

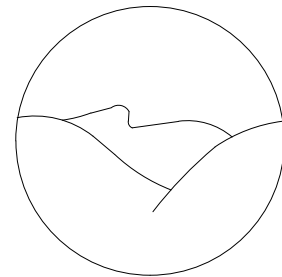
## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-25-197
<b>PROPOSED DEVELOPMENT:</b>	Residential (Dwelling & Carport)
<b>LOCATION:</b>	39A Jasanda Drive Montrose
<b>APPLICANT:</b>	Valley Workshop
<b>ADVERTISING START DATE:</b>	19/09/2025
<b>ADVERTISING EXPIRY DATE:</b>	03/10/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **03/10/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **03/10/2025**, or for postal and hand delivered representations, by 5.00 pm on **03/10/2025**.



**Valley Workshop**  
Smart Prefabricated Architecture

ARCHITECTURAL FIRM REGISTRATION NO.  
F303  
NOMINATED ARCHITECT  
WARREN DAVID FRENCH

# PROPOSED DWELLING

for

GAYLE JUDITH FRENCH

at

39A JASANDA DR, MONTROSE, TAS

## PROJECT INFORMATION

PROPERTY ID	3128843
TITLE REFERENCE	162538 / 1
MUNICIPALITY	Glenorchy
ZONE	Low Density Residential
SITE AREA	2003 sqm
WIND CLASSIFICATION	-
SOIL CLASSIFICATION	-
CLIMATE ZONE	7
BAL LEVEL	BUSHFIRE PRONE-ZONE
LANDSLIP HAZARD	-

## AREA SCHEDULE

Floor area: 180 sqm,  
Cart port (upper) 18 sqm  
Car port (under floor) 22.2 sqm  
Storage (under floor) 7 sqm  
Deck area: 44 sqm

## DRAWING SCHEDULE

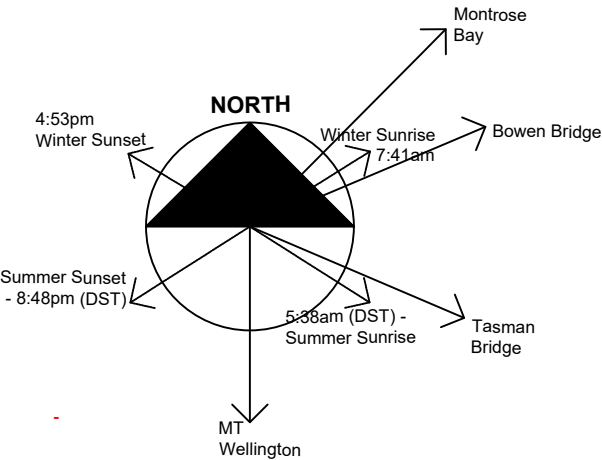
SHEET 000	COVER
SHEET 001	CONTEXT PLAN
SHEET 002	SITE PLAN & SERVICES LOCATION PLAN
SHEET 003	DRIVEWAY AND CIVIL WORK
SHEET 004	SHADOW ANALYSIS
SHEET 005	FLOOR PLAN
SHEET 006	SUBFLOOR PLAN
SHEET 007	ELEVATION
SHEET 008	ELEVATION
SHEET 009	WINDOW SCHEDULE
SHEET 010	STORMWATER MANAGEMENT PLAN

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No. PLN-25-197

DATE RECEIVED 01/09/2025





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PROPERTY ID	3128843
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MUNICIPALITY	Glenorchy
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WIND CLASSIFICATION	-
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BAL LEVEL	BUSHFIRE PRONE-ZONE
LANDSLIP HAZARD	-

01  
-  
CONTEXT PLAN  
SCALE 1:1000

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No ..... PLN-25-197  
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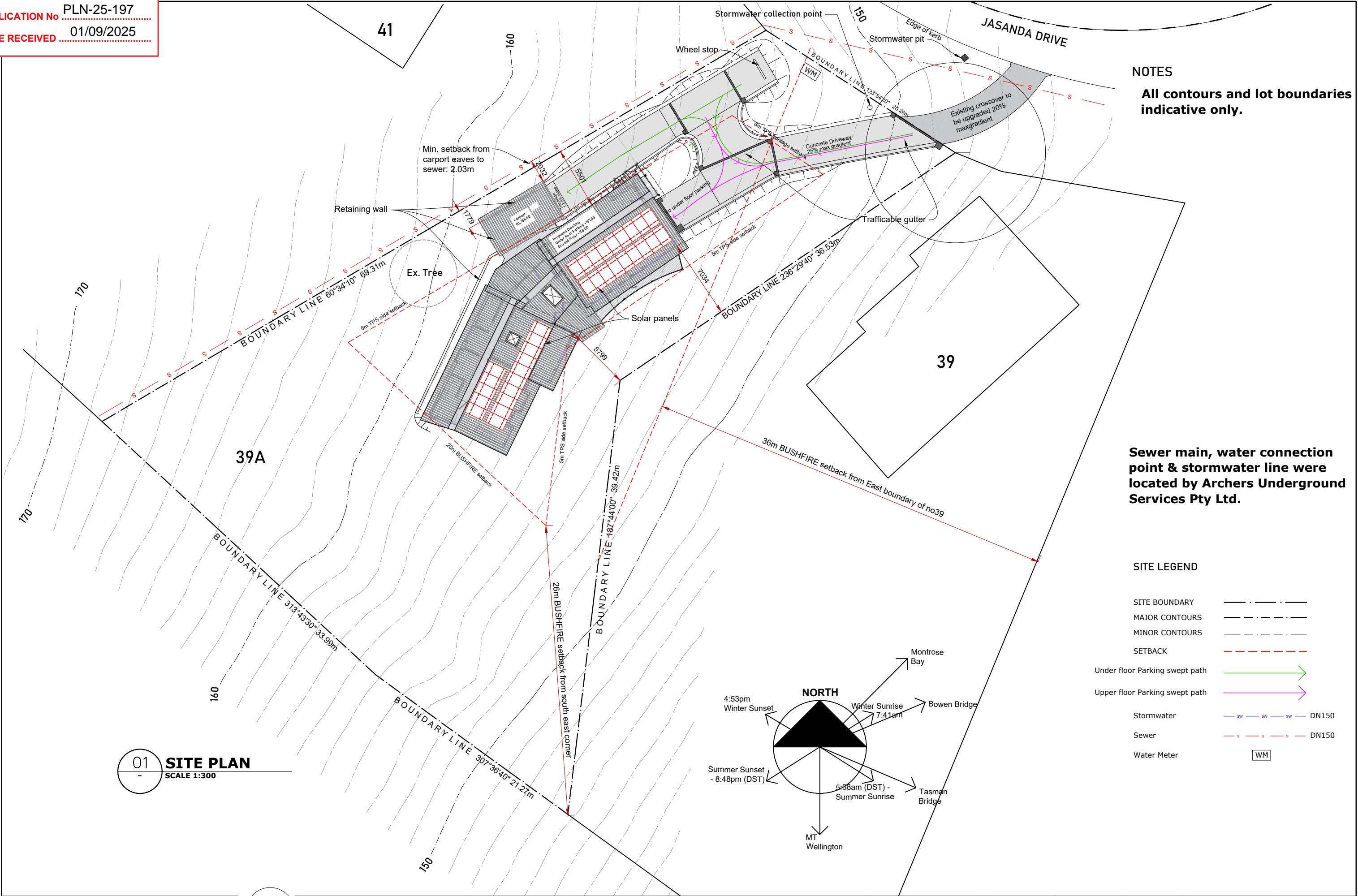
VALLEY WORKSHOP  
Smart Prefabricated Architecture  
www.valleyworkshop.com

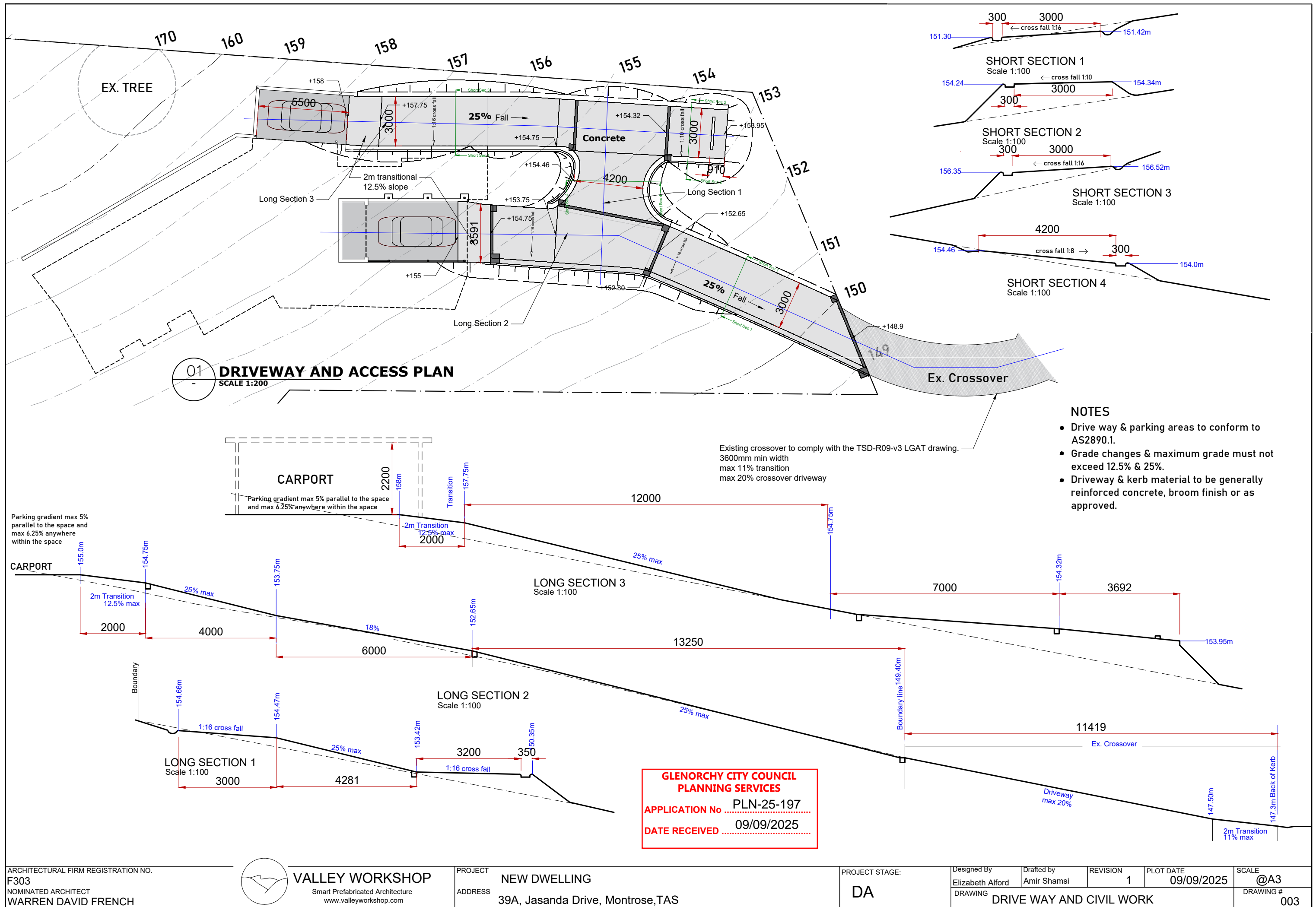
PROJECT  
NEW DWELLING  
ADDRESS  
39A, Jasanda Drive, Montrose, TAS

