

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-118
PROPOSED DEVELOPMENT:	Addition to dwelling (Multiple Dwelling)
LOCATION:	7/4A Bilton Walk, Claremont
APPLICANT:	Matt Gilley Building Designer
ADVERTISING START DATE:	30/05/2025
ADVERTISING EXPIRY DATE:	16/06/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **16/06/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **16/06/2025**, or for postal and hand delivered representations, by 5.00 pm on **16/06/2025**.

PROPOSED SUNROOM

U7/4A BILTON WALK, CLAREMONT
COLIN BENTLEY

SCHEDULE OF DRAWINGS

ARCHITECTURAL

A01	DRAWING SCHEDULE
A02	SITE PLAN
A03	DEMOLITION, FLOOR, AND ROOF PLANS
A04	EAST EXTERIOR ELEVATIONS
A05	SOUTH EXTERIOR ELEVATIONS
A06	FLOOR + ROOF FRAMING PLANS
A07	CONSTRUCTION DETAILS

GENERAL INFORMATION

LAND CERTIFICATE OF TITLE REFERENCE No. - Volume 181126 Folio 7

SOIL REPORT CONSULTANT & CLASSIFICATION - NONE PROVIDED.

DESIGN WIND SPEED - N2 (40m/s)

CLIMATE ZONE FOR THERMAL DESIGN (building code of australia) - ZONE 7

BUSHFIRE-PRONE AREA BAL RATING (bushfire attack level) - N/A. SITE IS NOT LOCATED IN A COUNCIL DESIGNATED BUSHFIRE PRONE AREA.

ALPINE AREA (fire safety) - NO

CORROSION ENVIRONMENT - MEDIUM (mild steel corrosion rate 25 to 50µm/year). TYPICALLY MORE THAN 1km FROM BREAKING SURF OR AGGRESSIVE INDUSTRIAL AREAS OR MORE THAN 50m FROM SHELTERED BAYS.

EXTERNAL BUILDING AREAS (proposed)

SUNROOM ADDITION - 10.64m²

Document Set ID: 3490055

Version: 1, Version Date: 07/05/2025

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. PLN-25-118

DATE RECEIVED 8 May 2025



LOCATION PLAN

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDISFARNE
TASMANIA 7015

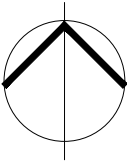
matt.gilley@bigpond.com
0437 499 238
LICENCE No. CC5666C

PROJECT:
SUNROOM

**U7/4A BILTON WALK
CLAREMONT**

C. BENTLEY
DATE: **MAY 2025**
PROJECT No. 1931

ISSUE/REV:
A. PRELIM ISSUE. 3.5.25
B. PLANNING ISSUE. 7.5.25



TITLE:
**DRAWING
SCHEDULE**

SCALE: **N/A (A3)**
DRAWING No:

A01
SHEET: **1** OF 7

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF IN DOUBT:- ASK!! CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.

SITE IS LOCATED WITHIN THE FOLLOWING ZONES & AREAS OF THE TASMANIAN PLANNING SCHEME (GLENORCHY): -

- 9.0 INNER RESIDENTIAL ZONE.

SITE COVERAGE (external building FOOTPRINT as per the Tasmanian Planning Scheme - