

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-21-198
PROPOSED DEVELOPMENT:	Two Multiple Dwellings
LOCATION:	10 Glenridge Court Glenorchy
APPLICANT:	Multi-Res Builders
ADVERTISING START DATE:	19/05/2021
ADVERTISING EXPIRY DATE:	01/06/2021

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and on Glenorchy City Council's website (www.gcc.tas.gov.au) until **01/06/2021**.

During this time, any person may make representations relating to the applications by letter addressed to the General Manager, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **01/06/2021**, or for postal and hand delivered representations, by 5.00 pm on **01/06/2021**.

0475 - PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. ~~PLN-21-198~~

DATE RECEIVED 11 May 2021

SHEET	REVISION	SHEET NAME
A000	B	COVER SHEET
A001		STANDARDS NOTES SHEET 1
A100	A	SITE PLAN
A101	B	DRAINAGE PLAN
A102	A	SHADOW DIAGRAM 21st JUNE 0900
A103	A	SHADOW DIAGRAM 21st JUNE 1200
A104	A	SHADOW DIAGRAM 21st JUNE 1500
A105	A	RETAINING WALL SITE PLAN
A106	A	RETAINING WALL SECTIONS 1
A107	A	RETAINING WALL SECTIONS 2
A108	A	3D PERSPECTIVE VIEW SHEET 1
A109	A	3D PERSPECTIVE VIEW SHEET 2
AU1-200	A	U1 GARAGE FLOOR PLAN
AU1-201	A	U1 FLOOR PLAN
AU1-202	A	U1 ROOF PLAN
AU1-203	A	U1 GARAGE ELECTRICAL PLAN
AU1-204	A	U1 ELECTRICAL PLAN
AU1-300	A	U1 ELEVATIONS SHEET 1
AU1-301	A	U1 ELEVATIONS SHEET 2
AU2-200	A	U2 GARAGE FLOOR PLAN
AU2-201	A	U2 FLOOR PLAN
AU2-202	A	U2 ROOF PLAN
AU2-203	A	U2 GARAGE ELECTRICAL PLAN
AU2-204	A	U2 ELECTRICAL PLAN
AU2-300	A	U2 ELEVATIONS SHEET 1
AU2-301	A	U2 ELEVATIONS SHEET 2



Driveway to be designed at BA stage
Stormwater detention tank to be designed at BA stage
Retaining walls to be designed at BA stage

AREA SCHEDULE

Total site area: 1022m²

U1 GROSS FLOOR AREAS

Dwelling (Entry) : 11.50m²

Dwelling (Ground Floor): 157.18m²

Garage: 22.84m²

TOTAL 191.52m²

Conc. L'ding / Decks 2.26m²

Timber L'ding / Decks 10.22m²

U2 GROSS FLOOR AREAS

Dwelling (Entry) : 9.35m²

Dwelling (First Floor): 157.44m²

Garage: 24.50m²

TOTAL 191.29m²

Conc. L'ding / Decks 7.92m²

Timber L'ding / Decks 24.15m²

Other required documents (not supplied with this set)

Site Classification Report / Assessment SOIL 17-231

Wastewater Assessment NA

Bushfire Hazard Management Report TBC

Bushfire Hazard Management Plan TBC

Energy Assessment TBC

Title Reference: CT 49710/5

Wind Classification N3

Soil Classification S

Climate Zone 7

BAL Level TBC

Alpine Area NA

Corrosion Environment Moderate

Other Hazards NA

MULTI-RES BUILDERS

Level 11, NAB House, 86 Collins Street Hobart TAS 7000

Tel. 03 6244 2220

Email: reception@multi-resbuilders.com.au

Designer: Ranjot Kaur

Licence Number: 173530973

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Date: 29 March 2021

Scale:

Drawn: JM

Job No.: 0475

TITLE

COVER SHEET

SHEET

A000

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY

B	COUNCIL RFI: Stormwater Detention Tank, Note driveway to be designed at BA stage on Cover Sheet	03 May 2021	JM	MM	A000 & A101
	DA Plans	29 March 2021	JM	MM	A000 - AU2-301
A	PRELIM A	NA	RK	NA	A000 - AU2-301
	CONCEPT PLANS	NA	RK	NA	NA
	Amendment	Date	Drawn	Checked	Sheets

GLENORCHY CITY COUNCIL
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SOIL & WATER MANAGEMENT STRATEGIES
Downpipes shall be installed into Council stormwater as soon as the roof has been installed

Ensure that AG drains have been installed prior to footing excavation. Refer to Drainage Plan on the Architectural Drawing Plans

Any excavated materials that are placed up-slope of an Ag drain. Shall be removed when the building works are complete and used as fill on site for any other low points. Ensure a install a sediment fence on the downslope side of material.

All construction vehicles shall be parked on the street only, to prevent transferring debris onto street.

DRAINAGE PLAN STANDARD NOTES:
Ensure that there are inspection openings are installed at all major bends for stormwater and all low points of downpipes.

All plumbing & drainage shall be in accordance with local Council requirements.

Provide surface drain to back of any bulk excavation on site to drain levelled pad prior to commencing footing excavation.

SERVICES
The heated water system shall be designed and installed with Part B2 of the NCC Volume Three - Plumbing Code of Australia.

Thermal insulation for heated water piping must:
A) be protected against the effects of weather and sunlight; and
B) be able to withstand the tempratures within the piping; and
C) use thermal insulation in accordance with AS/NZS 4859.1

ARCHITECTURAL PLANS DRAWING NOTE:
All plans shown in this document are architectural only, for structural specification/design refer to engineer drawings. (Engineering plans are documented after DA permit)

ARCHITECTURAL PLANS DRIVEWAY NOTES:
Driveway grades to be in accordance with AS2890. If noted with "to be designed by Engineer at BA Stage" Engineer design to take precedence over Architectural Driveway.

PLUMBING STACK NOTE:
Plumber to check plumbing stack location with framing plan prior to start of works.

DESIGN RETAINING WALL NOTES:
Extent of any retaining wall design should be assessed on site to determine if unprotected embankment could replace retaining wall.

UNPROTECTED EMBANKMENT
Any excavation adjacent to boundary shall comply to NCC 2019 3.1.1 Earthworks. For slope ratio refer to the site plan on the Architectural documentation

DRAWING DOCUMENTATION ABBREVIATION:
Opq. = Opaque RH = Rangehood
Conc. = Concrete OH = Overhead
CT = Cooktop Inc. = Including
WM = Washing Machine REF = Fridge
HWC = Hot Water Cylinder L'ding = Landing
Cup'd = Cupboard Dp = Downpipe

KITCHEN NOTES:
Kitchen appliances/design/sizes/location are indicitive only (objects shown as placeholders only). Refer to selection documentation.

BATHROOM NOTES:
Bathroom fixtures/design/sizes/location are indicitive only (objects shown as placeholders only). Refer to selection documentation.

STAIR NOTES:
All internal/external stairs including concrete or timber timber risers and treads shall comply to NCC 3.9.1.2 Stairway construction.

SITE INFORMATION NOTES:
Title Reference: Certificate volume and folio

Wind Classification/ Site Classification to AS 4055-2006 Site

Classificaiton Soil Classification to AS 2870-2011
Refer to *SITE CLASSIFICATION AND SOIL CLASSIFICATION REPORT*

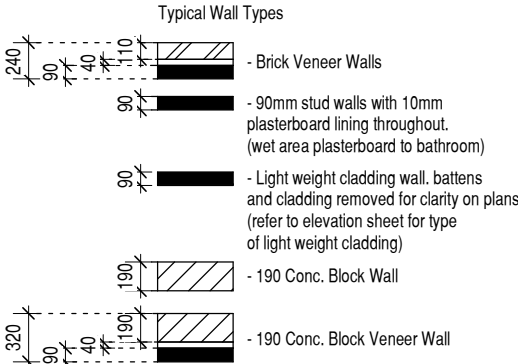
Climate Zone (www.abcb.gov.au map)

BAL Level: As determined by Registered Bushfire Assessor / or The List Bushfire overlay

Alpine NCC 2019 Volume Two Schedule 3
Definitions (c) in Tasmania more than 900m above the Australian Height Datum

Corrosion Environment For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to N.C.C. Table 3.3.5.4.
Corrosion prection for wall ties. Table 3.3.5.6 Corrosion protection - Lintels.
3.4.4.7 Protective coats for steel work. For futher detail on perticular items not noted in this briefing refer to N.C.C 2019.

Other Hazards High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors.



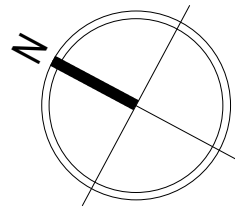
No.	Date	Drawn
Refer to Cover Sheet for revision description		
Owner/s signatures:		
Date: (refer to Cover Sheet)		
<p>GENERAL NOTES:</p> <ul style="list-style-type: none">- All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Standards- All products and materials must be installed as per the relevant manufacturers specifications- This document is uncontrolled in hard copy format, do not scale from drawings- Builder to confirm all dimensions are correct prior to start of works <p>CONTROL MEASURE:</p> <p>All persons entering the site must be made aware of potential hazards and take relevant actions to ensure that their work are maintained as safe to proceed. If you are unable to proceed due to the existence of an unsafe work area, you must notify your site supervisor immediately so that action can be taken to remedy the situation.</p> <p>Scale Check 50mm original size</p>		
<p>MULTI-RES. BUILDERS</p> <p>Level 11, NAB House, 86 Collins Street Hobart TAS 7000 Tel. 03 6244 2220 Email: reception@multi-resbuilders.com.au Designer: Ranjot Kaur Licence Number: 173530973</p> <p><small>Copyright of the design & other information shown here is owned by Multi-Res Builders. Reproduction or use of the design by any party for any purpose is expressly forbidden without the written permission of Multi-Res Builders.</small></p>		
Date:	03 May 2021	Scale: As indicated
Drawn:	JM	Job No.: 0475
TITLE		
STANDARDS NOTES		
SHEET 1		
SHEET		
A001		

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY



U1 Garage FFL	127.400
U1 Entry FFL	128.400
U2 Garage FFL	130.050
U2 Entry FFL	130.990

U1 FFL	131.160
U2 Lower FFL	133.750
U2 Upper FFL	134.650



Elec.
Turret



Telstra

Note:
This drawing has been prepared for DHK by Peter Binny Surveys.
It has been created to assist with site design.
The information on this plan should not be used for any other purpose.

Peter Binny Surveys can supply drawings for other purposes upon request.
Boundaries shown for identification purposes only
and have not been re-established or re-marked.

Visible services located only.
Other services may exist.

This disclaimer forms an integral part of the plan.