PROJECT STAGE:  
DA

Designed By Elizabeth Alford	Drafted by Amir Shamsi	REVISION 1	PLOT DATE 01/09/2025	SCALE 1:1000@A3
DRAWING CONTEXT PLAN				DRAWING # 001

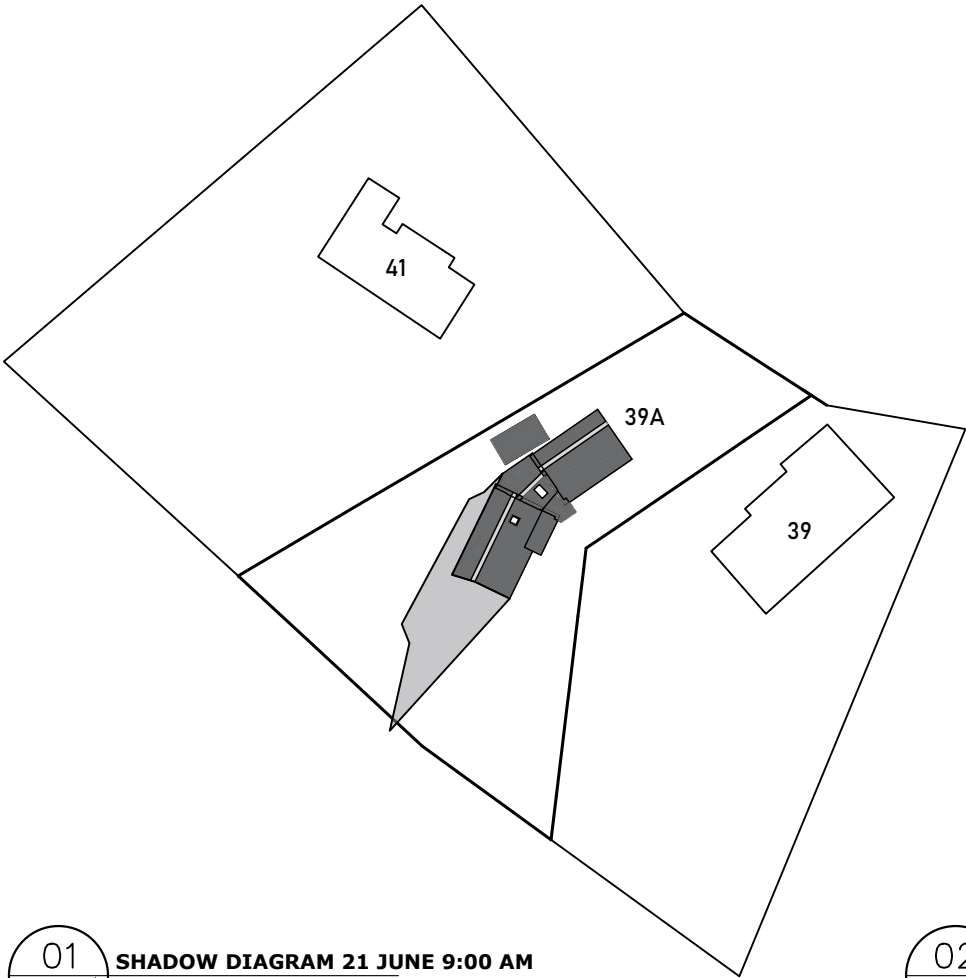




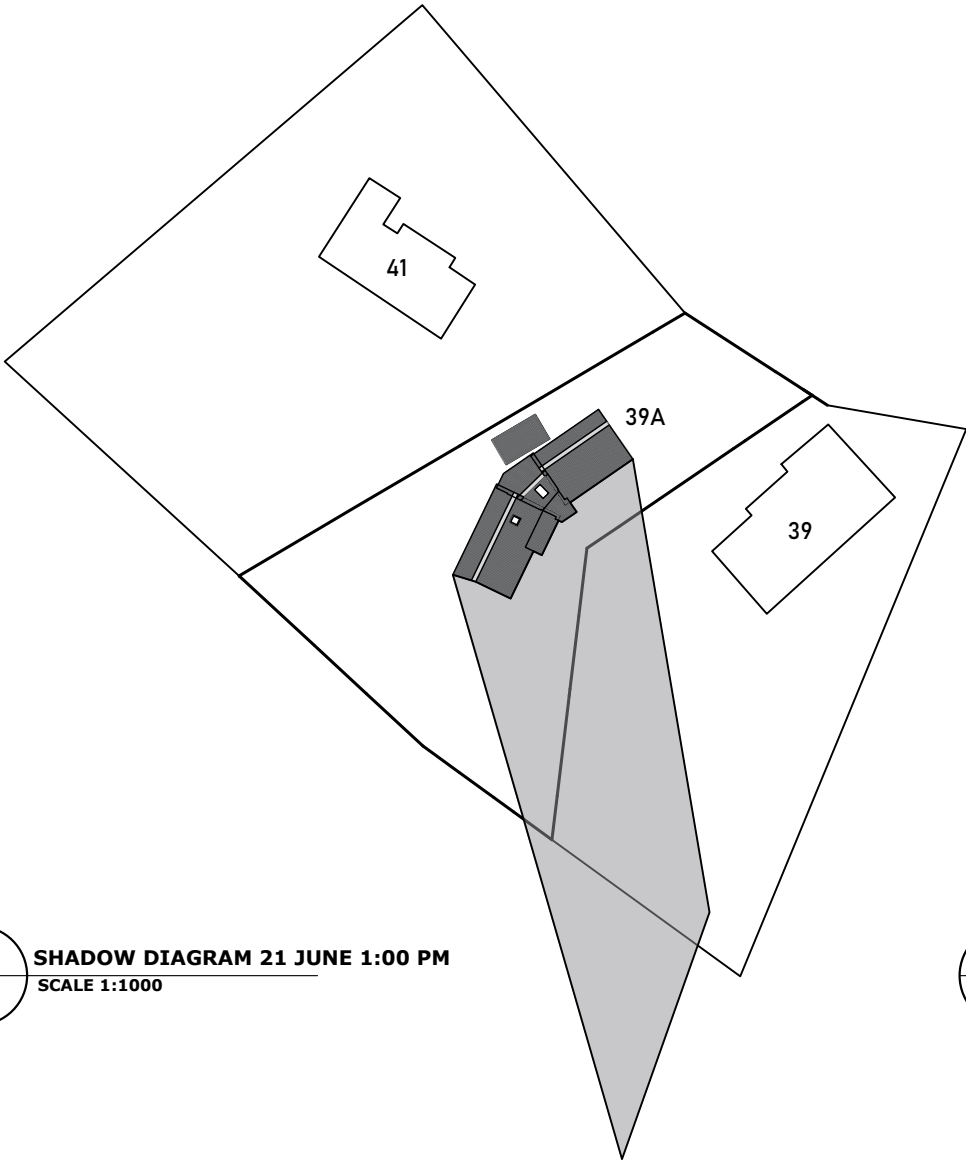


NOTES

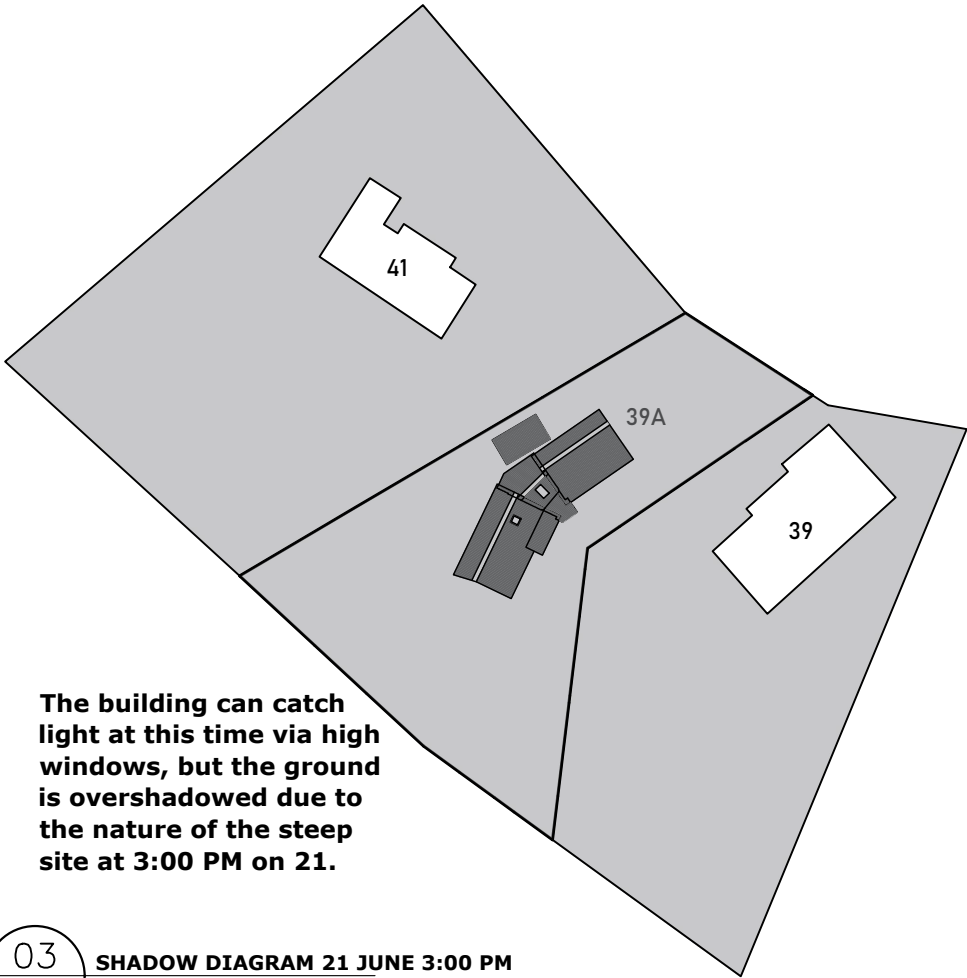
All contours and lot boundaries  
indicative only.



01  
-  
SHADOW DIAGRAM 21 JUNE 9:00 AM  
SCALE 1:1000



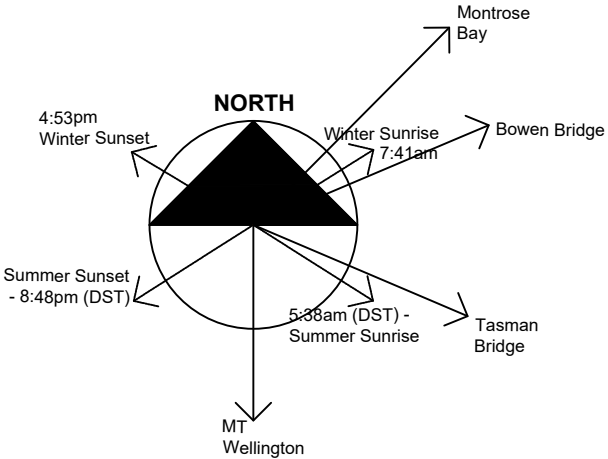
