINNACLE

PINNACLE DRAFTING & DESIGN  
7/3 Abernant Way, Cambridge 7170  
03 6248 4218  
admin@pinnacledrafting.com.au  
www.pinnacledrafting.com.au  
Licence: CC6073Y

Location Plan

Revision:  
Approved by:

DA - 04  
JRN

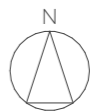
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Pg. No:  
A0.01

Proposal: Unit Development  
Client: Amandeep Singh  
Address: 3 Morriss Ave, Montrose 7010

Date: 06/05/2025  
Drawn by: MM  
Job No: 070-2023  
Engineer: TBA  
Building Surveyor: TBA

Issue	Date
DA - 02	06.05.2025
DA - 03	25.06.2025
DA - 04	22.07.2025

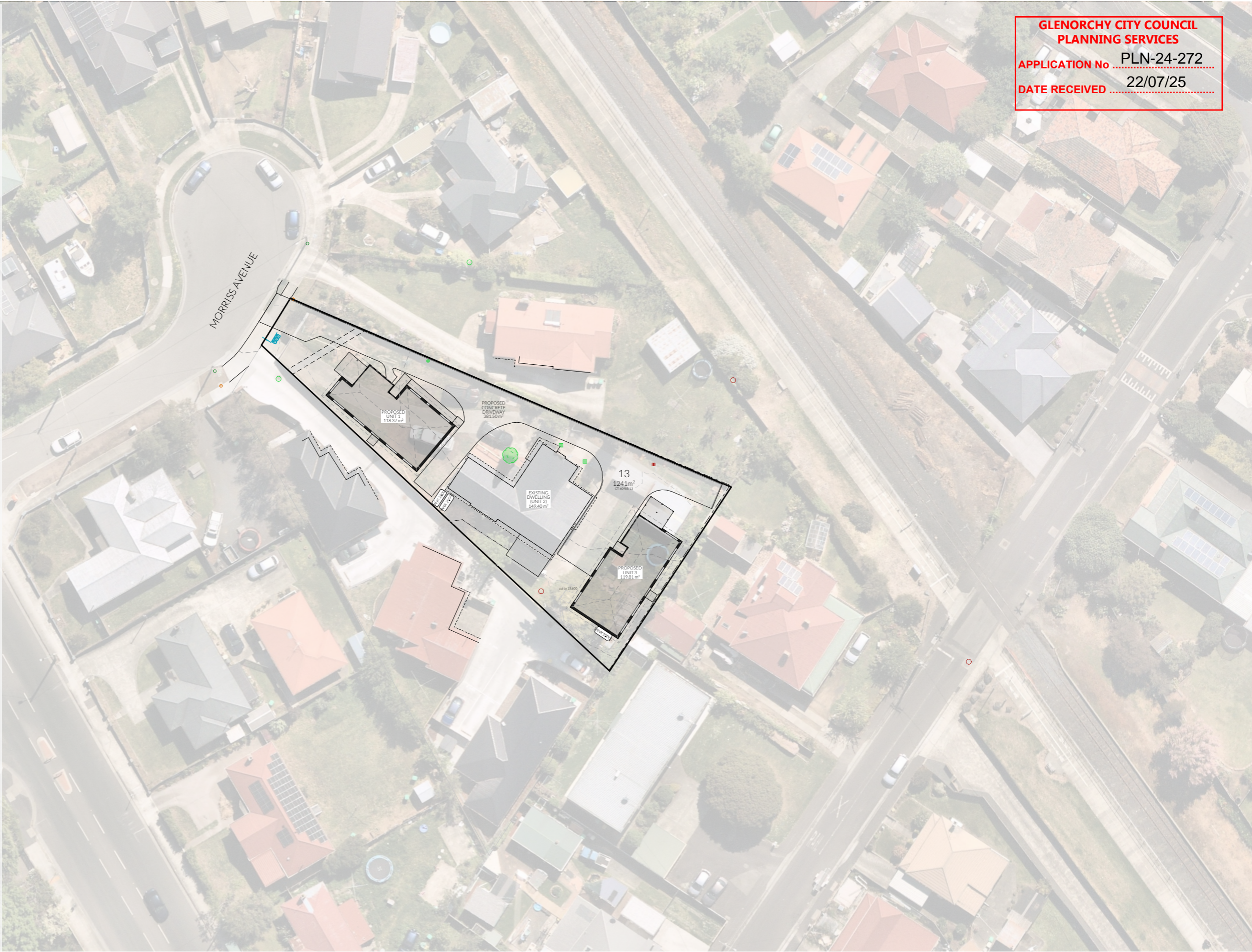
Description
Council RFI
Update plans to match civil design
fix missing pages in PDF



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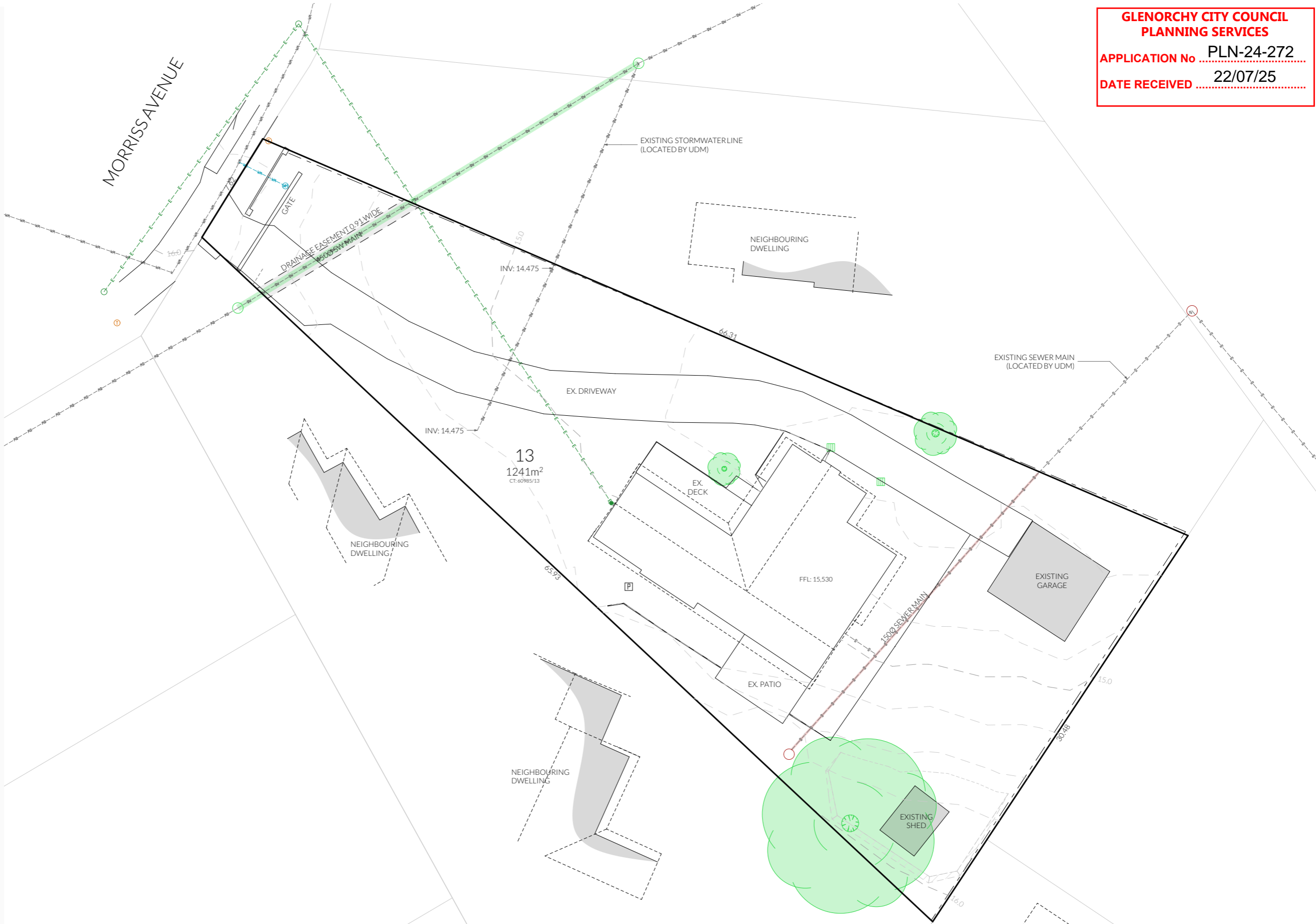


GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No PLN-24-272  
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PLANNING SERVICES

APPLICATION No .....