Planning Scheme Requirements:

10.4.1 Residential density for multiple dwellings
A1 -
(a) Multiple dwellings must have a site area per dwellings
of not less than 325m²
1022m² / 325m² Units = 3.14 (Total allowed units 3)

10.4.3 Site Coverage and private open space
Total Site Area = 1022m²
A1 -
(a) Site coverage of not more than 50%
Provided = 31.61% (323.02m²)

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No. **PLN-21-198**

DATE RECEIVED **11 May 2021**

A	NA	RK
No.	Date	Drawn
Refer to Cover Sheet for revision description		
Owner's signatures:		
Date: (refer to Cover Sheet)		
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Date: 26 March 2021	Scale: 1 : 200	
Drawn: JM	Job No.: 0475	
TITLE		
SITE PLAN		
SHEET		
A100		

Client / Project Name

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GLENORCHY



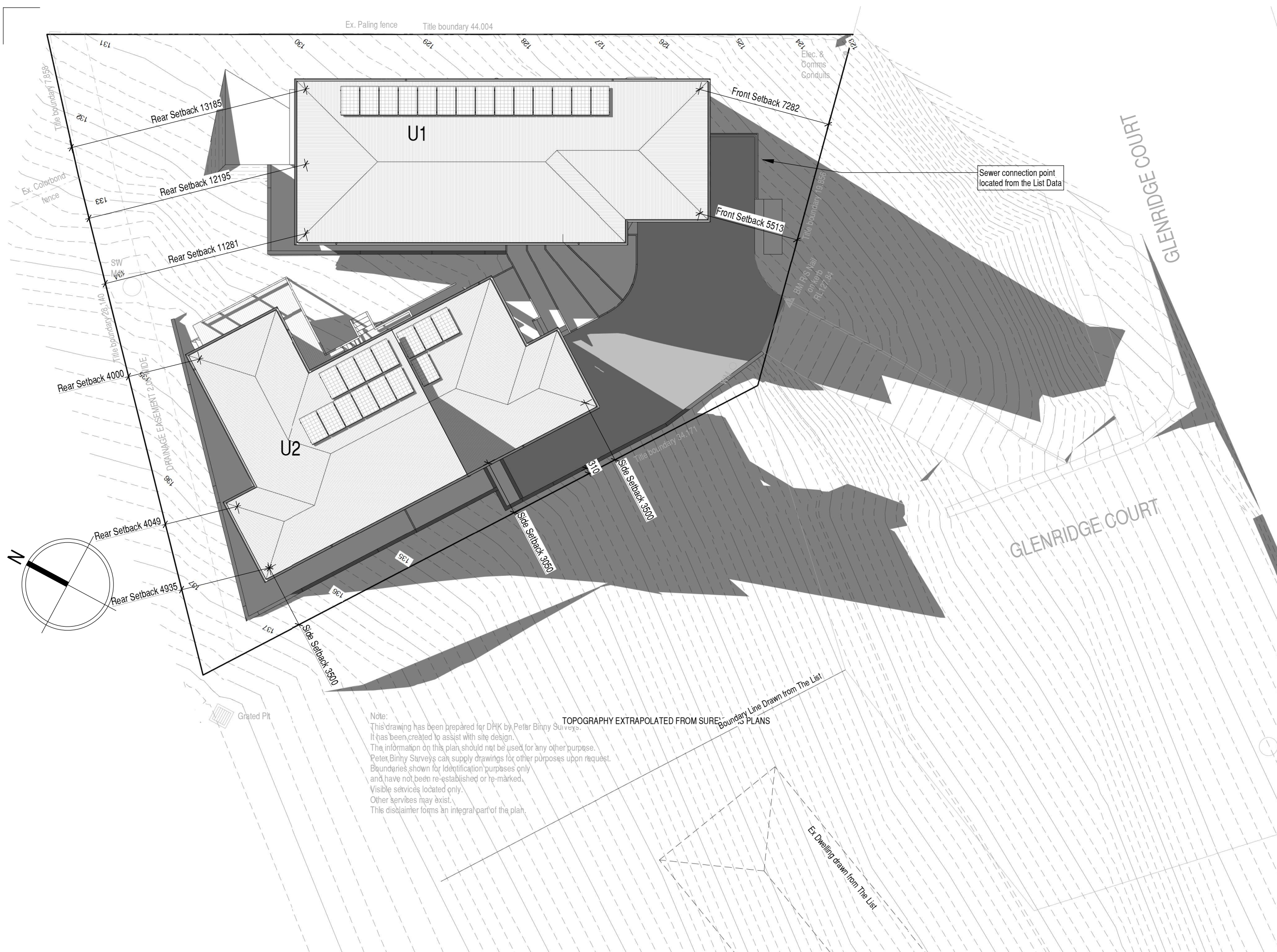
— - — Sewer line 100Ø UPVC U.N.O.
— - - Stormwater line 100Ø UPVC U.N.O.

SHEET

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY



Lot 5, 10 GLENRIDGE CRT,
GLENORCHY



A	NA	RK
No.	Date	Drawn

Refer to Cover Sheet for revision description

Owner's signatures:

Date: _____ (refer to Cover Sheet)

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MULTI-RES. BUILDERS

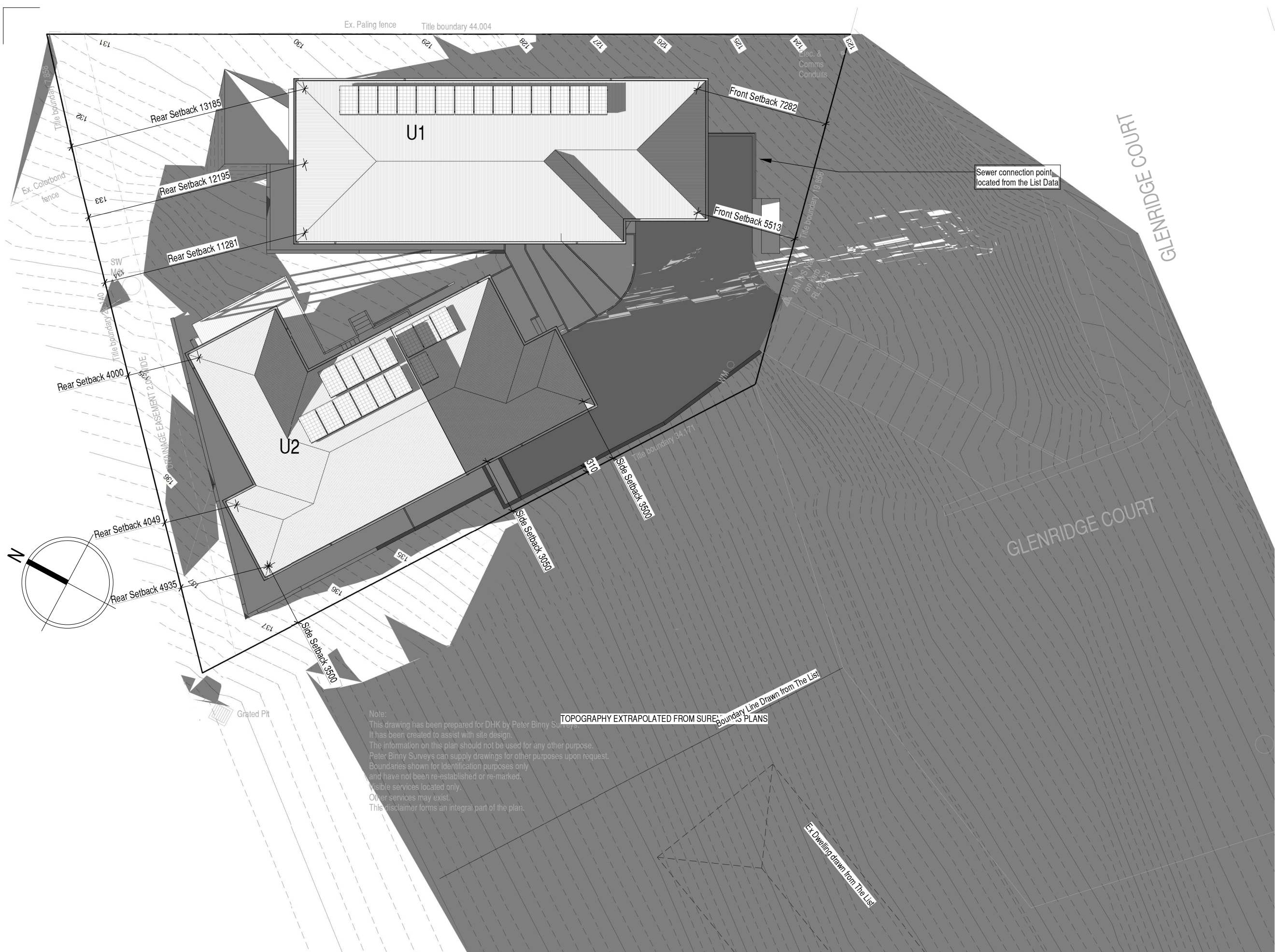
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Email: reception@multi-resbuilders.com.au
Designer: Ranjot Kaur
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Date:	29 March 2021	Scale:	1 : 200
Drawn:	JM	Job No.:	0475

TITLE
**SHADOW DIAGRAM 21st
JUNE 1200**

SHEET
A103



A	NA	RK
No.	Date	Drawn

Refer to Cover Sheet for revision description

Owner's signatures:

Date: (refer to Cover Sheet)

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MULTI-RES BUILDERS

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Email: reception@multi-resbuilders.com.au
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Licence Number: 173530973

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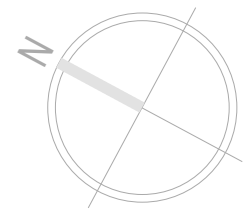
Date:	29 March 2021	Scale:	1 : 200
Drawn:	JM	Job No.:	0475

TITLE

SHADOW DIAGRAM 21st JUNE 1500

SHEET

A104



Elec.
Turret

SV
FP
Telstra

CT 49710/5
1022m²

Ex. Paling fence Title boundary 44.004

Elec. &
Comms
Conduits

190 Block Retaining Wall
+ Privacy Screen

[No Slope]

Sewer connection point
located from the List Data

Title boundary 19.856
BM R/S Nail
on kerb
RL 127.84

GLENRIDGE COURT

GLENRIDGE COURT

Boundary Line Drawn from The List

Grated Pit

A	NA	RK
No.	Date	Drawn
Refer to Cover Sheet for revision description		
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Date: (refer to Cover Sheet)		
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Date: 29 March 2021	Scale: 1 : 200	
Drawn: JM	Job No.: 0475	
TITLE RETAINING WALL SITE PLAN		
SHEET		A105

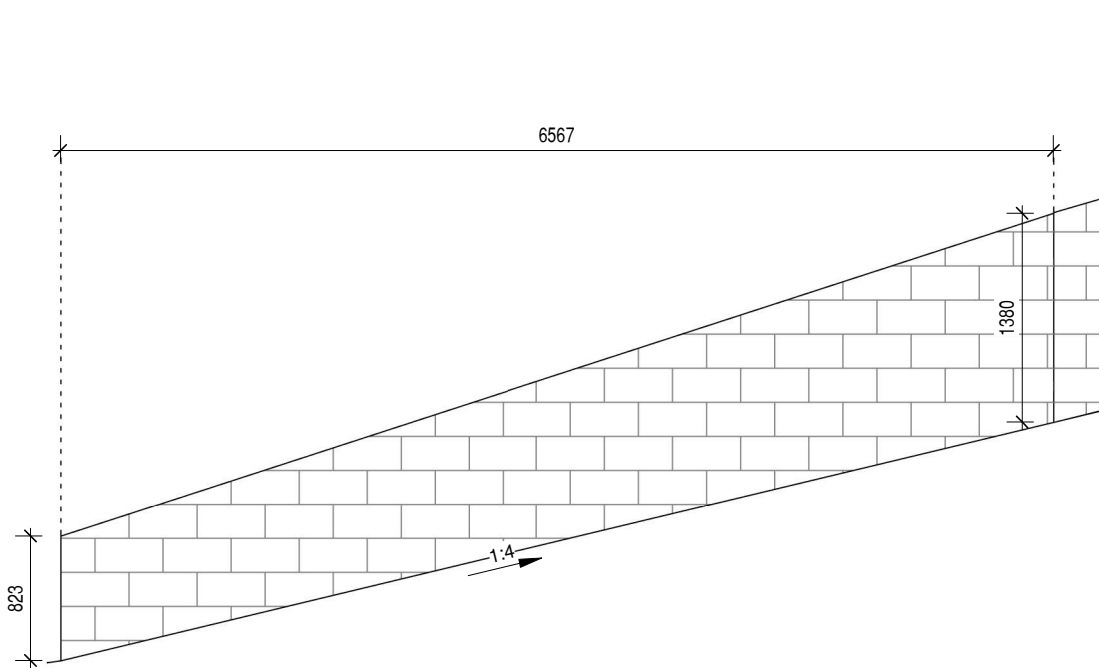
Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

