

DEVELOPMENT APPLICATION

APPLICATION NUMBER: PLN-21-198

PROPOSED DEVELOPMENT: Two Multiple Dwellings

LOCATION: 10 Glenridge Court Glenorchy

APPLICANT: Multi-Res Builders

ADVERTISING START DATE: 19/05/2021

ADVERTISING EXPIRY DATE: 01/06/2021

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and on Glenorchy City Council's website (www.gcc.tas.gov.au) until **01/06/2021**.

During this time, any person may make representations relating to the applications by letter addressed to the General Manager, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **01/06/2021**, or for postal and hand delivered representations, by 5.00 pm on **01/06/2021**.

0475 - PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Lot 5, 10 GLENRIDGE CRT, **GLENORCHY**

PLANNING SERVICES

DATE RECEIVED 11 May 2021

AREA SCHEDULE

Total site area:	1022m ²
U1 GROSS FLOOR AREAS Dwelling (Entry): Dwelling (Ground Floor): Garage: TOTAL	11.50m ² 157.18m 22.84m ² 191.52m
Conc. L'ding / Decks Timber L'ding / Decks	2.26m ² 10.22m ²
U2 GROSS FLOOR AREAS Dwelling (Entry) : Dwelling (First Floor): Garage: TOTAL	9.35m ² 157.44m 24.50m ² 191.29m

Timber L'ding / Decks Other required documents

(not supplied with this set) Site Classification Report / Assessment SOIL 17-231 Bushfire Hazard Management Report TBC TBC TBC Bushfire Hazard Management Plan Energy Assessment

24.15m²



Designer: Ranjot Kaur Licence Number: 173530973

29 March 2021

TITLE

0475

SHEET

GLENORCHY CITY COUNCIL

APPLICATION No P.L.N-21-198.

l otal site area:	1022m²
U1 GROSS FLOOR AREAS	
Dwelling (Entry):	11.50m ²
Dwelling (Ground Floor):	157.18m
Garage:	22.84m ²
TOTAL	191.52m
Conc. L'ding / Decks	2.26m ²
Timber L'ding / Decks	10.22m ²
U2 GROSS FLOOR AREAS	
Dwelling (Entry):	9.35m ²
Dwelling (First Floor):	157.44m
Garage:	24.50m ²
TOTAL	191.29m
Conc. L'ding / Decks	7.92m ²

CT 49710/5 Title Reference: Wind Classification Soil Classification Climate Zone BAL Level Alpine Area Corrosion Envrionment Moderate Other Hazards



Job No.:

COVER SHEET

A000

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Lot 5, 10 GLENRIDGE CRT. **GLENORCHY**



SHEET NAME SHEET REVISION **COVER SHEET** A000 В STANDARDS NOTES SHEET 1 A001 SITE PLAN A100 Α DRAINAGE PLAN A101 SHADOW DIAGRAM 21st JUNE 0900 A102 SHADOW DIAGRAM 21st JUNE 1200 A103 A104 SHADOW DIAGRAM 21st JUNE 1500 A105 RETAINING WALL SITE PLAN **RETAINING WALL SECTIONS 1** A106 A107 **RETAINING WALL SECTIONS 2** A108 3D PERSPECTIVE VIEW SHEET 1 A109 3D PERSPECTIVE VIEW SHEET 2 AU1-200 U1 GARAGE FLOOR PLAN AU1-201 U1 FLOOR PLAN AU1-202 U1 ROOF PLAN AU1-203 U1 GARAGE ELECTRICAL PLAN AU1-204 U1 ELECTRICAL PLAN AU1-300 U1 ELEVATIONS SHEET 1 AU1-301 U1 ELEVATIONS SHEET 2 AU2-200 U2 GARAGE FLOOR PLAN AU2-201 U2 FLOOR PLAN AU2-202 **U2 ROOF PLAN** AU2-203 U2 GARAGE ELECTRICAL PLAN AU2-204 U2 ELECTRICAL PLAN AU2-300 U2 ELEVATIONS SHEET 1 AU2-301 U2 ELEVATIONS SHEET 2



Driveway to be designed at BA stage Stormwater detention tank to be designed at BA stage Retaining walls to be designed at BA stage

	В	COUNCIL RFI: Stormwater Detention Tank, Note driveway to be designed at BA stage on Cover Sheet	03 May 2021	JM	MM	A000 & A101
		DA Plans	29 March 2021	JM	MM	A000 - AU2-301
	Α	PRELIM A	NA	RK	NA	A000 - AU2-301
		CONCEPT PLANS	NA	RK	NA	NA
	ocum/tent Set	ID: 2976658 Amendment	Date	Drawn	Checked	Sheets
٧	Version: 1, Version Date: 11/05/2021					

SOIL & WATER MANAGEMENT STRATEGIES

Downpipes shall be installed into Council stormwater as soon as the roof has been installed

Ensure that AG drains have been installed prior to footing excavation. Refer to Drainage Plan on the Architectural Drawing Plans

Any excavated materials that are placed up-slope of an Ag drain. Shall be removed when the building works are complete and used as fill on site for any other low points. Ensure a install a sediment fence on the downslope side of material.

All construction vehicles shall be parked on the street only, to prevent transferring debris onto street.

DRAINAGE PLAN STANDARD NOTES:

Ensure that there are inspection openings are installed at all major bends for stormwater and all low points of

All plumbing & drainage shall be in accordance with local Council requirements.

Provide surface drain to back of any bulk excavation on site to drain levelled pad prior to commencing footing excavation.

SERVICES

The heated water system shall be designed and installed with Part B2 of the NCC Volume Three -Plumbing Code of Australia.

Thermal insulation for heated water piping must: A) be protected against the effects of weather and sunlight; and

B) be able to withstand the tempretures within the piping; and

C) use thermal insulation in accordance with AS/NZS

ARCHITECTURAL PLANS DRAWING NOTE:

All plans shown in this document are architectural only, for structural specification/design refer to engineer drawings. (Engineering plans are documented after DA

ARCHITECTURAL PLANS DRIVEWAY NOTES:

Driveway grades to be in accordance with AS2890. If noted with "to be designed by Engineer at BA Stage" Engineer design to take precedence over Architectural

PLUMBING STACK NOTE:

Plumber to check plumbing stack location with framing plan prior to start of works.

DESIGN RETAINING WALL NOTES:

Extent of any retaining wall design should be assessed on site to determine if unprotected embankment could replace retaining wall.

UNPROTECTED EMBANKMENT

Any excavation adjacent to boundary shall comply to NCC 2019 3.1.1 Earthworks. For slope ratio refer to the site plan on the Architectural documentation

DRAWING DOCUMENTATION ABBREVATION:

Opq. = Opaque RH = Rangehood Conc. = Concrete OH = Overhead CT = Cooktop Inc. = Including REF = Fridge WM = Washing Machine HWC = Hot Water Cylinder L'ding = Landing Cup'd = Cupboard Dp = Downpipe

KITCHEN NOTES:

Kitchen appliances/design/sizes/location are indicitive only (objects shown as placeholders only). Refer to selection documentation.

BATHROOM NOTES:

Bathroom fixtures/design/sizes/location are indicitive only (objects shown as placeholders only). Refer to

STAIR NOTES:

All internal/external stairs including concrete or timber timber risers and treads shall comply to NCC 3.9.1.2 Stairway construction.

SITE INFORMATION NOTES:

Classification

Alpine

Other Hazards

Title Reference: Certificate volume and folio

Wind Classification/ Site Classification to AS 4055-2006 Site

> Soil Classification to AS 2870-2011 Refer to SITE CLASSIFICATION AND SOIL CLASSIFICATION REPORT

Climate Zone (www.abcb.gov.au map)

BAL Level: As determined by Registered Bushfire Assessor / or The List Bushfire overlay

NCC 2019 Volume Two Schedule 3 Definitions (c) in Tasmania more than 900m above the Australian Height Datum

Corrosion Environment For steel subject to the influence of salt water, breaking surf or heavy industrial

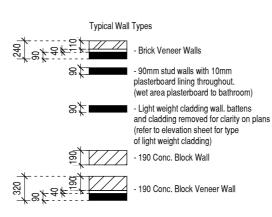
areas, refer to N.C.C. Table 3.3.5.4. Corrosion prection for wall ties. Table 3.3.5.6 Corrosion protection - Lintels. 3.4.4.7 Protective coats for steel work. For futher detail on perticular items not noted in this briefing refer to N.C.C 2019.

High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other

relevant factors.

