

DEVELOPMENT APPLICATION

| | |
|---------------------------------|-------------------------------|
| APPLICATION NUMBER: | PLN-25-058 |
| PROPOSED DEVELOPMENT: | Single Dwelling |
| LOCATION: | 4 Matteo Circle Claremont |
| APPLICANT: | Wilson Homes Tasmania Pty Ltd |
| ADVERTISING START DATE: | 11/04/2025 |
| ADVERTISING EXPIRY DATE: | 25/04/2025 |

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **25/04/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **25/04/2025**, or for postal and hand delivered representations, by 5.00 pm on **25/04/2025**.

DA

TASMANIAN PLANNING SCHEME

SHEET INDEX

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TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR

| | |
|--------------|-----------------------------|
| LIVING | 127.01 |
| PORCH | 1.33 |
| TOTAL | 128.34 m² |

AS & NCC COMPLIANCE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.

- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
- BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
- ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
- INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
- TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
- GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
- SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
- INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
- EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
- WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
- CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
- BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
- SERVICES IN ACCORDANCE WITH NCC 2022.
- EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
- EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
- EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

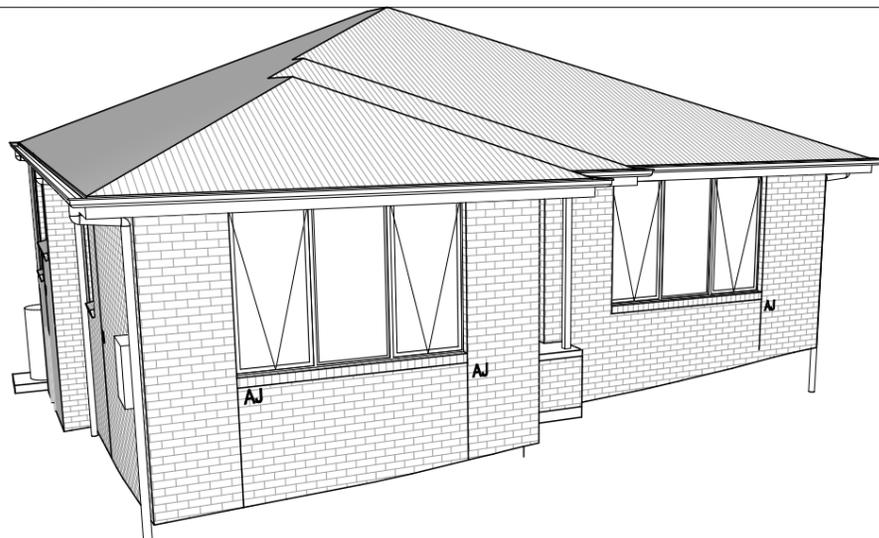
SITE SPECIFIC CONTROLS

| CONTROL | DETAILS |
|-----------------------------|-------------------------|
| ACID SULPHATE SOIL | NO |
| BIODIVERSITY | NO |
| BUILDING ENVELOPE | YES |
| BUSHFIRE | BAL-12.5 |
| CLIMATE ZONE (NCC) | ZONE 7 - COOL TEMPERATE |
| DESIGN WIND CLASSIFICATION | N2 (EXPOSED TBC) |
| ESTATE/DEVELOPER GUIDELINES | NO |
| FLOOD OVERLAY | NO |
| HERITAGE | NO |
| LANDSLIP HAZARD | NO |
| MINIMUM FLOOR LEVEL | NO |
| NATURAL ASSET CODE | NO |
| NOISE ATTENUATION | NO |
| SALINE SOIL | NO |
| SHIELDING FACTOR | PS - PARTIAL SHIELDING |
| SITE CLASSIFICATION | M |
| SPECIFIC AREA PLAN OVERLAY | NO |
| TERRAIN CATEGORY | TC2.5 |
| TOPOGRAPHIC CLASSIFICATION | T1 |
| WATERWAY & COASTAL OVERLAY | NO |
| WIND REGION | A - NORMAL |
| WITHIN 1km CALM SALT WATER | NO |
| WITHIN 50km BREAKING SURF | 24.50km |
| ZONING | GENERAL RESIDENTIAL |

BUILDING CONTROLS & COMPLIANCE

| CONTROL | REQUIRED | PROPOSED |
|-----------------------------|-----------------------|------------------|
| SETBACKS | | |
| FRONT | MIN. 4,500mm | 4,500mm |
| SIDE A | MIN. 1,500mm | 1,050mm |
| SIDE B | MIN. 1,500mm | 6,567mm |
| REAR | MIN. 1,500mm | 4,950mm |
| BULK & SCALE | | |
| SITE AREA | 450m ² | |
| SITE COVERAGE | MAX. 50% | 28.52% |
| BUILDING HEIGHT | MAX. 8,500mm | 7,050mm |
| LANDSCAPE | | |
| NO APPLICABLE CONTROLS | | |
| EARTHWORKS | | |
| CUT DEPTH | MAX. 2,000mm | 530mm |
| FILL DEPTH | MAX. 1,000mm | 0mm |
| ACCESS & AMENITY | | |
| PARKING SPACES | MIN. 2 SPACES | 2 SPACES |
| PRIVATE OPEN SPACE | MIN. 24m ² | 24m ² |

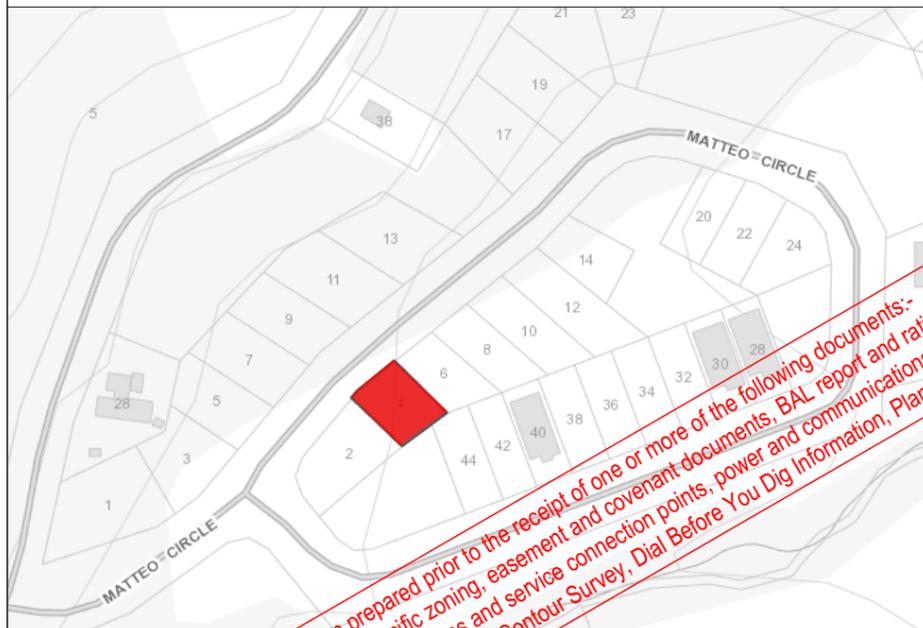
3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
 Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved
 subdivision plans providing crossover locations and service connection points, power and communications connection point
 information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

| | |
|--|--------------|
| GROUND FLOOR TOP OF WALL HEIGHT(S) | 2445mm |
| NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL | |
| ROOF PITCH (U.N.O.) | 23.0° |
| ELECTRICITY SUPPLY | SINGLE PHASE |
| GAS SUPPLY | NONE |
| ROOF MATERIAL | SHEET METAL |
| ROOF COLOUR | DARK |
| WALL MATERIAL | BRICK VENEER |
| SLAB CLASSIFICATION | TBC |

INSULATION

| | |
|------------|--|
| ROOF | MIN. 50mm FOIL FACED BLANKET UNDER ROOFING |
| CEILING | R4.1 BATTS (EXCL. GARAGE, ALFRESCO) |
| EXT. WALLS | R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE |
| INT. WALLS | R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN |
| FLOOR | AIRCELL FOR B&J |

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No. PLN-25-058

DATE RECEIVED 07/04/2025

BUSHFIRE REQUIREMENTS - BAL-12.5

THE BUILDER USES MATERIALS THAT COMPLY WITH AS 3959-2018 OR HAVE BEEN TESTED TO AS 1530.8.1 IN ACCORDANCE WITH AS 3959-2018 (CLAUSE 3.8).

ROOF:

- PROVIDE FOIL FACED BLANKET INSULATION TO ALL COLORBOND SHEET ROOFING.
- PROVIDE SARKING TO ALL TILED ROOFING INCLUDING PRESSTITE TO VALLEYS.
- PROVIDE BAL-12.5 RATED DEKTITE TO ALL AIR VENTS ON ROOF.
- PROVIDE BAL-12.5 RATED ALUMINIUM MESH TO ALL SOFFIT AND EAVE VENTS.
- PROVIDE BAL-12.5 RATED ALUMINIUM MESH TO ALL EXHAUST VENTS.

WALLS, POSTS AND BEAMS:

- PROVIDE SPARK ARRESTORS TO ALL EXTERNAL BRICKWORK.
- EXTERNAL TIMBER POSTS WITHIN 400mm OF ADJACENT FINISHED FLOOR LEVEL TO BE BUSHFIRE-RESISTING TIMBER UNLESS MOUNTED ON STIRRUPS TO PROVIDE MIN. 75mm CLEARANCE ABOVE ADJACENT FINISHED FLOOR LEVEL.

WINDOWS AND DOORS:

- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD / FRENCH / SLIDING / STACKER DOORS).
- PROVIDE BAL-12.5 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING / STACKER DOORS.
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS.
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS TO FIXED PANELS.
- PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS.
- PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH TO EXTERNAL TIMBER HUNG DOORS (IF REQUIRED).
- PROVIDE SEAL TO ALL GARAGE PANELIFT / ROLLER DOORS.