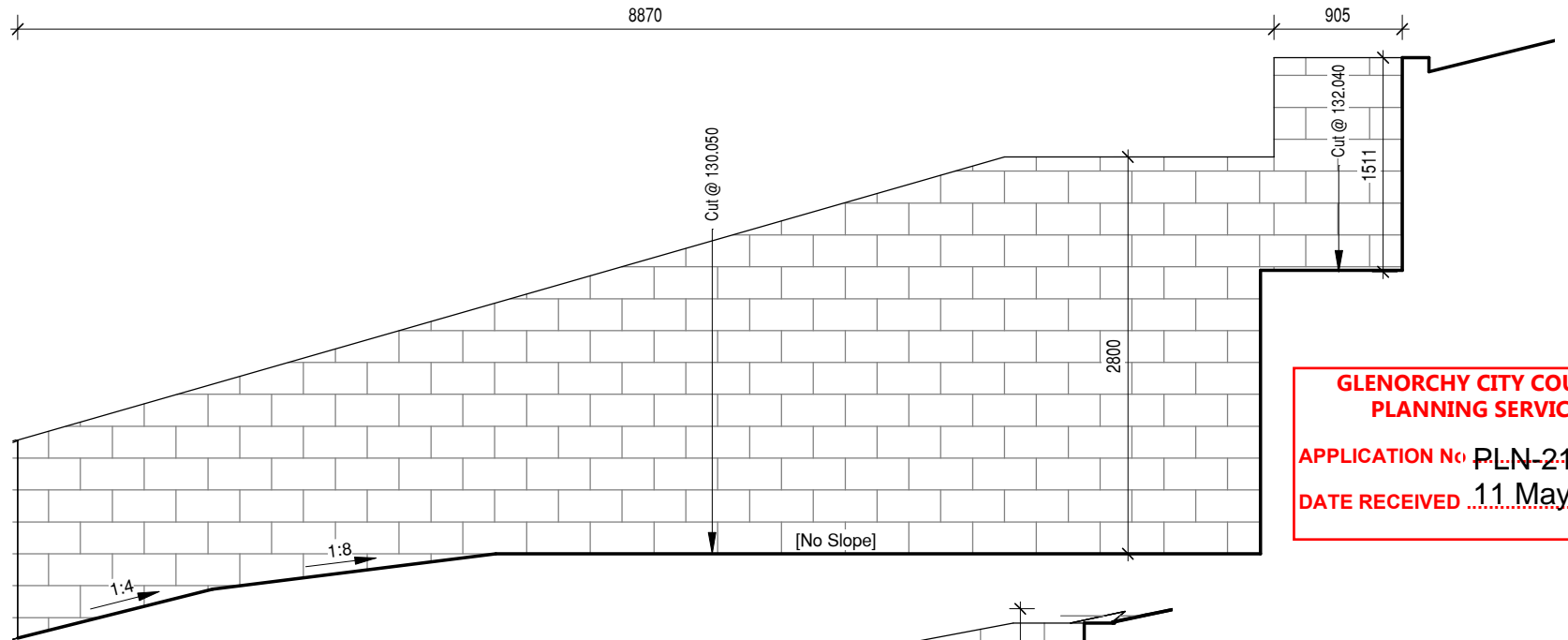
**Lot 5, 10 GLENRIDGE CRT,
GLENORCHY**

A002 Site Plan Retaining Walls



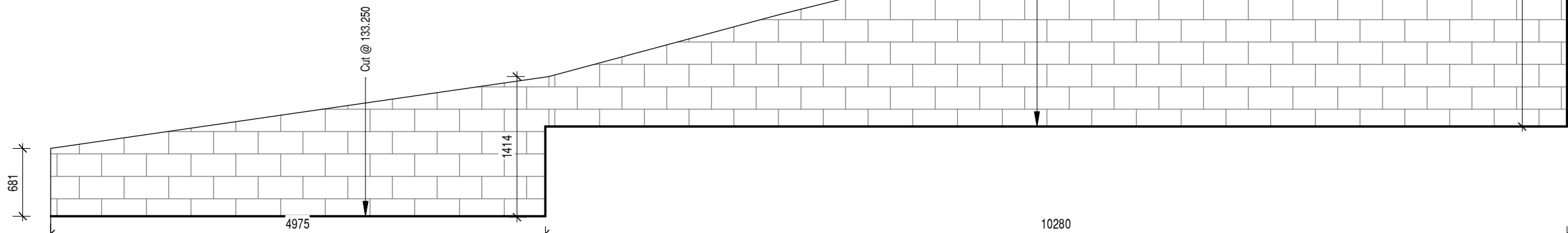
RW1

SHEET: A105
SCALE: 1 : 50



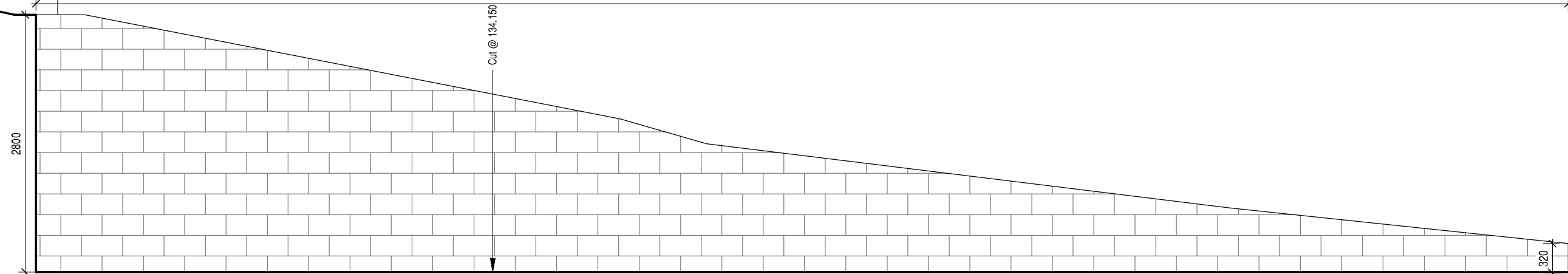
RW2

SHEET: A105
SCALE: 1 : 50



RW3

SHEET: A105
SCALE: 1 : 50



RW4

SHEET: A105
SCALE: 1 : 50

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. **PLN-21-198**

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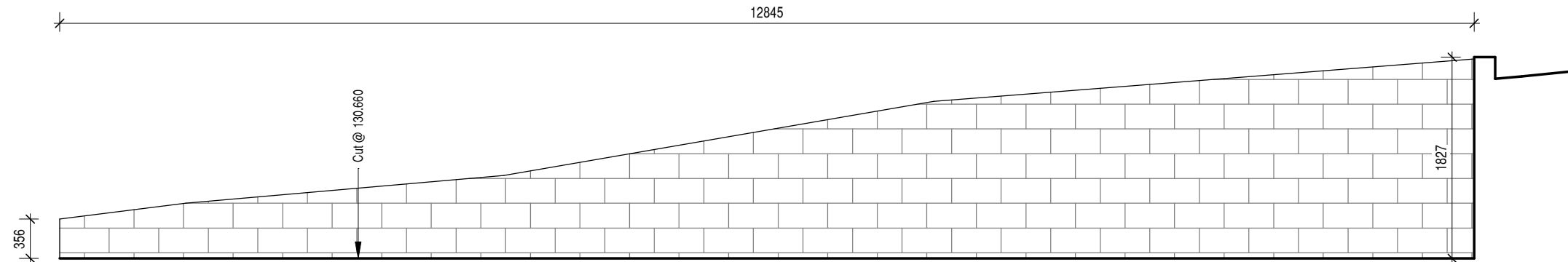
A	NA	RK
No.	Date	Drawn
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Date:	29 March 2021	Scale: 1 : 50
Drawn:	JM	Job No.: 0475
TITLE		
RETAINING WALL SECTIONS 1		
SHEET		
A106		