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No P.L.N.-21-198... DATE RECEIVED 11 May 2021



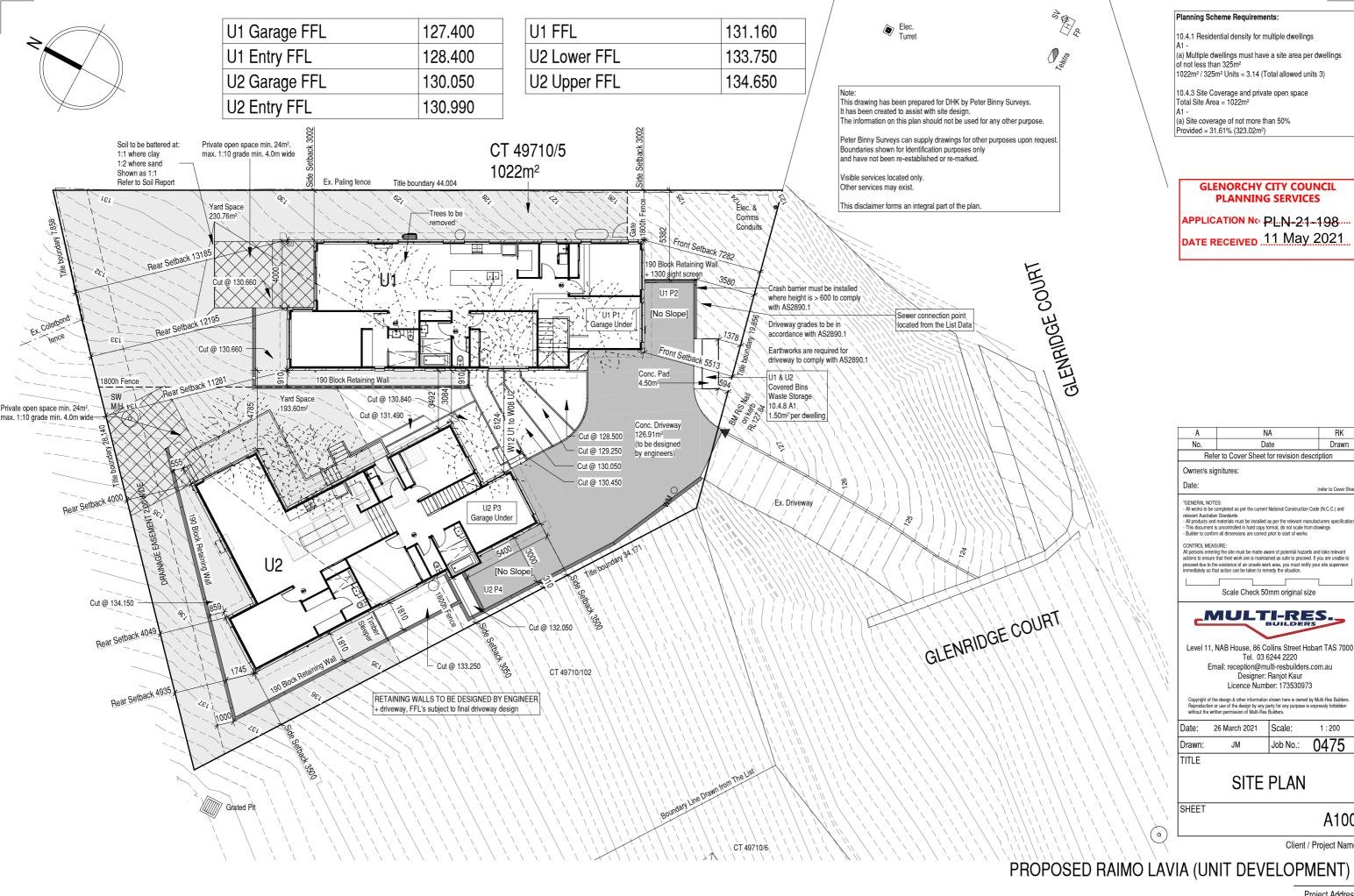


PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

No.

Lot 5, 10 GLENRIDGE CRT, **GLENORCHY**

Document Set ID: 2976658 Version: 1, Version Date: 11/05/2021



Planning Scheme Requirements:

10.4.1 Residential density for multiple dwellings

(a) Multiple dwellings must have a site area per dwellings of not less than 325m2

1022m2 / 325m2 Units = 3.14 (Total allowed units 3)

10.4.3 Site Coverage and private open space Total Site Area = 1022m2

(a) Site coverage of not more than 50% Provided = 31.61% (323.02m²)

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No FILN-21-198... DATE RECEIVED 11 May 2021

Date

Scale Check 50mm original size

Tel. 03 6244 2220

Email: reception@multi-resbuilders.com.au

Designer: Ranjot Kaur Licence Number: 173530973

SITE PLAN

Scale:

Job No.:

26 March 2021

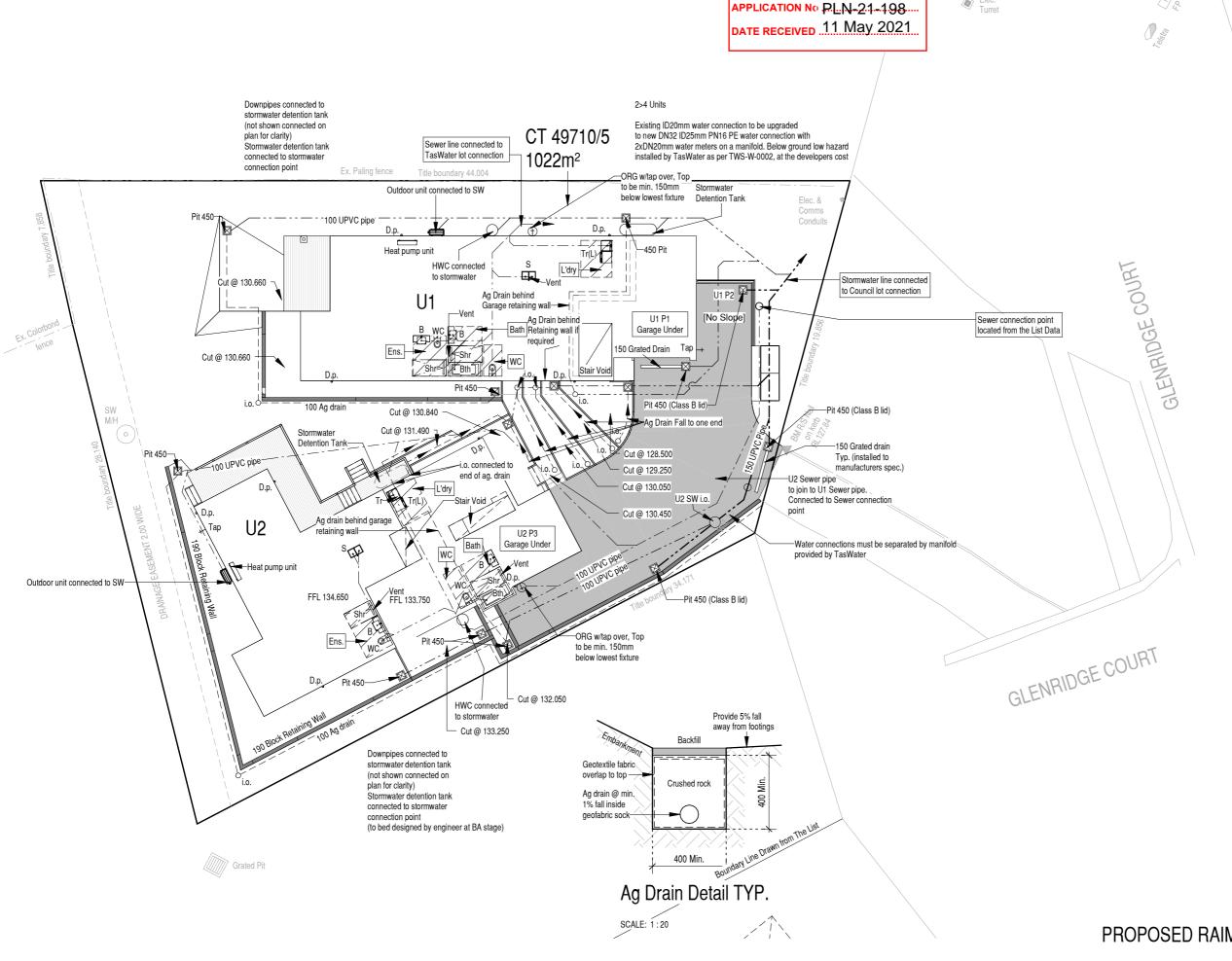
PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

1:200 0475

A100

RK

Drawn



Elec. Turret

	LEGEND	Min. DN
Abbr.	TYPE	Outlet size
В	Basin	40
Bth	Bath	40
Dp	90Ø Downpipe	
i.o.	Inspection opening	
ORG	Overflow relief gully w/tap over	
Pit 450	450 x 450 SW pit con. to SW	
S	Sink	50
Shr	Shower	40
Тар	Garden tap	
Tr(L)	Trough Laundry	40
Vent	50mm UPVC vent to outside	
WC	Water closet pan	100

All works must be in accordance with the current:

- N.C.C., AS3500.2 & AS3500.3

- Water Services Association of Austalia Codes (WSAA)

- Local Council requirements

- TasWater Technical Standards

- Any relevant standards / manufacturers specifications

Refer to Roof Plan for roof catchment areas

Wet areas shown hatched to comply with AS3740 & current N.C.C.

Sewer line 100Ø UPVC U.N.O.

- — Stormwater line 100Ø UPVC U.N.O.