OTHER:

- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

| | |
|--|-------------|
| SIGNATURE: _____ | DATE: _____ |
| SIGNATURE: _____ | DATE: _____ |
| PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED | |

PRELIMINARY PLAN SET

| 6 | PRELIMINARY PLAN SET - INITIAL ISSUE - SHADOW DIAGRAMS | ALL | 2025.04.07 | PL1 | - |
|-----|--|-------|------------|-------|-------|
| No. | AMENDMENT | SHEET | DATE | DRAWN | CHECK |

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| | | | | | | | | | |
|--|---|--|-----|------------|---|-------------------------------|---------------------------------|--|----------------------|
| SPECIFICATION: DISCOVERY COPYRIGHT: © 2025 | 2 | DRAFT SALES PLAN | MLG | 22/01/2025 | CLIENT: CASSANDRA HANSSON & RHYS QUARRELL | HOUSE DESIGN: ASCOT 12 | HOUSE CODE: H-WDCASC10SA | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. | |
| | 3 | DRAFT SALES PLAN - CT-1 UPDATE | RT2 | 04/02/2025 | ADDRESS: 4 MATTEO CIRCLE, CLAREMONT TAS 7011 | FACADE DESIGN: CLASSIC | FACADE CODE: F-WDCASC10CLASA | | |
| | 4 | PRELIM PLANS - INITIAL ISSUE | TNG | 17/02/2025 | LOT / SECTION / CT: 50 / - / 185903 | COUNCIL: GLENORCHY COUNCIL | SHEET TITLE: COVER SHEET | | SHEET No.: 1 / 14 |
| | 5 | PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE | TNG | 24/03/2025 | | | | | SCALES: 1:100 |
| | 6 | PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS | PL1 | 07/04/2025 | | | | | |
| | | | | | | | | | |

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

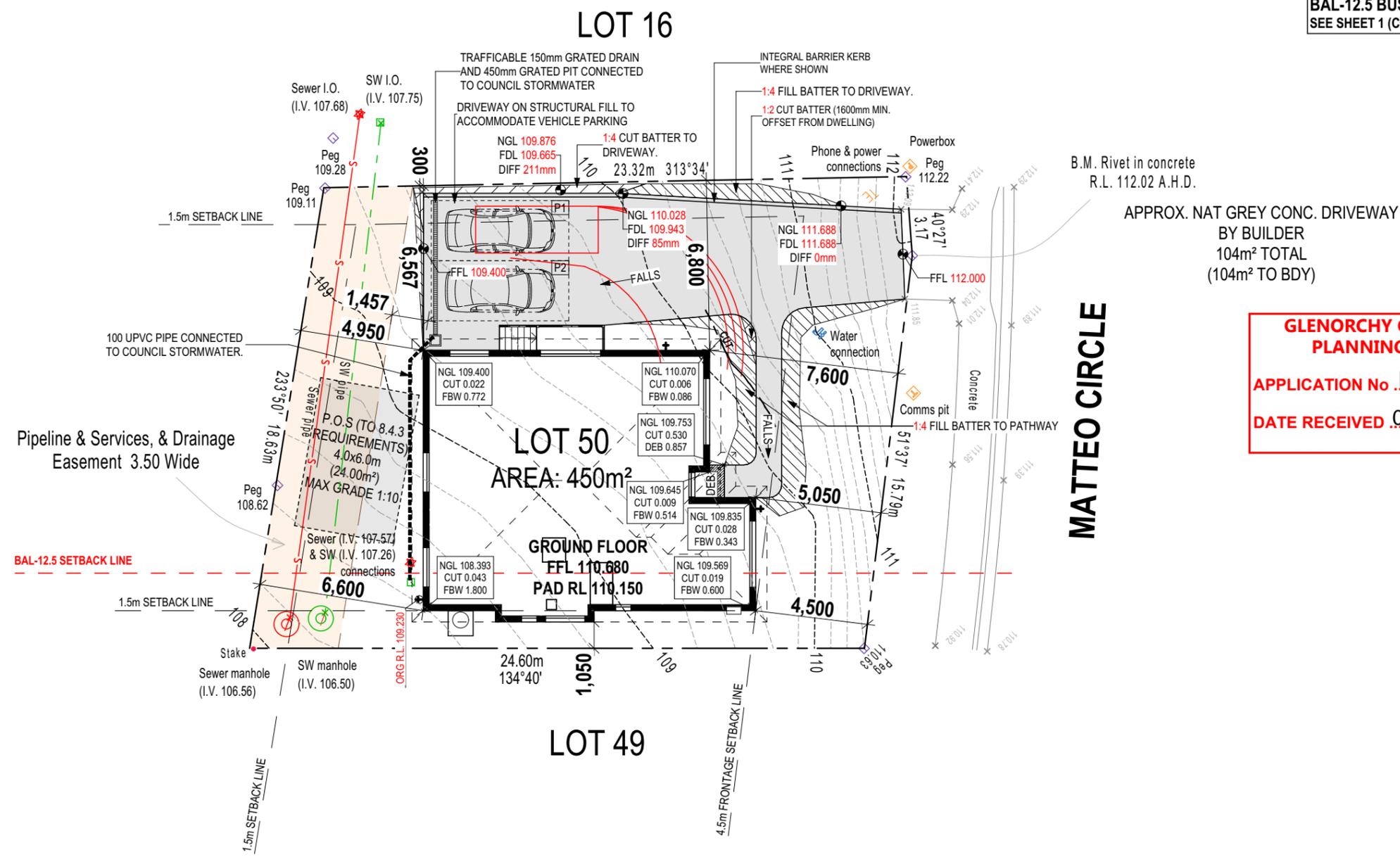
| APPROX. CUT/FILL | | |
|------------------|---------------------|--------|
| CUT | 30.85m ³ | 69.41t |
| FILL | 0.00m ³ | 0.00t |
| DIFFERENCE | 30.85m ³ | 69.41t |

69 TONNES OF EXPORT FILL

LOT SIZE: 450m²
HOUSE (COVERED AREA): 128.34m²
SITE COVERAGE: 28.52%

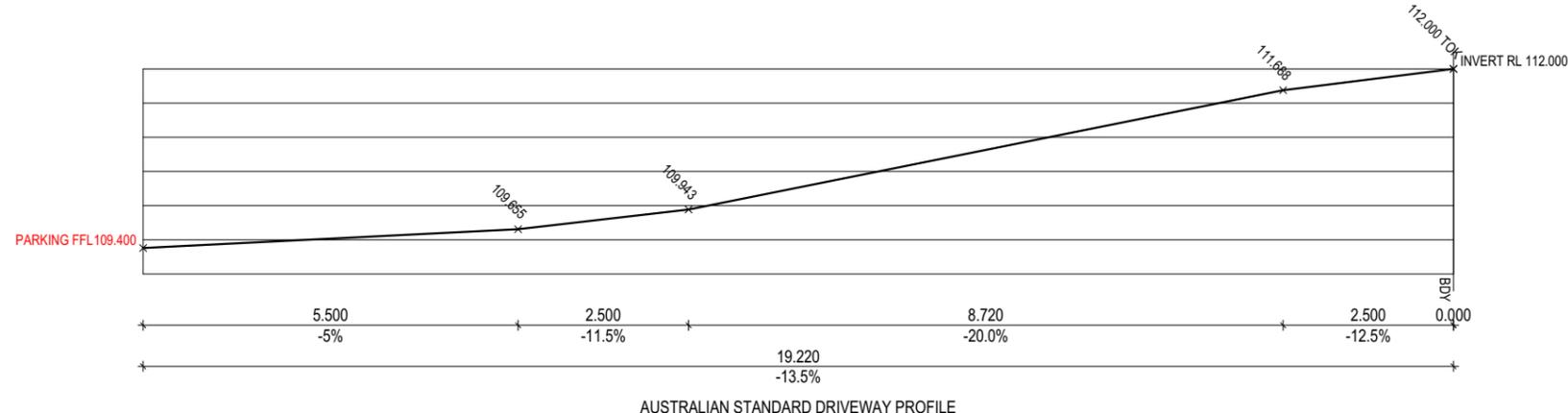
| DROPPED EDGE BEAMS | |
|--------------------|--------------------------------|
| HEIGHT (mm) | SURFACE AREA (m ²) |
| 857 | 1.62 |
| | 1.62 m² |

BAL-12.5 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS



MATTEO CIRCLE

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No PLN-25-058
 DATE RECEIVED 07/04/2025



**SUBJECT TO NCC 2022
 (1 MAY 2023)
 WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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|----------------|--|----------------|-------------------------------------|-------------------------------|------------------|--|
| DISCOVERY | 2 DRAFT SALES PLAN | MLG 22/01/2025 | CASSANDRA HANSSON & RHYS QUARRELL | ASCOT 12 | H-WDCASC10SA | |
| COPYRIGHT: | 3 DRAFT SALES PLAN - CT-1 UPDATE | RT2 04/02/2025 | ADDRESS: | FACADE DESIGN: | FACADE CODE: | |
| © 2025 | 4 PRELIM PLANS - INITIAL ISSUE | TNG 17/02/2025 | 4 MATTEO CIRCLE, CLAREMONT TAS 7011 | CLASSIC | F-WDCASC10CLASA | |
| | 5 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE | TNG 24/03/2025 | LOT / SECTION / CT: | SHEET TITLE: | SHEET No.: | |
| | 6 PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS | PL1 07/04/2025 | 50 / - / 185903 | COUNCIL: GLENORCHY COUNCIL | SCALES: 1:200 | |

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

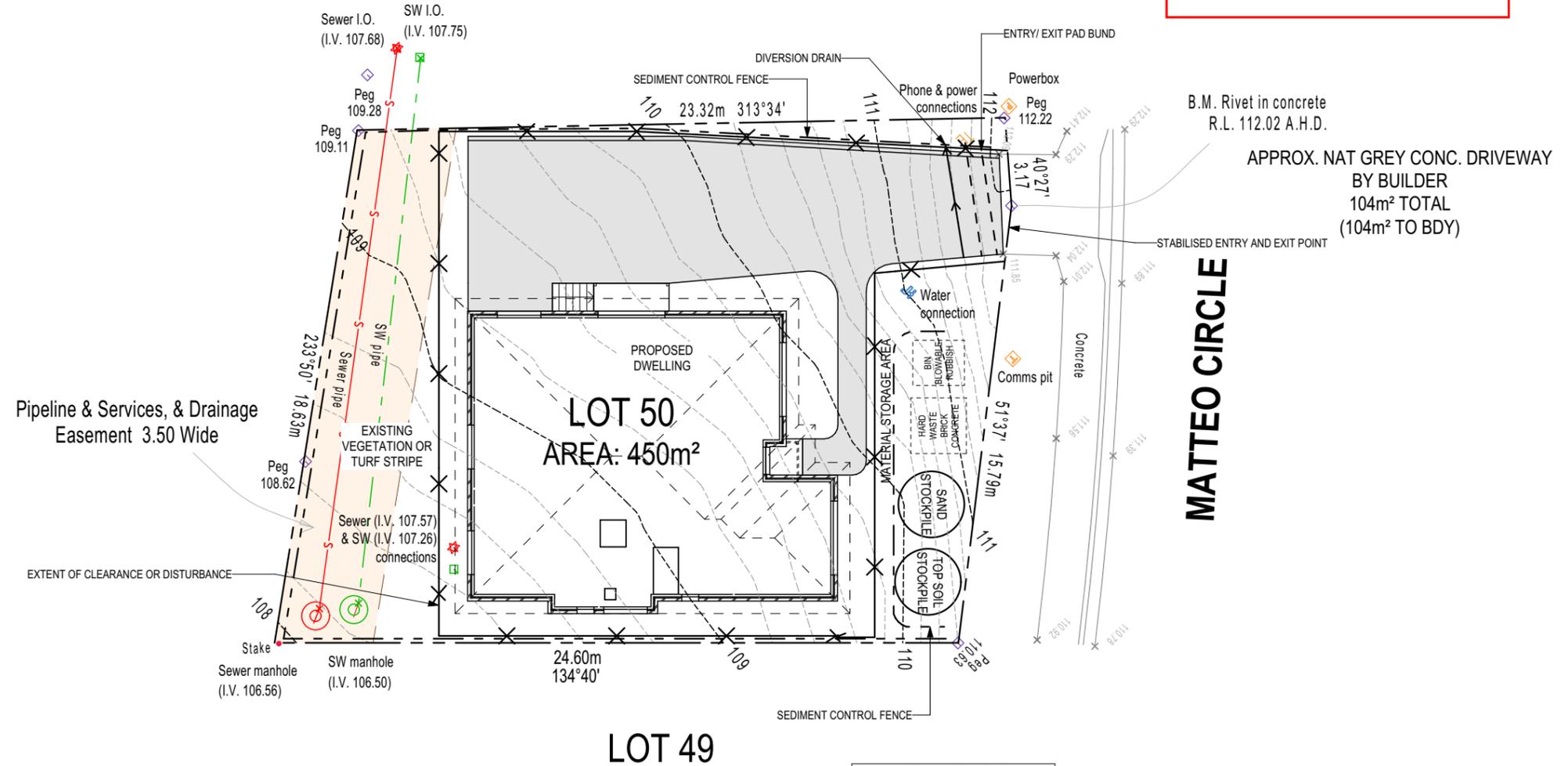
OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

