

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-054
PROPOSED DEVELOPMENT:	Roofed deck addition (Residential)
LOCATION:	1/649 Main Road Berriedale
APPLICANT:	Precision Design & Drafting
ADVERTISING START DATE:	15/04/2025
ADVERTISING EXPIRY DATE:	05/05/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **05/05/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **05/05/2025**, or for postal and hand delivered representations, by 5.00 pm on **05/05/2025**.

Note:

Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important Notice for Attention of Owner:

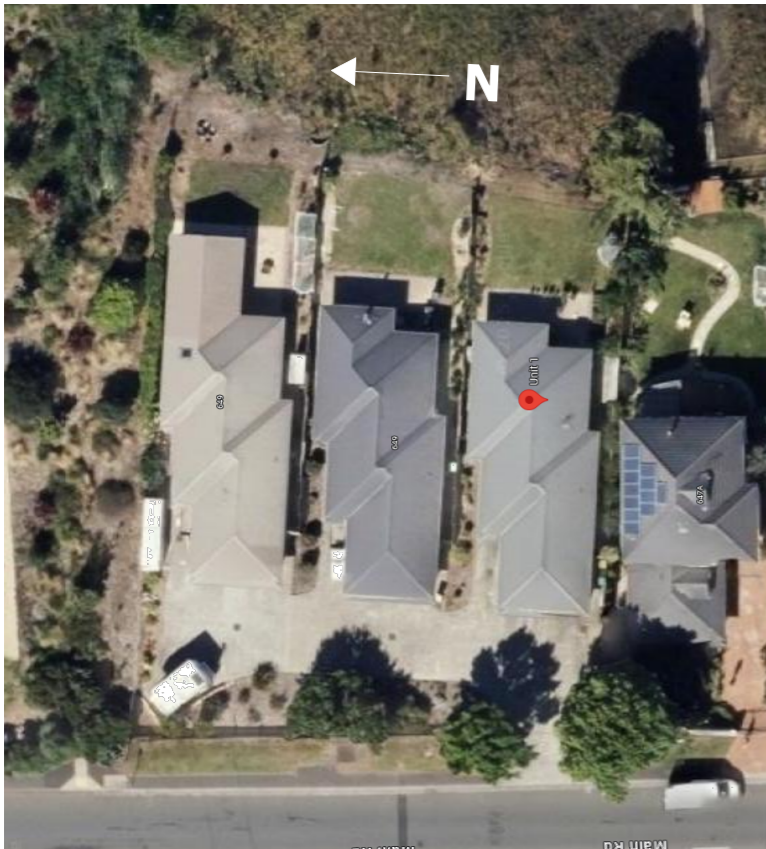
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

SOIL AND WATER MANAGEMENT NOTES:-

- Site to be vegetated and planted according to the satisfaction of the Hobart Regional soil and water management code of practice.
- Site to be disturbed as minimal as possible, (i.e. only building, drainage and immediate adjoining areas).
- Install all drainage lines prior to placement of roof and guttering. Connect immediately once dwelling is roofed.
- Apply temporary covering (eg, waterproof blankets, vegetation or mulch) to all disturbed areas where construction is only partially completed, which will remain exposed for a period of 14 days or more.
- Protect any nearby or on-site drainage pits from sediment by installing sediment traps around them.
- Limit entry/exit to one point and stabilise. Install facilities to remove dirt/mud from vehicle wheels before they leave the site.
- All soil/excavated matter to be retained on site, to be used as battered fill required for the landscaping areas.