В	03 May 2021	JM		
Α	NA	RK		
No.	Date	Drawn		
Refer to Cover Sheet for revision description				
Owner/e eignituree:				

Date:

Scale Check 50mm original size



Level 11, NAB House, 86 Collins Street Hobart TAS 7000 Tel. 03 6244 2220 Email: reception@multi-resbuilders.com.au

Designer: Ranjot Kaur Licence Number: 173530973

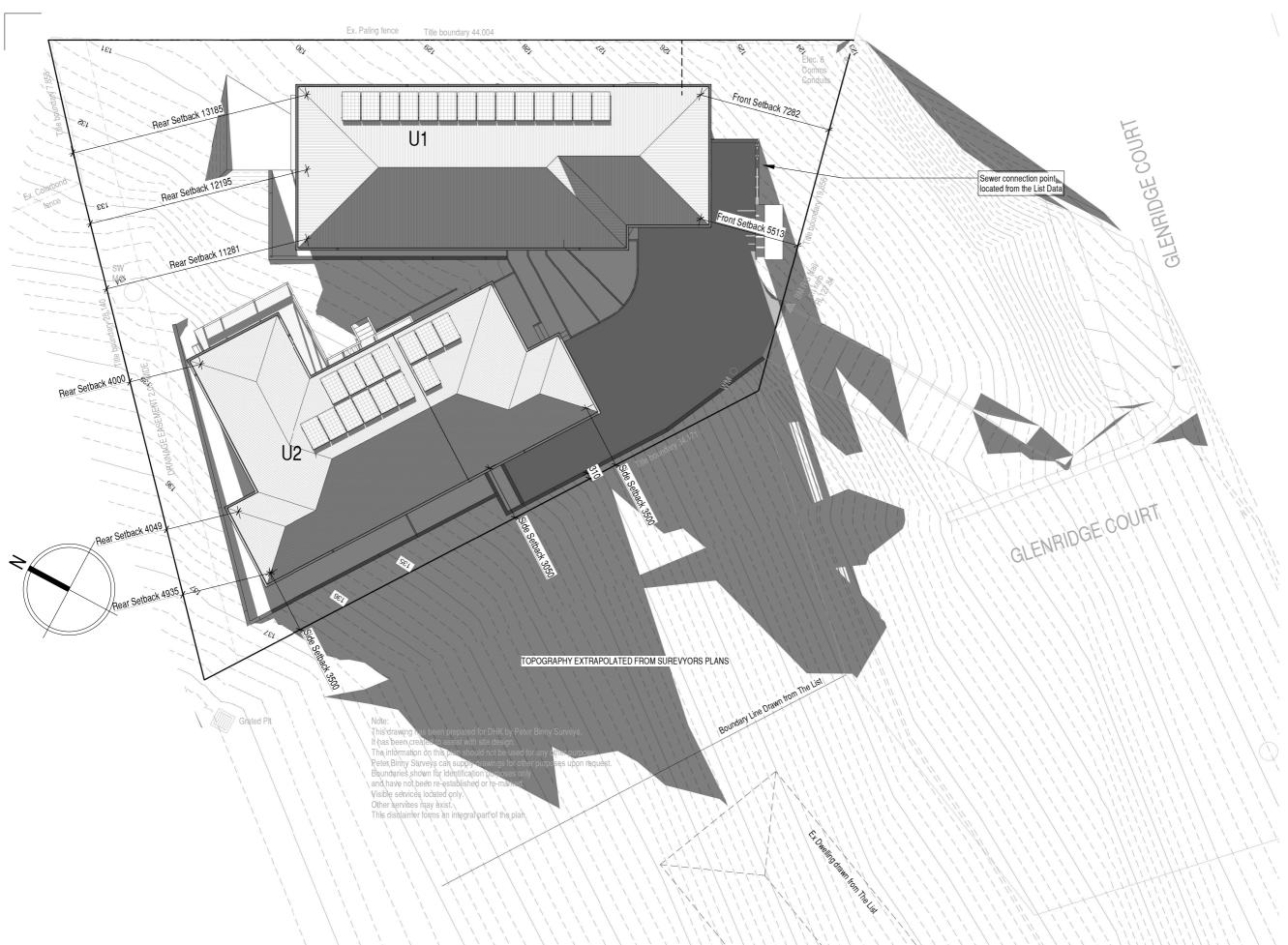
Date: 26 March 2021 Scale: As indicated 0475 Job No.:

TITLE

DRAINAGE PLAN

A101

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

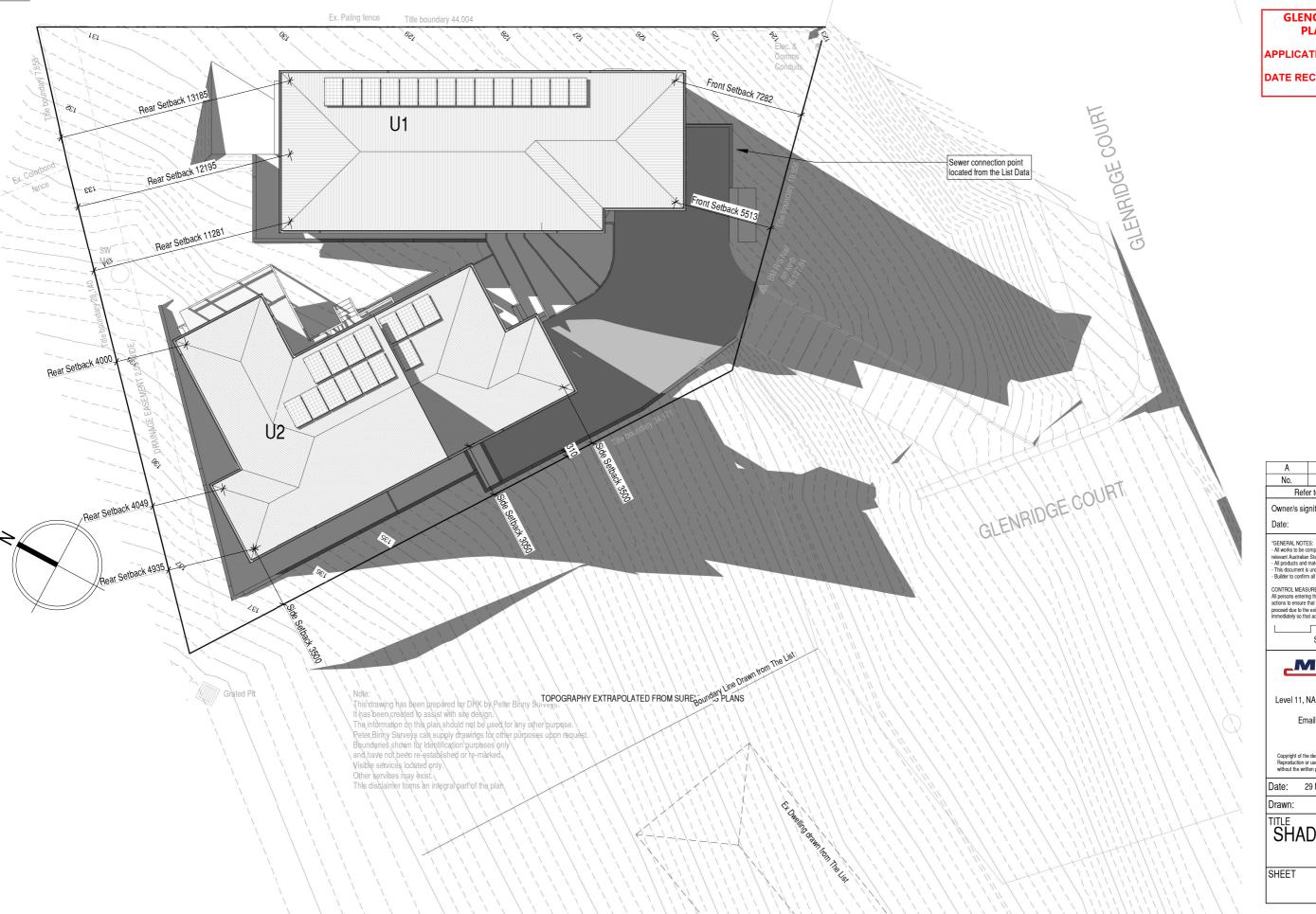


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PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Client / Project Name



DATE RECEIVED 11 May 2021

Date Drawn Refer to Cover Sheet for revision description Owner/s signitures: "GENERAL NOTES:

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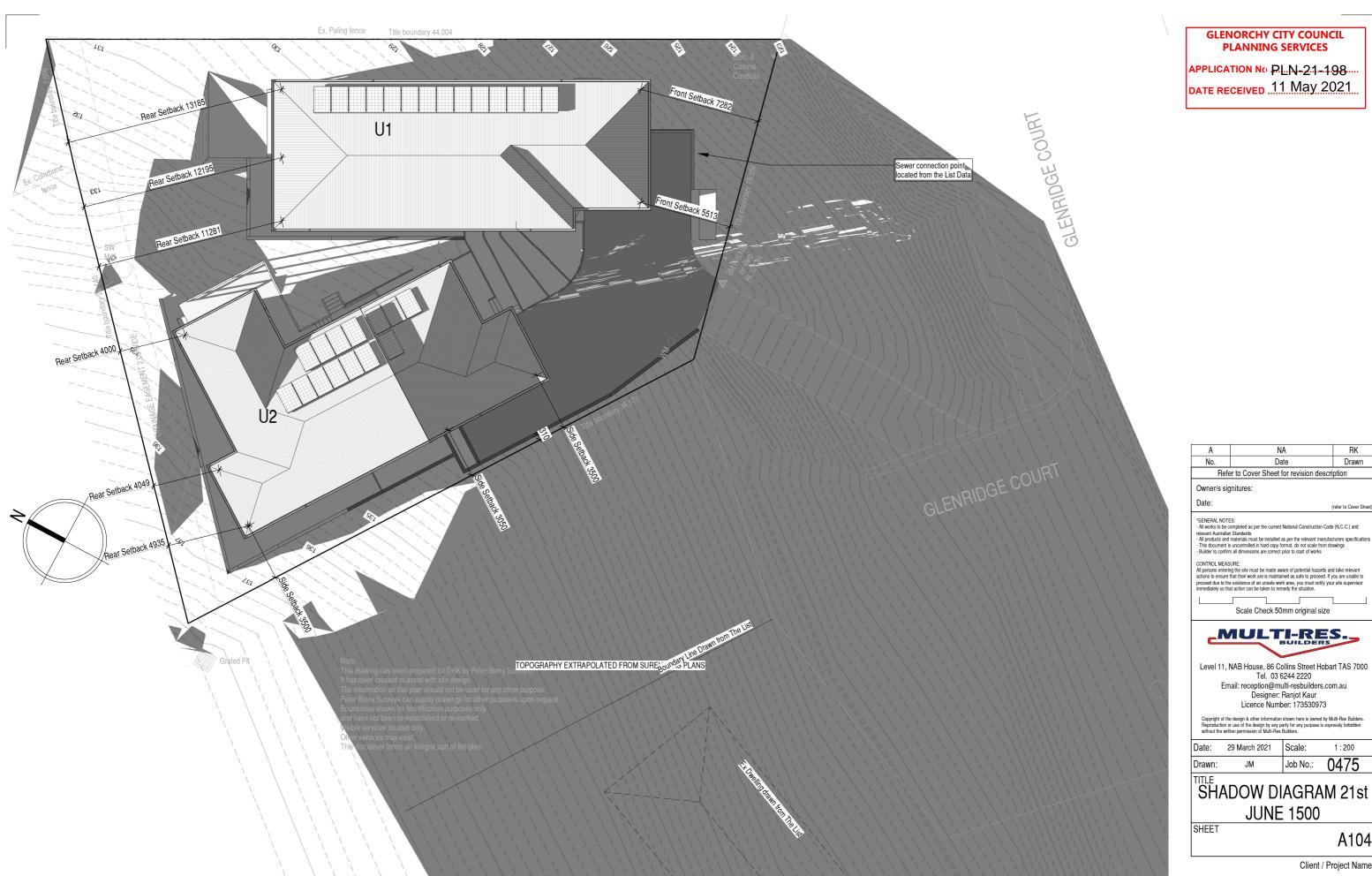
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PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