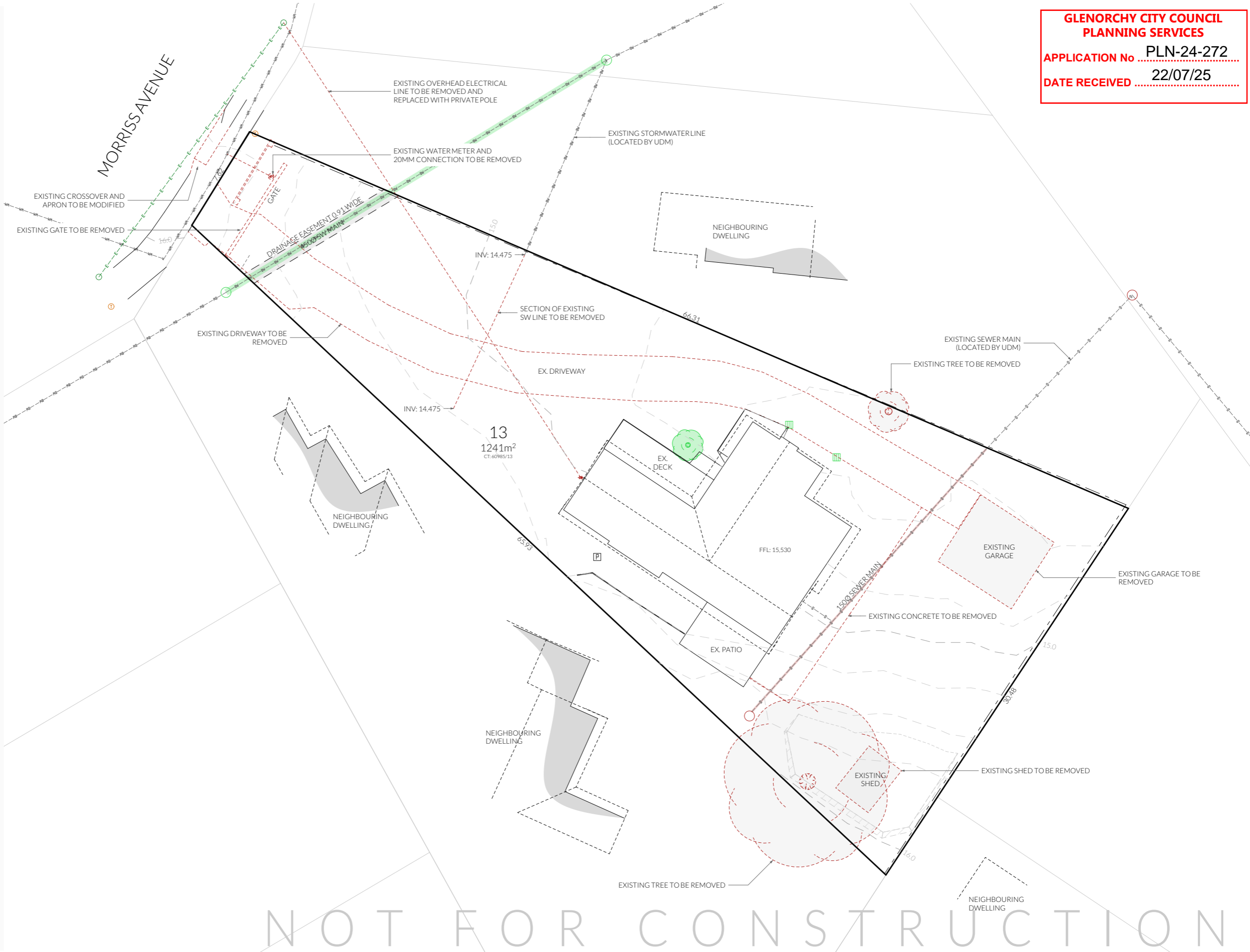
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PLN-24-272  
22/07/25

PINNACLE  Licence: CC6073Y	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Site Plan - Existing	Scale: <b>1:250</b> @ A3  Pg. No: <b>A0.02</b>	Proposal: Unit Development  Client: Amandeep Singh  Address: 3 Morriss Ave, Montrose 7010	Date: 06/05/2025 Drawn by: MM Job No: 070-2023 Engineer: TBA Building Surveyor: TBA	Issue Date Description DA - 02 06.05.2025 Council RFI DA - 03 25.06.2025 Update plans to match civil design DA - 04 22.07.2025 fix missing pages in PDF		These drawing are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS; All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	
	Revision: DA - 04 Approved by: JRN								

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Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

- Surface water must be diverted away from a Class 1 building as follows:
- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
- (i) 25mm over the first 1m from the building
- (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
- (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
- (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than
- (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
- (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
- (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

- Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-
- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

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Site Plan - Proposed

Revision:  
Approved by:

DA - 04  
JRN

Scale:  
1:250 @ A3  
Pg. No:  
A0.04

Proposal: Unit Development  
Client: Amandeep Singh  
Address: 3 Morriss Ave, Montrose 7010

Date: 06/05/2025  
Drawn by: MM  
Job No: 070-2023  
Engineer: TBA  
Building Surveyor: TBA

Issue	Date	Description
DA - 02	06.05.2025	Council RFI
DA - 03	25.06.2025	Update plans to match civil design
DA - 04	22.07.2025	fix missing pages in PDF



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Site Elevation - North East Elevation

1:150

**NOTE**  
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:  
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,  
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2  
Riser: Min 115mm - Max 190mm      Going: Min 240mm - Max 355mm      Slope (2R+G): Max 550 - Min 700

PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Site Elevations	Scale: <b>1:150</b> @ A3 Pg. No: <b>A0.05</b>	Proposal: Unit Development Client: Amandeep Singh Address: 3 Morriss Ave, Montrose 7010	Date: 06/05/2025 Drawn by: MM Job No: 070-2023 Engineer: TBA Building Surveyor: TBA	Issue    Date DA - 02   06.05.2025 DA - 03   25.06.2025 DA - 04   22.07.2025	Description Council RFI Update plans to match civil design fix missing pages in PDF	These drawing are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS; All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	



Ⓢ Smoke Alarm

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

All paths and patios to fall away from dwelling.

All stairs to be constructed in accordance with NCC  
Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

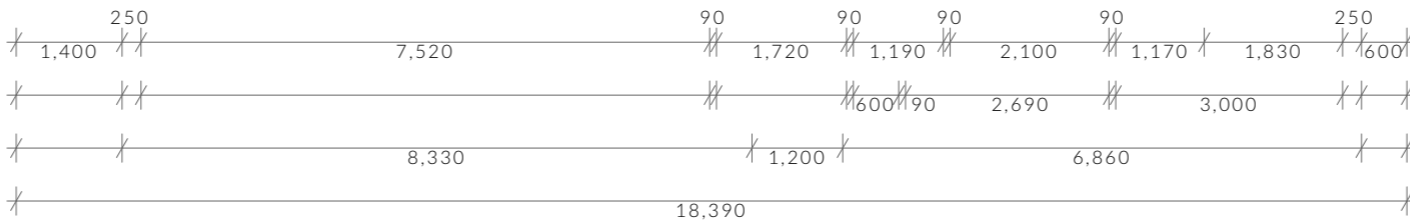
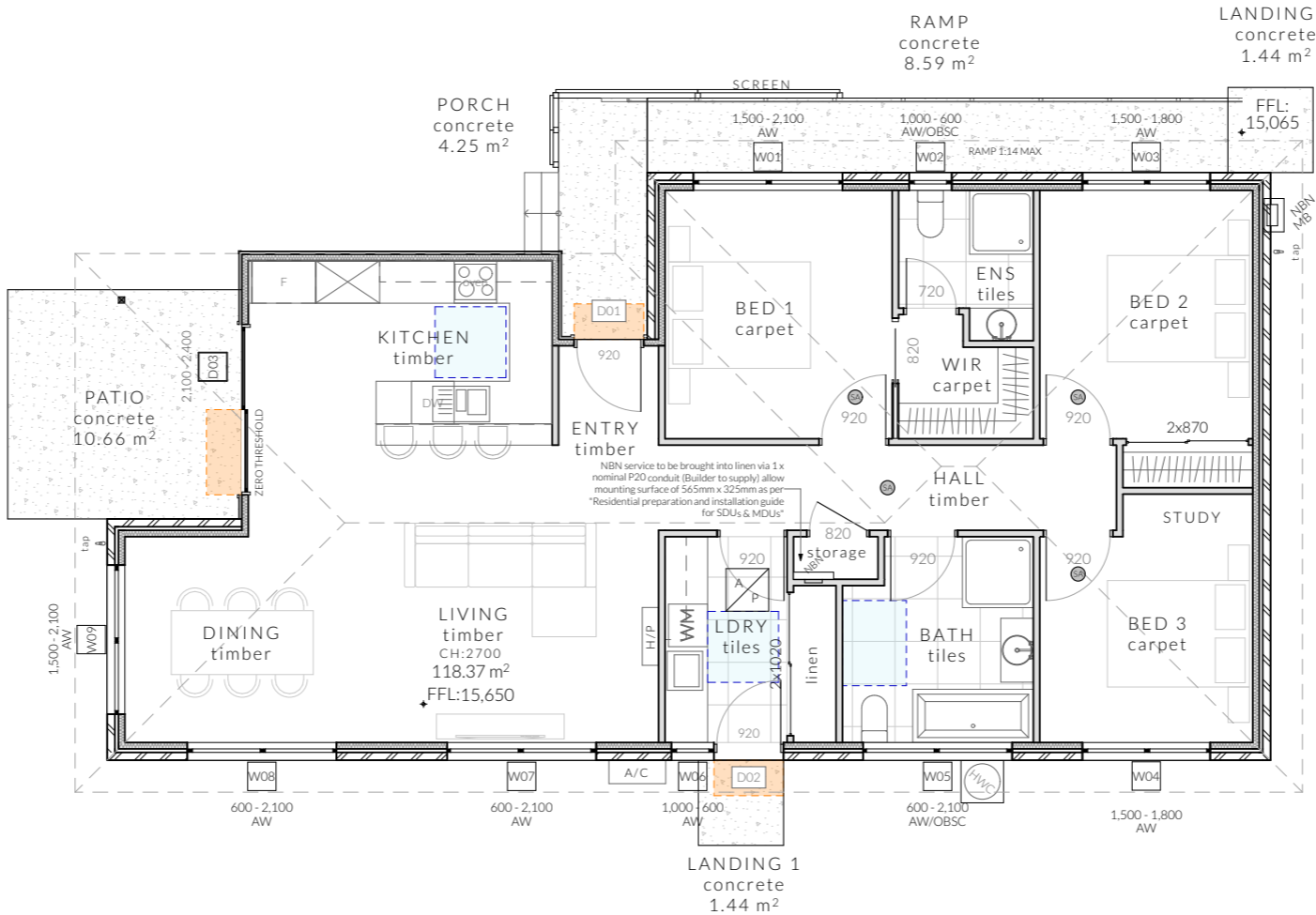
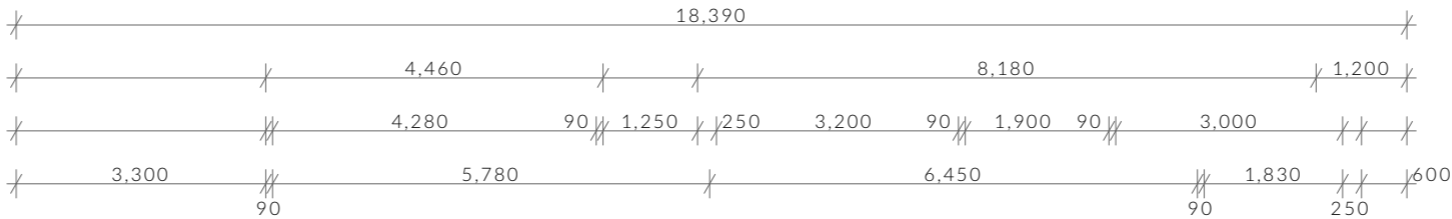
Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms and other spaces must not be less than;