02  
-  
SHADOW DIAGRAM 21 JUNE 1:00 PM  
SCALE 1:1000



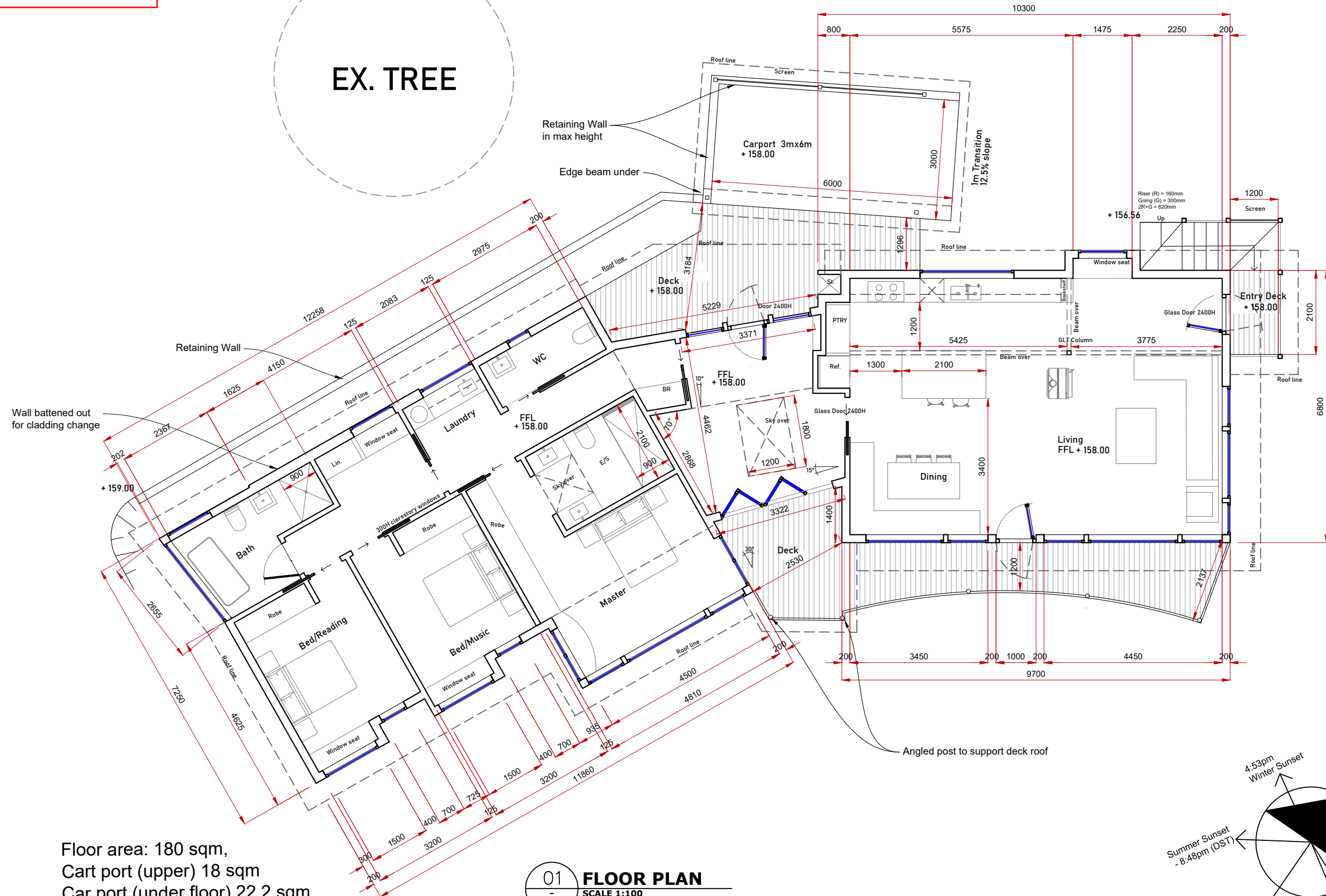
03  
-  
SHADOW DIAGRAM 21 JUNE 3:00 PM  
SCALE 1:1000

The building can catch  
light at this time via high  
windows, but the ground  
is overshadowed due to  
the nature of the steep  
site at 3:00 PM on 21.

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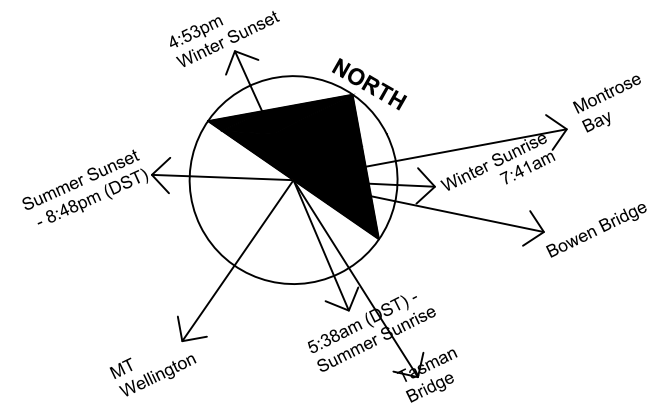