A103

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PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Client / Project Name

A104

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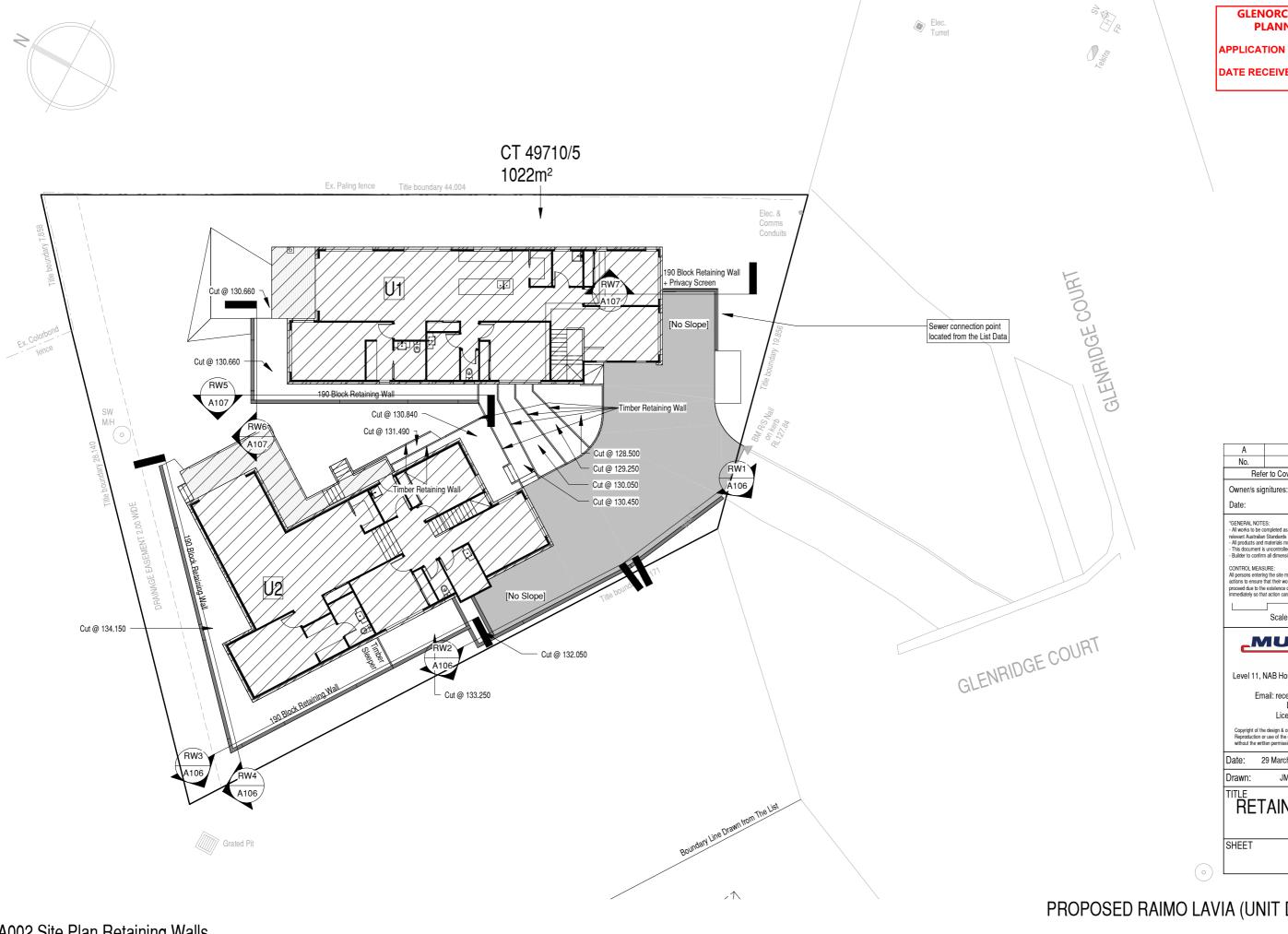
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Tel. 03 6244 2220

Designer: Ranjot Kaur Licence Number: 173530973

JUNE 1500

Scale:



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Date

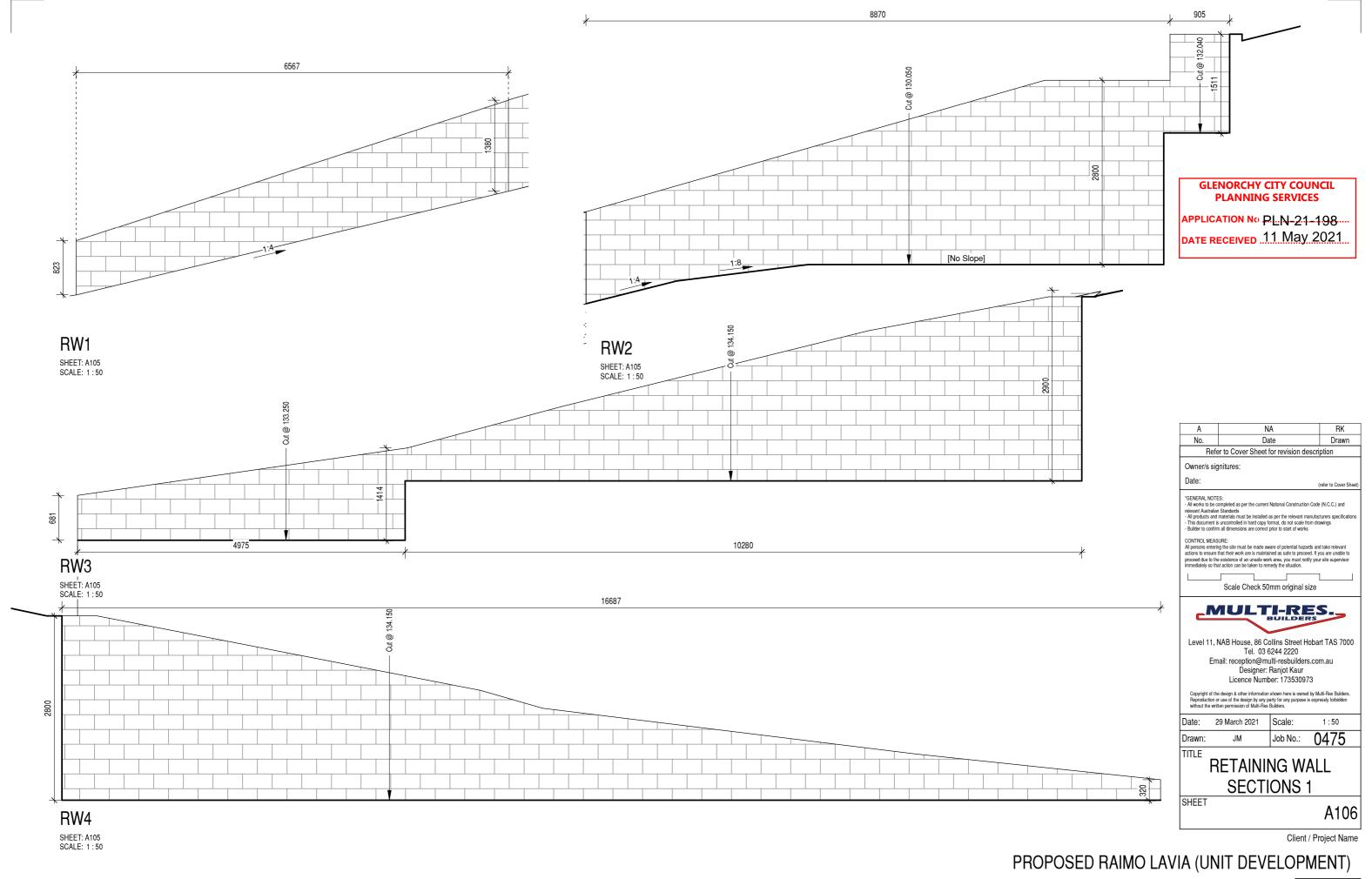
Refer to Cover Sheet for revision description