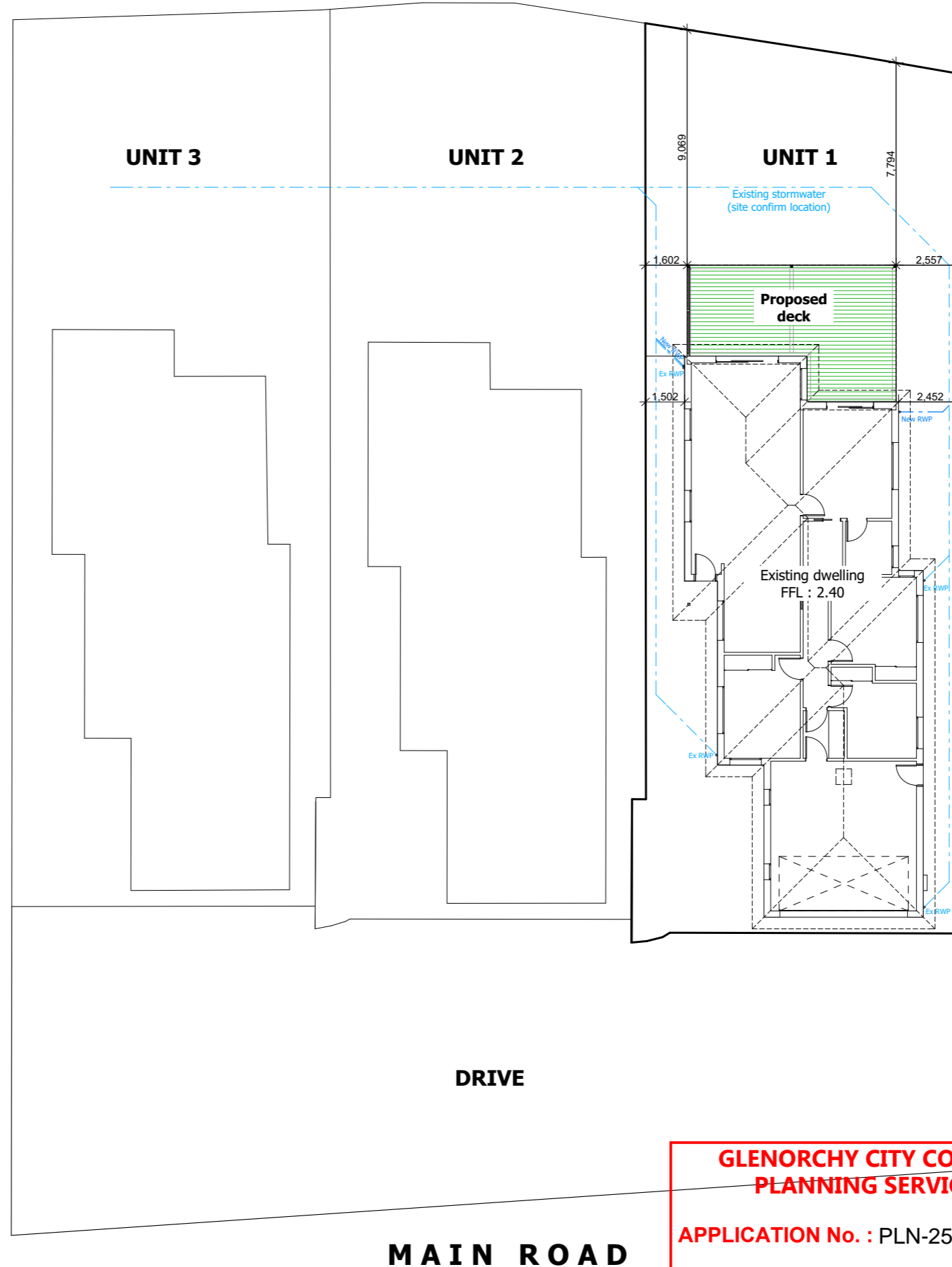
Stabilised site entry / exit point:-

1. Strip topsoil and level.
2. Compact subgrade.
3. Cover area with needle-punched geotextile.
4. Construct 200mm thick pad over geotextile using roadbase or 40mm aggregate. Minimum length 5 metres or to building alignment. Minimum width 3 metres.
5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.