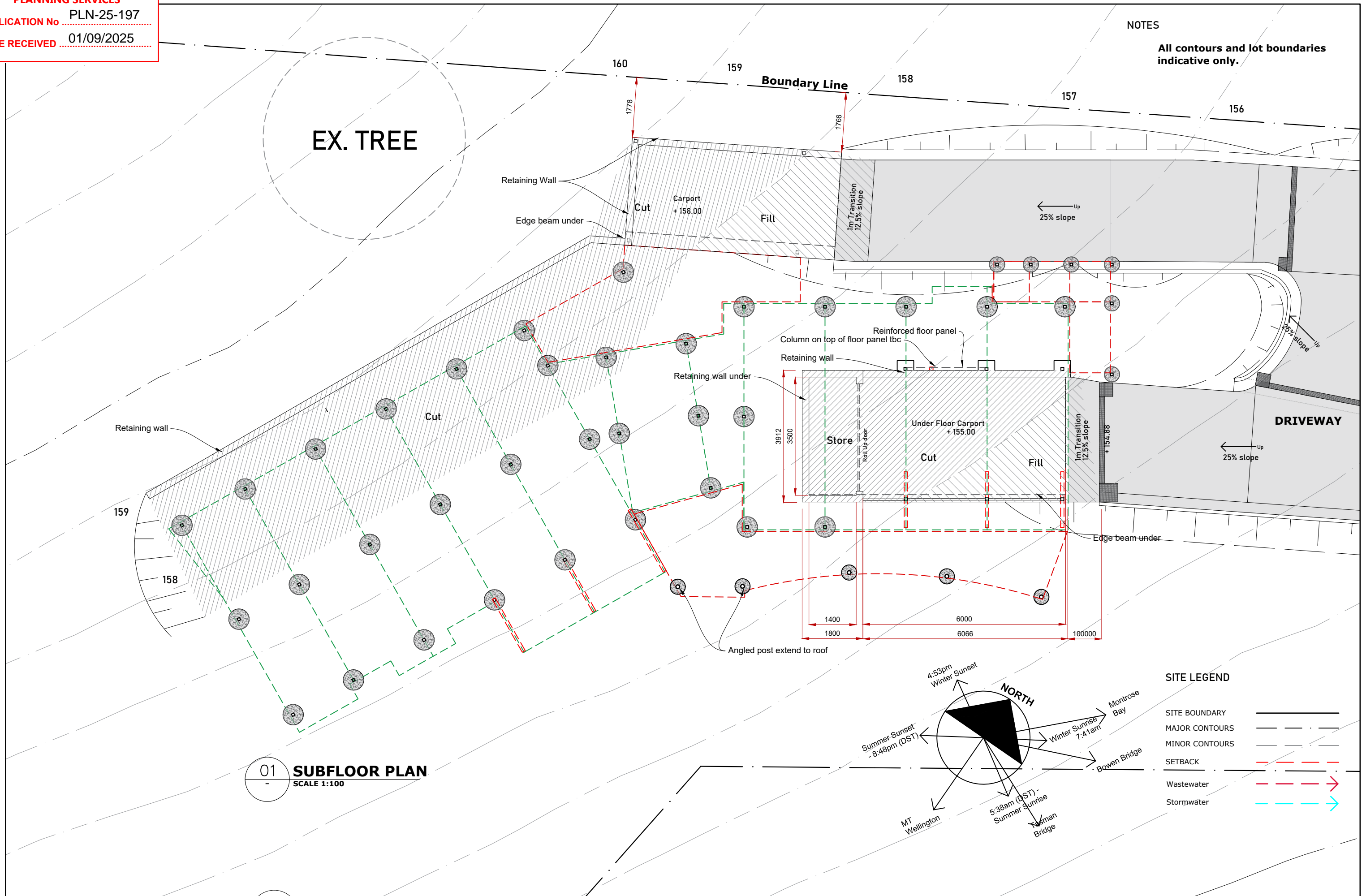


Floor area: 180 sqm,  
Cart port (upper) 18 sqm  
Car port (under floor) 22.2 sqm  
Storage (under floor) 7 sqm  
Deck area: 44 sqm

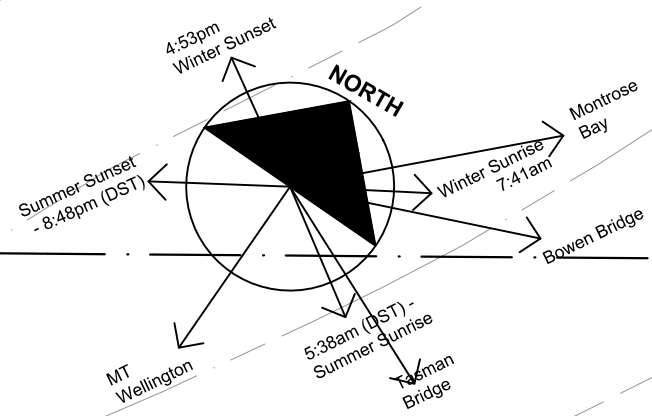
01 FLOOR PLAN  
SCALE 1:100



NOTES  
All contours and lot boundaries  
indicative only.



01 **SUBFLOOR PLAN**  
SCALE 1:100



**SITE LEGEND**

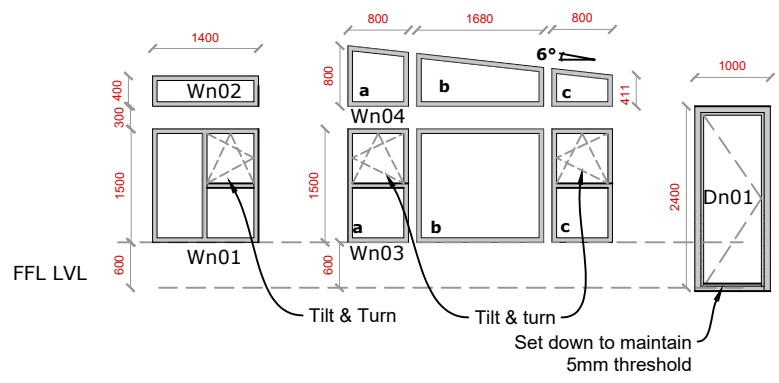
SITE BOUNDARY	— — — — —
MAJOR CONTOURS	— — — — —
MINOR CONTOURS	— — — — —
SETBACK	- - - - -
Wastewater	- - - - - ➔
Stormwater	- - - - - ➔



ELEVATION NOTES:

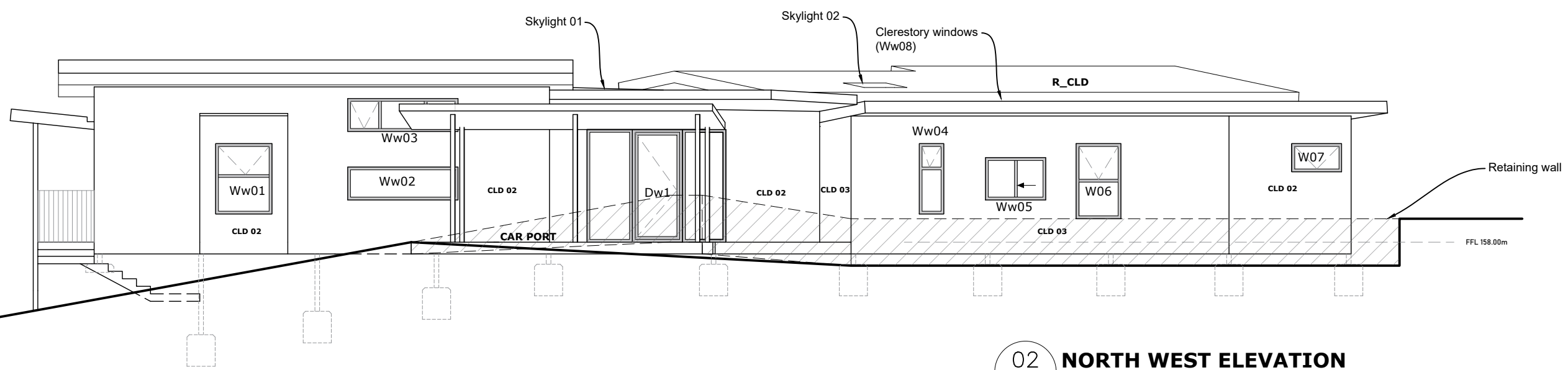
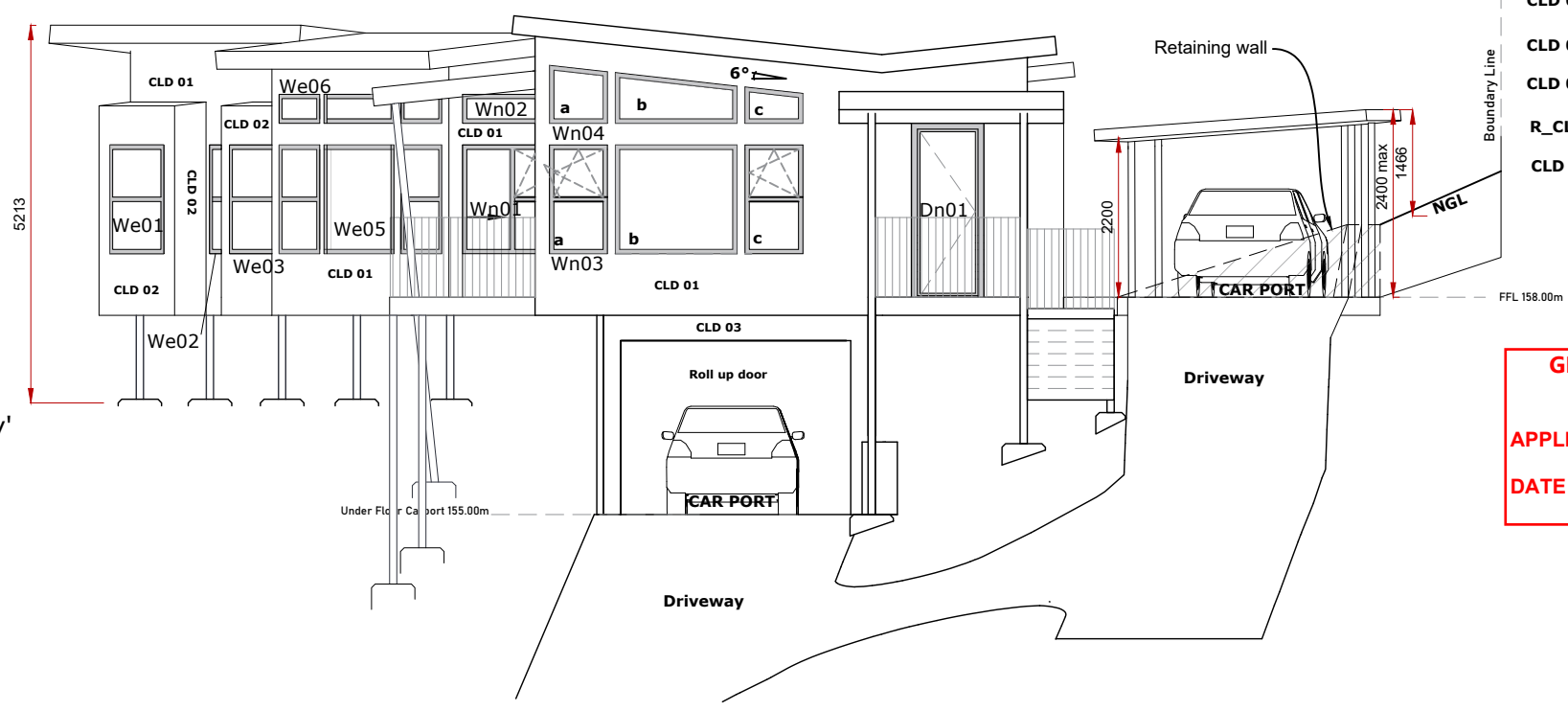
- CLD 01 Hardies Oblique
- CLD 02 CEMENTAL BARESTONE
- CLD 03 LAYSHT CUSTOM ORB- ZINCALUME
- R\_CLD ROOF CLADDING: CUSTOM ORB OR SIMILAR
- CLD 04 LASERLITE