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

A105

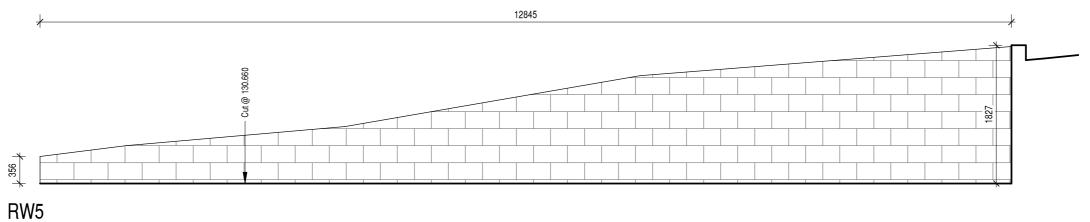
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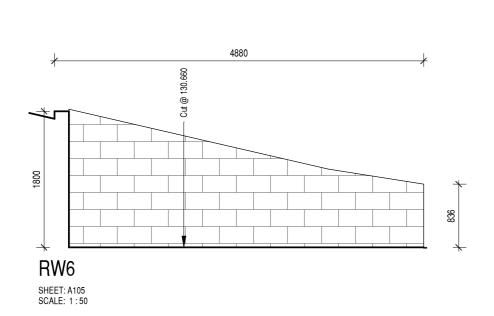


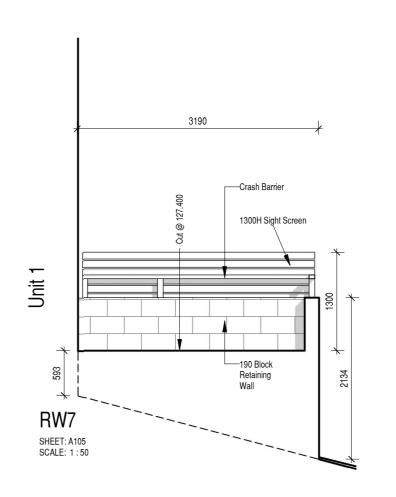
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RETAINING WALL SECTIONS 2				
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PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)





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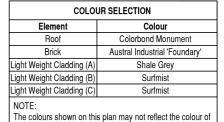
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PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address
Lot 5, 10 GLENRIDGE CRT,
GLENORCHY







The colours shown on this plan may not reflect the colour of the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection

GLENORCHY CITY COUNCIL PLANNING SERVICES

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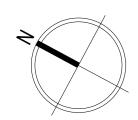




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Date: (refer to Cover Sh GENERAL NOTES: -All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Standards - All products and materials must be installed as per the relevant manufacturers specificatic - This document is uncontrolled in hard copy format, do not scale from drawings - Builder to confirm all dimensions are correct prior to start of works CONTROL MEASURE: All persons entering the site must be made aware of potential hazards and take relevant actions to ensure that their work are is maintained as safe to proceed. If you are unable to proceed due to the existence of an unsafe work area, you must notify your site supervisor immediately so that action can be taken to remedy the situation. Scale Check 50mm original size Level 11, NAB House, 86 Collins Street Hobart TAS 7000 Tel. 03 6244 2220 Email: reception@multi-resbuilders.com.au Designer: Ranjot Kaur Licence Number: 173530973 Copyright of the design & other information shown here is owned by Multi-Res Builders. Pater 29 March 2021 Scale: Orawn: JM Job No.: 0475 TITLE 3D PERSPECTIVE VIEW SHEET 2 SHEET A100	Refe	er to Cover Sheet f	or revision descri	iption	
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Level 11, NAB House, 86 Collins Street Hobart TAS 7001 Tel. 03 6244 2220 Email: reception@multi-resbuilders.com.au Designer: Ranjot Kaur Licence Number: 173530973 Copyright of the design & other information shown here is owned by Multi-Res Builders. Playoration or use of the design by any party for any purpose is expressly forbidden without the wither permission of Multi-Res Builders. Date: 29 March 2021 Scale: Drawn: JM Job No.: 0475 ITTLE 3D PERSPECTIVE VIEW SHEET 2 SHEET 2	(reler to Cover Sheet) **CENERAL NOTES: - All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Standards - All products and materials must be installed as per the relevant manufacturers specifications - This document is uncontrolled in hard copy format, do not scale from drawings - Bulder to confirm all dimensions are correct prior to start of works **CONTROL MEASURE: - All persons entering the site must be made aware of potential hazards and take relevant actions to ensure that their work are is maintained as safe to proceed. If you are unable to proceed due to the existence of an unsafe work area, you must notify your site supervisor immediately so that action can be taken to remedy the situation.				
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Orawn: JM Job No.: 0475 TITLE 3D PERSPECTIVE VIEW SHEET 2 A109	Reproduction of	r use of the design by any pa	arty for any purpose is exp		
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Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)



APPLICATION No PLN-21-198 DATE RECEIVED 11 May 2021

LEGEND

Vertical articulation joints to comply with N.C.C. 3.3.5.13

W

Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and be installed to NCC Clause 3.7.5.5.

U1 GROSS FLOOR AREAS

 Dwelling (Entry):
 11.50m²

 Dwelling (Ground Floor):
 157.18m²

 Garage:
 22.84m²

 TOTAL
 191.52m²

 $\begin{array}{ll} \hbox{Conc. L'ding / Decks} & 2.26 m^2 \\ \hbox{Timber L'ding / Decks} & 10.22 m^2 \end{array}$

IMPORTANT NOTE FOR CLIENT:

These plans are for concept only and are subject to the following, but not limited to:

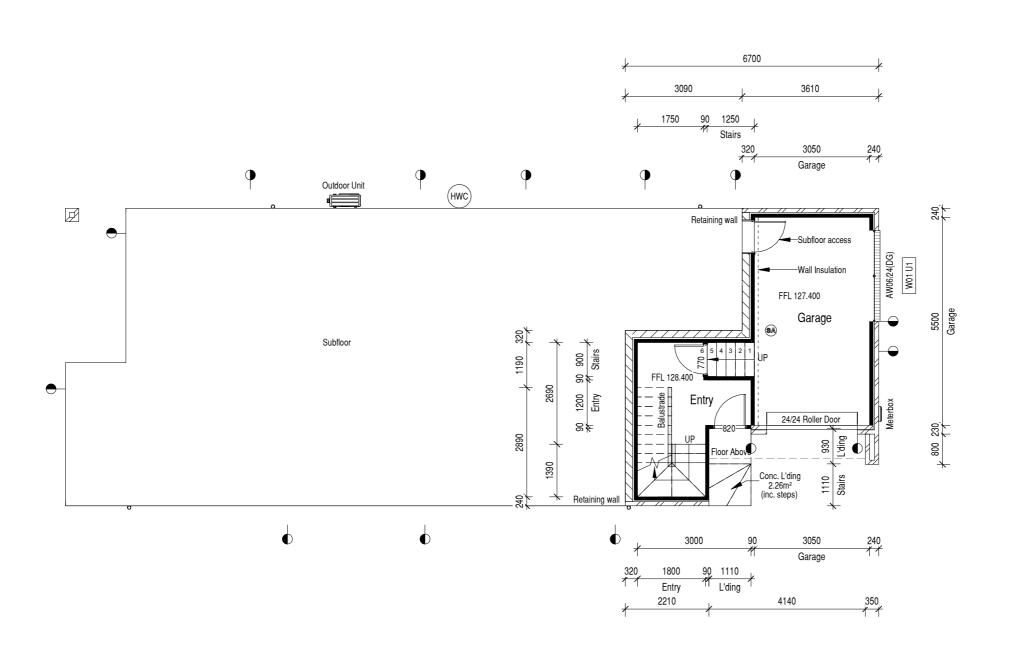
- Finished levels may change and may result in "split level" design if required
- Steps (if any) are indicative only and are subject to change
- Driveway shape, size and location is subject to final design - Further retaining walls / earthworks maybe required
- Landscaping steps / paths maybe required
- Other unforeseeable items such as planning requirements and title covenants

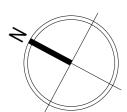


Client / Project Nam

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Dun's at Adalas





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APPLICATION No PLN-21-198 DATE RECEIVED 11 May 2021

LEGEND

Vertical articulation joints to comply with N.C.C. 3.3.5.13

Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and be installed to NCC Clause 3.7.5.5.