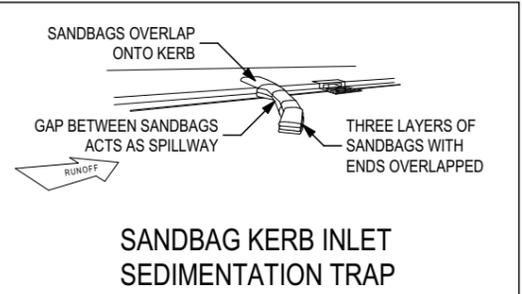
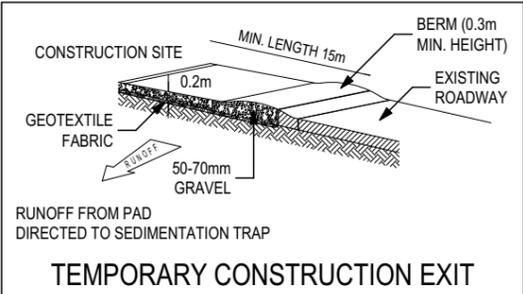
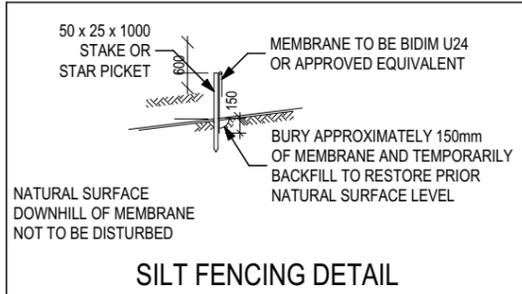
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-25-058
DATE RECEIVED 07/04/2025



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.



**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

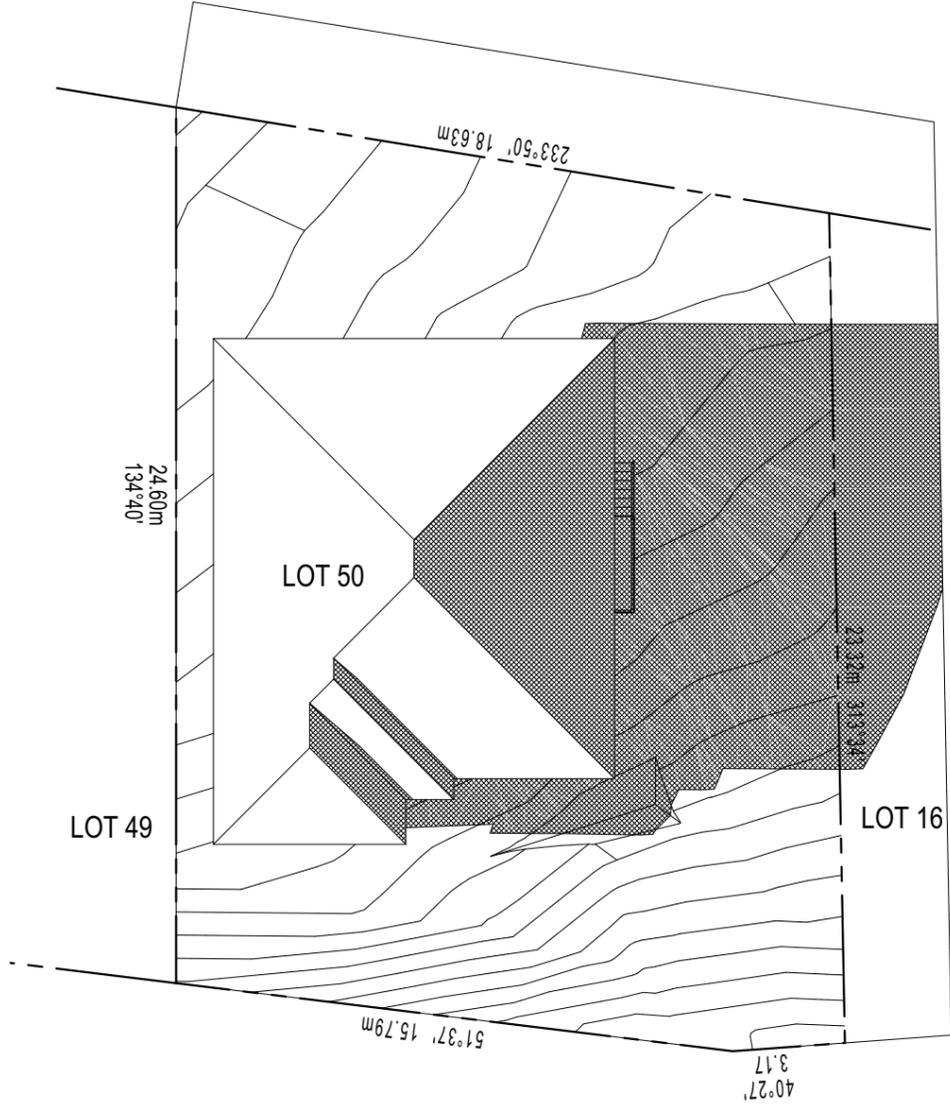
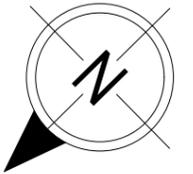
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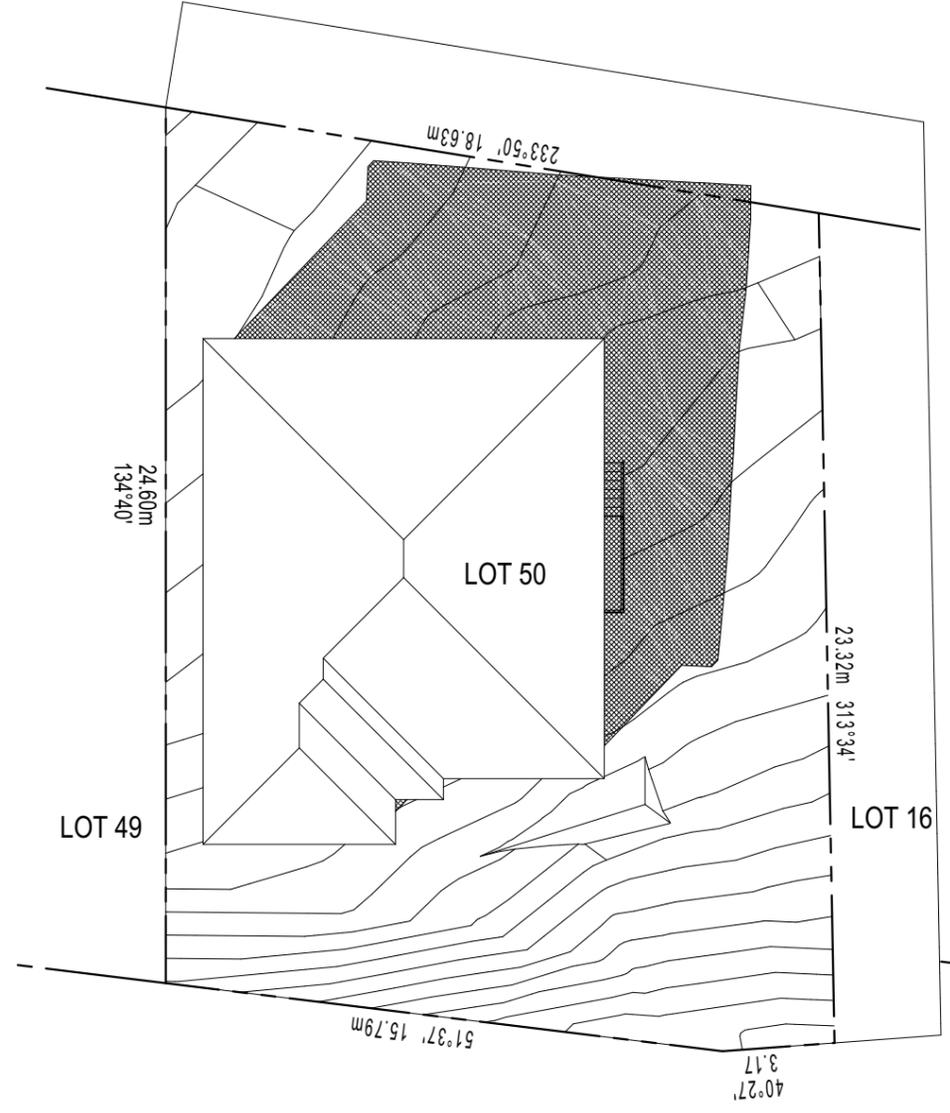
| | | | | | | | | | | | |
|--|------------------------|--|---------------------|------------|---|--|---|--|--|--|--|
| <p>SPECIFICATION: DISCOVERY</p> <p>COPYRIGHT: © 2025</p> | <p>REVISION</p> | | <p>DRAWN</p> | | <p>CLIENT: CASSANDRA HANSSON & RHYS QUARRELL</p> | | <p>HOUSE DESIGN: ASCOT 12</p> | | <p>HOUSE CODE: H-WDCASC10SA</p> | | <p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p>714183</p> |
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| | 4 | PRELIM PLANS - INITIAL ISSUE | TNG | 17/02/2025 | <p>COUNCIL: GLENORCHY COUNCIL</p> | | <p>SCALES: 1:200</p> | | | | |
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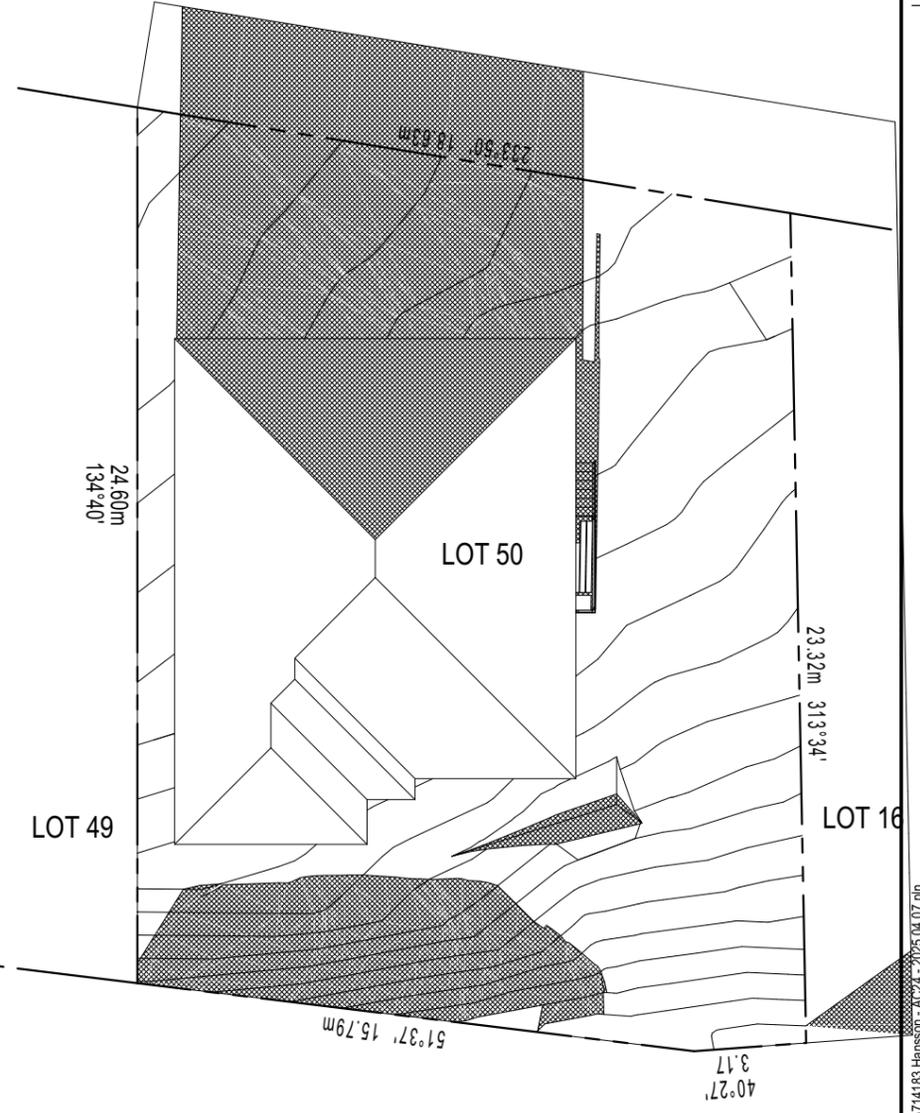
MATTEO CIRCLE