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

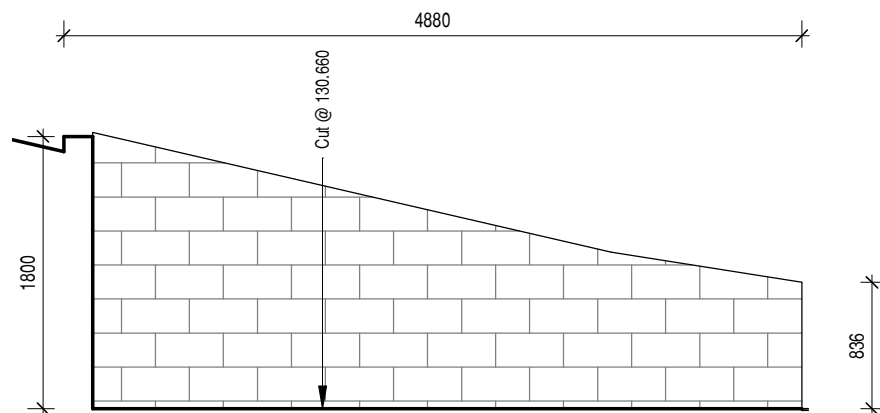
Project Address

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY



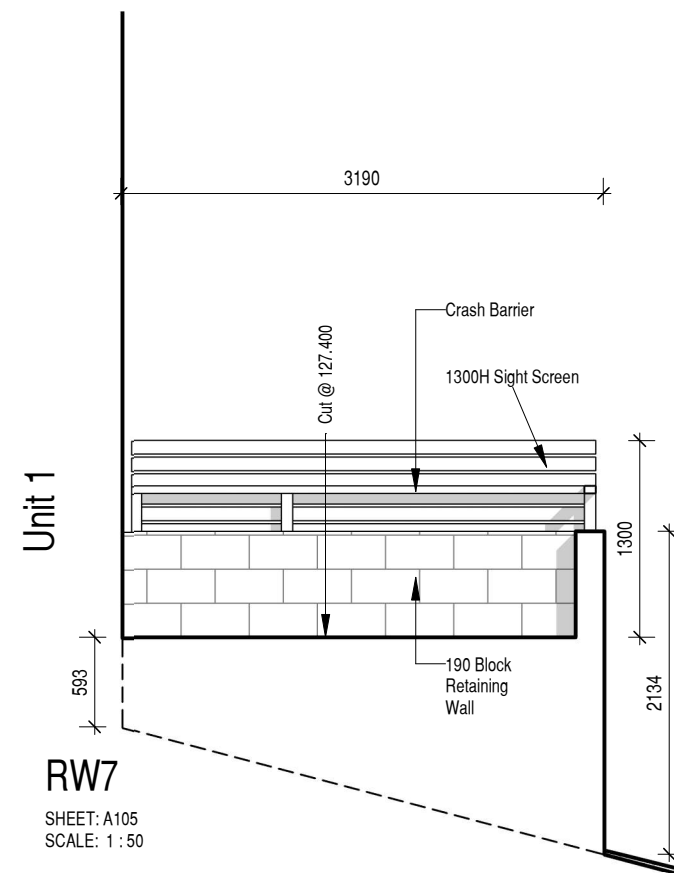
RW5

SHEET: A105
SCALE: 1 : 50



RW6

SHEET: A105
SCALE: 1 : 50



RW7

SHEET: A105
SCALE: 1 : 50

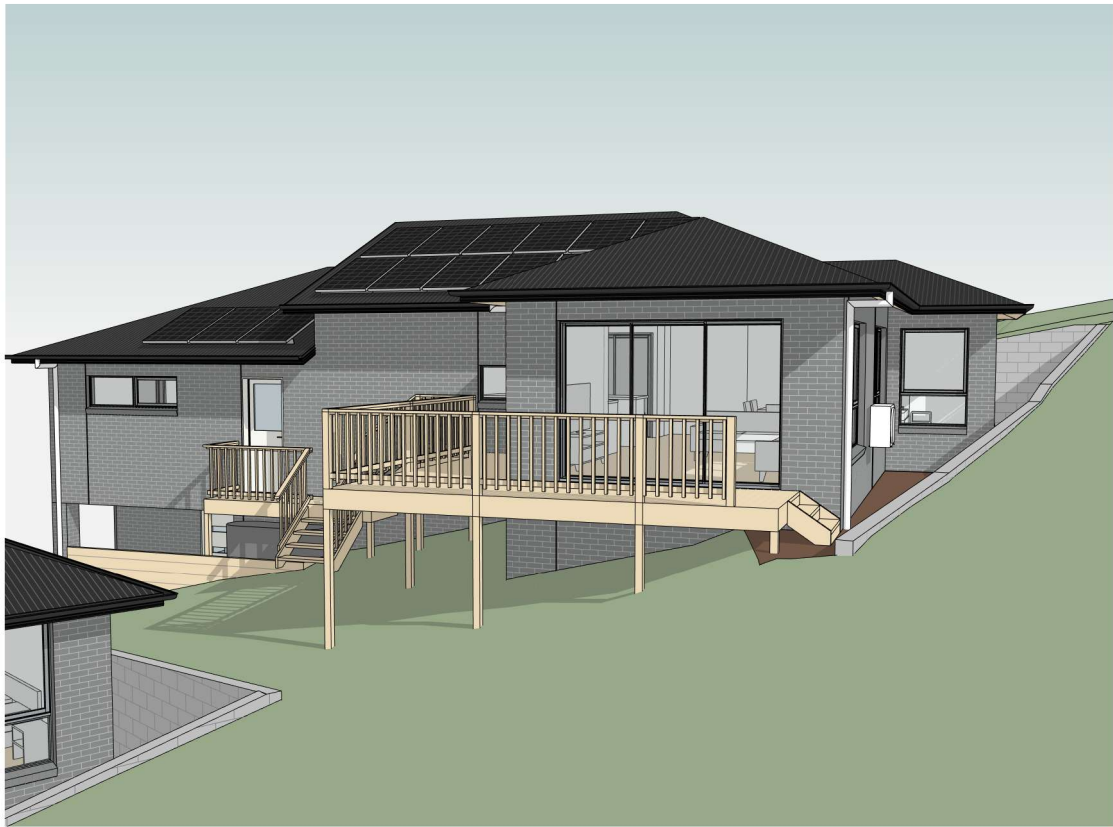
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Date:	29 March 2021	Scale: 1 : 50
Drawn:	JM	Job No.: 0475
TITLE		
RETAINING WALL SECTIONS 2		
SHEET		
A107		

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

**Lot 5, 10 GLENRIDGE CRT,
GLENORCHY**



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. PLN-21-198.....
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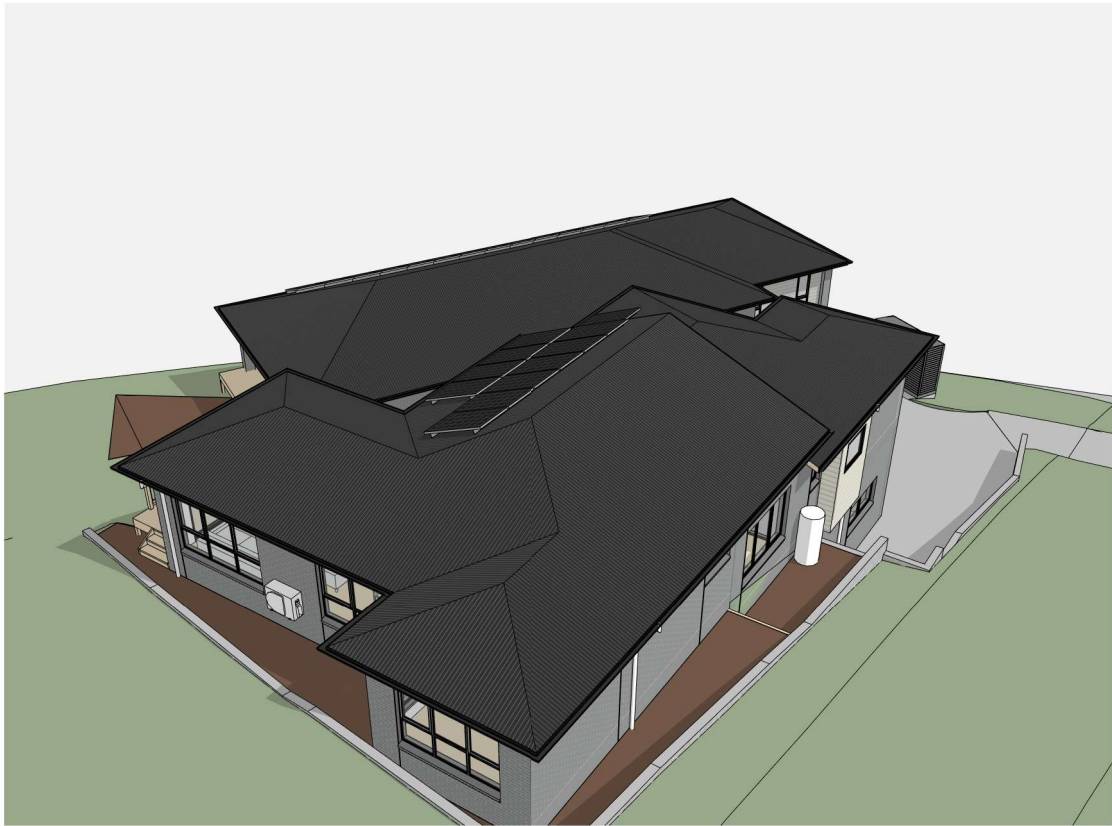
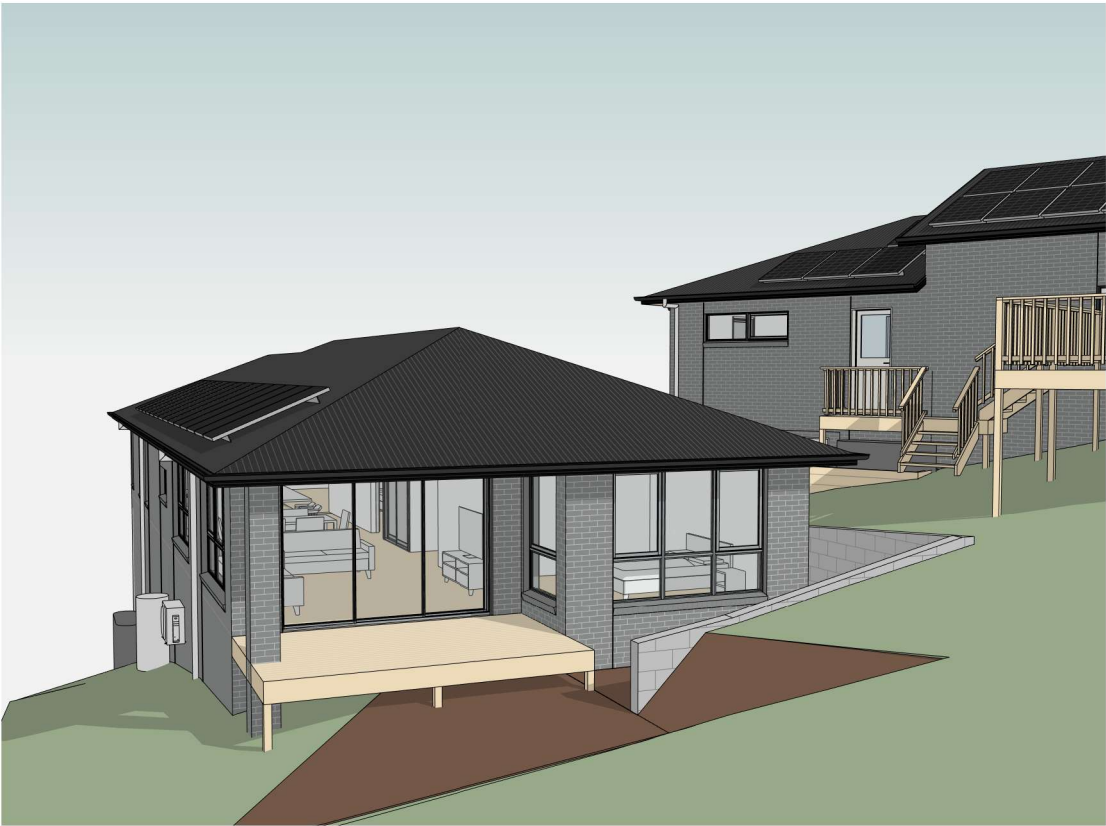
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Date:	29 March 2021	Scale:
Drawn:	JM	Job No.: 0475
TITLE		3D PERSPECTIVE VIEW
SHEET		SHEET 1
		A108

Client / Project Name

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GLENORCHY



COLOUR SELECTION	
Element	Colour
Roof	Colorbond Monument
Brick	Austral Industrial 'Foundary'
Light Weight Cladding (A)	Shale Grey
Light Weight Cladding (B)	Surfmist
Light Weight Cladding (C)	Surfmist

NOTE:
The colours shown on this plan may not reflect the colour of the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection

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Scale Check 50mm original size

**MULTI-RES.
BUILDERS**
Level 11, NAB House, 86 Collins Street Hobart TAS 7000
Tel. 03 6244 2220
Email: reception@multi-resbuilders.com.au
Designer: Ranjot Kaur
Licence Number: 173530973
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Date:	29 March 2021	Scale:	
Drawn:	JM	Job No.:	0475

TITLE
**3D PERSPECTIVE VIEW
SHEET 2**

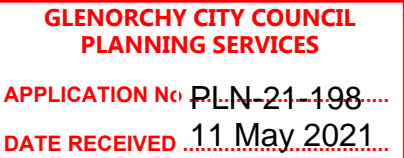
SHEET
A109

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY



Vertical articulation joints to comply with N.C.C. 3.3.5.13

(SA) Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and be installed to NCC Clause 3.7.5.5.