U1 GROSS FLOOR AREAS

 Dwelling (Entry):
 11.50m²

 Dwelling (Ground Floor):
 157.18m²

 Garage:
 22.84m²

 TOTAL
 191.52m²

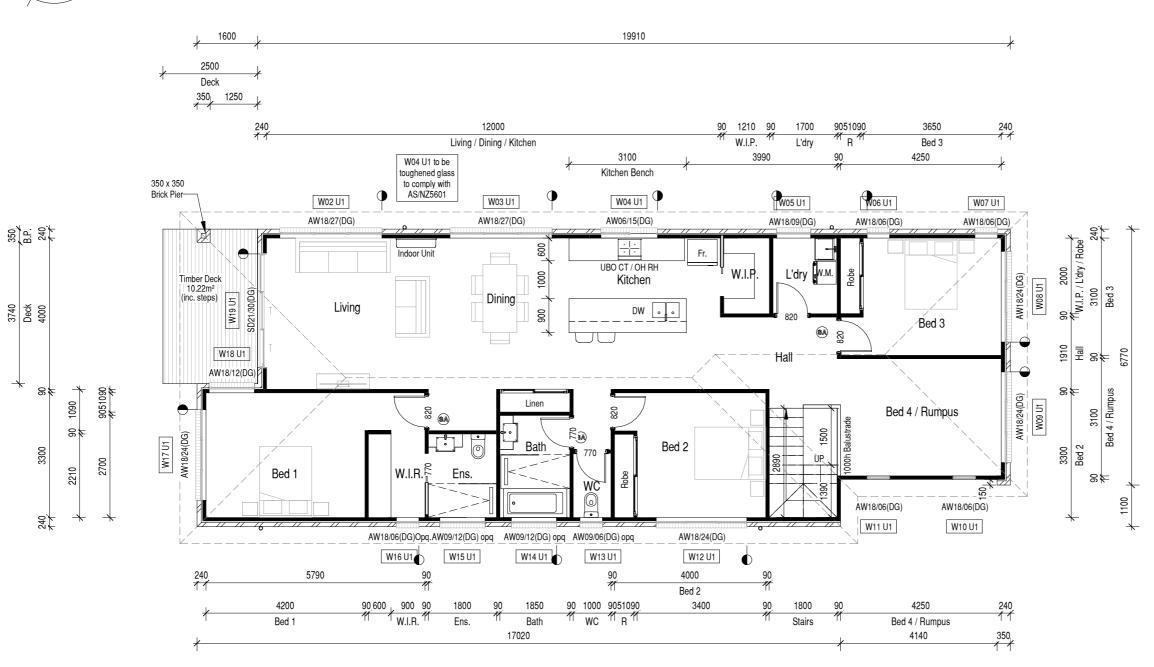
 $\begin{array}{ll} \hbox{Conc. L'ding / Decks} & 2.26 m^2 \\ \hbox{Timber L'ding / Decks} & 10.22 m^2 \end{array}$

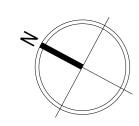


Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Duning Adalas





APPLICATION No PLN-21-198...
DATE RECEIVED .11 May 2021

GUTTER OVERFLOW

As per N.C.C. Table 3.5.3.4a Acceptable continuous overflow measure - Controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia.

BATTENS

Where metal roof - 75 x 38 F17 @ 900 Centre Where tile roof - 75 x 38 F17 (spacing to suit tiles)

BATTEN FIXINGS

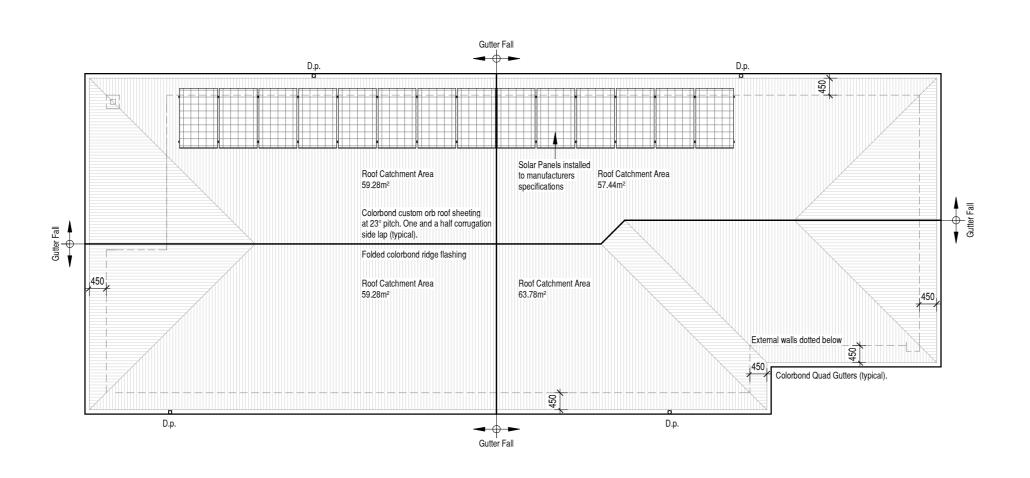
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

COLORBOND FIXINGS

50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

EAVE LINING

External fibre-cement sheets shall be to AS/NZS 2908.2 - 2000 or ISO 8336 - 1993E, and be fixed to NCC Table 3.5.4.6 and NCC Figure 3.5.4.4, and NCC Clause 3.5.4.5(b)



U1 ROOF CATCHMENT AREA CALCULATION			
Ah	198.16m²	Plan area of roof including gutter (parapet included where applicable)	
Ac	239.77m²	catchment area of a roof and vertical surface (wall or parapet)	
Ae	6555	effective cross-sectional area of a gutter (assumed 57x115 quad gutter)	
DRI	100	Rainfall intensity (mm/h) - 5 Min - ARI 20 years. (as per Figure E8)	
Acdp	64	The maximum catchment area of roof per vertical downpipe	
Downpipes required	3.75	Ac / Acdp	
Downpipes provided	4		
NOTE: Roof catcment areas to comply with AS3500.3			

RK No. Date Drawn Refer to Cover Sheet for revision description Owner/s signitures: Date: "GENERAL NOTES:

- All works to be completed as per the current National Construction Code (N.C.C.) and relevant Justialnan Standards

- All products and materials must be installed as per the relevant manufacturers specification.

- This document is uncertiolled in hard copy format, do not be after the manufacturers of the complete of the continuation of the cont CONTROL MEASURE:
All persons entering the site must be made aware of potential hazards and take relevant actions to ensure that their work are is maintained as safe to proceed. If you are unable to proceed due to the existence of an unafset work are, you must notify your site supervisor immediately so that action can be taken to remedy the situation. Scale Check 50mm original size MULTI-RES. Level 11, NAB House, 86 Collins Street Hobart TAS 7000 Tel. 03 6244 2220 Email: reception@multi-resbuilders.com.au Designer: Ranjot Kaur Licence Number: 173530973 Date: 29 March 2021 Scale: 1:100 Job No.: 0475 Drawn: TITLE U1 ROOF PLAN SHEET AU1-202

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PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

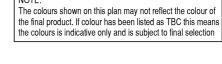
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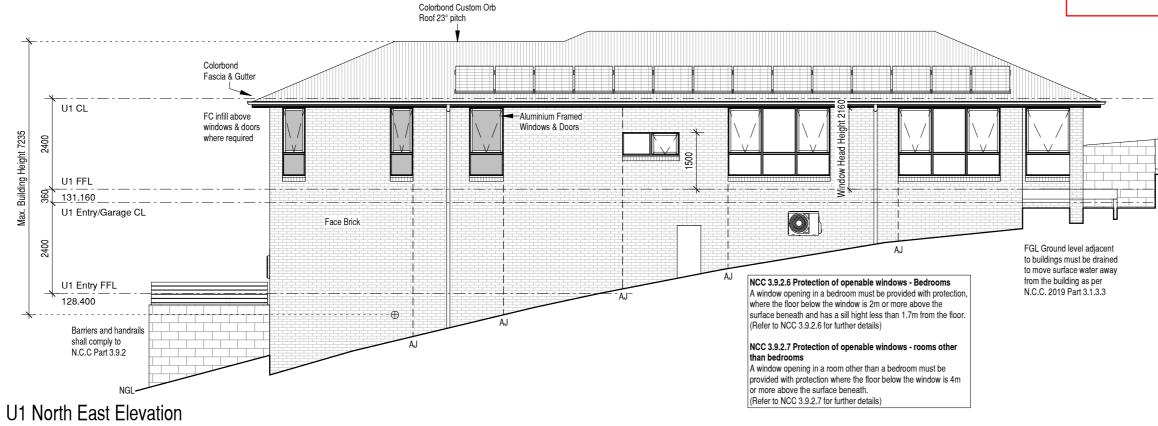
Lot 5, 10 GLENRIDGE CRT, GLENORCHY

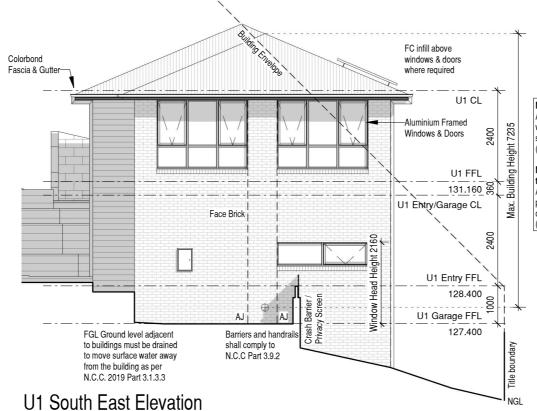
Document Set ID: 2976658 Version: 1, Version Date: 11/05/2021

APPLICATION No PLN-21-198 DATE RECEIVED 11 May 2021

COLO	COLOUR SELECTION			
Element	Colour			
Roof	Colorbond Monument			
Brick	Austral Industrial 'Foundary'			
Light Weight Cladding (A)	Shale Grey			
Light Weight Cladding (B)	Surfmist			
Light Weight Cladding (C)	Surfmist			
NOTE:				







NCC 3.9.2.6 Protection of openable windows - Bedrooms
A window opening in a bedroom must be provided with protection, where the floor below the window is 2m or more above the surface beneath and has a sill hight less than 1.7m from the floor. (Refer to NCC 3.9.2.6 for further details)