- (a) in a *habitable room* excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
- (f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Total Floor Area	118.37m <sup>2</sup>
Patio	10.66m <sup>2</sup>
Porch	4.25m <sup>2</sup>
Landing 1	1.44m <sup>2</sup>
Landing 2	1.44m <sup>2</sup>
Ramp	8.59m <sup>2</sup>

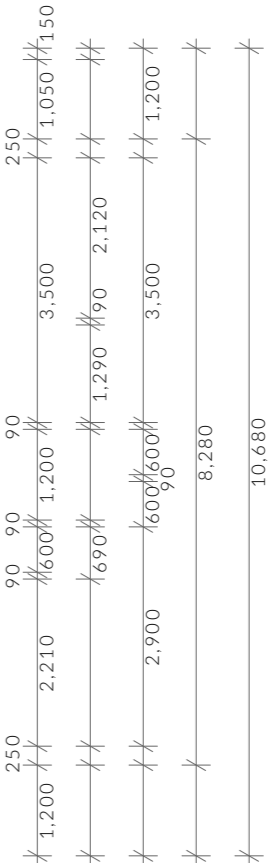


Unit to be wheelchair accessible.  
Unit to comply with NDIS SDA Improved  
liveability

- Circulation space
- Gradient for step ramp

**APPLICATION No** PLN-24-272

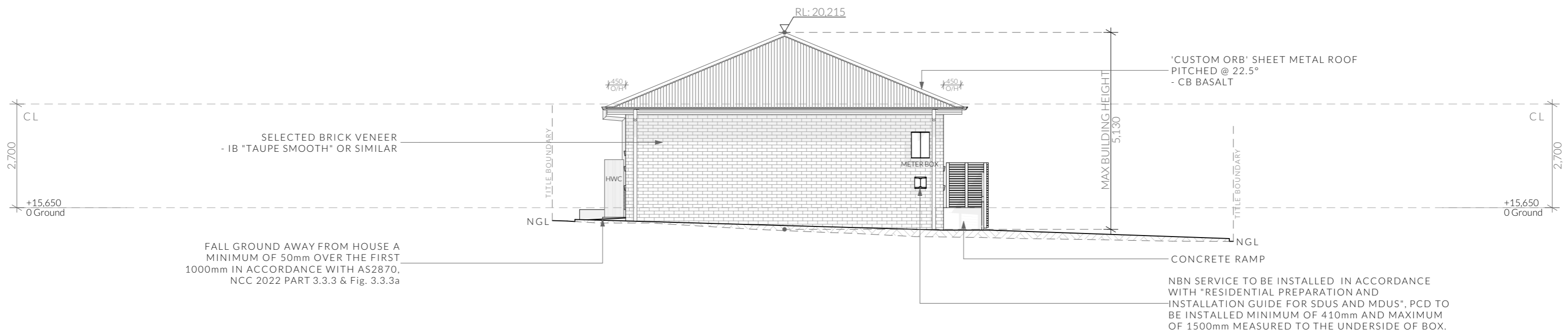
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U1 - North East Elevation

1:100



U1 - South East Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:  
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,  
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2  
Riser: Min 115mm - Max 190mm                      Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

Scale:  
**1:100** @ A3  
Pg. No:  
**A1.02**

Proposal: Unit Development  
Client: Amandeep Singh  
Address: 3 Morriss Ave, Montrose 7010

Date: 06/05/2025  
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# PINNACLE

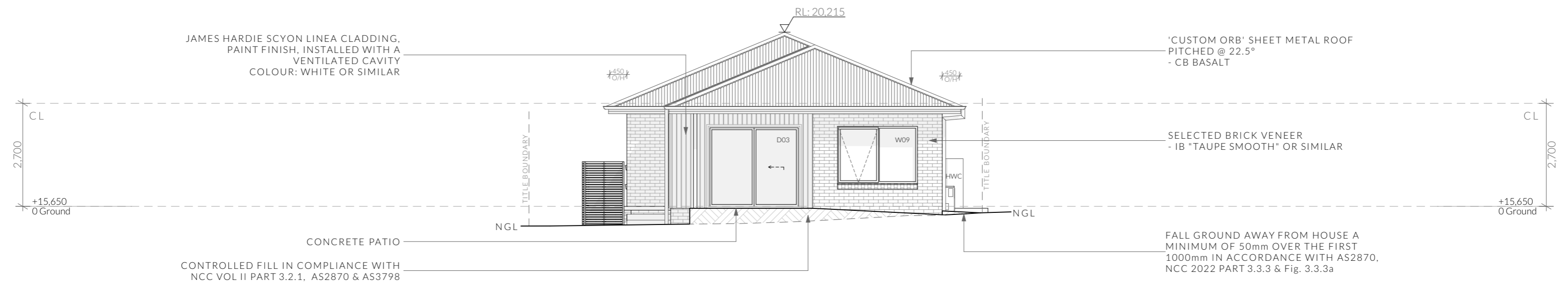
### U1 - Elevations

Revision: DA - 04  
Approved by: JRN



U1 - South West Elevation

1:100



U1 - North West Elevation

1:100

**NOTE**  
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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a)is located-
  - (i)immediately above the primary insulation layer; or
  - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
  - (iii)immediately above ceiling insulation; and
- (b)has a height of not less than 20 mm; and
- (c)is either-
  - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
  - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a)comply with AS/NZS 2908.2 or ISO 8336; and
- (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
  - (i) 2.8 × 30 mm fibre-cement nails; or
  - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
  - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
>15° AND <75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling
(1)Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	