Dwelling (Entry) :	11.50m ²
Dwelling (Ground Floor):	157.18m ²
Garage:	22.84m ²
TOTAL	191.52m²

Conc. L'ding / Decks	2.26m ²
Timber L'ding / Decks	10.22m ²

These plans are for concept only and are subject to the following, but not limited to:

- Finished levels may change and may result in "split level" design if required
- Steps (if any) are indicative only and are subject to change
- Driveway shape, size and location is subject to final design
- Further retaining walls / earthworks maybe required
- Landscaping steps / paths maybe required
- Other unforeseeable items such as planning requirements and title covenants

GENERAL NOTES:

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Scale Check 50mm original size



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TITL

J1 GARAGE FLOOR PLAN

SHEET

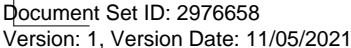
AU1-200

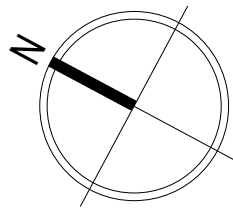
Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY





**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No ~~PLN-21-198~~

DATE RECEIVED 11 May 2021

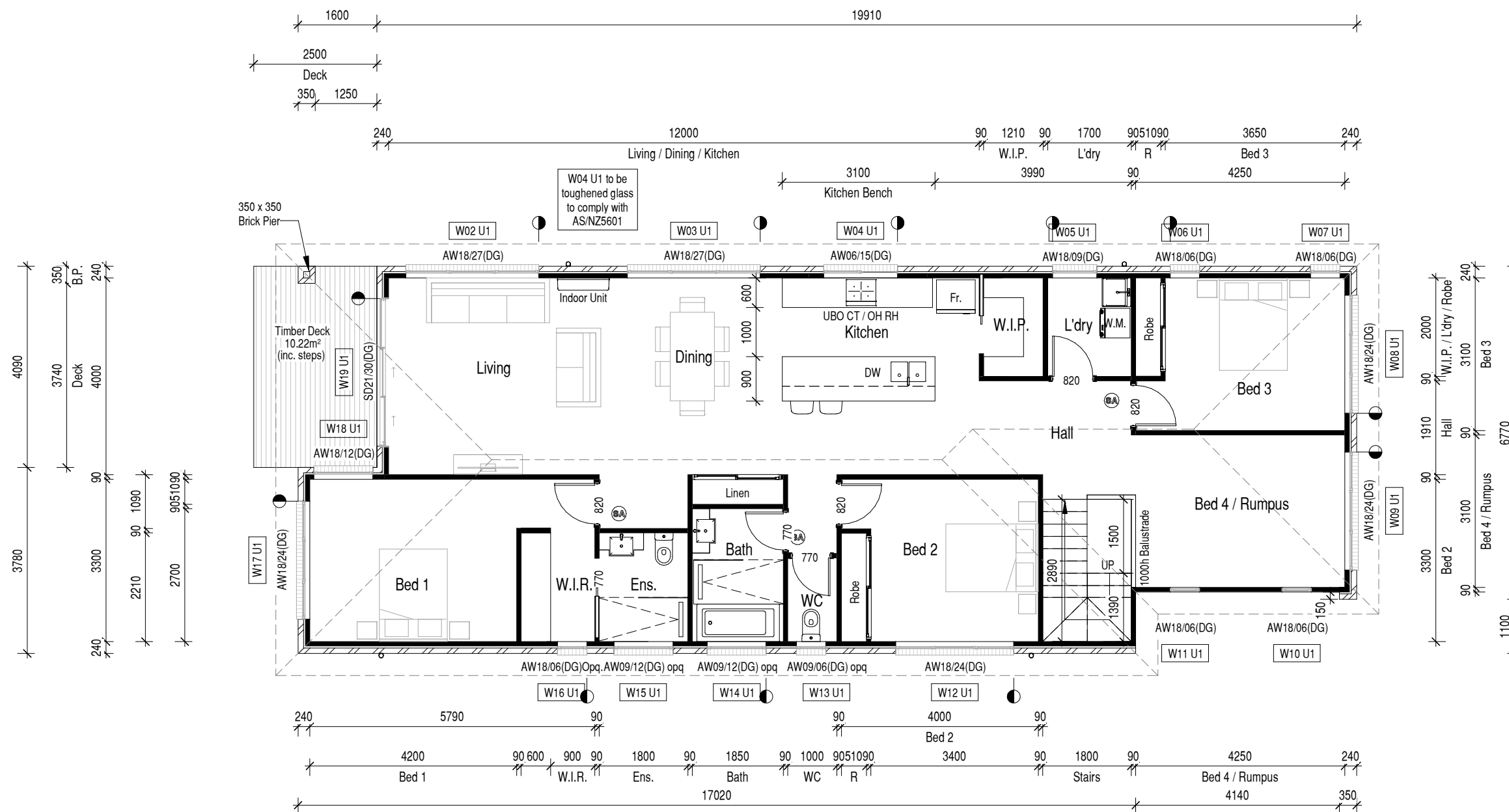
LEGEND

- Vertical articulation joints to comply with N.C.C. 3.3.5.13
- ⊙ SA Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and be installed to NCC Clause 3.7.5.5.

U1 GROSS FLOOR AREAS

Dwelling (Entry) :	11.50m ²
Dwelling (Ground Floor):	157.18m ²
Garage:	22.84m ²
TOTAL	191.52m²

Conc. L'ding / Decks	2.26m ²
Timber L'ding / Decks	10.22m ²



A	NA	RK
No.	Date	Drawn

Refer to Cover Sheet for revision description

Owner's signatures:

Date: (refer to Cover Sheet)

GENERAL NOTES:
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Scale Check 50mm original size



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Email: reception@multi-resbuilders.com.au
Designer: Ranjot Kaur
Licence Number: 173530973

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Date: 26 March 2021	Scale: 1 : 100
Drawn: JM	Job No.: 0475

TITLE	U1 FLOOR PLAN
SHEET	AU1-201

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

**Lot 5, 10 GLENRIDGE CRT,
GLENORCHY**



As per N.C.C. Table 3.5.3.4a Acceptable continuous overflow measure - Controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia.

Where metal roof - 75 x 38 F17 @ 900 Centre
Where tile roof - 75 x 38 F17 (spacing to suit tiles)

100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

External fibre-cement sheets shall be to AS/NZS 2908.2 - 2000 or ISO 8336 - 1993E, and be fixed to NCC Table 3.5.4.6 and NCC Figure 3.5.4.4, and NCC Clause 3.5.4.5(b)

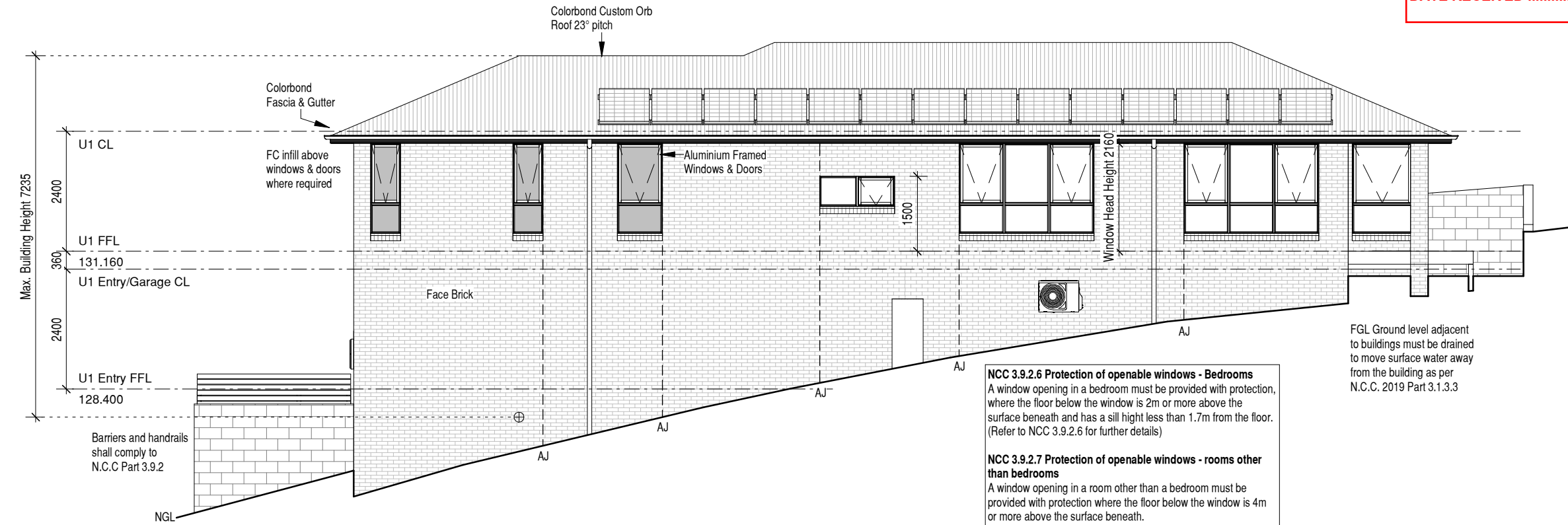


PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

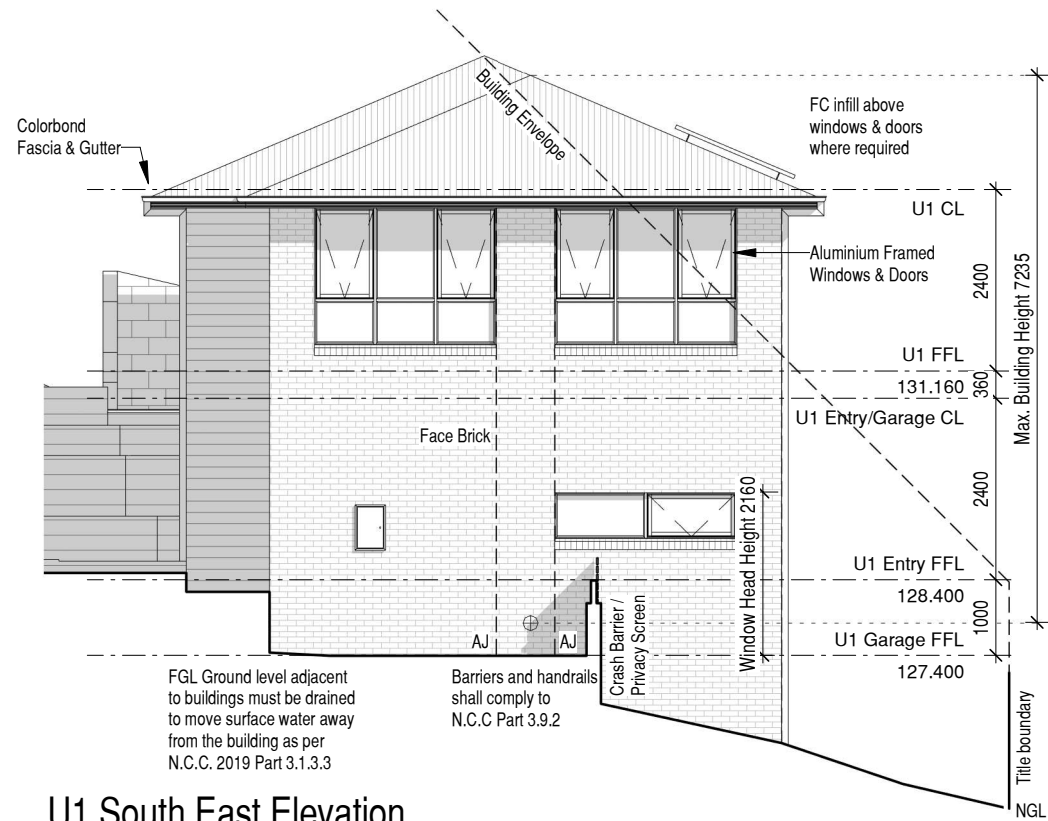
Lot 5, 10 GLENRIDGE CRT,
GLENORCHY

COLOUR SELECTION	
Element	Colour
Roof	Colorbond Monument
Brick	Austral Industrial 'Foundary'
Light Weight Cladding (A)	Shale Grey
Light Weight Cladding (B)	Surfmist
Light Weight Cladding (C)	Surfmist

NOTE:
The colours shown on this plan may not reflect the colour of the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection



U1 North East Elevation



U1 South East Elevation

NCC 3.9.2.6 Protection of openable windows - Bedrooms
A window opening in a bedroom must be provided with protection, where the floor below the window is 2m or more above the surface beneath and has a sill high less than 1.7m from the floor. (Refer to NCC 3.9.2.6 for further details)

NCC 3.9.2.7 Protection of openable windows - rooms other than bedrooms
A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4m or more above the surface beneath. (Refer to NCC 3.9.2.7 for further details)

NCC 3.9.2.6 Protection of openable windows - Bedrooms
A window opening in a bedroom must be provided with protection, where the floor below the window is 2m or more above the surface beneath and has a sill high less than 1.7m from the floor. (Refer to NCC 3.9.2.6 for further details)