JUNE 21 - 0900



MATTEO CIRCLE

JUNE 21 - 1200



MATTEO CIRCLE

JUNE 21 - 1500

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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

| MAIN DWELLING, GROUND FLOOR | |
|-----------------------------|-----------------------------|
| LIVING | 127.01 |
| PORCH | 1.33 |
| | 128.34 m² |

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

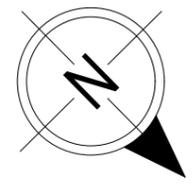
ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- [Pattern] FACE BRICK / COMMON BRICK
- [Pattern] RENDER
- [Pattern] SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- SDP STANDARD DOWNPIPE
- CDP CHARGED DOWNPIPE
- [Symbol] DENOTES DRAWER SIDE
- [Symbol] MECHANICAL VENTILATION
- L.B.W LOAD BEARING WALL
- PB PLASTERBOARD
- FC FIBRE CEMENT
- [Symbol] THIS DOOR OPENS FIRST
- [Symbol] SMOKE ALARM
- # LIFT OFF HINGE
- † WATER POINT
- [Symbol] FLOOR WASTE
- [Symbol] GAS BAYONET

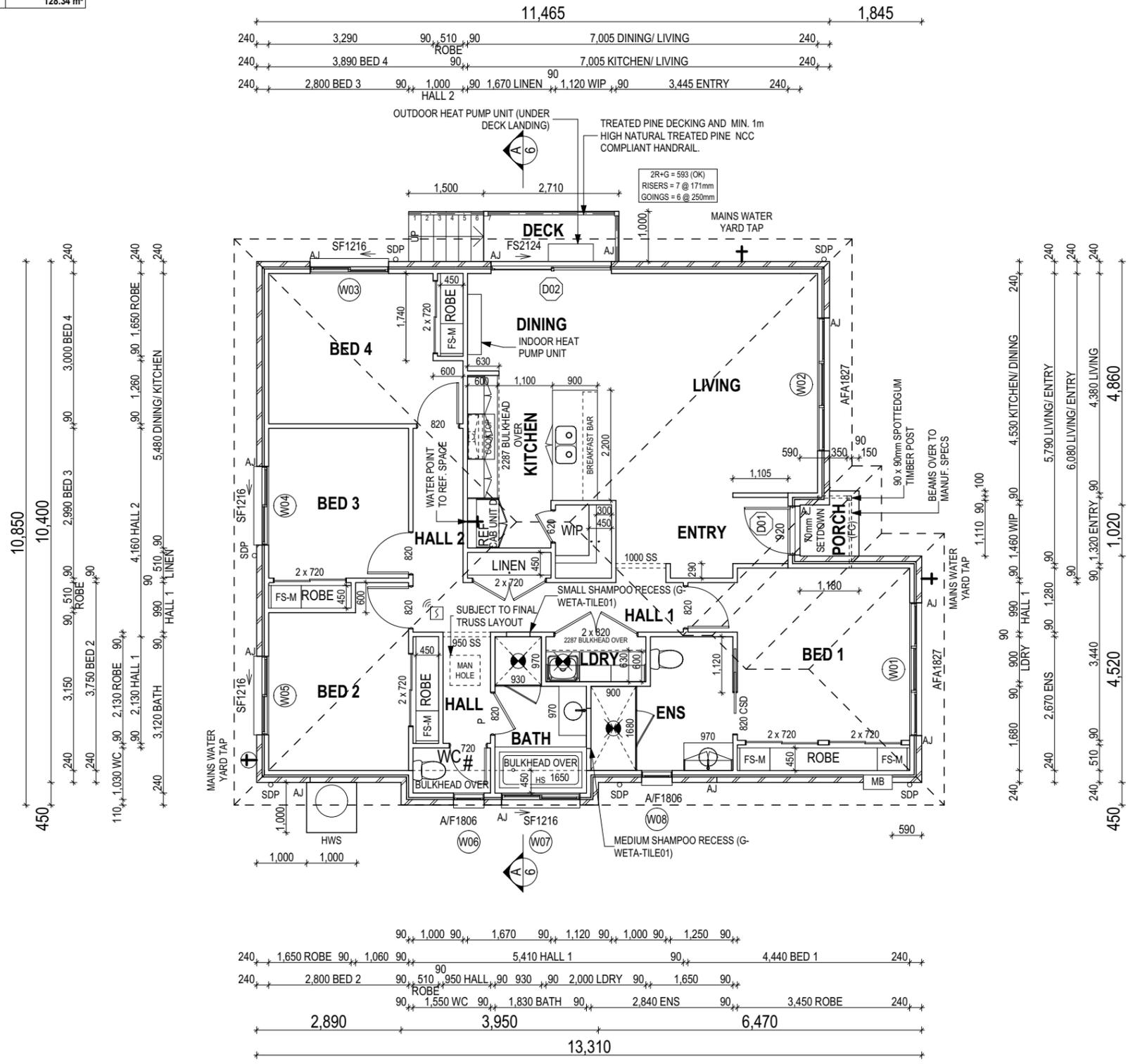
ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-25-058

DATE RECEIVED 07/04/2025



ALL DIMENSIONS ARE FRAME DIMENSIONS

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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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| | | | | | | | | | |
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| | DISCOVERY | 2 | DRAFT SALES PLAN | MLG | 22/01/2025 | CASSANDRA HANSSON & RHYS QUARRELL | ASCOT 12 | | H-WDCASC10SA |
| | COPYRIGHT: | 3 | DRAFT SALES PLAN - CT-1 UPDATE | RT2 | 04/02/2025 | ADDRESS: | FACADE DESIGN: | | FACADE CODE: |
| | © 2025 | 4 | PRELIM PLANS - INITIAL ISSUE | TNG | 17/02/2025 | 4 MATTEO CIRCLE, CLAREMONT TAS 7011 | CLASSIC | | F-WDCASC10CLASA |
| | | 5 | PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE | TNG | 24/03/2025 | LOT / SECTION / CT: | SHEET TITLE: | | SHEET No.: |
| | | 6 | PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS | PL1 | 07/04/2025 | 50 / - / 185903 | COUNCIL: | | SCALES: |
| | | | | | GLENORCHY COUNCIL | GROUND FLOOR PLAN | 1:100 | 714183 | |

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-25-058
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- GENERAL BUILDING INFORMATION

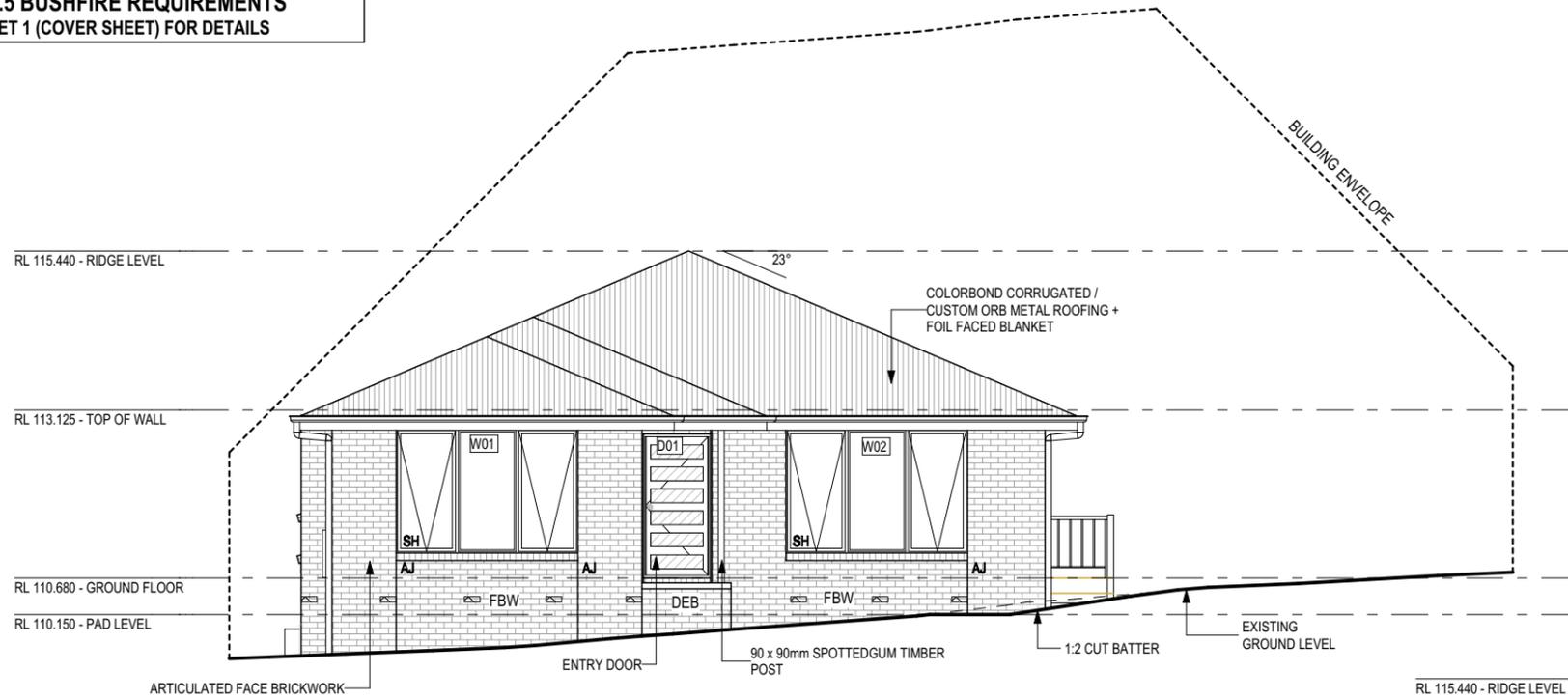
SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