© THIS PLAN MAY NOT BE USED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE OF PRECISION DESIGN AND DRAFTING

DERWENT RIVER



PRECISION
DESIGN & DRAFTING

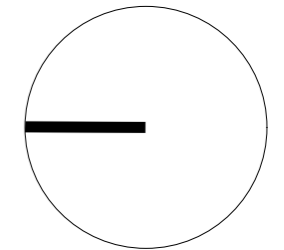
Katie Court

a : 76 Gillies Road,
Granton. TAS. 7030

m : 0400 598 990

e : katie.court1@gmail.com

Site
Lot 1
Site Area : 418m²
Site Coverage (inc deck) :
191.87m² = 45.90%



JOB : PROPOSED ROOFED DECK

AT : UNIT 1, #649 MAIN
ROAD, BERRIEDALE

FOR : MS L GREEN & MR S NEL

DRAWING TITLE :

SITE PLAN

DRAWN:	DATE:	DWG NO. :
KC	24.02.25	

SCALE:	01
A3 1:200	

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-054

DATE RECEIVED: 14 March 2025

MAIN ROAD

DRIVE

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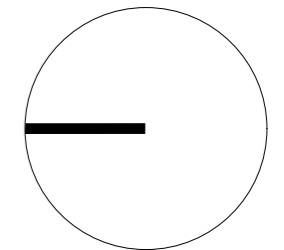
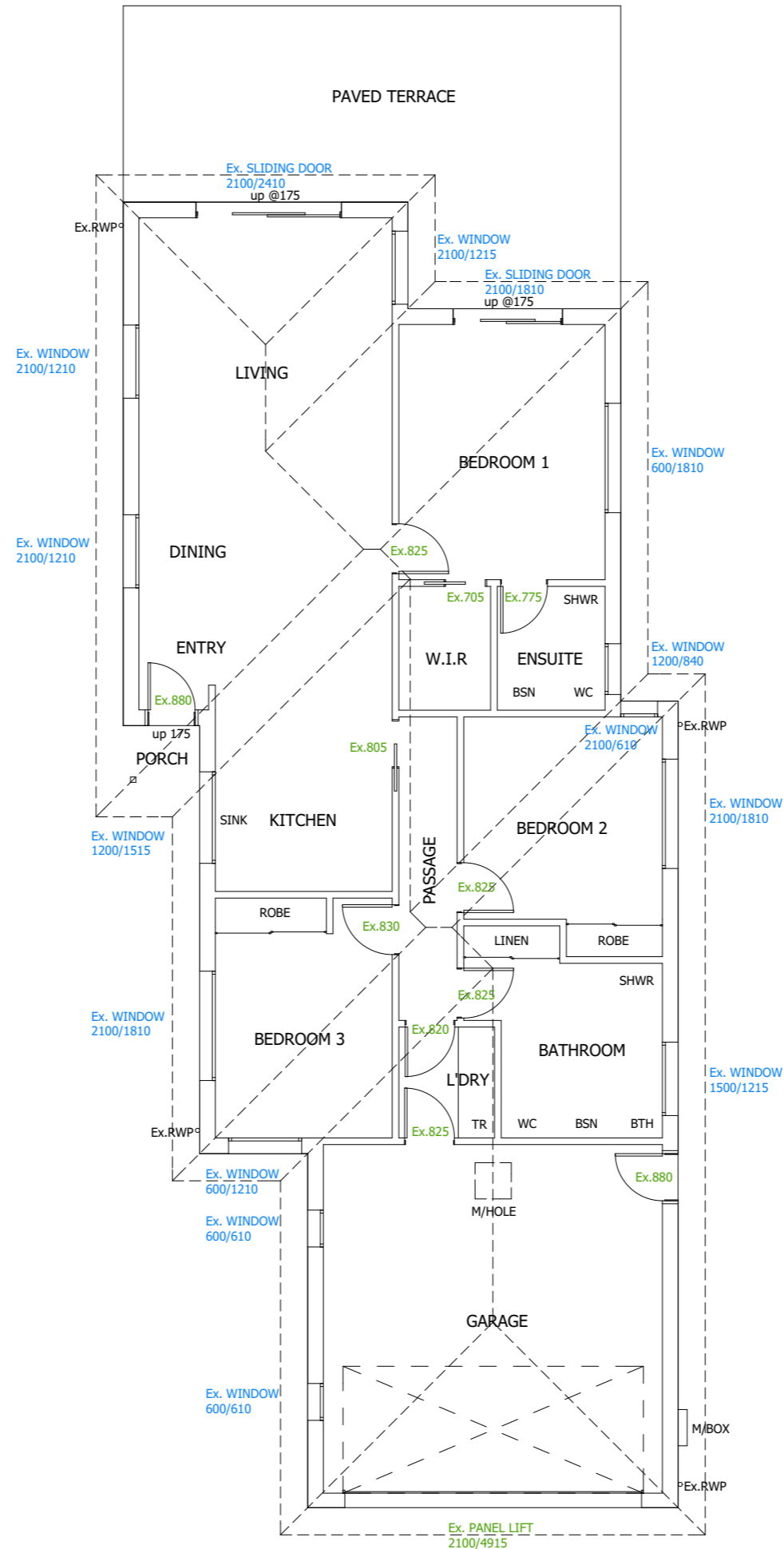
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PRECISION
DESIGN & DRAFTING