NCC 3.9.2.7 Protection of openable windows - rooms other than bedrooms
A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4m or more above the surface beneath. (Refer to NCC 3.9.2.7 for further details)

A	NA	RK
No.	Date	Drawn
Refer to Cover Sheet for revision description		
Owner/s signatures:		
Date:		
*GENERAL NOTES: - All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Standards - All products and materials must be installed as per the relevant manufacturers specifications - This document is uncontrolled in hard copy format, do not scale from drawings - Builder to confirm all dimensions are correct prior to start of works		
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Scale Check 50mm original size		
MULTI-RES BUILDERS		
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Date:	29 March 2021	Scale: 1 : 100
Drawn:	JM	Job No.: 0475
TITLE		
U1 ELEVATIONS SHEET 1		
SHEET		
AU1-300		

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY

Shadows shown are for visualisation purposes only
Window/Door style are indicative only, refer to selection documentation

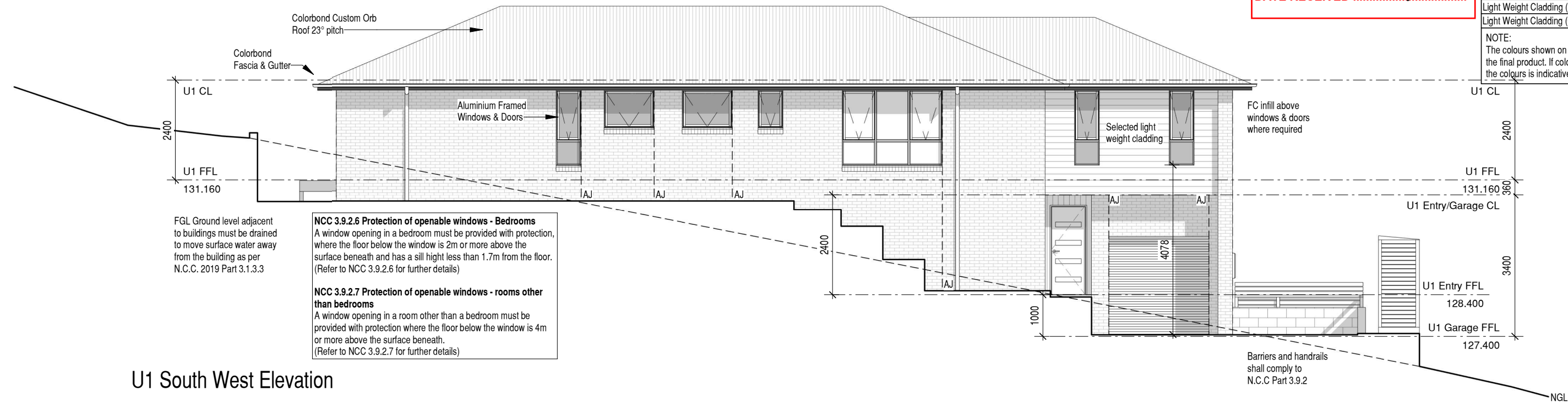
GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No **PLN-21-198**

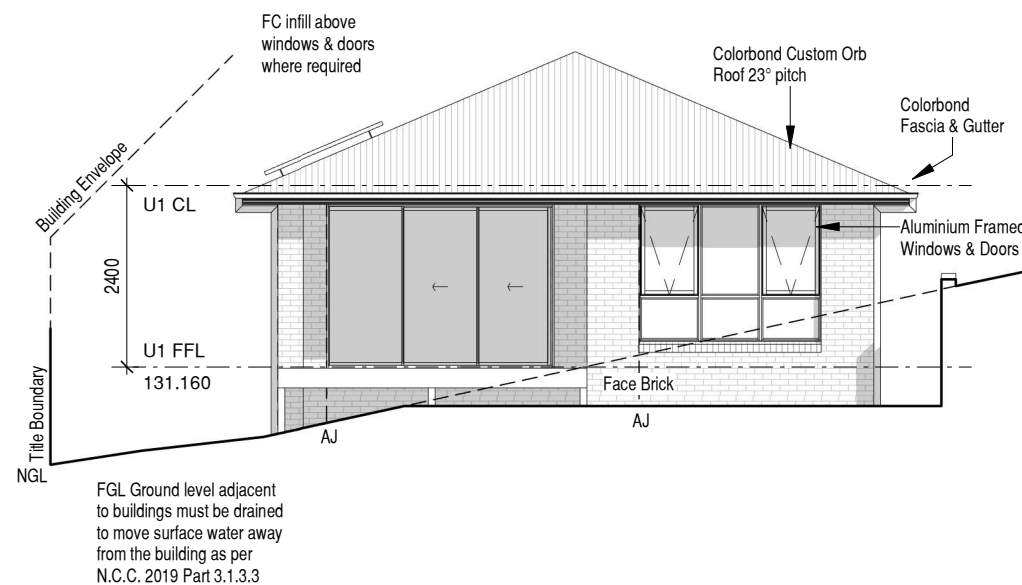
DATE RECEIVED **11 May 2021**

COLOUR SELECTION	
Element	Colour
Roof	Colorbond Monument
Brick	Austral Industrial 'Foundary'
Light Weight Cladding (A)	Shale Grey
Light Weight Cladding (B)	Surfmist
Light Weight Cladding (C)	Surfmist

NOTE:
The colours shown on this plan may not reflect the colour of the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection



U1 South West Elevation



U1 North West Elevation

A	NA	RK
No.	Date	Drawn
Refer to Cover Sheet for revision description		
Owner/s signatures:		
Date:		
*GENERAL NOTES: - All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Standards - All products and materials must be installed as per the relevant manufacturers specifications - This document is uncontrolled in hard copy format, do not scale from drawings - Builder to confirm all dimensions are correct prior to start of works		
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Scale Check 50mm original size		
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Date:	29 March 2021	Scale: 1 : 100
Drawn:	JM	Job No.: 0475
TITLE		
U1 ELEVATIONS SHEET 2		
SHEET		
AU1-301		

Client / Project Name



PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

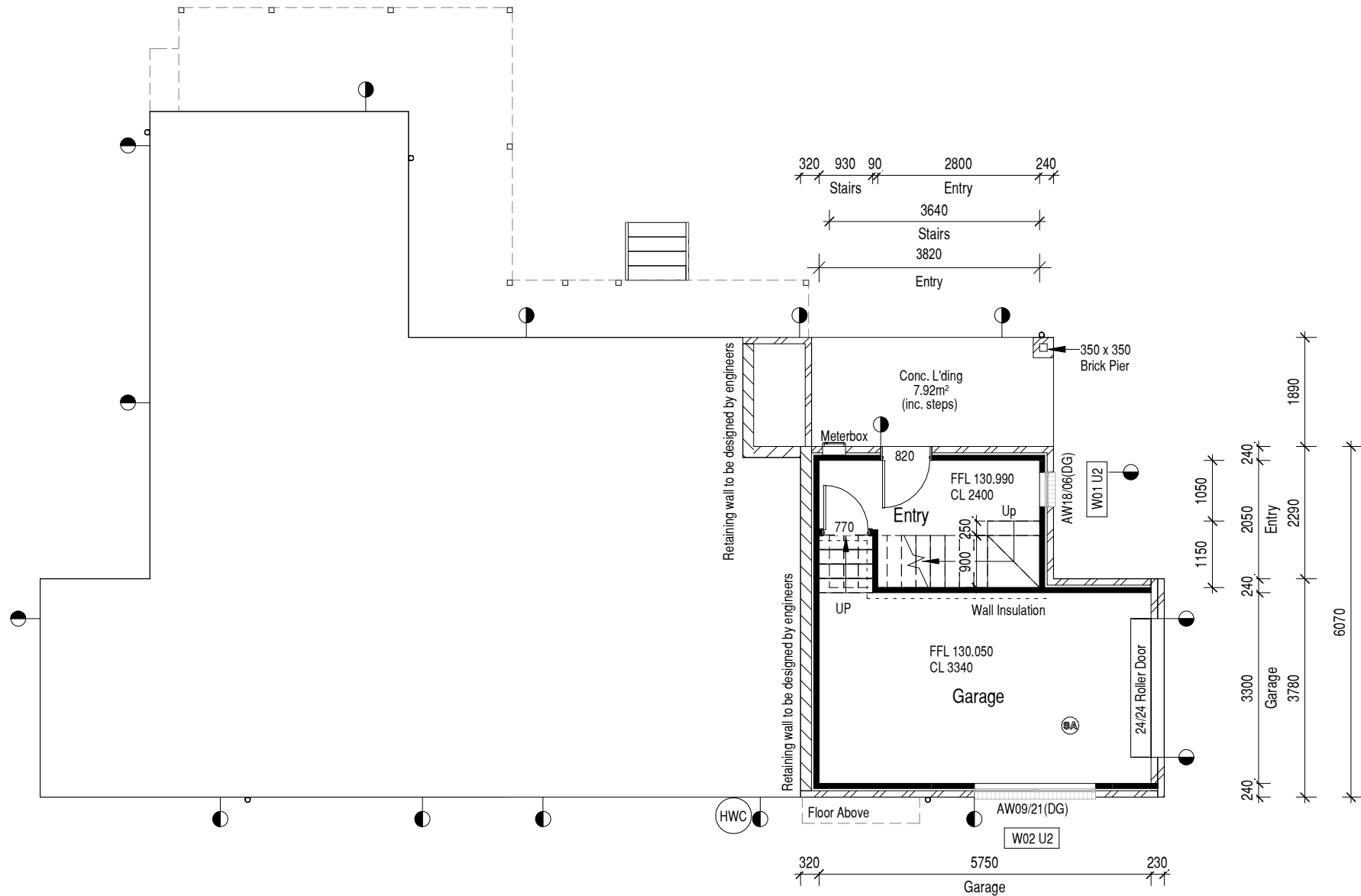
Lot 5, 10 GLENRIDGE CRT,
GLENORCHY



LEGEND

	Vertical articulation joints to comply with N.C.C. 3.3.5.13
	Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and be installed to NCC Clause 3.7.5.5.