GLENORCHY CITY COUNCIL

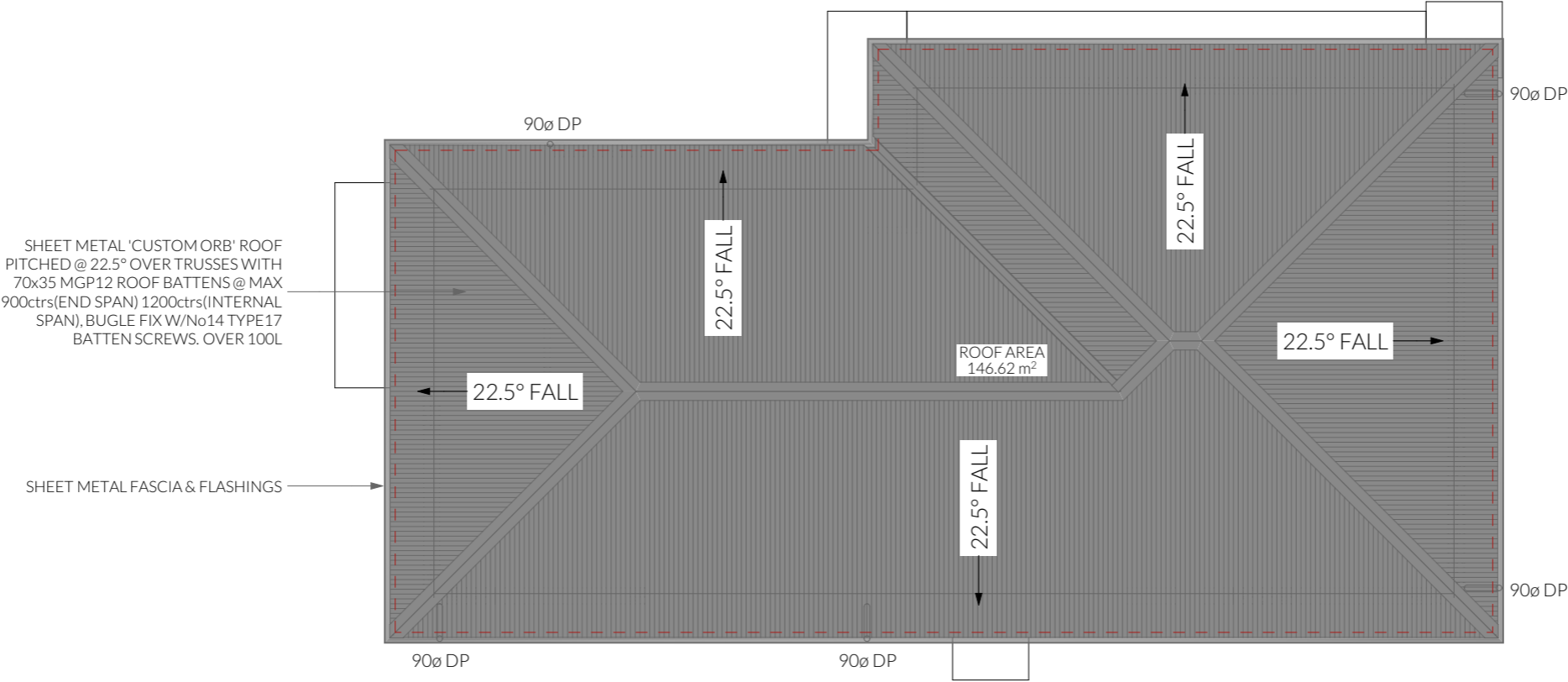
PLANNING SERVICES

APPLICATION No

PLN-24-272

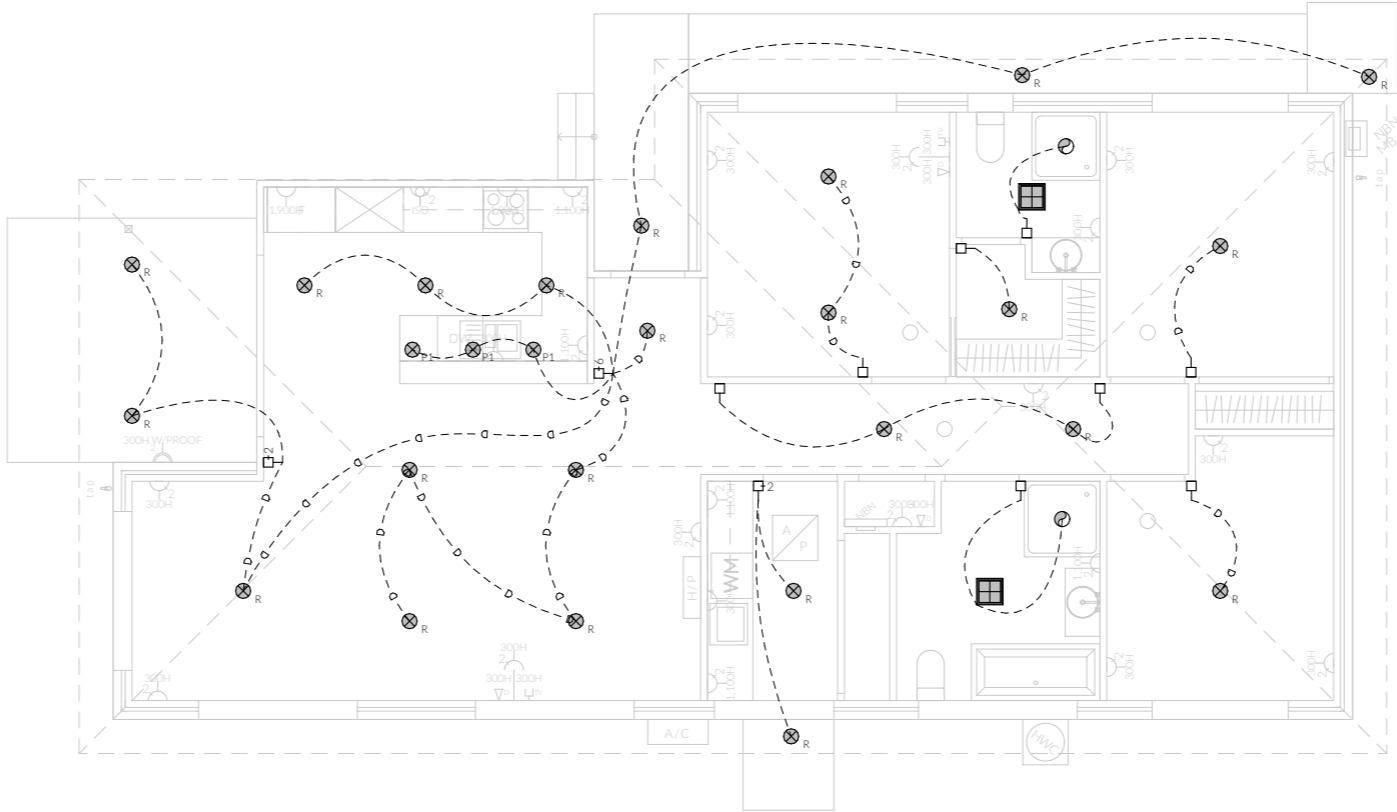
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ELECTRICAL LEGEND - UNIT 1 - Lower Floor

Symbol	Description	Allowance	Quantity
300H ▽ <sub>D</sub>	DATA- CAT 6 (RJ45) - 1 GANG		3
300H └┐ <sub>TV</sub>	DATA- TV CONNECTION		2
	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
	FAN - CEILING - EX-HAUST		2
300H ○	GPO - (1) SINGLE		4
300H ○	GPO - (2) DOUBLE		20
300H ○	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
300H ○	GPO - WEATHER PROOF DOUBLE		1
	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	23
	LIGHT - CEILING - PENDANT - TYPE 1	10W	3
	SERVICE - SMOKE ALARM		4
	SWITCH - LIGHT 1 GANG		8
	SWITCH - LIGHT 2 GANG		2
	SWITCH - LIGHT 6 GANG		1



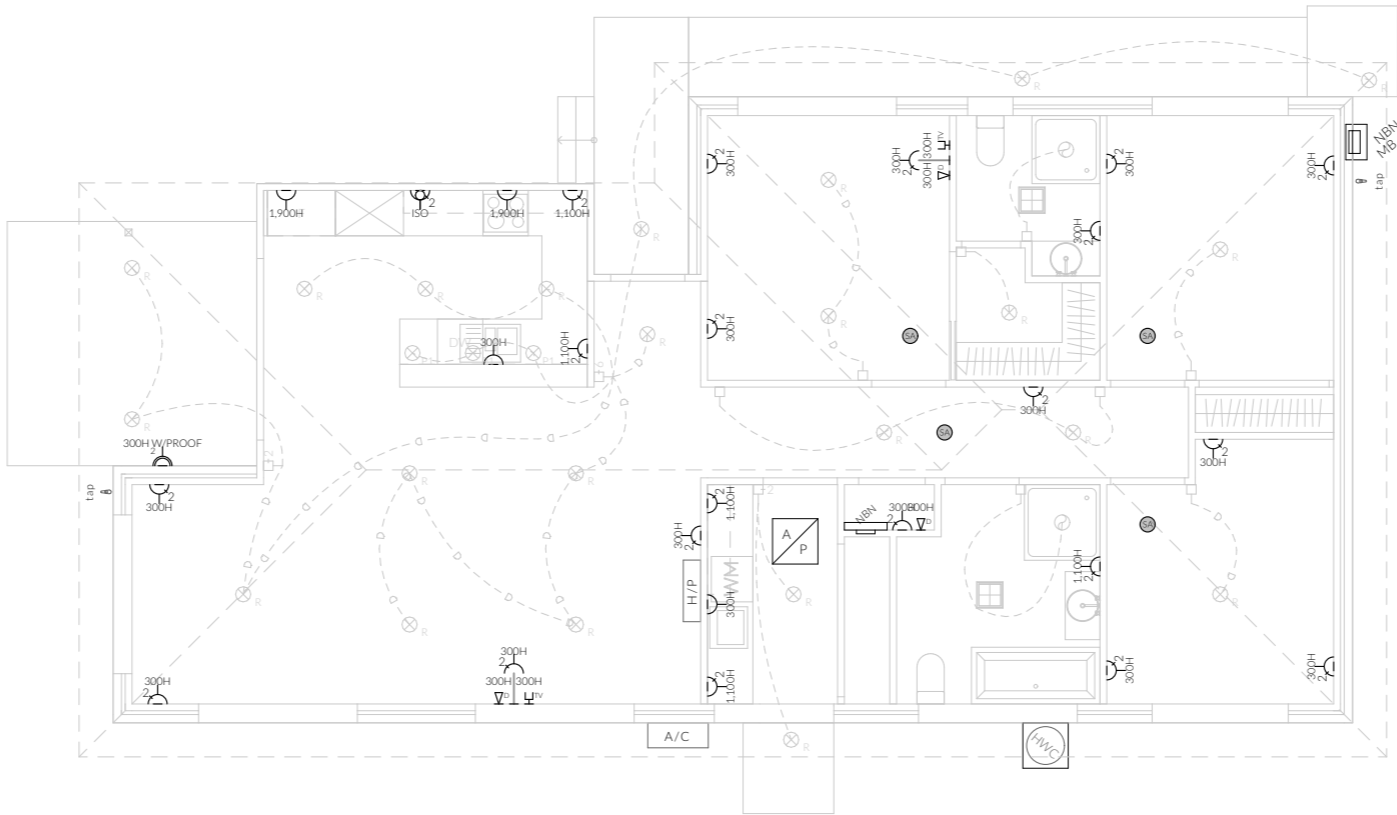
Electrical Plan - Lower - Light/Reflected Ceiling - U1

Smoke Alarms Part 9.5 of NCC 2022

- Smoke alarms must-
- (a) be located in-
    - (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
    - (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and
  - (b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
  - (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

- In a Class 1a building, smoke alarms must be located in-
- (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
  - (b) each other storey not containing bedrooms.

- Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:
- (a) Where a smoke alarm is located on the ceiling it must be-
    - (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
    - (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
  - (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.



Electrical Plan - Lower - Power - U1

Note: Exhaust Fans

- Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
    - (a) 25 L/s for a bathroom or sanitary compartment; and
    - (b) 40 L/s for a kitchen or laundry.
  - Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
  - Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
  - An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
    - (a) be interlocked with the room’s light switch; and
    - (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

- Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:
- 5W/m² in class 1a dwellings
  - 4W/m² to veranda, balcony or the like
  - 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.

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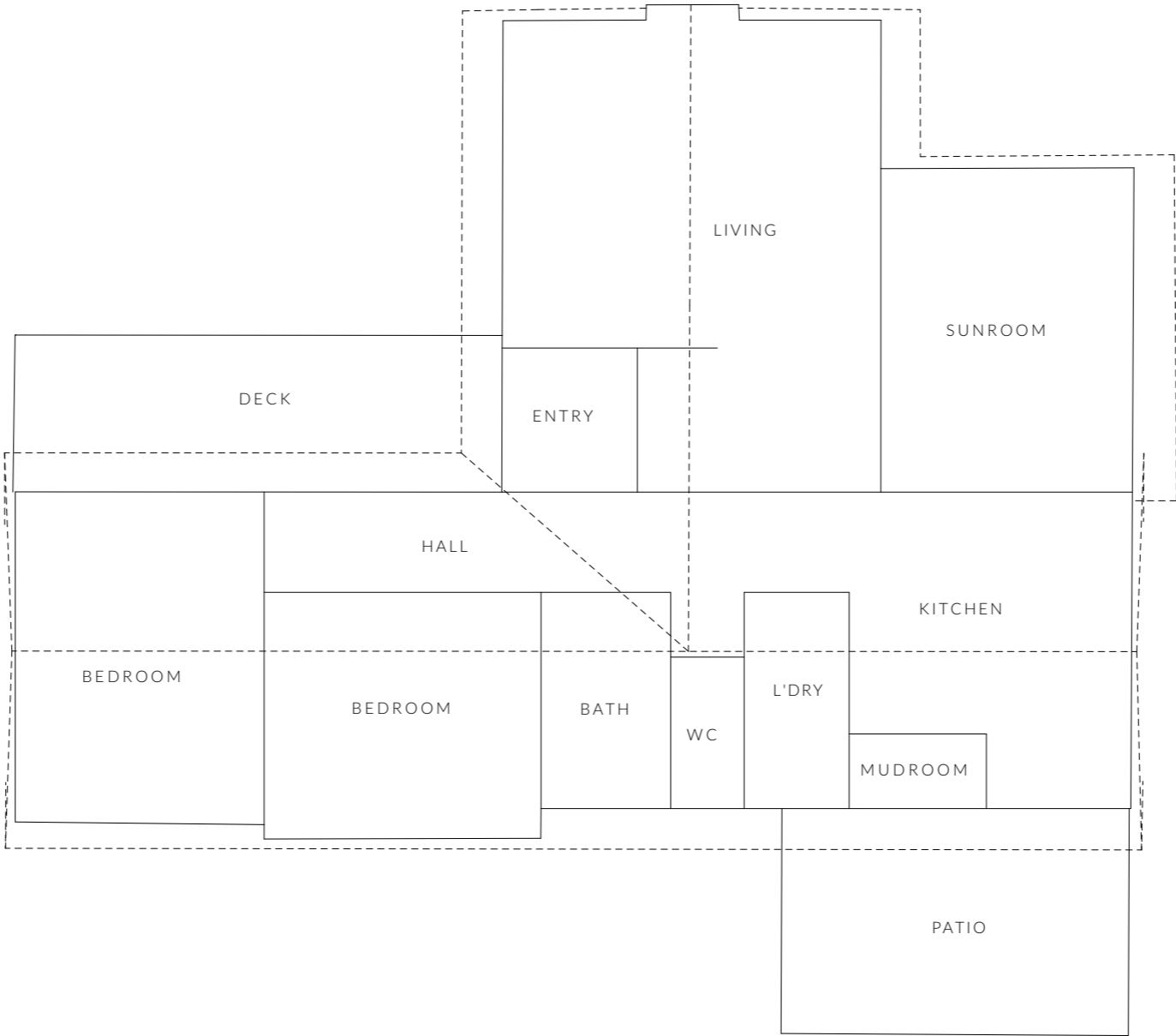
Notes

U.N.O ceilings are to be plasterboard.

- D---D Dimmable Circuit
- T---T Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

**Important Note**  
Existing plans have been derived from survey data and real estate information

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
**APPLICATION No** ..... **PLN-24-272**  
**DATE RECEIVED** ..... **22/07/25**



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Licence: CC6073Y

**U2 - Floor Plan**

Revision: **DA - 04**  
Approved by: **JRN**

Scale: **1:100** @ A3  
Pg. No: **A2.01**

Proposal: Unit Development  
Client: Amandeep Singh  
Address: 3 Morriss Ave, Montrose 7010

Date: 06/05/2025  
Drawn by: MM  
Job No: 070-2023  
Engineer: TBA  
Building Surveyor: TBA

Issue	Date	Description
DA - 02	06.05.2025	Council RFI
DA - 03	25.06.2025	Update plans to match civil design
DA - 04	22.07.2025	fix missing pages in PDF



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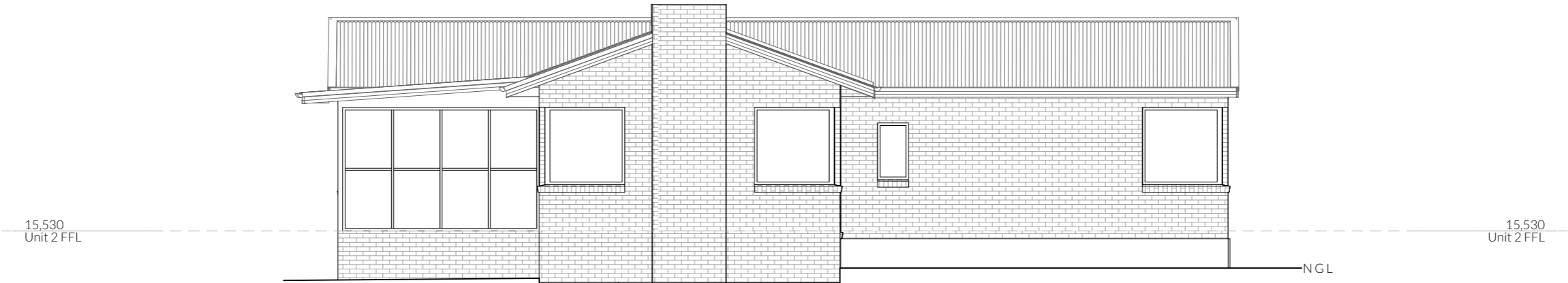


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GLENORCHY CITY COUNCIL  
PLANNING SERVICES

APPLICATION No PLN-24-272

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U2 - North East Elevation

1:100



U2 - South East Elevation

1:100

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U2 - Elevations

Revision: DA - 04  
Approved by: JRN

Scale: 1:100 @ A3  
Pg. No: A2.02

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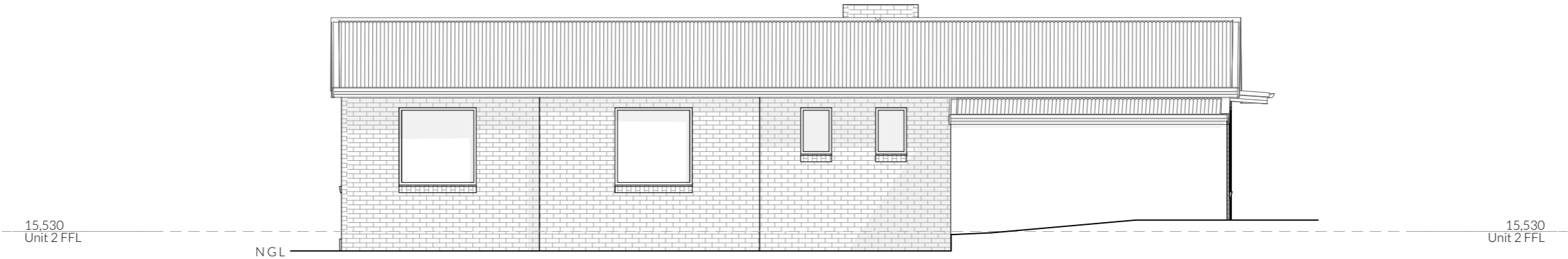
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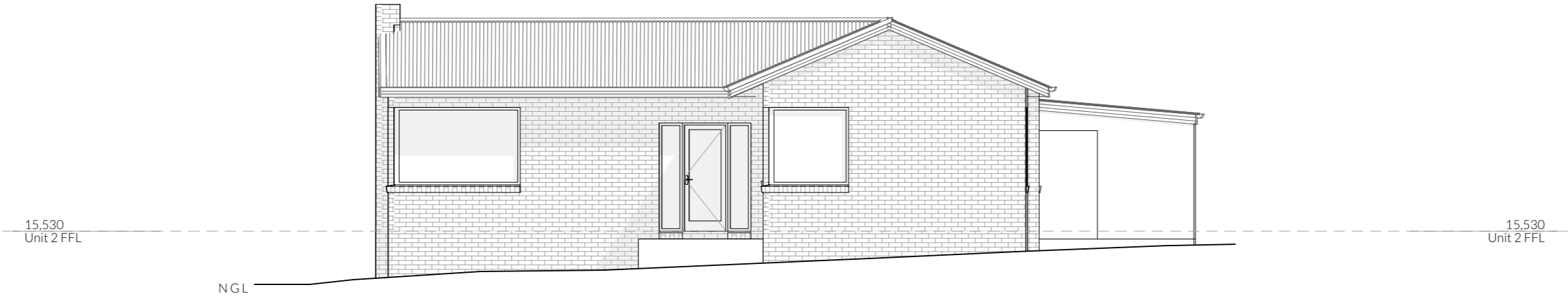
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**PLANNING SERVICES**