NCC 3.9.2.7 Protection of openable windows - rooms other than bedrooms

A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4m or more above the surface beneath. (Refer to NCC 3.9.2.7 for further details)

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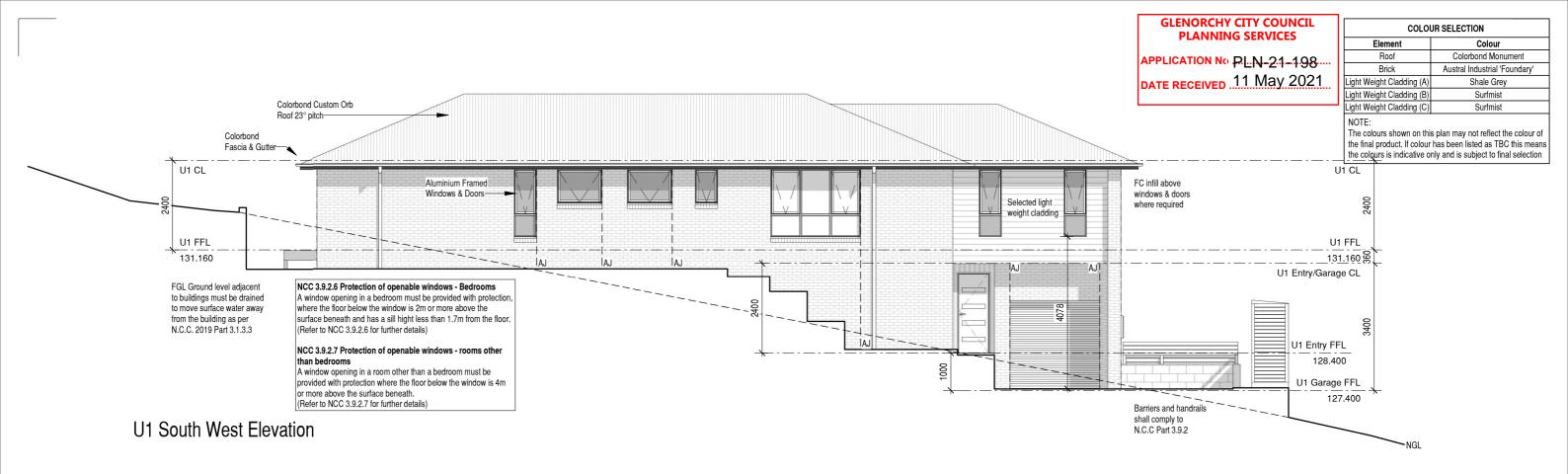
PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

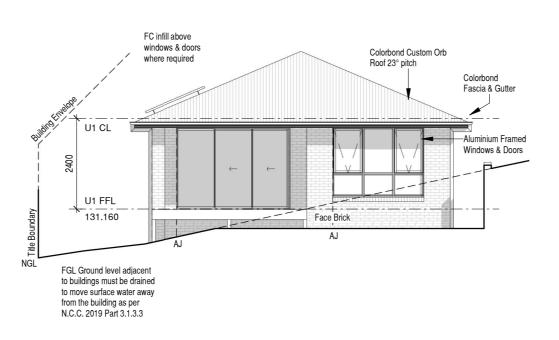
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Lot 5, 10 GLENRIDGE CRT, GLENORCHY

Shadows shown are for visualisation purposes only Window/Door style are indicitive only, refer to selection documentation





U1 North West Elevation

Shadows shown are for visualisation purposes only Window/Door style are indicitive only, refer to selection documentation

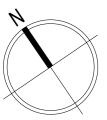
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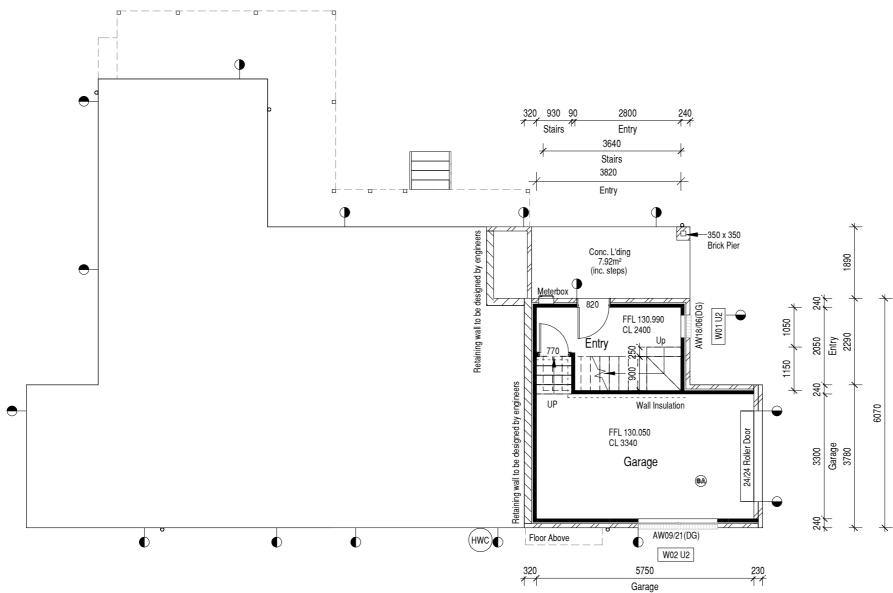
- All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Stantane and Stantane Stantane (N.C.C.) and create and materials must be installed as per the relevant manufacturers specification. Scale Check 50mm original size MULTI-RES Level 11, NAB House, 86 Collins Street Hobart TAS 7000 Tel. 03 6244 2220 Email: reception@multi-resbuilders.com.au Designer: Ranjot Kaur Licence Number: 173530973 Date: 29 March 2021 Scale: 0475 Job No.: U1 ELEVATIONS SHEET 2 AU1-301

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

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APPLICATION No P.L.N-21-198... DATE RECEIVED 11 May 2021

LEGEND



Vertical articulation joints to comply with N.C.C. 3.3.5.13

SA) Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and be installed to NCC Clause 3.7.5.5.

U2 GROSS FLOOR AREAS Dwelling (Entry) : Dwelling (First Floor): Garage: TOTAL 9.35m² 157.44m² 24.50m² 191.29m²

Conc. L'ding / Decks Timber L'ding / Decks 7.92m² 24.15m²

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Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)



DATE RECEIVED 11 May 2021

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Vertical articulation joints to comply with N.C.C. 3.3.5.13

W

Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and be installed to NCC Clause 3.7.5.5.

U2 GROSS FLOOR AREAS

 Dwelling (Entry):
 9.35m²

 Dwelling (First Floor):
 157.44m²

 Garage:
 24.50m²

 TOTAL
 191.29m²

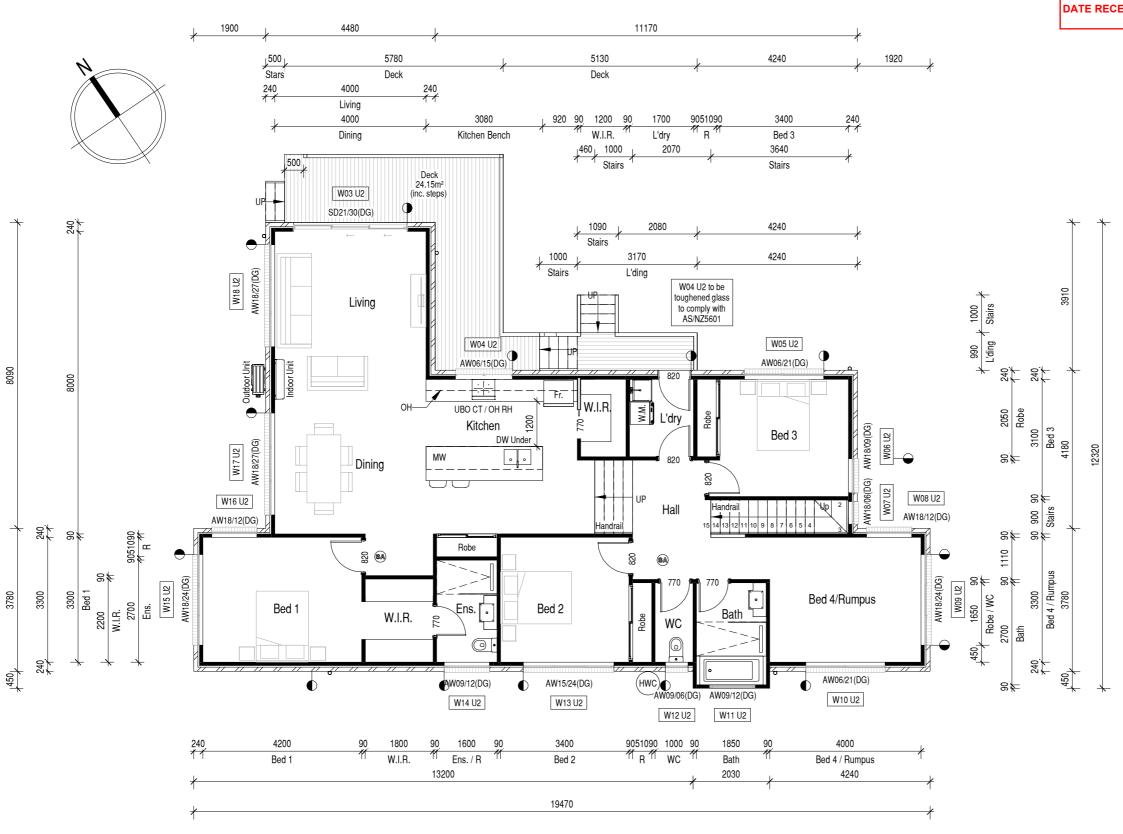
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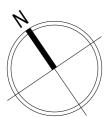