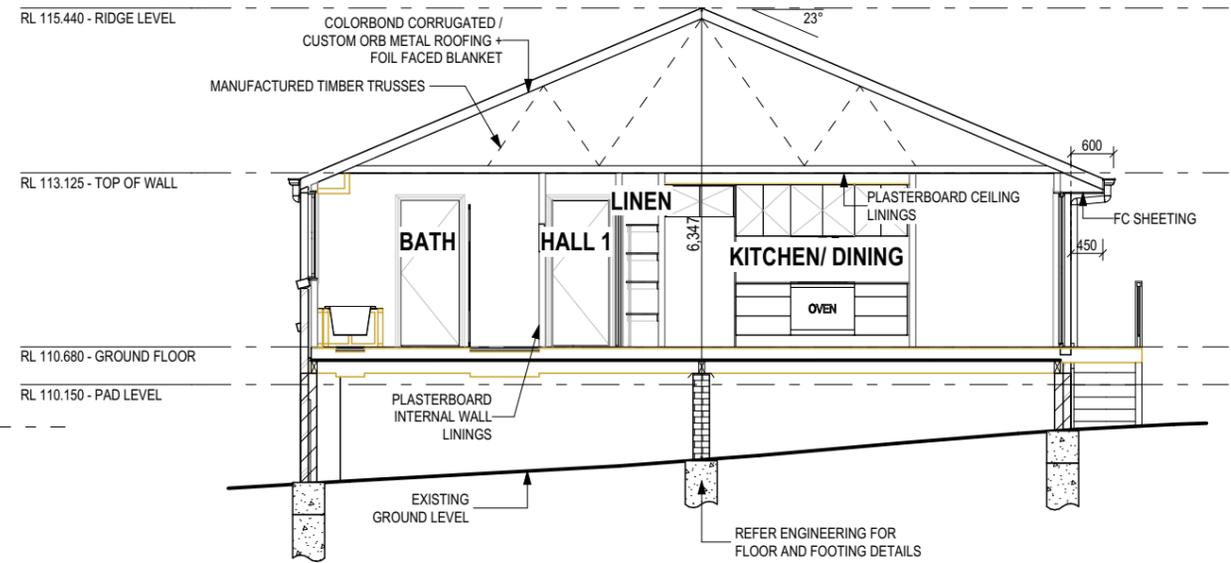
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**



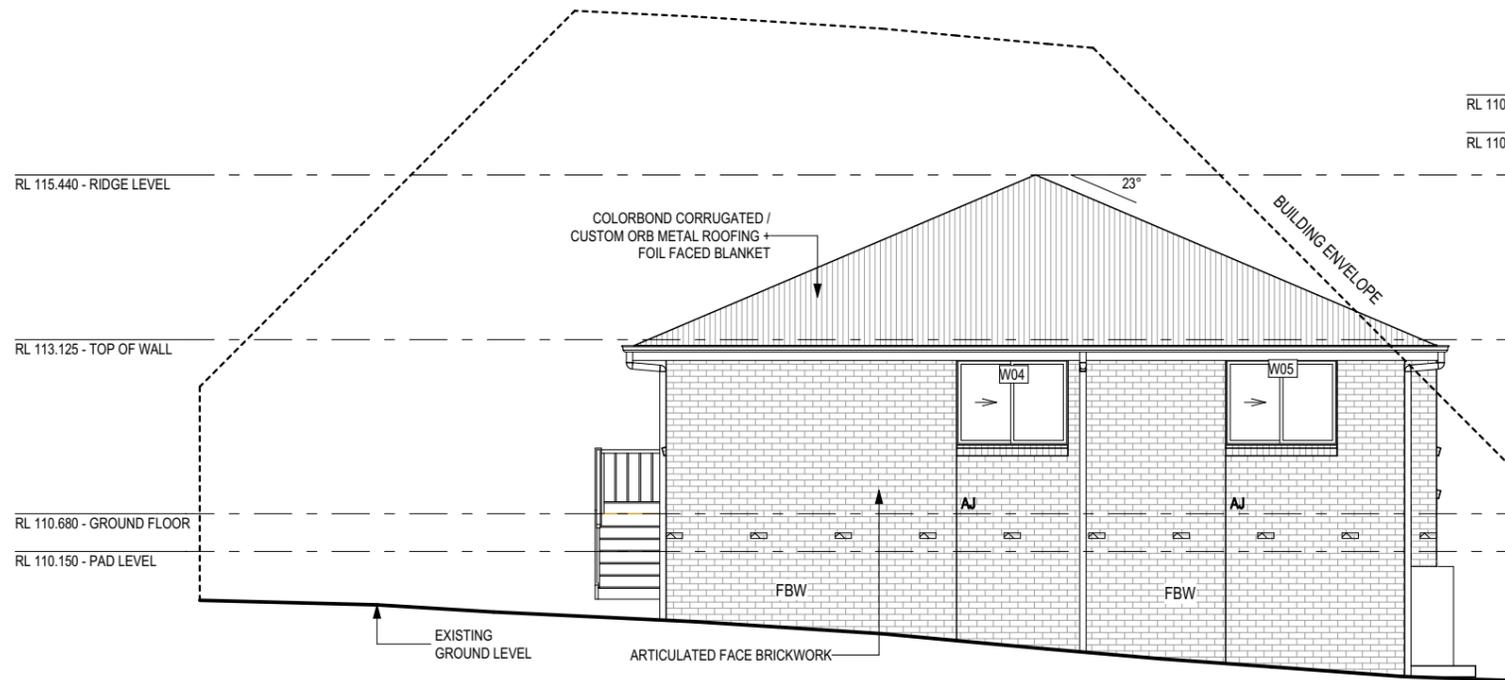
NORTH WEST ELEVATION
SCALE: 1:100



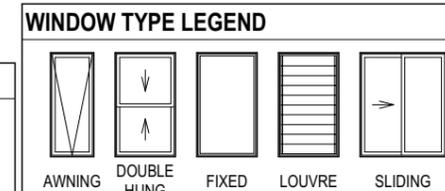
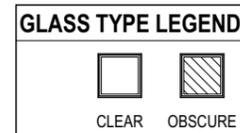
GROUND CLEARANCE IN ACCORDANCE WITH NCC TABLE 3.4.1.2 FOR CLIMATIC ZONE C TO BE 150mm FOR THE FIRST 2m THEN 400mm CLEARANCE FOR ACCESS TO SERVICES.

SECTION A-A
SCALE: 1:100

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**



SOUTH EAST ELEVATION
SCALE: 1:100



PLAN ACCEPTANCE BY OWNER

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| | | | | COUNCIL: | GLENORCHY COUNCIL | SCALES: | 1:100 | |

BAL-12.5 BUSHFIRE REQUIREMENTS
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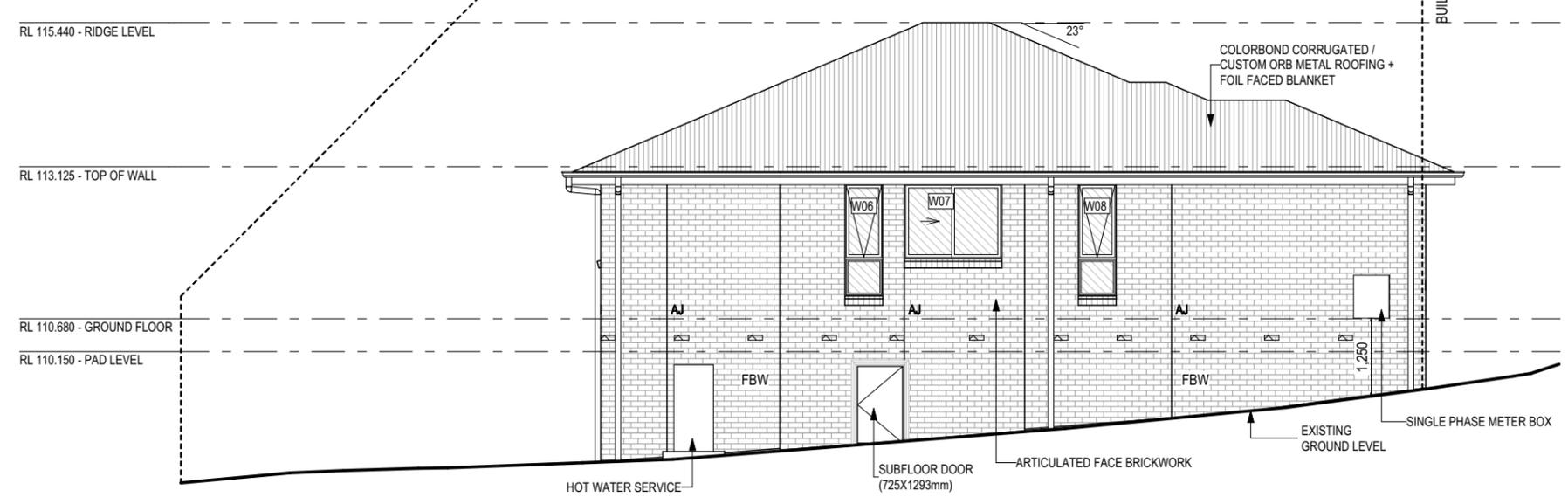
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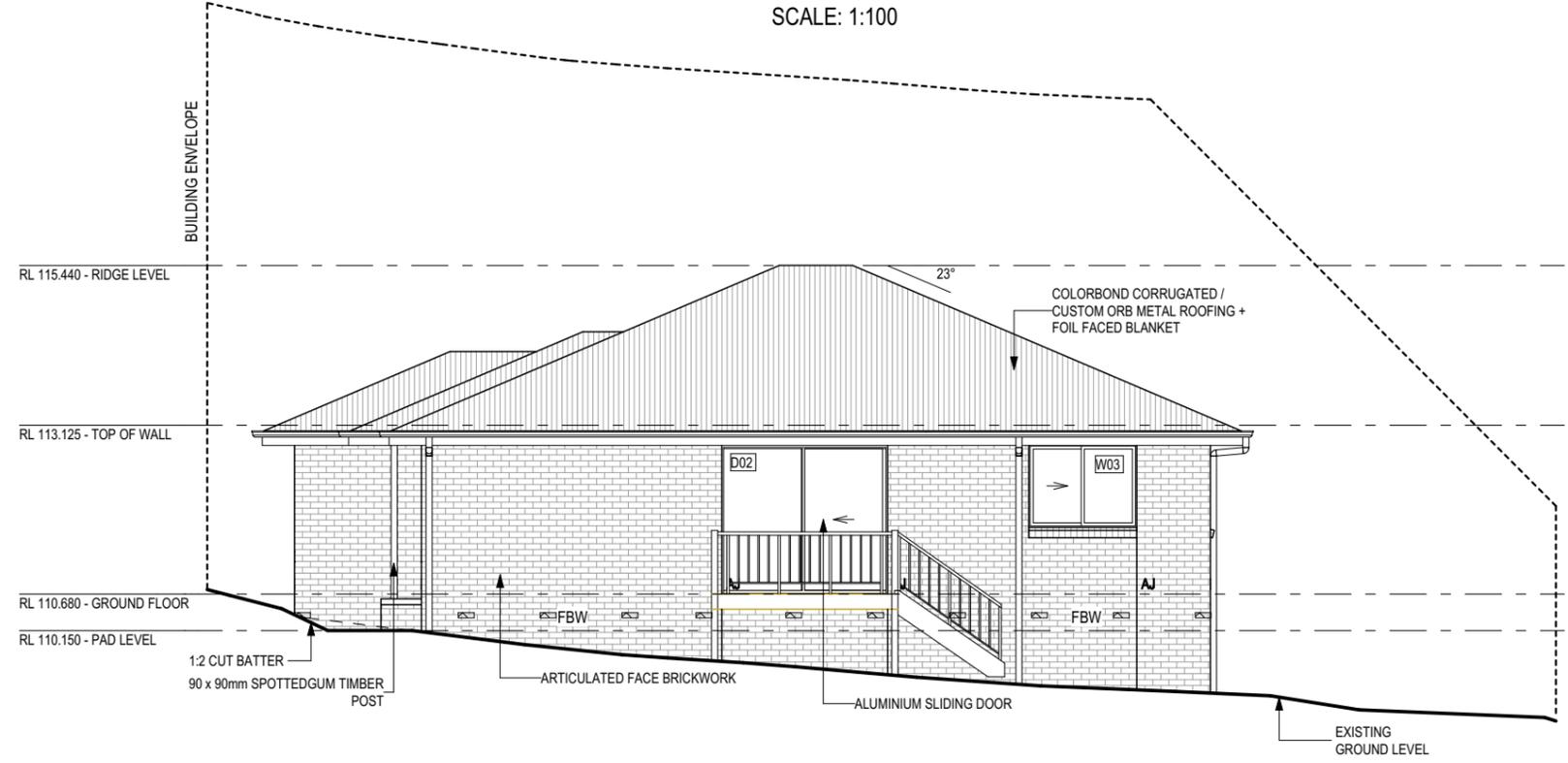
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NORTH EAST ELEVATION
SCALE: 1:100