**APPLICATION No** PLN-24-272  
**DATE RECEIVED** 22/07/25



U2 -South West Elevation

1:100



U2 - North West Elevation

1:100

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- A

P
- Access Panel
- A

J
- Articulation Joint
- S

A
- Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:  
Riser: Min 115mm - Max 190mm  
Going: Min 240mm - Max 355mm  
Slope (2R+G): Max 550 - Min 700  
For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces

10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

(a) in a *habitable room* excluding a kitchen - 2.4 m; and

(b) in a kitchen - 2.1 m; and

(c) in a corridor, passageway or the like - 2.1 m; and

(d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and

(e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas

Total Floor Area	119.81m <sup>2</sup>
Patio	11.96m <sup>2</sup>
Porch	2.06m <sup>2</sup>
Landing 1	1.44m <sup>2</sup>
Landing 2	1.44m <sup>2</sup>
Path	3.20m <sup>2</sup>

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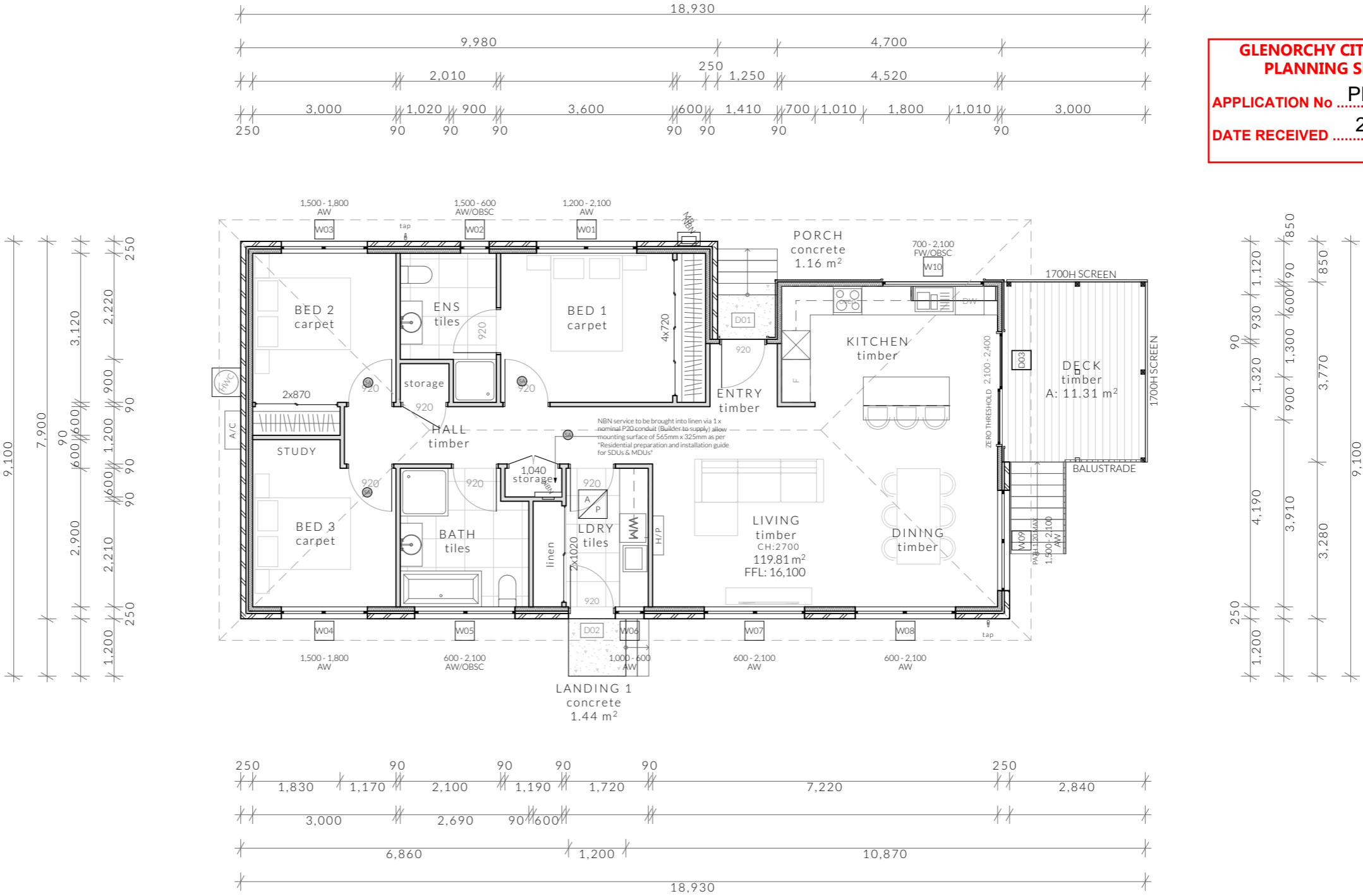
Unit to be wheelchair accessible.  
Unit to comply with NDIS SDA Improved liveability

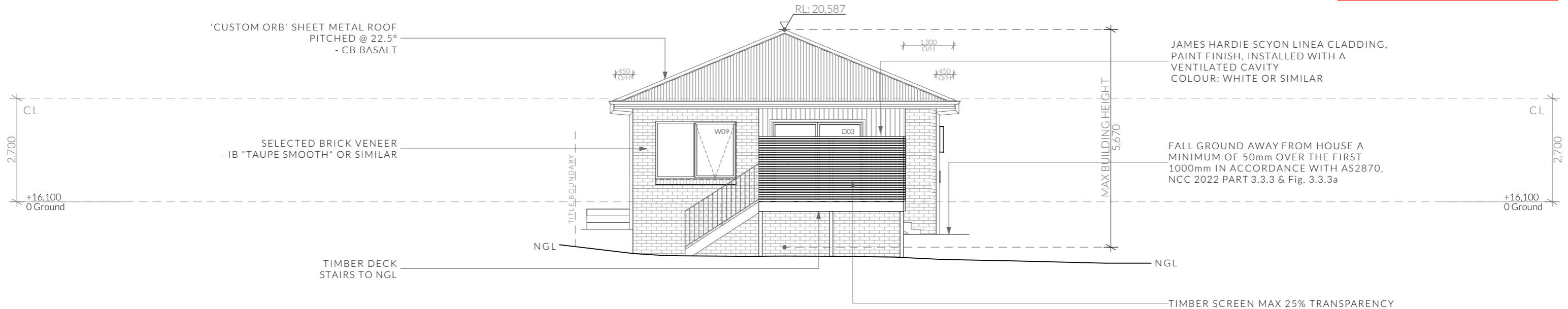
- 
- Circulation space
- 
- Gradient for step ramp

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U3 - North East Elevation

1:100



U3 - South East Elevation

1:100

**NOTE**  
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:  
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,  
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through,  
and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2  
Riser: Min 115mm - Max 190mm  
Going: Min 240mm - Max 355mm  
Slope (2R+G): Max 550 - Min 700

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U3 - Elevations

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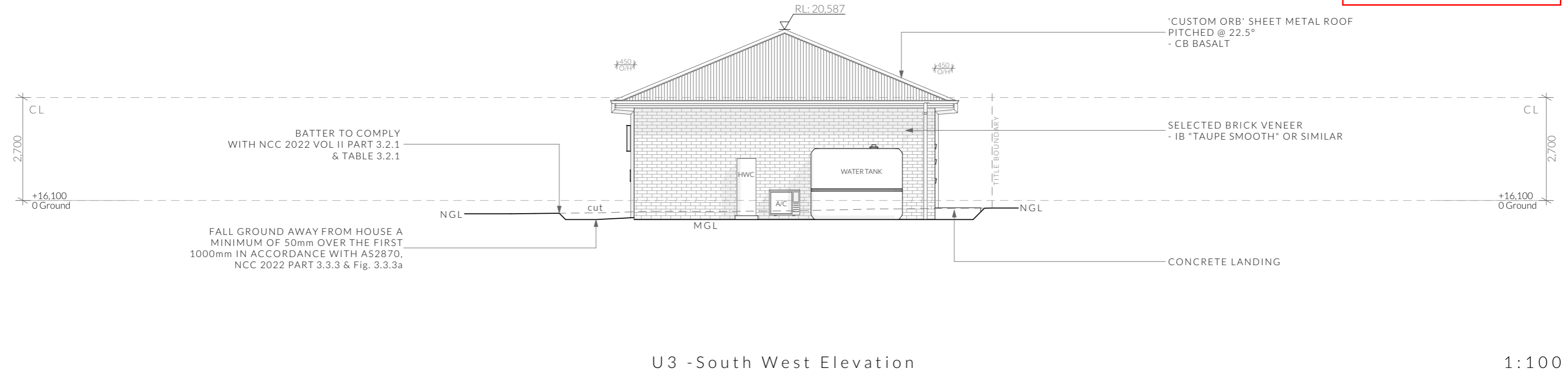
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ASSOCIATION OF AUSTRALIA