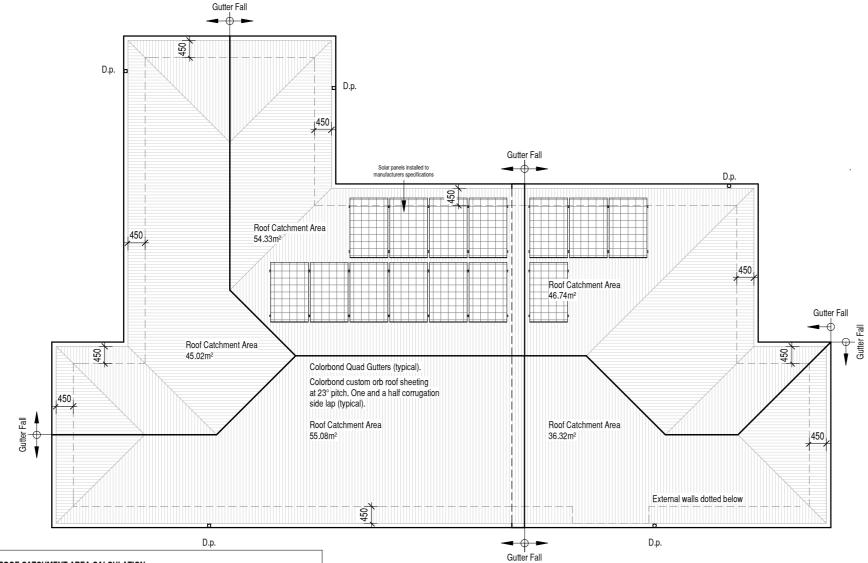
Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Addre







		U2 ROOF CATCHMENT AREA CALCULATION
Ah	196.29m²	Plan area of roof including gutter (parapet included where applicable)
Ac	237.51m ²	catchment area of a roof and vertical surface (wall or parapet)
Ae	6555	effective cross-sectional area of a gutter (assumed 57x115 quad gutter)
DRI	64	Rainfall intensity (mm/h) - 5 Min - ARI 20 years. (as per Figure E8)
Acdp	100	The maximum catchment area of roof per vertical downpipe
Downpipes required	3.71	Ac / Acdp
Downpipes provided	4	
	No	DTE: Roof catcment areas to comply with AS3500.3

Document Set ID: 2976658 Version: 1, Version Date: 11/05/2021

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No PLN-21-198

DATE RECEIVED 11 May 2021

GUTTER OVERFLOW

As per N.C.C. Table 3.5.3.4a Acceptable continuous overflow measure - Controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia.

BATTENS

Where metal roof - 75 x 38 F17 @ 900 Centre Where tile roof - 75 x 38 F17 (spacing to suit tiles)

BATTEN FIXINGS

100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

COLORBOND FIXINGS

50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

EAVE LINING

External fibre-cement sheets shall be to AS/NZS 2908.2 - 2000 or ISO 8336 - 1993E, and be fixed to NCC Table 3.5.4.6 and NCC Figure 3.5.4.4, and NCC Clause 3.5.4.5(b)



PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

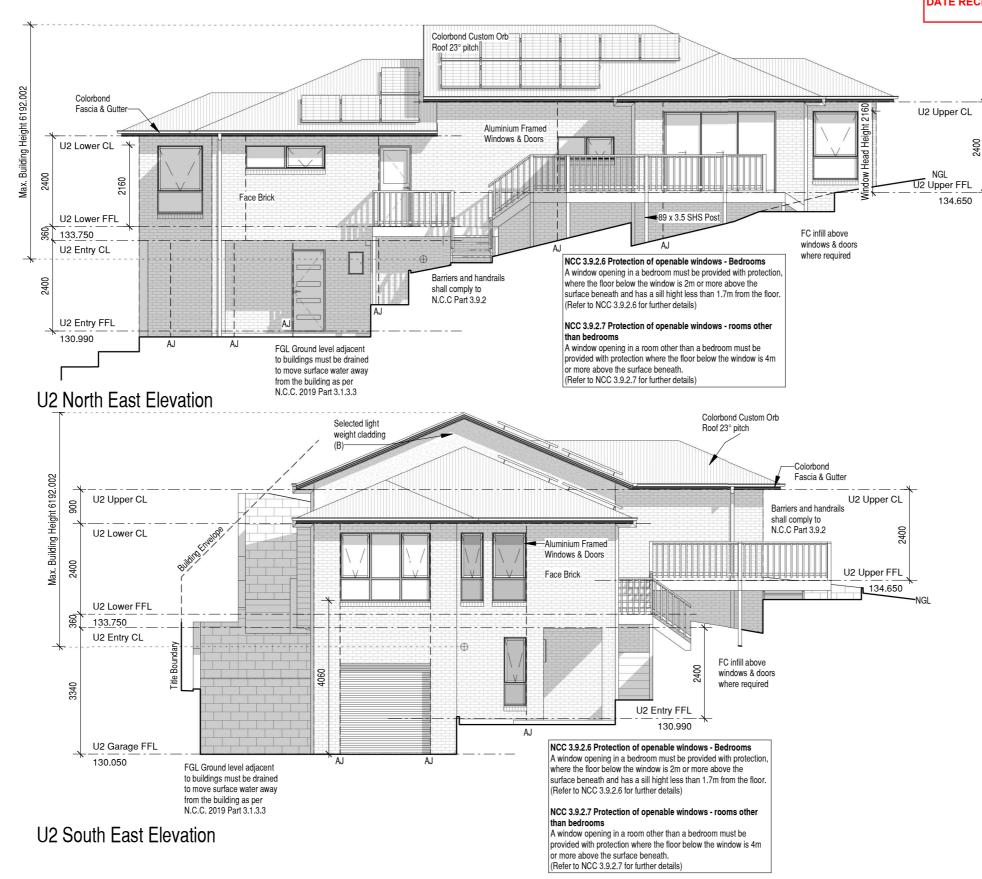
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APPLICATION No PL N-21-198 DATE RECEIVED 11 May 2021

ı	COLOUR SELECTION					
ı	Element	Colour				
ı	Roof	Colorbond Monument				
ı	Brick	Austral Industrial 'Foundary'				
ı	Light Weight Cladding (A)	Shale Grey				
ı	Light Weight Cladding (B)	Surfmist				
J	Light Weight Cladding (C)	Surfmist				
	NOTE:					

The colours shown on this plan may not reflect the colour of

the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection



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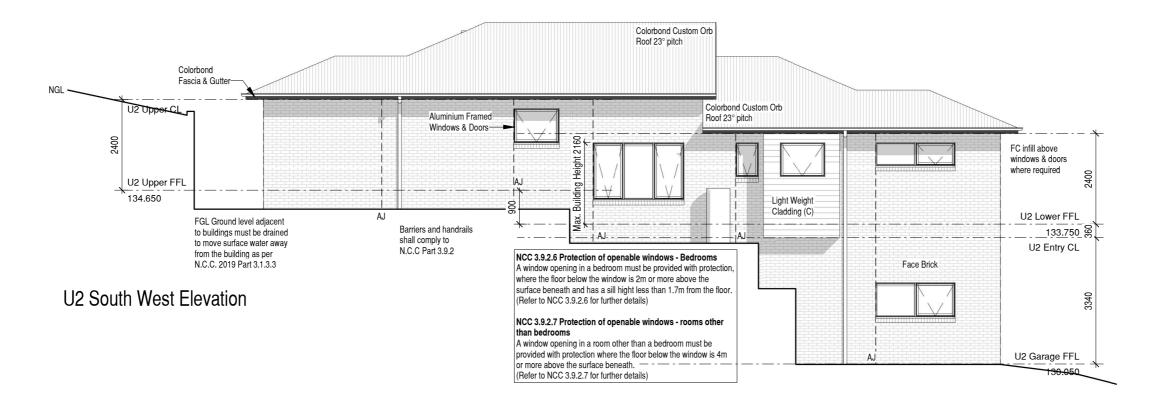
PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

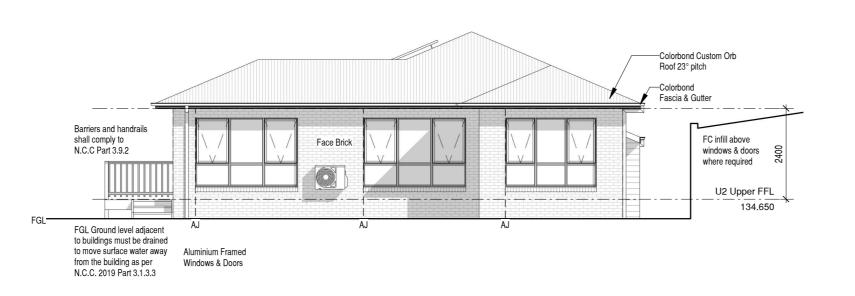
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APPLICATION No P.L.N-21-198.... DATE RECEIVED 11 May 2021

ı	COLOUR SELECTION					
١	Element	Colour				
l	Roof	Colorbond Monument				
l	Brick	Austral Industrial 'Foundary'				
l	Light Weight Cladding (A)	Shale Grey				
l	Light Weight Cladding (B)	Surfmist				
J	Light Weight Cladding (C)	Surfmist				

The colours shown on this plan may not reflect the colour of the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection





U2 North West Elevation

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PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)