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No PLN-25-197  
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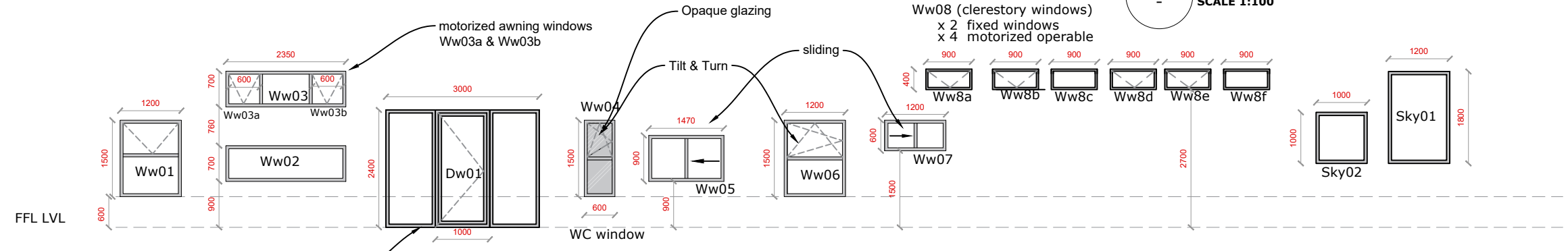


viewed from outside  
Window frame colour: Dulux Powercoat 'Shale Grey'

01 NORTH EAST ELEVATION  
SCALE 1:100



02 NORTH WEST ELEVATION  
SCALE 1:100



viewed from outside  
Window frame colour: Dulux Powercoat 'Shale Grey'

ARCHITECTURAL FIRM REGISTRATION NO.  
F303  
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WARREN DAVID FRENCH



PROJECT NEW DWELLING  
ADDRESS 39A, Jasanda Drive, Montrose, TAS

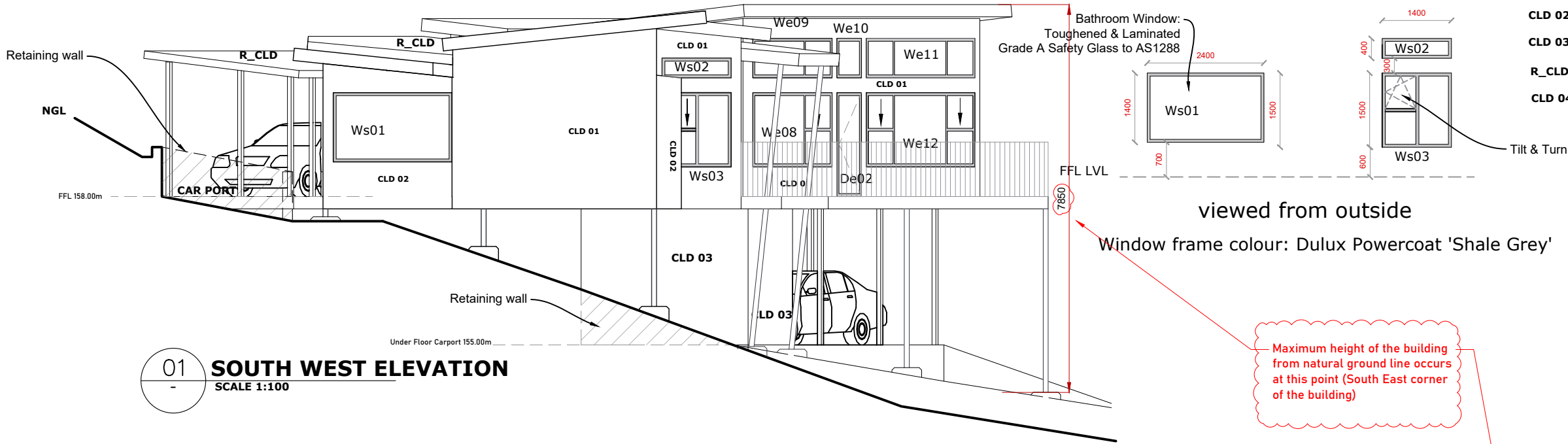
PROJECT STAGE:  
DA

Designed By Elizabeth Alford	Drafted by Amir Shamsi	REVISION 1	PLOT DATE 01/09/2025	SCALE 1:100@A3
DRAWING - ELEVATIONS				DRAWING # 007

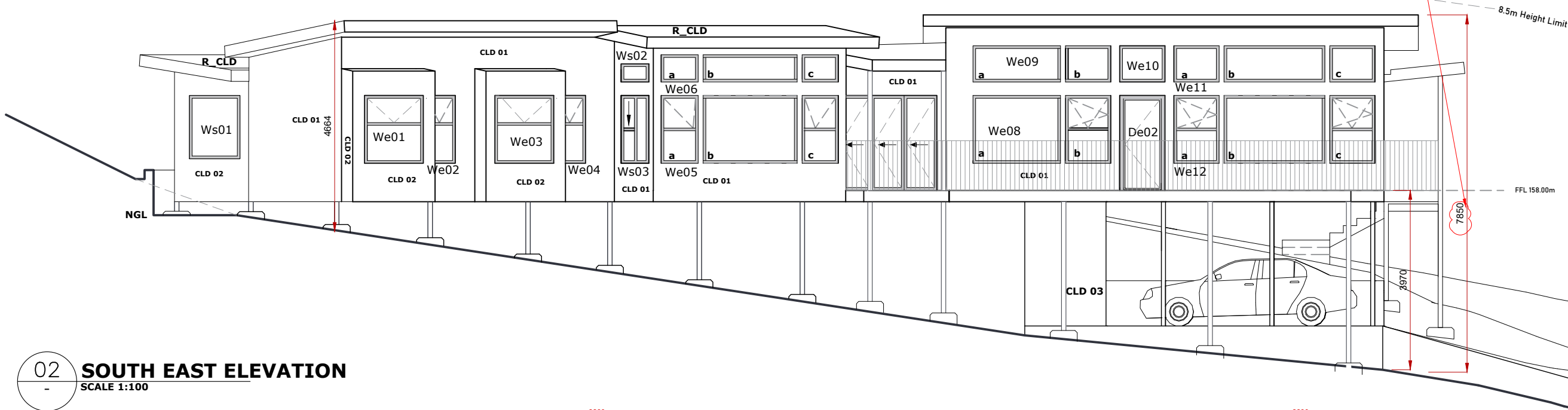
ELEVATION NOTES:

- CLD 01 Hardies Oblique
- CLD 02 CEMENTAL BARESTONE
- CLD 03 LAYSGHT CUSTOM ORB- ZINCALUME
- R\_CLD ROOF CLADDING: CUSTOM ORB OR SIMILAR
- CLD 04 LASERLITE

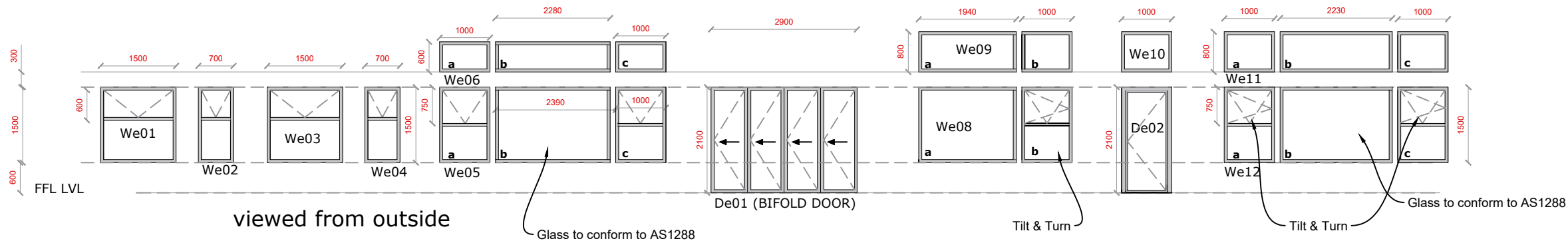
GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No ... PLN-25-197  
DATE RECEIVED ... 01/09/2025