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JOB : PROPOSED ROOFED DECK

AT : UNIT 1, #649 MAIN ROAD, BERRIEDALE

FOR : MS L GREEN & MR S NEL

DRAWING TITLE :

EXISTING FLOOR PLAN

DRAWN: DATE: DWG NO. :
KC 24.02.25

SCALE:
A3 1:100

02

**GLENORCHY CITY COUNCIL
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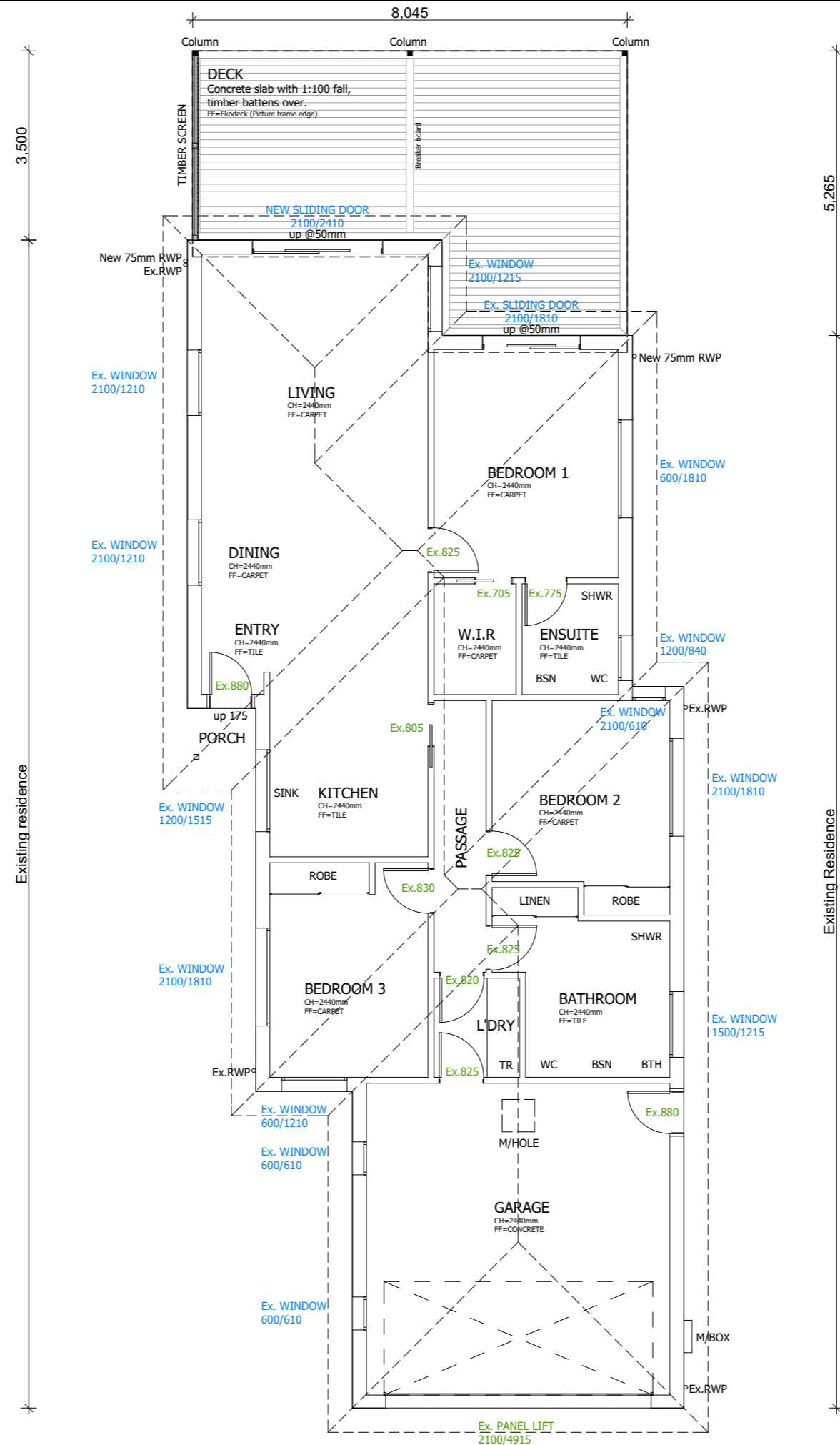
GENERAL :