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. **PLN-25-058**
DATE RECEIVED **07/04/2025**



SOUTH WEST ELEVATION
SCALE: 1:100

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

GLASS TYPE LEGEND

| | |
|-------|---------|
| | |
| CLEAR | OBSCURE |

WINDOW TYPE LEGEND

| | | | | |
|--------|-------------|-------|--------|---------|
| | | | | |
| AWNING | DOUBLE HUNG | FIXED | LOUVRE | SLIDING |

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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| | | | COUNCIL: | SCALES: | | |
| | | | GLENORCHY COUNCIL | 1:100 | | |

| EXTERIOR WINDOW & DOOR SCHEDULE <small>1,2 ASSUME LOOKING FROM OUTSIDE</small> | | | | | | | | | | | | | | MANUFACTURER: CLARK | | |
|--|-----|-------------------|----------|--------|--------|-------|-----------|------------------------|------------|------------|-------------|---------|--------------------------------|---------------------|---|--|
| STOREY | ID | CODE ¹ | TYPE | ROOM | HEIGHT | WIDTH | PERIMETER | AREA (m ²) | FRAME TYPE | BAL RATING | SILL TYPE | ORIENT. | GLAZING AREA (m ²) | GLAZING TYPE | ADDITIONAL INFORMATION ² | |
| WINDOW | | | | | | | | | | | | | | | | |
| GROUND FLOOR | W01 | AFA1827 | AWNING | BED 1 | 1,800 | 2,650 | 8,900 | 4.77 | ALUMINIUM | BAL-12.5 | SNAP HEADER | NW | 3.93 | CLEAR | MP 883-883, ROLLER BLINDS & SHEER ROLLER BLINDS | |
| GROUND FLOOR | W02 | AFA1827 | AWNING | LIVING | 1,800 | 2,650 | 8,900 | 4.77 | ALUMINIUM | BAL-12.5 | SNAP HEADER | NW | 3.93 | CLEAR | MP 883-883, ROLLER BLINDS & SHEER ROLLER BLINDS | |
| GROUND FLOOR | W03 | SF1216 | SLIDING | BED 4 | 1,200 | 1,570 | 5,540 | 1.88 | ALUMINIUM | BAL-12.5 | ANGLED | SW | 1.64 | CLEAR | ROLLER BLINDS & SHEER ROLLER BLINDS | |
| GROUND FLOOR | W04 | SF1216 | SLIDING | BED 3 | 1,200 | 1,570 | 5,540 | 1.88 | ALUMINIUM | BAL-12.5 | ANGLED | SE | 1.64 | CLEAR | ROLLER BLINDS & SHEER ROLLER BLINDS | |
| GROUND FLOOR | W05 | SF1216 | SLIDING | BED 2 | 1,200 | 1,570 | 5,540 | 1.88 | ALUMINIUM | BAL-12.5 | ANGLED | SE | 1.64 | CLEAR | ROLLER BLINDS & SHEER ROLLER BLINDS | |
| GROUND FLOOR | W06 | A/F1806 | AWNING | WC | 1,800 | 610 | 4,820 | 1.10 | ALUMINIUM | BAL-12.5 | ANGLED | NE | 0.80 | OBSCURE, TOUGHENED | BP 600 | |
| GROUND FLOOR | W07 | SF1216 | SLIDING | BATH | 1,200 | 1,570 | 5,540 | 1.88 | ALUMINIUM | BAL-12.5 | ANGLED | NE | 1.64 | OBSCURE, TOUGHENED | | |
| GROUND FLOOR | W08 | A/F1806 | AWNING | ENS | 1,800 | 610 | 4,820 | 1.10 | ALUMINIUM | BAL-12.5 | ANGLED | NE | 0.80 | OBSCURE, TOUGHENED | BP 600 | |
| | | | | | | | | 19.26 | | | | | 16.02 | | | |
| DOOR | | | | | | | | | | | | | | | | |
| GROUND FLOOR | D01 | 920 | SWINGING | ENTRY | 2,097 | 976 | 6,146 | 2.05 | ALUMINIUM | BAL-12.5 | SNAP HEADER | NW | 1.41 | OBSCURE | | |
| GROUND FLOOR | D02 | FS2124 | SLIDING | DINING | 2,158 | 2,410 | 9,136 | 5.20 | ALUMINIUM | BAL-12.5 | SNAP HEADER | SW | 4.64 | CLEAR, TOUGHENED | ROLLER BLINDS & SHEER ROLLER BLINDS | |
| | | | | | | | | 7.25 | | | | | 6.05 | | | |
| | | | | | | | | 26.51 | | | | | 22.07 | | | |

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. PLN-25-058

DATE RECEIVED 07/04/2025

NOTE:
Provide BAL-12.5 rated aluminium windows and external glass sliding doors in lieu of standard.
Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

| Manufacturer - Clark Windows | | | |
|-------------------------------|---------|---------|------|
| Window Type | Glazing | U-Value | SHGC |
| Awning | Single | 6.5 | 0.67 |
| | Double | 4.1 | 0.57 |
| Fixed | Single | 5.9 | 0.75 |
| | Double | 3.2 | 0.67 |
| Sliding | Single | 6.4 | 0.76 |
| | Double | 4.2 | 0.59 |
| Fixed Pane | Single | 5.9 | 0.75 |
| | Double | 3.2 | 0.67 |
| Fixed Glass Panel Hinged Door | Single | 6.0 | 0.62 |
| | Double | 4.3 | 0.55 |
| Sliding Door | Single | 6.1 | 0.74 |
| | Double | 3.6 | 0.66 |
| Stacking Door | Single | 6.3 | 0.74 |
| | Double | 3.8 | 0.66 |
| 135 deg. Awning Bay Window | Single | 6.5 | 0.67 |
| | Double | 4.1 | 0.57 |
| 135 deg. Sliding Bay Window | Single | 6.5 | 0.76 |
| | Double | 4.2 | 0.59 |
| 90 deg. Awning Bay Window | Single | 6.5 | 0.67 |
| | Double | 4.1 | 0.57 |
| 90 deg. Sliding Bay Window | Single | 6.5 | 0.76 |
| | Double | 4.2 | 0.59 |
| Bifold Doors | Single | 6.1 | 0.61 |
| | Double | 4.4 | 0.53 |

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

| INTERIOR WINDOW & DOOR SCHEDULE | | | | | | | |
|---------------------------------|-----|---------|--------------------|--------|-------|--------------|------------------------|
| STOREY | QTY | CODE | TYPE | HEIGHT | WIDTH | GLAZING TYPE | ADDITIONAL INFORMATION |
| DOOR | | | | | | | |
| GROUND FLOOR | 1 | 1000 SS | SQUARE SET OPENING | 2,155 | 1,000 | N/A | |
| GROUND FLOOR | 5 | 2 x 720 | ROBEMAKER SLIDING | 2,040 | 1,460 | N/A | |
| GROUND FLOOR | 1 | 2 x 720 | SWINGING | 2,040 | 1,440 | N/A | |
| GROUND FLOOR | 1 | 2 x 820 | SWINGING | 2,040 | 1,640 | N/A | |
| GROUND FLOOR | 1 | 620 | SWINGING | 2,040 | 620 | N/A | |
| GROUND FLOOR | 1 | 720 | SWINGING | 2,040 | 720 | N/A | LIFT-OFF HINGES |
| GROUND FLOOR | 5 | 820 | SWINGING | 2,040 | 820 | N/A | |
| GROUND FLOOR | 1 | 820 CSD | CAVITY SLIDING | 2,040 | 820 | N/A | |
| GROUND FLOOR | 1 | 950 SS | SQUARE SET OPENING | 2,155 | 950 | N/A | |

| PICTURE, TV RECESS AND SS WINDOW OPENINGS | | | | |
|---|------|--------|-------|------------------------|
| QTY | TYPE | HEIGHT | WIDTH | AREA (m ²) |
| | | | | |