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Riser: Min 115mm - Max 190mm      Going: Min 240mm - Max 355mm      Slope (2R+G): Max 550 - Min 700

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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a)is located-
  - (i)immediately above the primary insulation layer; or
  - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
  - (iii)immediately above ceiling insulation; and
- (b)has a height of not less than 20 mm; and
- (c)is either-
  - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
  - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a)comply with AS/NZS 2908.2 or ISO 8336; and
- (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
  - (i) 2.8 × 30 mm fibre-cement nails; or
  - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
  - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
>15° AND <75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling
(1)Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	

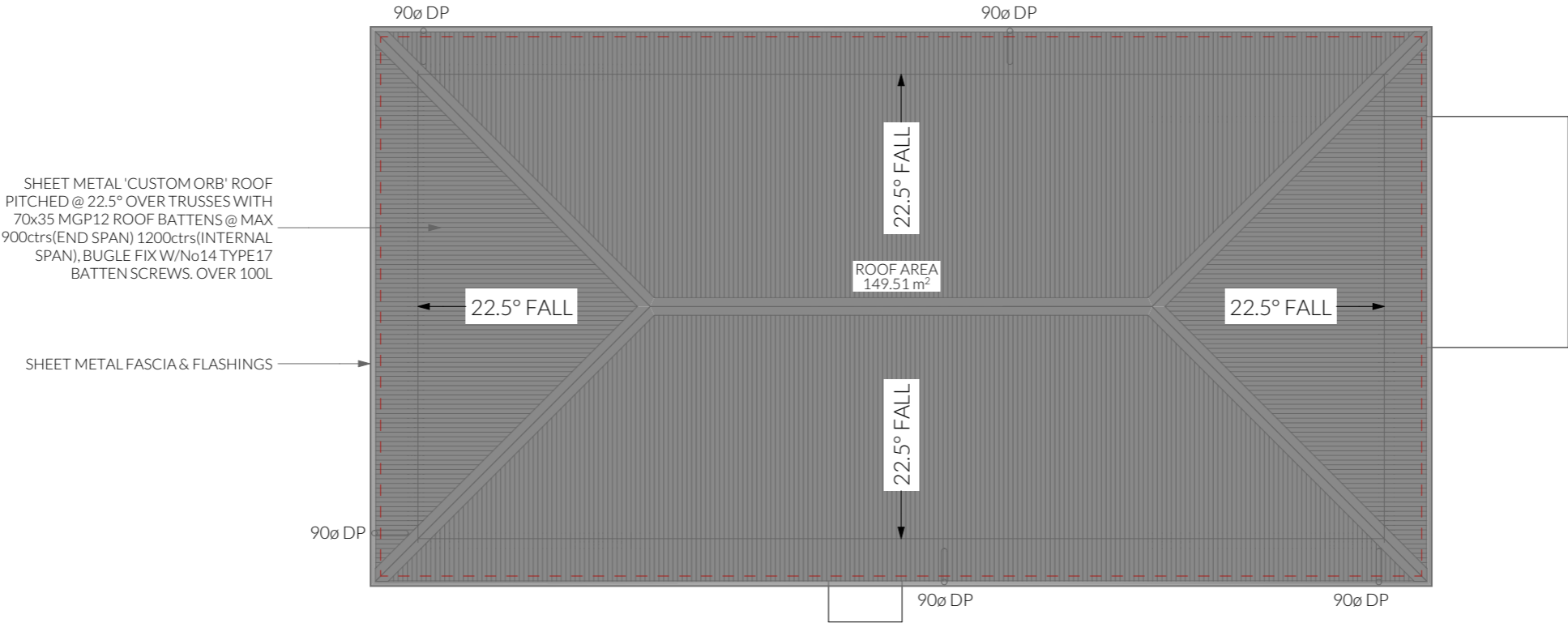
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













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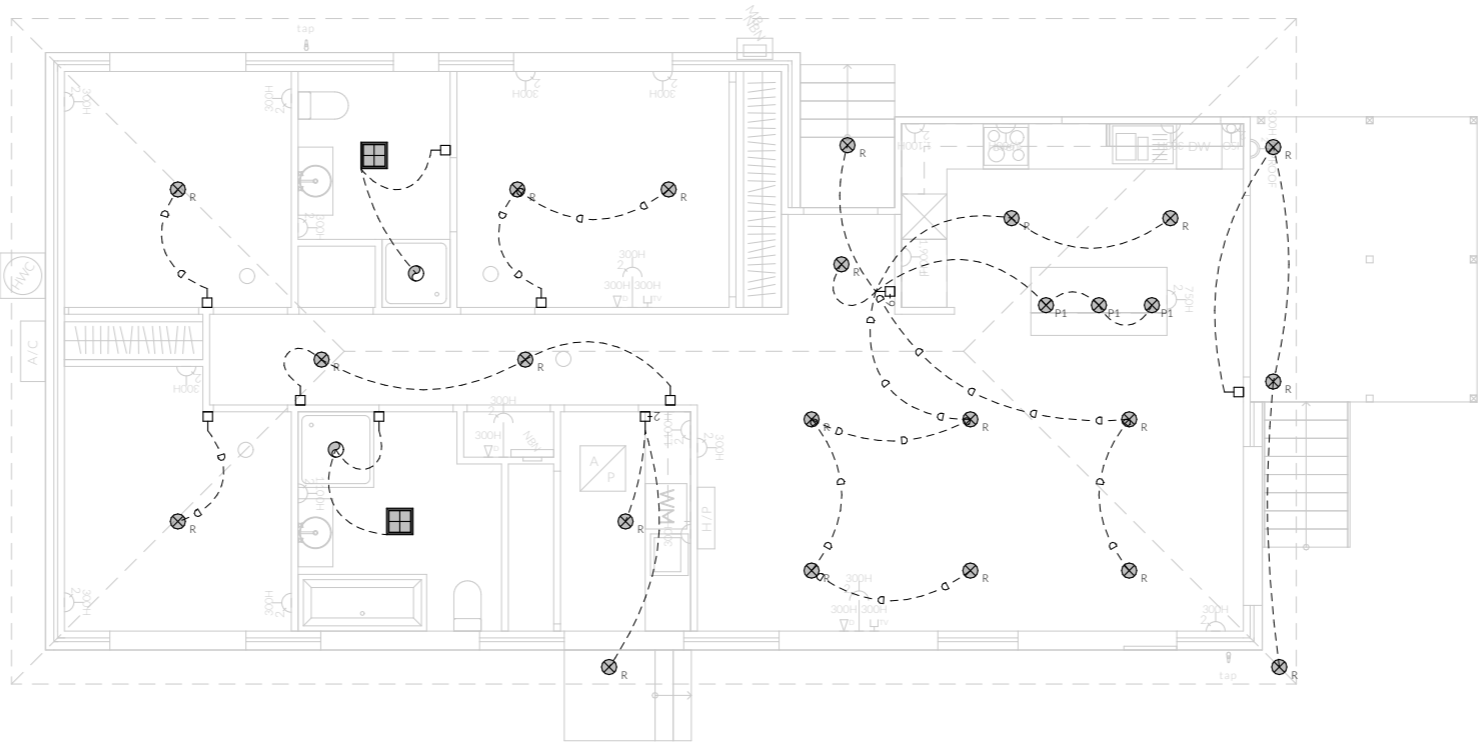