01 SOUTH WEST ELEVATION  
SCALE 1:100



02 SOUTH EAST ELEVATION  
SCALE 1:100



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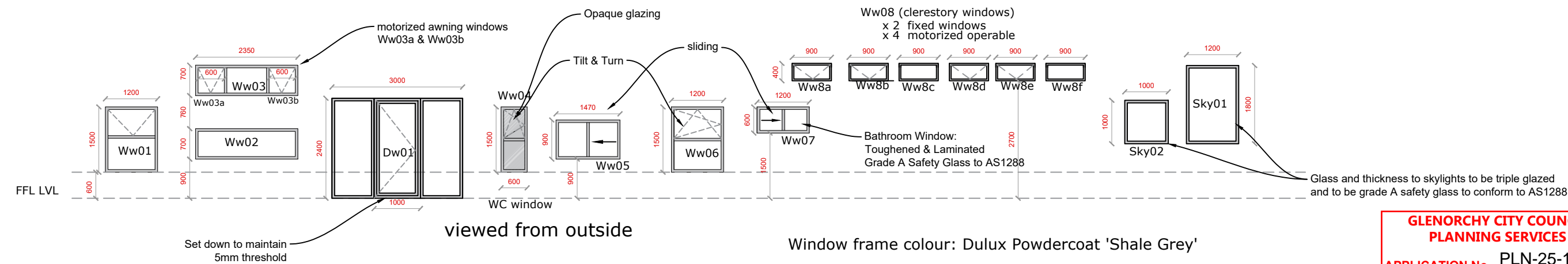
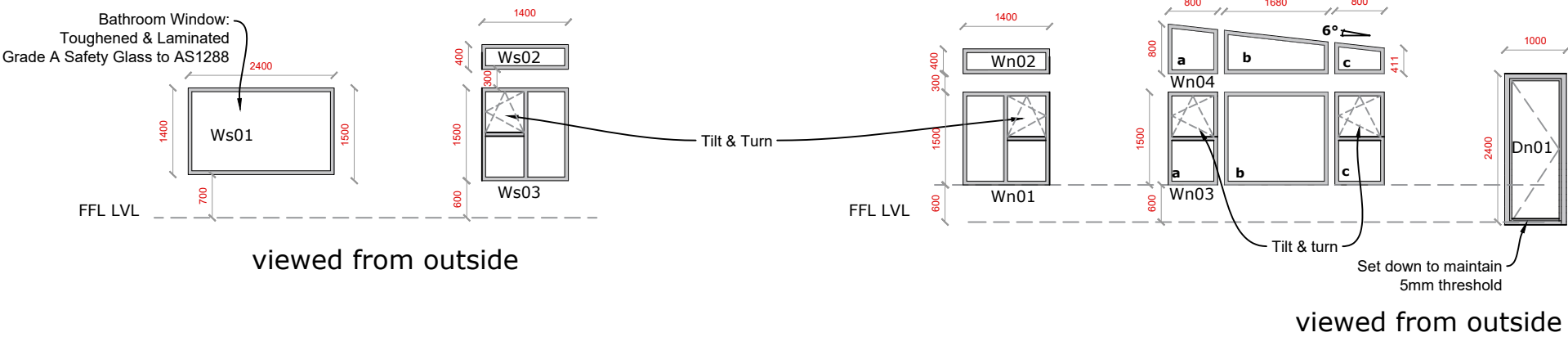
PROJECT NEW DWELLING  
ADDRESS 39A, Jasanda Drive, Montrose, TAS

PROJECT STAGE:  
DA

Designed By Elizabeth Alford	Drafted by Amir Shamsi	REVISION 1	PLOT DATE 01/09/2025	SCALE 1:100@A3
DRAWING ELEVATION				DRAWING # 008

WINDOWS NOTES:

All glazed window& door are triple glazed unless noted otherwise and assemblies in external walls to comply with AS2047. All other glass to comply with AS1288.  
Window frame and supporting frame shall be powdercoated aluminum with toughened glass minimum 5mm thickness. All glazed doors to be 6mm toughened glass  
Operable portions of windows to be screened internally or externally with screens as described below:  
  
Aluminum screens within powdercoated aluminum frames must have a maximum aperture of 2mm.  
Gaps between the perimeter of the screen assembly and the window frame shall not exceed 3mm.  
All windows and doors to comply BAL29 requirements.

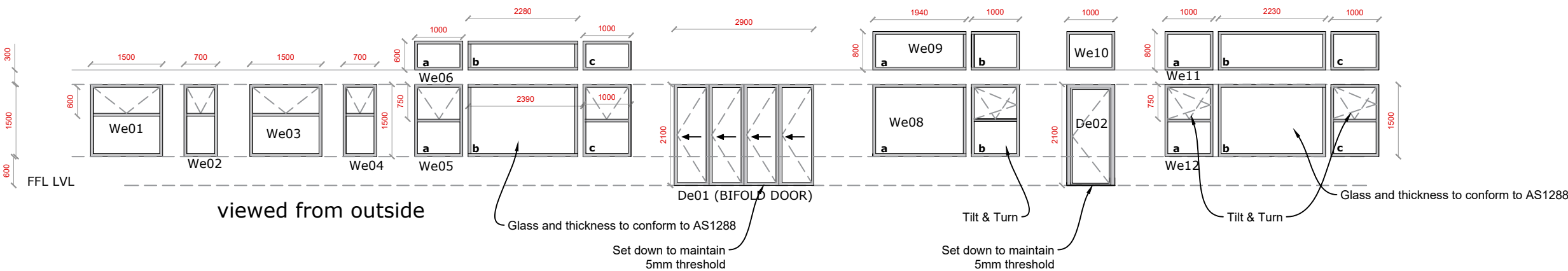


Window frame colour: Dulux Powdercoat 'Shale Grey'  
Awning windows opening mechanism except for motorised awning windows to be: Chain Winder Type

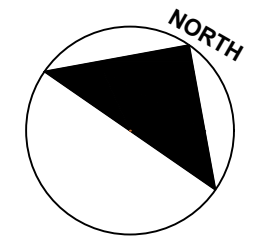
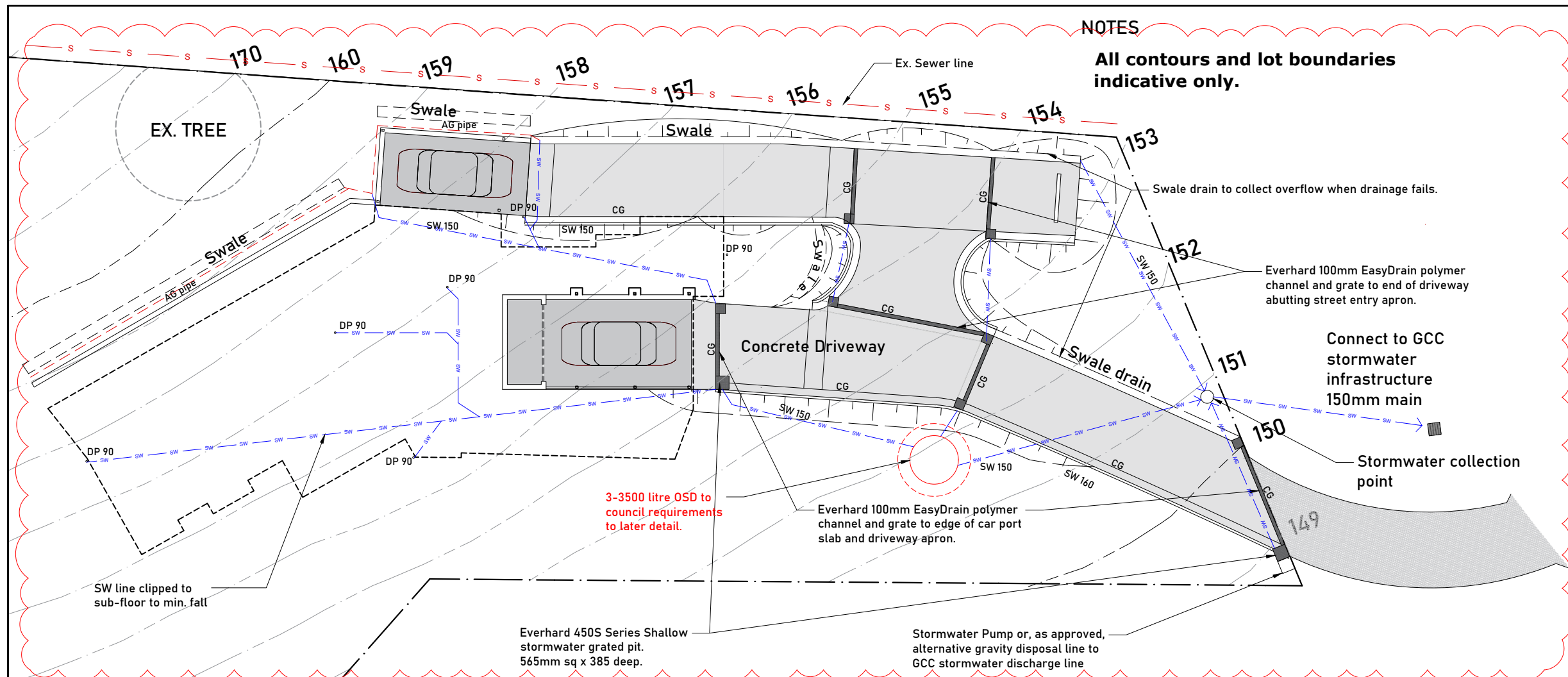
GLENORCHY CITY COUNCIL  
PLANNING SERVICES

APPLICATION No PLN-25-197

DATE RECEIVED 01/09/2025





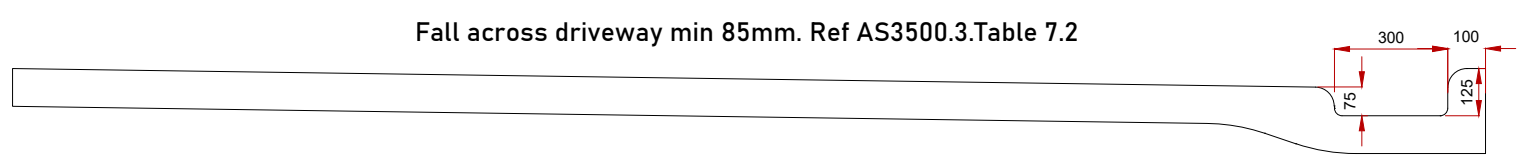
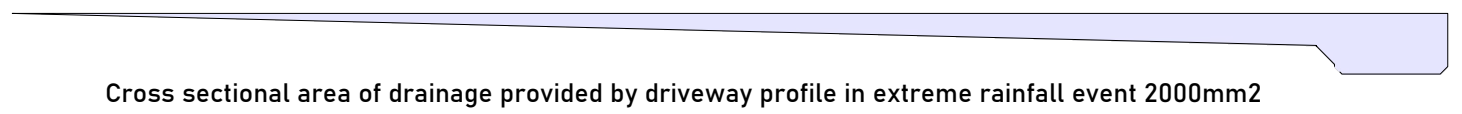


The stormwater drainage system is designed in accordance with AS/NZS 3500.3 and local authority requirements. Swale drains have been integrated at the top of the driveway and along the upper edges of the retaining walls and driveways to manage surface runoff from landscaped areas and to provide an emergency overflow path in the event of drainage failure. These swales are designed to collect and redirect excess water away from structures and towards the legal point of discharge. All stormwater pipes are sized based on site runoff calculations, installed at a minimum gradient of 1%, and constructed from approved stormwater-grade materials.