- ALL FLASHINGS TO BE IN ACCORDANCE WITH THE NCC 2022.
- WEEP HOLES AND DAMP PROOF COURSING IN ACCORDANCE WITH PART 5.7 OF THE NCC 2022.
- FIBRE CEMENT SHEET IN ACCORDANCE WITH PART 7.5 OF THE NCC 2022.
- BRICK CONSTRUCTION IN ACCORDANCE WITH THE NCC REQUIREMENTS.
- ATTACHMENT OF DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS IN ACCORDANCE WITH PART 12.3 OF NCC 2022.
- PLASTERBOARD TO INTERNAL WALL LININGS AND CEILINGS WITH SELECTED CORNICE.
- WHERE WINDOWS OR DOORS ARE TO BE INSTALLED DIRECTLY ON TOP OF A SLAB EDGE, A MINIMUM 20MM REBATE MUST BE PROVIDED. ALTERNATIVELY THEY MAY BE FLASHED OR A SUB SILL INSTALLED TO PREVENT WATER PENETRATION AND STRUCTURAL DAMAGE TO THE BUILDING ELEMENTS.

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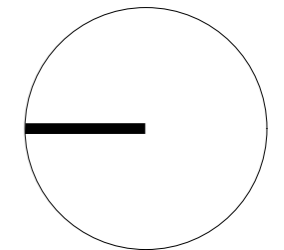
DATE RECEIVED: 14 March 2025



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Existing Area : 157.66m²

Deck Area : 34.21m²



JOB : PROPOSED ROOFED DECK

AT : UNIT 1, #649 MAIN ROAD, BERRIEDALE

FOR : MS L GREEN & MR S NEL

DRAWING TITLE :

**PROPOSED
FLOOR PLAN**

DRAWN:	DATE:	DWG NO. :
KC	24.02.25	

SCALE:
A3 1:100

03

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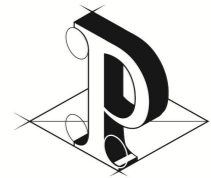
Roof cladding :

- Generally to be in accordance with NCC H1D7 and; Roof Tiles to AS 2049 & AS 2050. Metal sheet roofing AS 1562.1. Plastic sheet roofing AS/NZS 4256.1, .2, .3 &.5, & AS 1562.3.
- Gutters and downpipes, generally to be in accordance with NCC 7.4 & AS/NZS 3500.3.2 & the Plumbing Code of Australia (PCA). Eaves, internal and valley guttering to have cross sectional area of 6500m2. Downpipes to be 90Ø or 100 x 50 rectangular section to max. 12000 crs. and to be within 1000 of internal/valley gutter.
- Flashings to NCC 7.2, 7.3 & 7.5