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
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**BAL-12.5 BUSHFIRE REQUIREMENTS
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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
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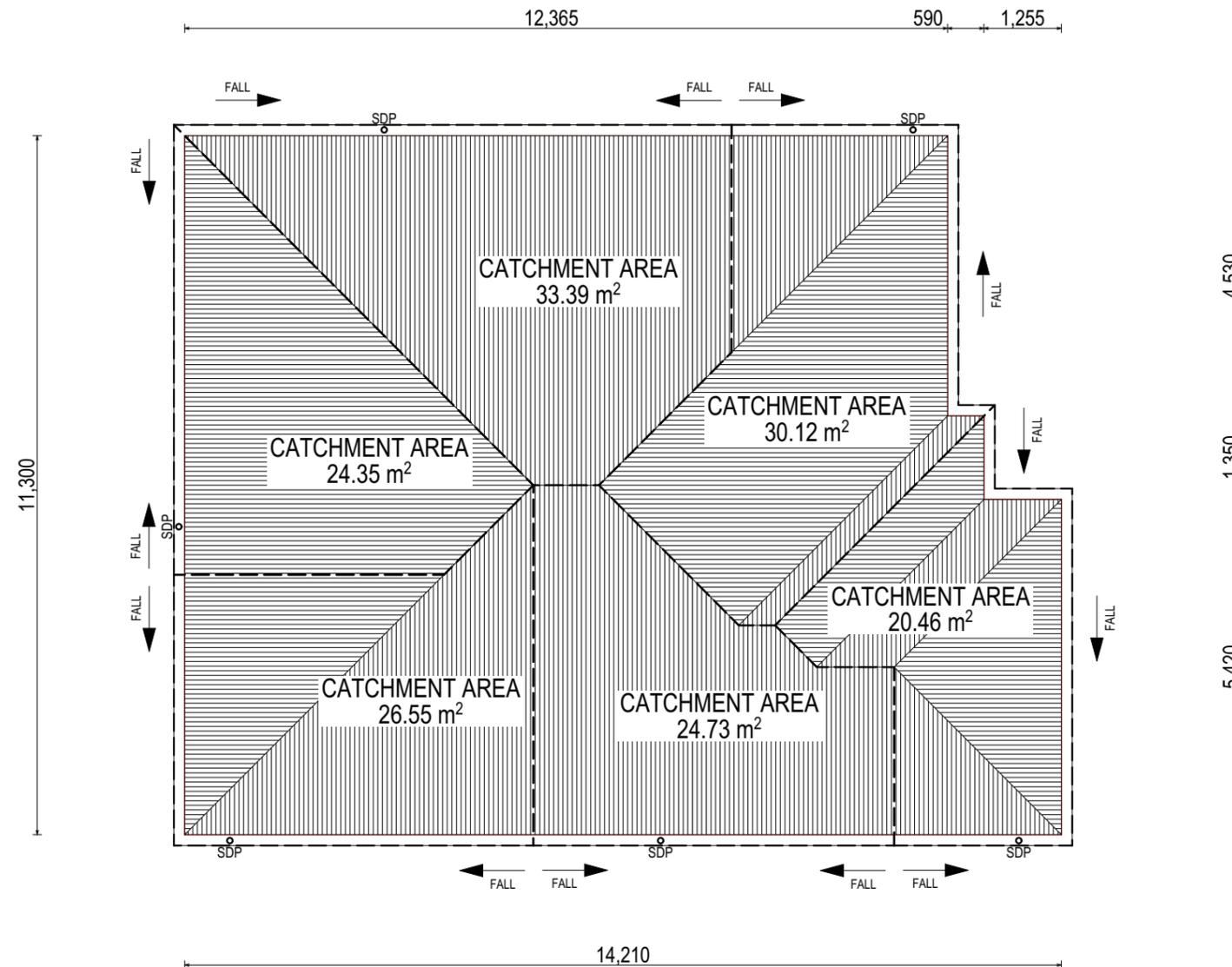


WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREAS SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

| Roofing Data | | |
|--|--------|---|
| | 150.52 | Flat Roof Area (excluding gutter and slope factor) (m ²) |
| | 163.52 | Roof Surface Area (includes slope factor, excludes gutter) (m ²) |
| Downpipe roof calculations (as per AS/NZ3500.3:2021) | | |
| Ah | 159.60 | Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²) |
| Ac | 193.12 | Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²) |
| Ae | 6300 | Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²) |
| DRI | 86 | Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021) |
| Acdp | 64 | Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²) |
| Required Downpipes | 3.02 | Ac / Acdp |
| Downpipes Provided | 6 | |



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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

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| DISCOVERY | 2 DRAFT SALES PLAN | MLG 22/01/2025 | CASSANDRA HANSSON & RHYS QUARRELL | ASCOT 12 | H-WDCASC10SA | |
| COPYRIGHT: | 3 DRAFT SALES PLAN - CT-1 UPDATE | RT2 04/02/2025 | ADDRESS: | FACADE DESIGN: | FACADE CODE: | 714183 |
| © 2025 | 4 PRELIM PLANS - INITIAL ISSUE | TNG 17/02/2025 | 4 MATTEO CIRCLE, CLAREMONT TAS 7011 | CLASSIC | F-WDCASC10CLASA | |
| | 5 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE | TNG 24/03/2025 | LOT / SECTION / CT: | SHEET TITLE: | SHEET No.: | 1:100 |
| | 6 PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS | PL1 07/04/2025 | 50 / - / 185903 | COUNCIL: | 9 / 14 | |
| | | | GLENORCHY COUNCIL | ROOF DRAINAGE PLAN | | |

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

| | |
|--|---------------------------|
| | NO COVERING |
| | COVER GRADE CONCRETE |
| | CARPET |
| | LAMINATE |
| | TILE (STANDARD WET AREAS) |
| | TILE (UPGRADED AREAS) |
| | DECKING |

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No PLN-25-058
 DATE RECEIVED 07/04/2025



**BAL-12.5 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS**

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**SUBJECT TO NCC 2022
 (1 MAY 2023)
 WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

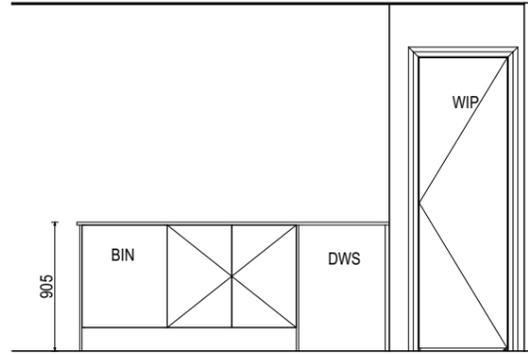


| | | | | | | |
|--|--|----------------|-------------------------------------|-----------------|-----------------|---|
| SPECIFICATION: DISCOVERY COPYRIGHT: © 2025 | REVISION | DRAWN | CLIENT: | HOUSE DESIGN: | HOUSE CODE: | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714183 |
| | 2 DRAFT SALES PLAN | MLG 22/01/2025 | CASSANDRA HANSSON & RHYS QUARRELL | ASCOT 12 | H-WDCASC10SA | |
| | 3 DRAFT SALES PLAN - CT-1 UPDATE | RT2 04/02/2025 | ADDRESS: | FACADE DESIGN: | FACADE CODE: | |
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| | 5 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE | TNG 24/03/2025 | LOT / SECTION / CT: | SHEET TITLE: | SHEET No.: | |
| | 6 PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS | PL1 07/04/2025 | 50 / - / 185903 | FLOOR COVERINGS | 10 / 14 | |
| | | | COUNCIL: | SCALES: | 1:100 | |
| | | | GLENORCHY COUNCIL | | | |

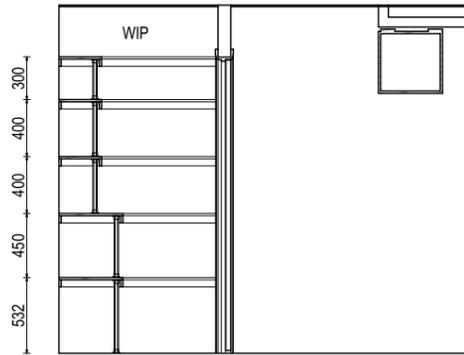
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



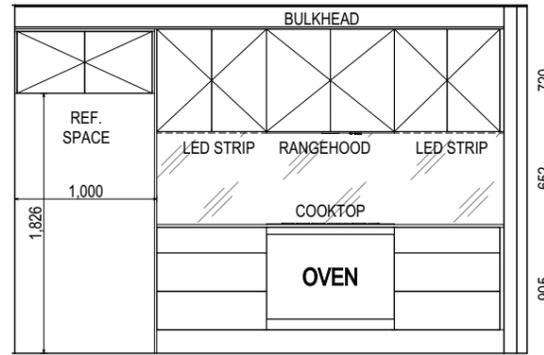
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SCALE: 1:50



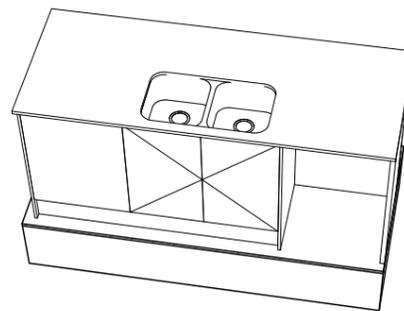
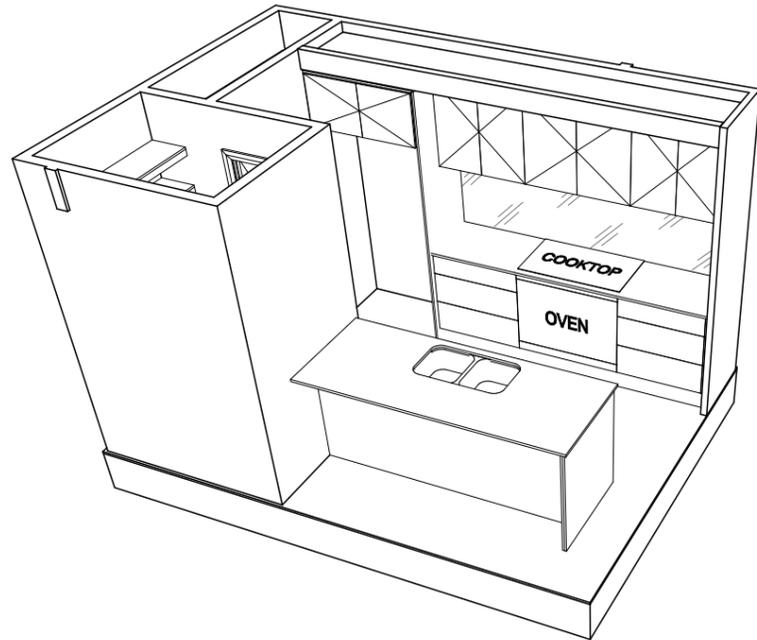
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50

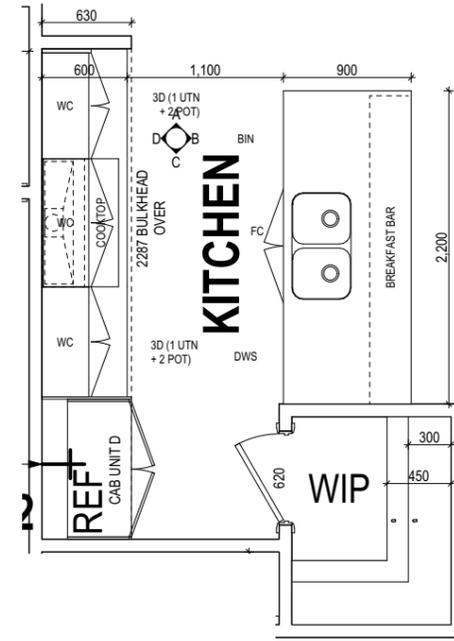


ELEVATION D
SCALE: 1:50



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-25-058
DATE RECEIVED 07/04/2025

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETS AS REQUIRED.