**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No ..... PLN-25-197  
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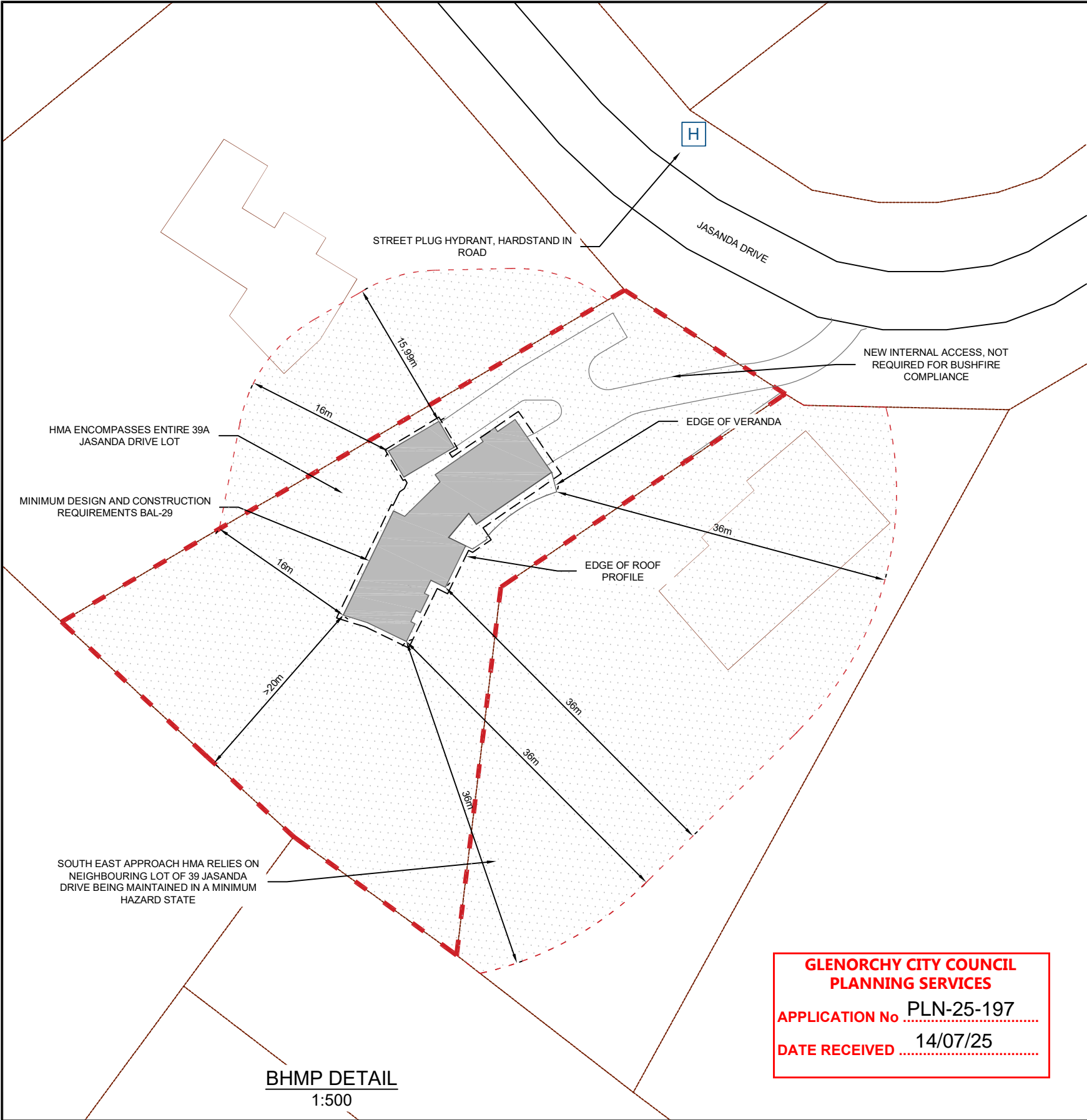
- NOTES:
- Runoff from AS3500.3, Appendix D.  
.00028 (.95 Roof Area + .9 Driveway etc)ARI.  
= .00028 x (247 + 148) x 115.  
= 12.7 litres per second.  
From AS3500.3 Appendix D Table D2, storm water drain 150mm and 565sq pits adequate.
  - CG Channel & Grate Drain

Wastewater management has been updated  
OSD added



DRIVE CROSS SECTION  
SCALE 1:20

ARCHITECTURAL FIRM REGISTRATION NO. F303 NOMINATED ARCHITECT WARREN DAVID FRENCH	 <b>VALLEY WORKSHOP</b> Smart Prefabricated Architecture www.valleyworkshop.com	PROJECT	NEW DWELLING	PROJECT STAGE:	DA	Designed By	Elizabeth Alford	Drafted by	Amir Shamsi	REVISION	1	PLOT DATE	01/09/2025	SCALE	1:20/1:200@A3
		ADDRESS	39A, Jasanda Drive, Montrose, TAS			DRAWING	STORMWATER MANAGEMENT PLAN								DRAWING #
															010



**GENERAL NOTES**

1) This Bushfire Hazard Management Plan is based on the Bushfire Hazard Report - JT25-00046\_39A\_Jasanda\_Dr\_Montrose\_BHR, dated 11 July 2025.

**CONSTRUCTION STANDARDS**

1) Construction and Design Standards shall be at least as per BAL-29 as defined in AS 3959:2018.

**HAZARD MANAGEMENT AREAS**

- 1) Establish and maintain Hazard Management Area to achieve a radiant heat impact of no higher than 29 kW/sqm corresponding to the enclosed/hatched area as shown on this plan to reach a minimal or reduced fuel load conditions. Vegetation Maintenance works shall be undertaken prior to the start and as required through the fire season. The following actions can be conducted to reduce fuel loads to an acceptable level:
- a) Establish or extend non-combustible or non-flammable areas in and around the development such as driveways, patios, paths, maintained lawns, etc.
  - b) Where possible, locate lower risk areas of vegetation or other features on the bushfire-prone side of the development (e.g., orchards, vegetable gardens, dams, wastewater treatment areas).
  - c) Provision of heat shielding and ember traps between the development and bushfire-prone vegetation such as hedges, small trees, non-combustible fencing, etc.
  - d) Relocate or remove from the area highly flammable materials or items such as wood piles, rubbish heaps, etc.
  - e) Identify and remove plants with high flammability characteristics during a bushfire and replace these with lower flammability characteristics.
  - f) Provide vertical separation between ground or understory fuel groups and the canopy and horizontal separation between areas of canopy.
  - g) Groups of significant trees are permitted provided that these groups are no larger than 20m in width and shall be separated from other groups by at least 20m.
  - h) Avoid large continuous areas of vegetation.
  - i) Undertake regular slashing and/or mowing of grass to maintain a length less than 100mm
  - j) Remove ground fuels such as leaf litter, bark, and other fallen material on a regular basis.
  - k) Remove trees with the potential to drop leaf litter and other materials onto the roof.
  - l) Remove trees with the potential to fall onto the house should they be damaged by a bushfire.
- 2) HMA for 39A Jasanda Drive extends into neighbouring residential properties and assumes that these properties are maintained in accordance with the above requirements. Should these lots not me maintained in a minimal fuel condition may result in 39A Jasanda Drive being impacted by higher than predicted radiant heat levels.

**ACCESS FOR FIREFIGHTING**

1) The provision of property access roads for firefighting is not required.

**WATER SUPPLIES FOR FIREFIGHTING**

1) Water supply to this site shall be provided by street-plug fire hydrants, in approximate locations as shown in this BHMP. This water supply shall be in conformance with Table 3A of the Determination.

**EMERGENCY PLANNING**

1) As the proposed development is Class 1a not used for short term accomodation, a Bushfire Emergency Plan is not required.