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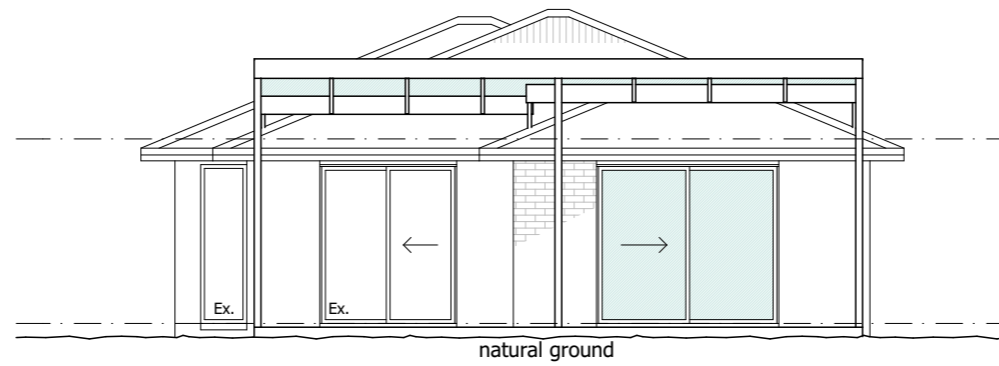
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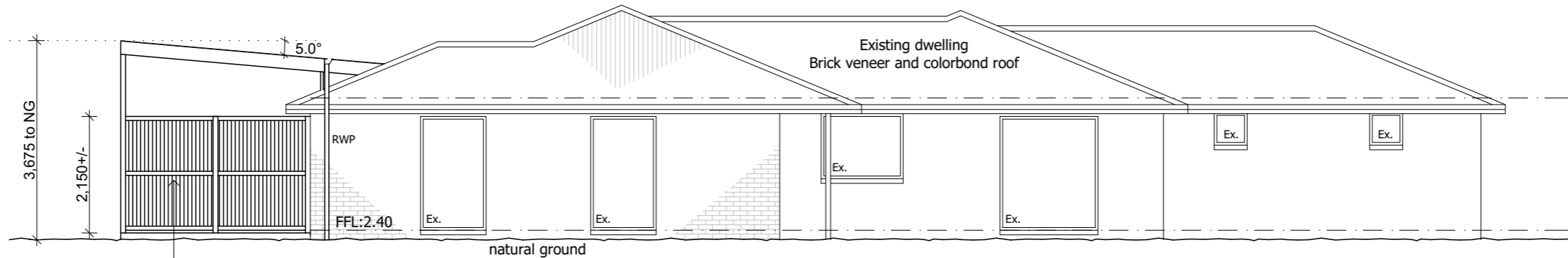


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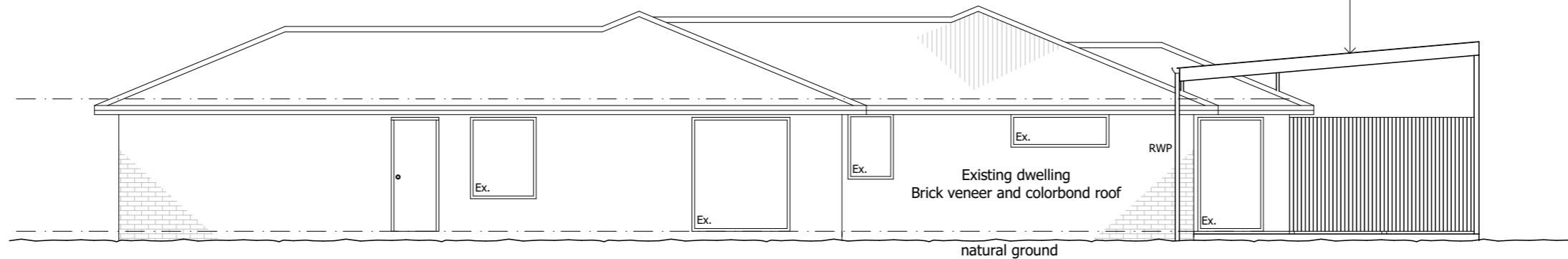
EAST ELEVATION



NORTH ELEVATION

Vertical Ekodeck screen.
Installed in accordance with
manufacturers specifications.

Sunlite polycarbonate roofing system at 5 degrees.
Installed over timber roof structure, rafters at 1000mm ctrs to
suit 980mm wide sheets. (refer to manufacturers specifications)



SOUTH ELEVATION

JOB : PROPOSED ROOFED DECK

AT : UNIT 1, #649 MAIN
ROAD, BERRIEDALE

FOR : MS L GREEN & MR S NEL

DRAWING TITLE :

**PROPOSED
ELEVATIONS**

DRAWN:	DATE:	DWG NO. :
KC	24.02.25	04
SCALE:		
A3 1:100		