KITCHEN PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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ALL DIMENSIONS ARE FRAME DIMENSIONS

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| | COPYRIGHT: | 3 | DRAFT SALES PLAN - CT-1 UPDATE | RT2 04/02/2025 | ADDRESS: | FACADE DESIGN: | | FACADE CODE: |
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| | | 5 | PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE | TNG 24/03/2025 | LOT / SECTION / CT: | SHEET TITLE: | | SHEET No.: |
| | | 6 | PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS | PL1 07/04/2025 | 50 / - / 185903 | COUNCIL: GLENORCHY COUNCIL | | 11 / 14 |
| | | | | | KITCHEN DETAILS | 1:50 | | |

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

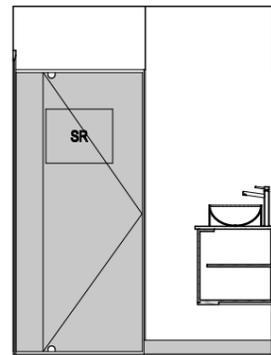
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- GENERAL BUILDING INFORMATION

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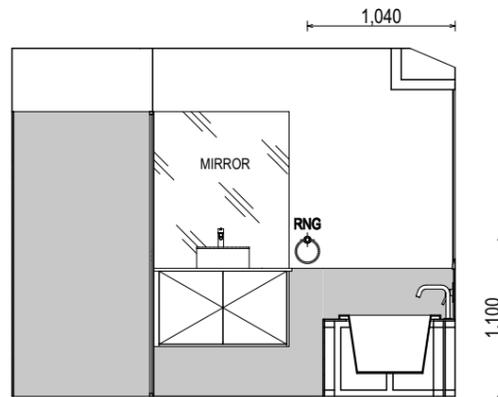
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No **PLN-25-058**
DATE RECEIVED **07/04/2025**

LEGEND

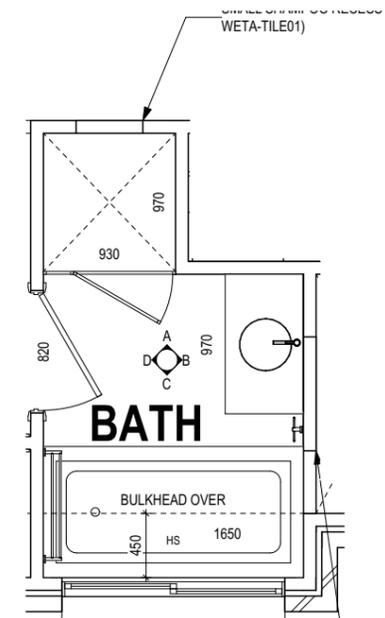
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



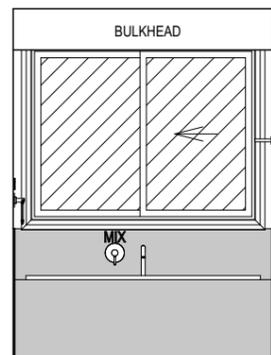
ELEVATION A
SCALE: 1:50



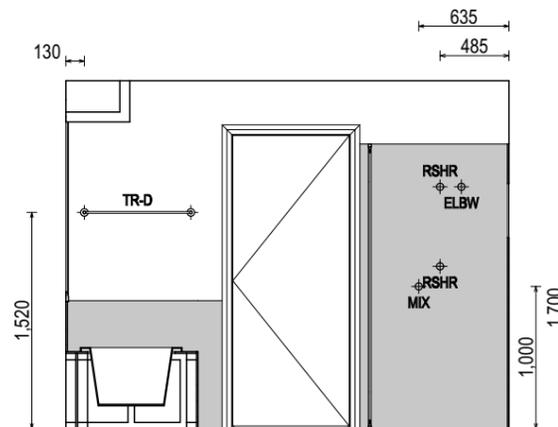
ELEVATION B
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

| SHAMPOO RECESS SIZE | STRUCTURAL DIMENSIONS | |
|---------------------|-----------------------|----------------|
| | WIDTH | HEIGHT |
| "SMALL" | 470 x 380mm | 548mm / 446mm |
| "MEDIUM" | 800 x 380mm | 878mm / 446mm |
| "LARGE" | 1500 x 380mm | 1578mm / 446mm |

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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| | | 5 | PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE | TNG | 24/03/2025 | LOT / SECTION / CT: | SHEET TITLE: | | SHEET No.: |
| | | 6 | PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS | PL1 | 07/04/2025 | 50 / - / 185903 | COUNCIL: | | 12 / 14 |
| | | | | | GLENORCHY COUNCIL | BATHROOM DETAILS | 1:50 | 714183 | |

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA

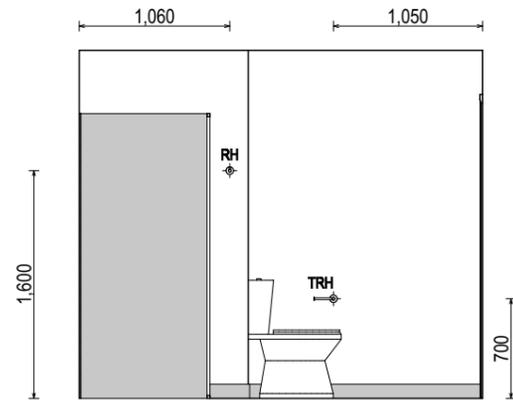
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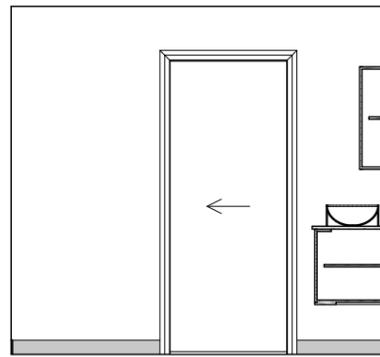
GLENORCHY CITY COUNCIL
PLANNING SERVICES
 APPLICATION No PLN-25-058
 DATE RECEIVED 07/04/2025

LEGEND

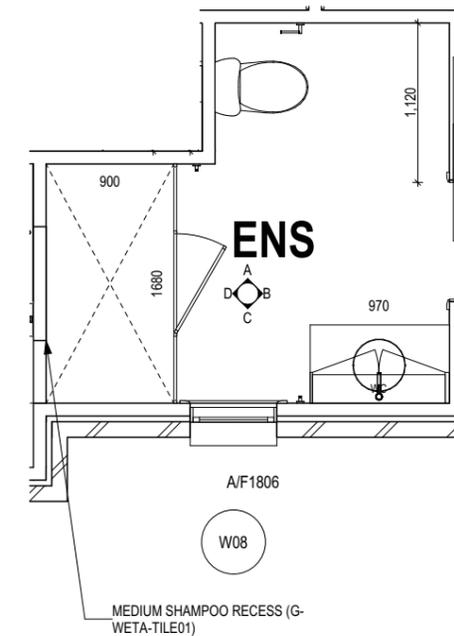
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
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- HS HOB SPOUT
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- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



ELEVATION A
SCALE: 1:50



ELEVATION B
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50

| SHAMPOO RECESS SIZE | STRUCTURAL DIMENSIONS | |
|---------------------|-----------------------|----------------|
| | WIDTH | HEIGHT |
| "SMALL" | 470 x 380mm | 548mm / 446mm |
| "MEDIUM" | 800 x 380mm | 878mm / 446mm |
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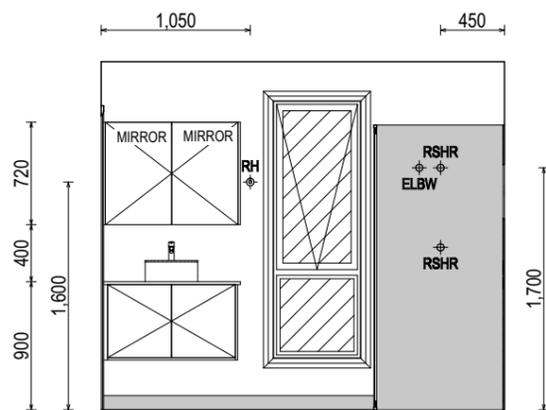
SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

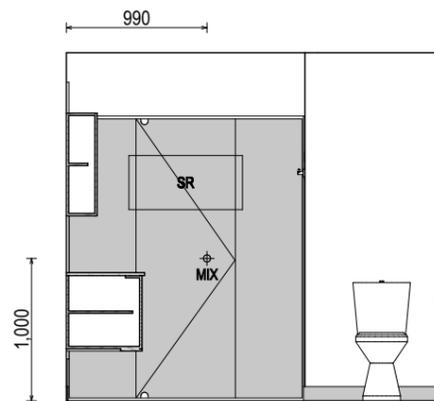
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ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

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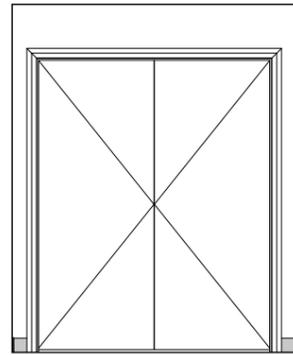
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| | | 5 | PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE | TNG | 24/03/2025 | LOT / SECTION / CT: | COUNCIL: | SHEET TITLE: | SHEET No.: | | SCALES: |
| | | 6 | PRELIM PLANS - INITIAL ISSUE - SHADOW DIAGRAMS | PL1 | 07/04/2025 | 50 / - / 185903 | GLENORCHY COUNCIL | ENSUITE DETAILS | 13 / 14 | | 1:50 |
| | | | | | | | | | | 714183 | |

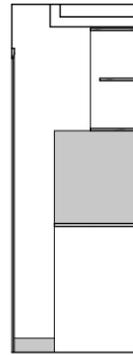
BAL-12.5 BUSHFIRE REQUIREMENTS
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-25-058
DATE RECEIVED 07/04/2025

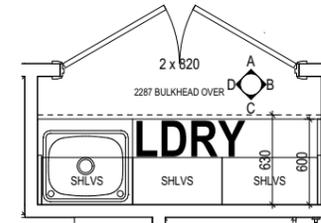
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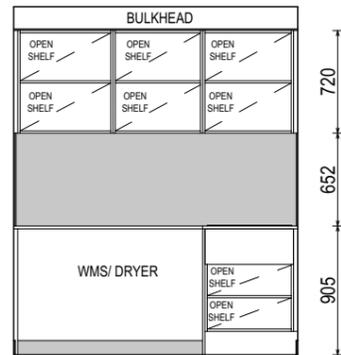
ELEVATION A
SCALE: 1:50



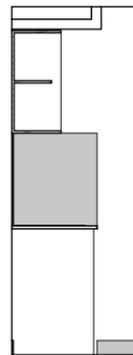
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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| | | | | | GLENORCHY COUNCIL | LAUNDRY DETAILS | 1:50 | |