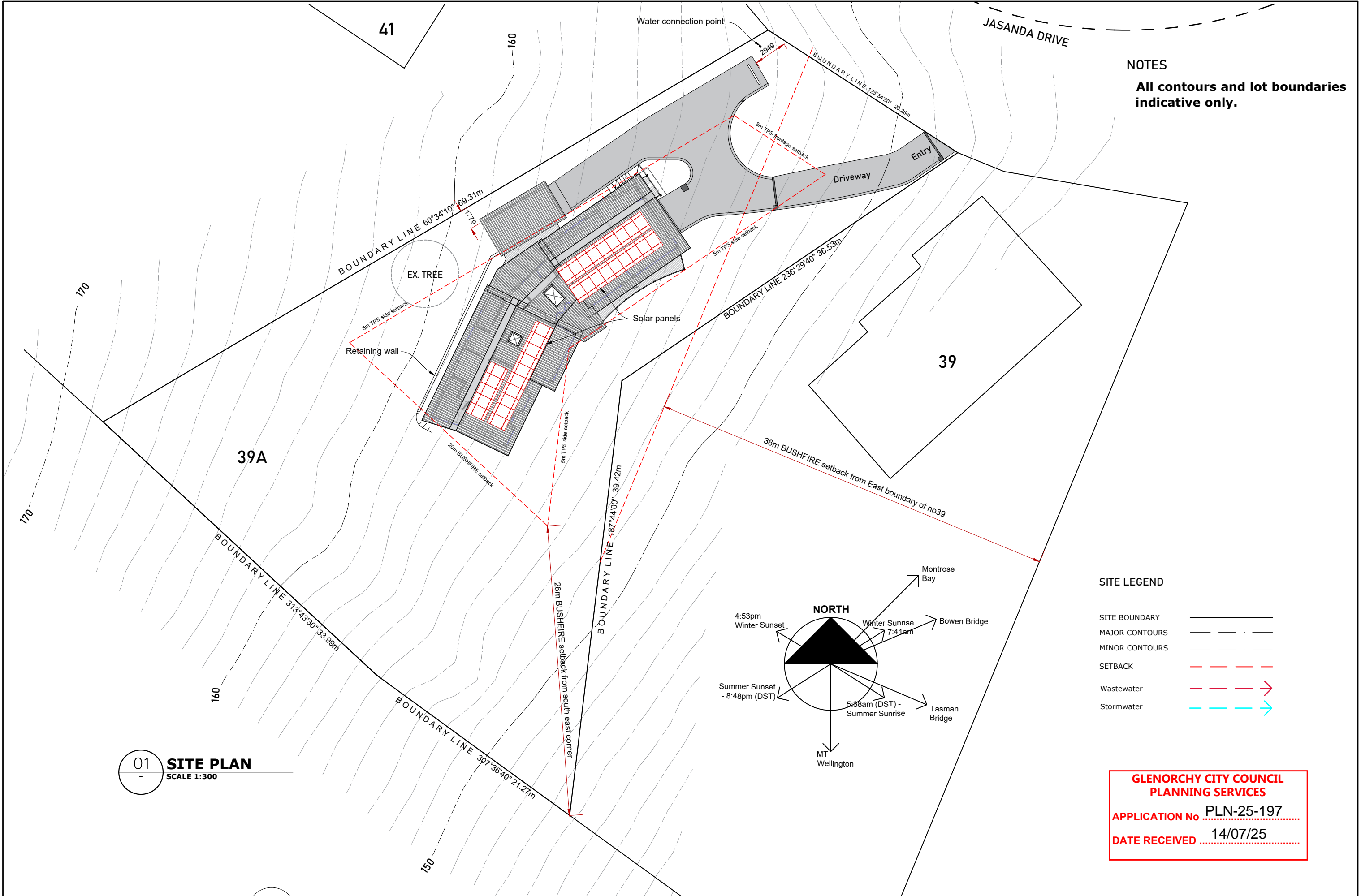
**BHMP LEGEND**

- |   |                               |   |                                  |
|---|-------------------------------|---|----------------------------------|
|  | New Buildings, external walls |  | New Buildings, roof outline      |
|  | Access way                    |  | Existing /Neighbouring Buildings |
|  | Hazard Management Area        |  | Fire Hydrant (Street Plug)       |

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No PLN-25-197  
DATE RECEIVED 14/07/25

**BHMP DETAIL**  
1:500

<div>JARROD BURTON</div> <div>BUSHFIRE PRACTITIONER BFP-167</div>		<div>AS3959 and other bushfire mitigation systems cannot guarantee that a building will survive direct or indirect bushfire impacts. The Bushfire Hazard Management Plan outlined above outlines required measures which are expected to reduce the impact of a bushfire on the development. The plan above is based on site conditions prevailing at time of inspection and documentation outlined in the report. RED Fire Engineers takes no responsibility for actions of other parties which may compromise or reduce the effectiveness of this plan.</div> <div>DO NOT SCALE OR MEASURE DIRECTLY FROM THIS DRAWING. All dimensions, including those provided shall be checked on site. Read this drawing in conjunction with all other services, architectural, structural and civil.</div>	<div>RED</div> <div>FIRE ENGINEERS</div>	BUSHFIRE HAZARD MANAGEMENT PLAN		
				ASSESSED BAL: BAL-29		
				ADDRESS: RESIDENCE, 39A JASANDA DRIVE, MONTROSE		
				TITLE REF: CT 162538/1		PID: 3128843
				VERS: 1	DATE: 11.07.2025	PROJECT #: JT25-00046



ARCHITECTURAL FIRM REGISTRATION NO.  
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WARREN DAVID FRENCH



**VALLEY WORKSHOP**  
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PROJECT  
NEW DWELLING  
ADDRESS  
39A, Jasanda Drive, Montrose, TAS

PROJECT STAGE:  
DA

Designed By  
Elizabeth

Drafted by  
Amir

REVISION  
-

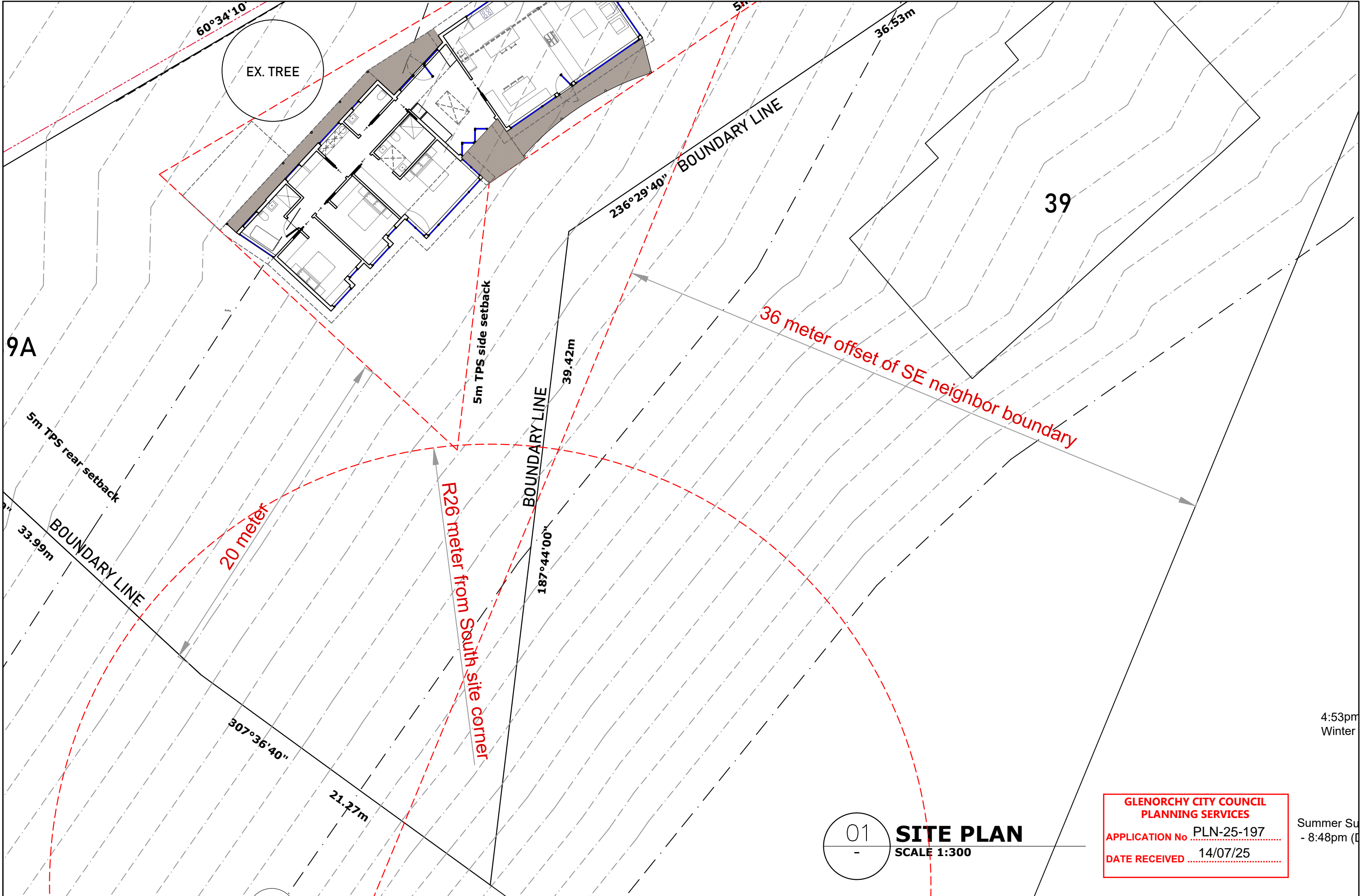
PLOT DATE  
6/20/2025


SCALE  
1300@A3

DRAWING  
002 SITE PLAN

DRAWING #  
002





ARCHITECTURAL FIRM REGISTRATION NO. F303 NOMINATED ARCHITECT WARREN DAVID FRENCH		 <b>VALLEY WORKSHOP</b> Smart Prefabricated Architecture www.valleyworkshop.com	PROJECT NEW DWELLING	PROJECT STAGE:  DA	Designed By Elizabeth	Drafted by Amir	REVISION -	PLOT DATE 3/19/2025	SCALE 1300@A3
Version: 1, Version Date: 18/07/2025			ADDRESS 39A, Jasanda Drive, Montrose, TAS		DRAWING SITE PLAN				DRAWING # 001

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No PLN-25-197  
DATE RECEIVED 14/07/25

Summer Su  
- 8:48pm (D

4:53pm  
Winter