U2 GROSS FLOOR AREAS	
Dwelling (Entry) :	9.35m²
Dwelling (First Floor):	157.44m²
Garage:	24.50m²
TOTAL	191.29m²
Conc. L'd'ing / Decks	7.92m²
Timber L'd'ing / Decks	24.15m²



A	NA	RK
No.	Date	Drawn
Refer to Cover Sheet for revision description		
Owner's signatures:		
Date:		(refer to Cover Sheet)
<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Standards All products and materials must be installed as per the relevant manufacturers specifications This document is uncontrolled in hard copy format, do not scale from drawings Builder to confirm all dimensions are correct prior to start of works 		
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Date:	29 March 2021	Scale: 1 : 100
Drawn:	JM	Job No.: 0475
TITLE		
U2 GARAGE FLOOR PLAN		
SHEET		AU2-200

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY

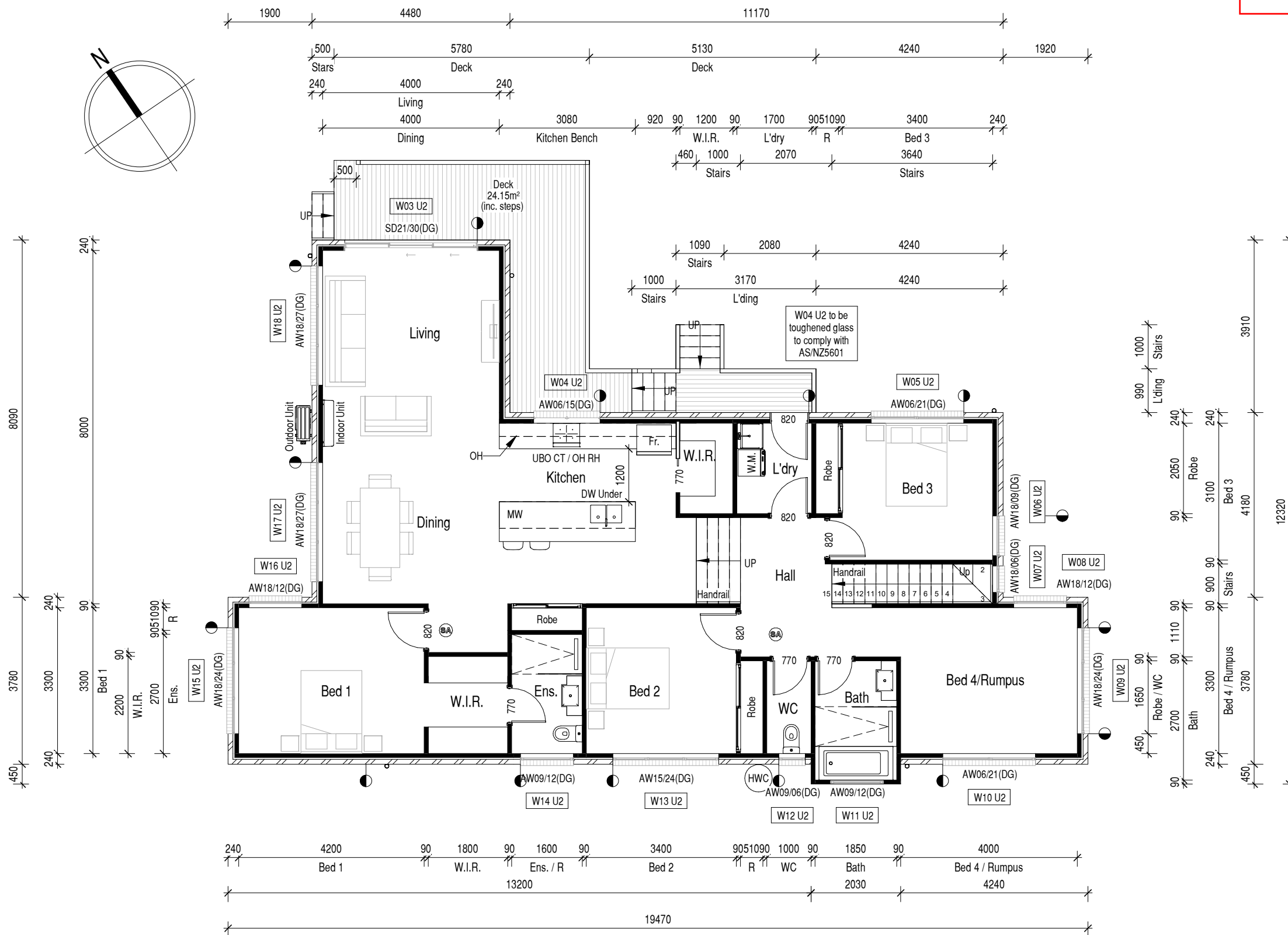
LEGEND

- Vertical articulation joints to comply with N.C.C. 3.3.5.13
- Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and be installed to NCC Clause 3.7.5.5.

U2 GROSS FLOOR AREAS

Dwelling (Entry) :	9.35m ²
Dwelling (First Floor):	157.44m ²
Garage:	24.50m ²
TOTAL	191.29m²

Conc. L'ding / Decks	7.92m ²
Timber L'ding / Decks	24.15m ²



A	NA	RK
No.	Date	Drawn

Refer to Cover Sheet for revision description

Owner's signatures:
Date: (refer to Cover Sheet)

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Scale Check 50mm original size



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Date: 29 March 2021	Scale: 1 : 100
Drawn: JM	Job No.: 0475

TITLE	U2 FLOOR PLAN
SHEET	AU2-201

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

**Lot 5, 10 GLENRIDGE CRT,
GLENORCHY**

GUTTER OVERFLOW

As per N.C.C. Table 3.5.3.4a Acceptable continuous overflow measure - Controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia.

BATTENS

Where metal roof - 75 x 38 F17 @ 900 Centre
Where tile roof - 75 x 38 F17 (spacing to suit tiles)

BATTEN FIXINGS

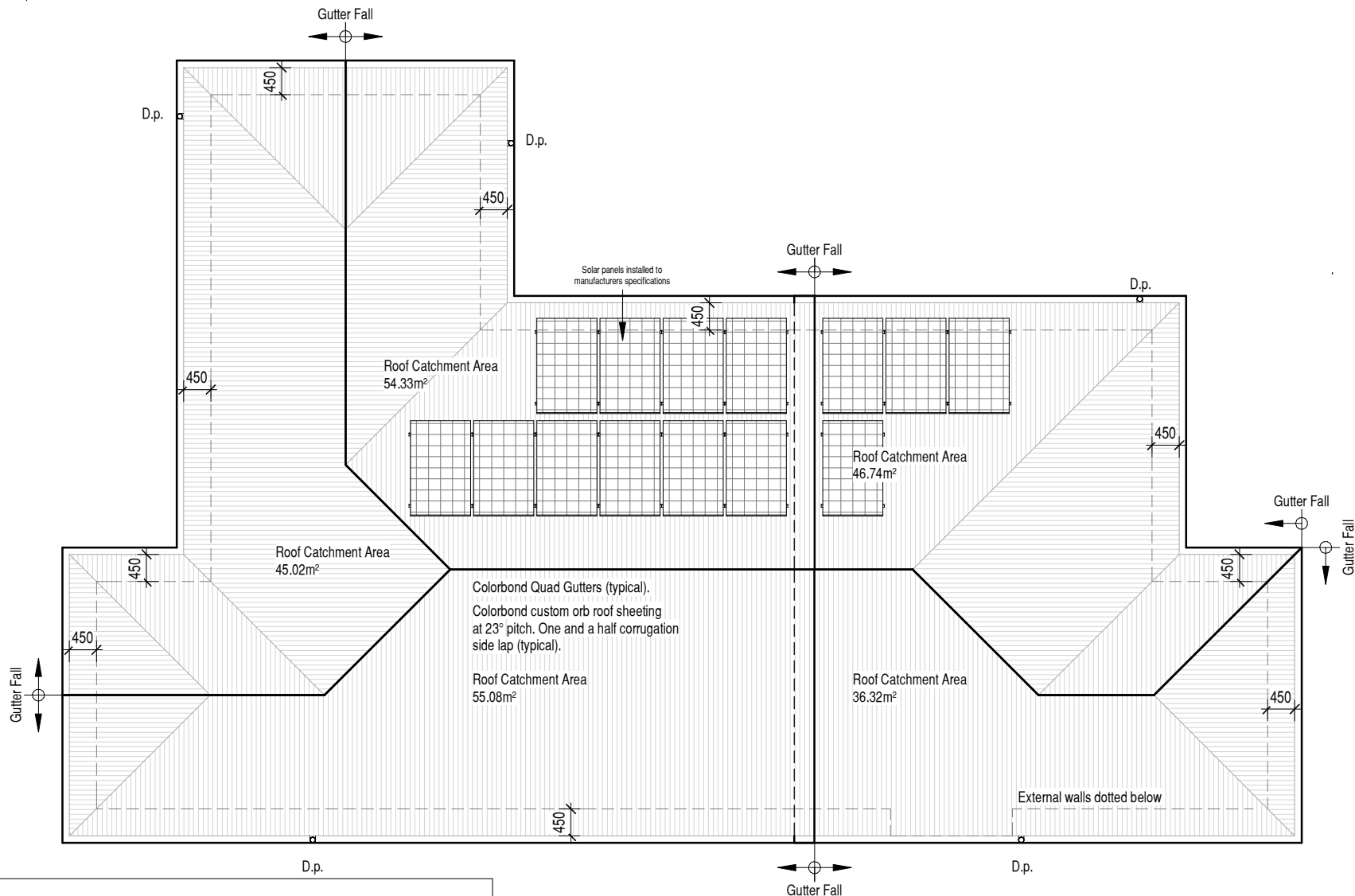
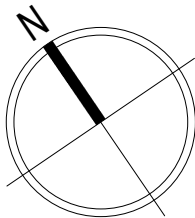
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

COLORBOND FIXINGS

50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

EAVE LINING

External fibre-cement sheets shall be to AS/NZS 2908.2 - 2000 or ISO 8336 - 1993E, and be fixed to NCC Table 3.5.4.6 and NCC Figure 3.5.4.4, and NCC Clause 3.5.4.5(b)



U2 ROOF CATCHMENT AREA CALCULATION

Ah	196.29m²	Plan area of roof including gutter (parapet included where applicable)
Ac	237.51m²	catchment area of a roof and vertical surface (wall or parapet)
Ae	6555	effective cross-sectional area of a gutter (assumed 57x115 quad gutter)
DRI	64	Rainfall intensity (mm/h) - 5 Min - ARI 20 years. (as per Figure E8)
Acdp	100	The maximum catchment area of roof per vertical downpipe
Downpipes required	3.71	Ac / Acdp
Downpipes provided	4	
NOTE: Roof catchment areas to comply with AS3500.3		

A	NA	RK
No.	Date	Drawn
Refer to Cover Sheet for revision description		
Owner/s signatures:		
Date:		
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Scale Check 50mm original size		
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Date:	29 March 2021	Scale: 1 : 100
Drawn:	JM	Job No.: 0475
TITLE		
U2 ROOF PLAN		
SHEET		
AU2-202		

Client / Project Name

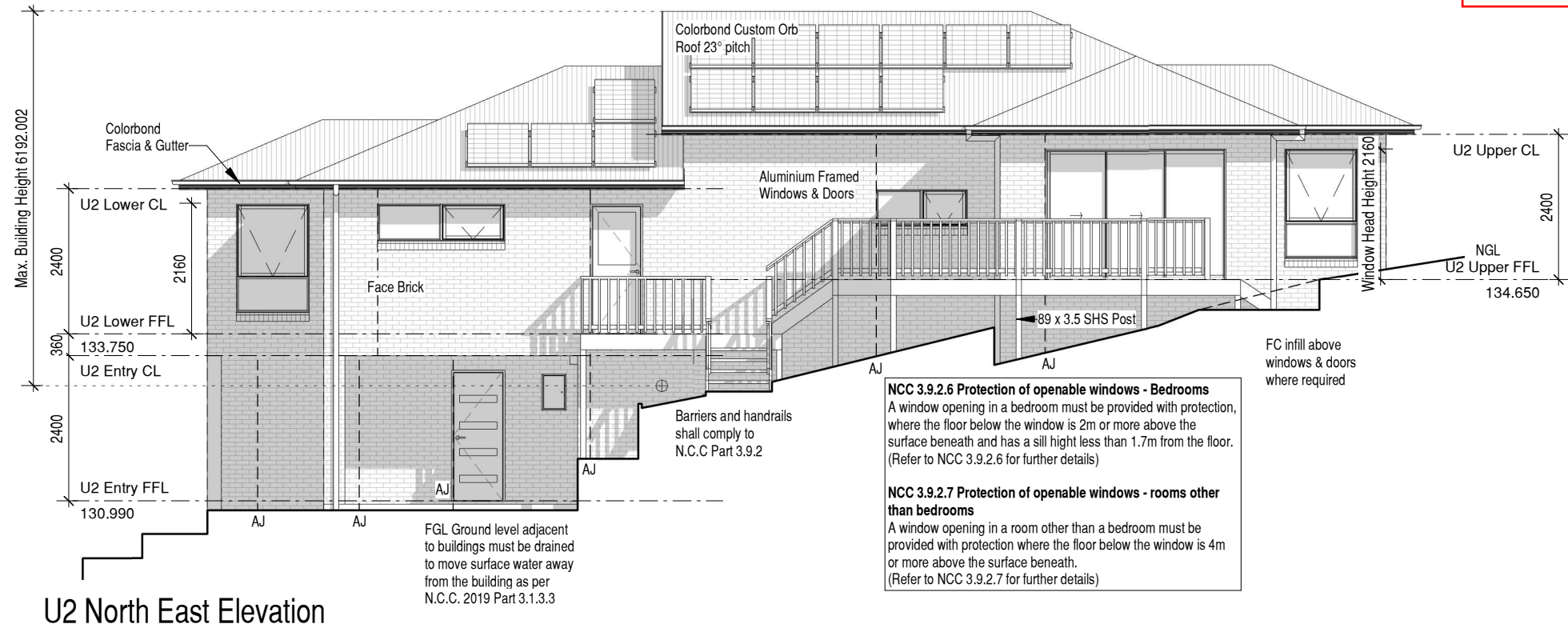
PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