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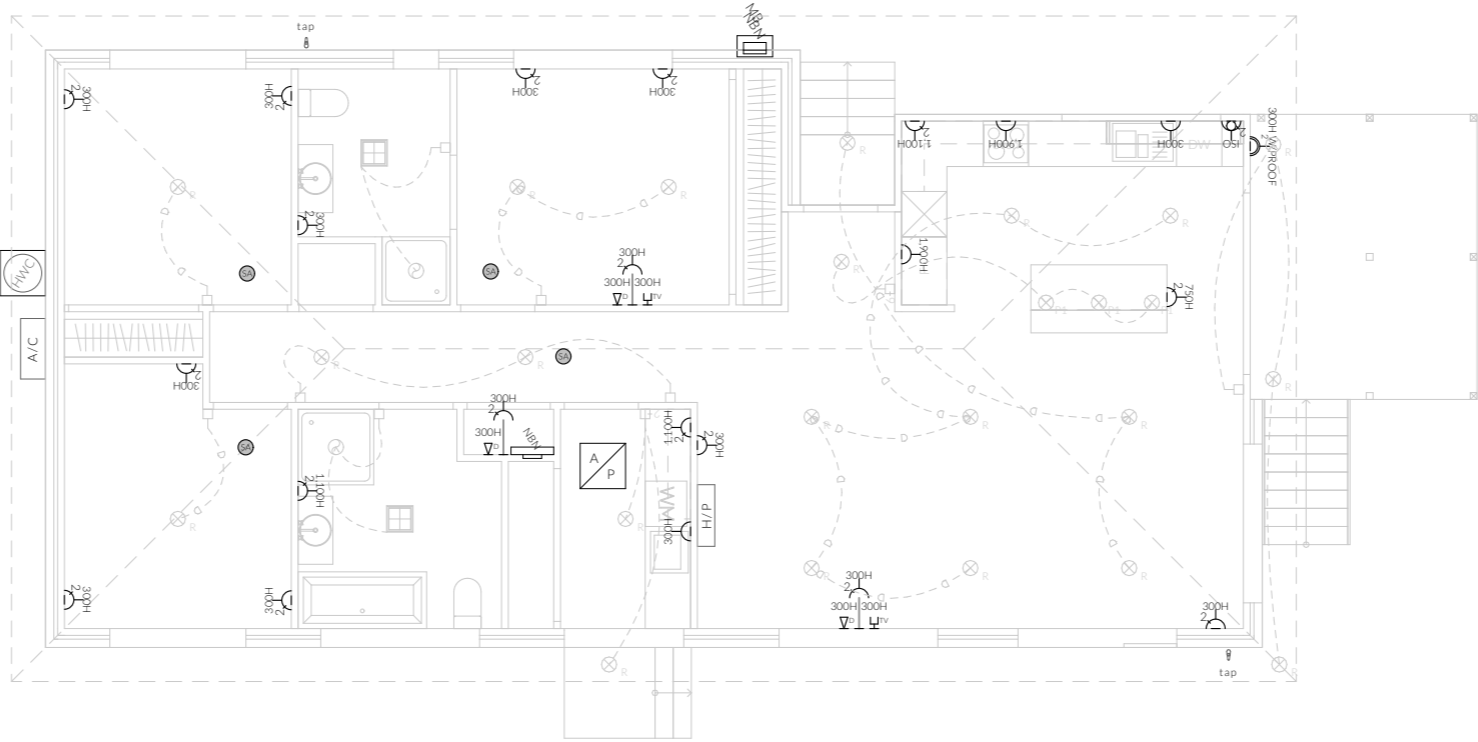
PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U3 - Roof Plan	Scale: <b>1:100</b> @ A3 Pg. No: <b>A3.04</b>	Proposal: Unit Development Client: Amandeep Singh Address: 3 Morriss Ave, Montrose 7010	Date: 06/05/2025 Drawn by: MM Job No: 070-2023 Engineer: TBA Building Surveyor: TBA	Issue Date DA - 02 06.05.2025 DA - 03 25.06.2025 DA - 04 22.07.2025	Description Council RFI Update plans to match civil design fix missing pages in PDF		These drawing are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS; All Contractors are to verify dimensions on site before commencing any orders, works or requesting/ producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	

ELECTRICAL LEGEND - UNIT 3 - Lower Floor

Symbol	Description	Allowance	Quantity
	DATA- CAT 6 (RJ45) - 1 GANG		3
	DATA- TV CONNECTION		2
	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
	FAN - CEILING - EXHAUST		2
	GPO - (1) SINGLE		4
	GPO - (2) DOUBLE		17
	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
	GPO - WEATHER PROOF DOUBLE		1
	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	21
	LIGHT - CEILING - PENDANT - TYPE 1	10W	3
	SERVICE - SMOKE ALARM		4
	SWITCH - LIGHT 1 GANG		8
	SWITCH - LIGHT 2 GANG		1
	SWITCH - LIGHT 6 GANG		1



Electrical Plan - Lower - Light/Reflected Ceiling - U3



Electrical Plan - Lower - Power - U3

Smoke Alarms Part 9.5 of NCC 2022

- Smoke alarms must-
- (a) be located in-
    - (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
    - (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and
  - (b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
  - (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

- (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- (b) each other storey not containing bedrooms.

- Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:
- (a) Where a smoke alarm is located on the ceiling it must be-
    - (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
    - (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
  - (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

- Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
    - (a) 25 L/s for a bathroom or sanitary compartment; and
    - (b) 40 L/s for a kitchen or laundry.
  - Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
  - Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
  - An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
    - (a) be interlocked with the room’s light switch; and
    - (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

- Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:
- 5W/m² in class 1a dwellings
  - 4W/m² to veranda, balcony or the like
  - 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.

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Notes

U.N.O ceilings are to be plasterboard.

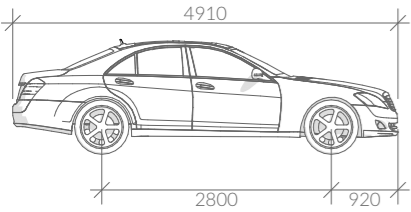
- D---D Dimmable Circuit
- T---T Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

Vehicle Movement Notes

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width: 1870  
Track: 1770  
L-L Time: 6.0  
Turning Radius: 5800

Parking Space requirements

As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

Width: 2600 2800 3000 3200  
Length: 5400 5400 5400 5400  
Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

Width: 2600  
Length: 5400  
Aisle Width: 3500

Parking Dimensions - Parallel

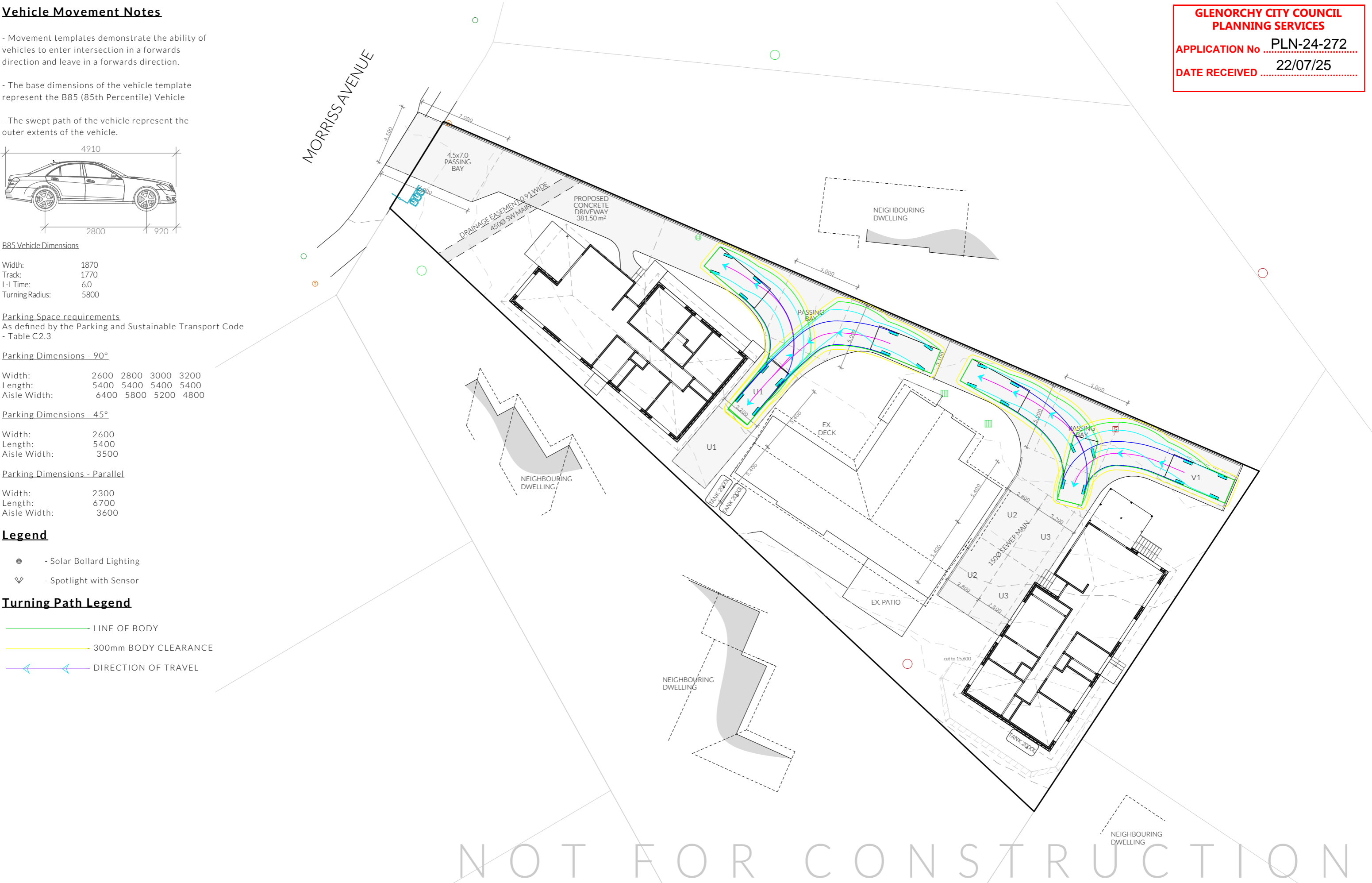
Width: 2300  
Length: 6700  
Aisle Width: 3600

Legend

- Solar Bollard Lighting
- Spotlight with Sensor

Turning Path Legend

- LINE OF BODY
- 300mm BODY CLEARANCE
- DIRECTION OF TRAVEL



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