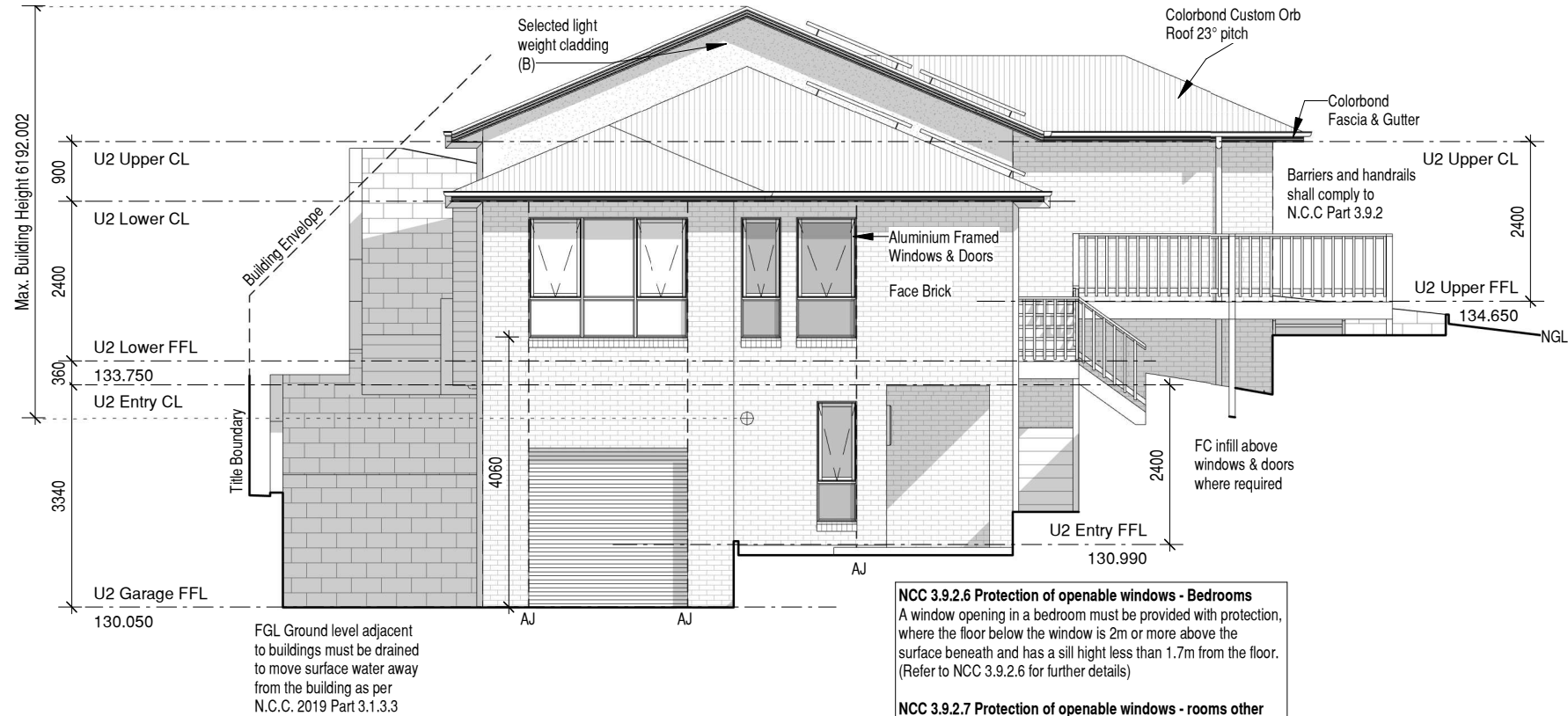
**Lot 5, 10 GLENRIDGE CRT,
GLENORCHY**

COLOUR SELECTION	
Element	Colour
Roof	Colorbond Monument
Brick	Austral Industrial 'Foundary'
Light Weight Cladding (A)	Shale Grey
Light Weight Cladding (B)	Surfmist
Light Weight Cladding (C)	Surfmist

NOTE:
The colours shown on this plan may not reflect the colour of the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection



U2 North East Elevation



U2 South East Elevation

A	NA	RK
No.	Date	Drawn
Refer to Cover Sheet for revision description		
Owner/s signatures:		
Date:		
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Date:	29 March 2021	Scale: 1 : 100
Drawn:	JM	Job No.: 0475
TITLE		
U2 ELEVATIONS SHEET 1		
SHEET		
AU2-300		

Client / Project Name

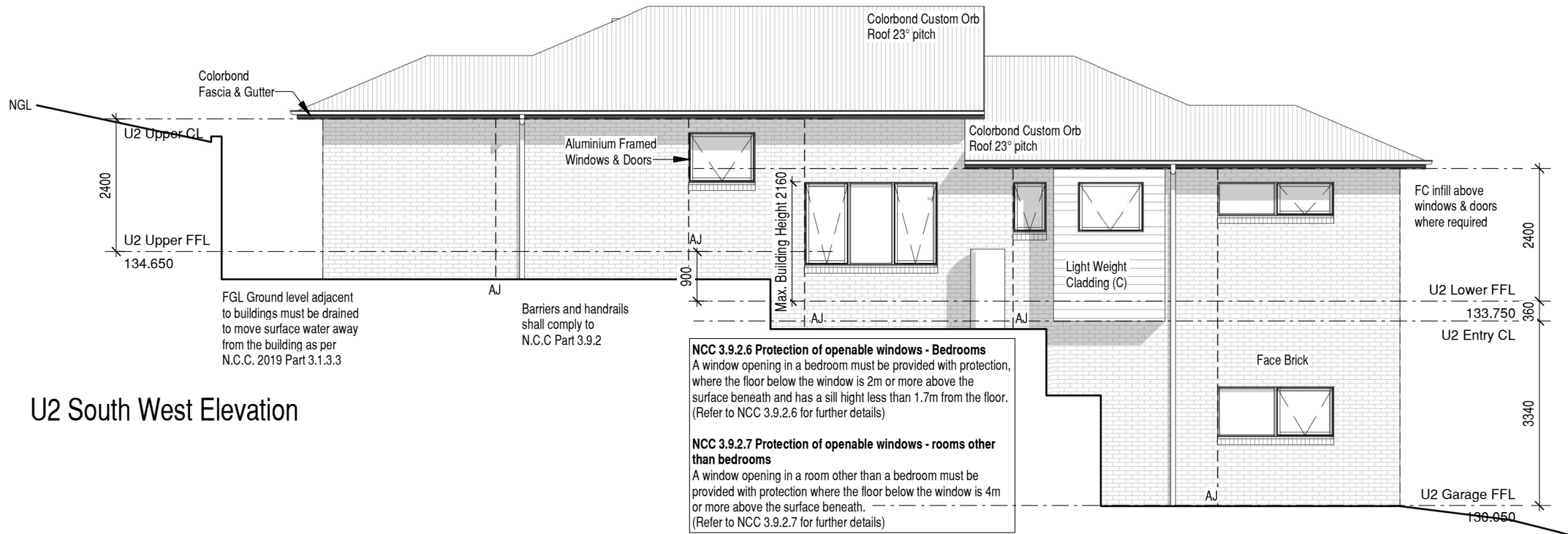
PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

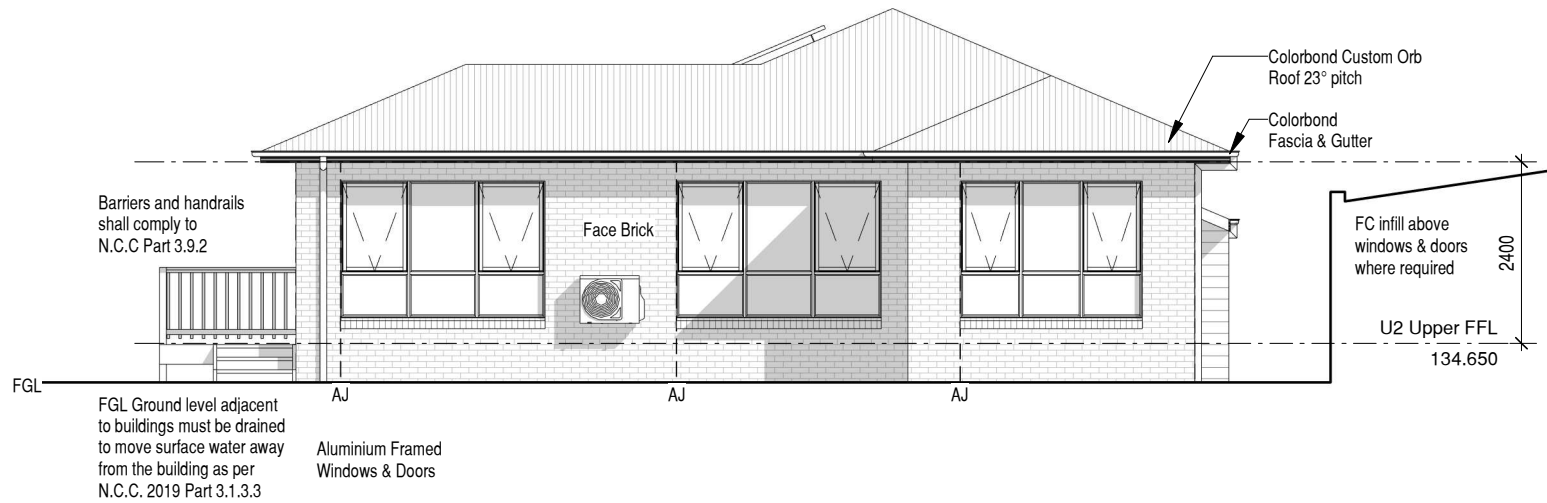
**Lot 5, 10 GLENRIDGE CRT,
GLENORCHY**

COLOUR SELECTION	
Element	Colour
Roof	Colorbond Monument
Brick	Austral Industrial 'Foundary'
Light Weight Cladding (A)	Shale Grey
Light Weight Cladding (B)	Surfmist
Light Weight Cladding (C)	Surfmist

NOTE:
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U2 South West Elevation



U2 North West Elevation

A	NA	RK
No.	Date	Drawn
Refer to Cover Sheet for revision description		
Owner/s signatures:		
Date:		
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MULTI-RES BUILDERS		
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Date:	29 March 2021	Scale: 1 : 100
Drawn:	JM	Job No.: 0475
TITLE		
U2 ELEVATIONS SHEET 2		
SHEET		
AU2-301		

Client / Project Name

PROPOSED RAIMO LAVIA (UNIT DEVELOPMENT)

Project Address

Lot 5, 10 GLENRIDGE CRT,
GLENORCHY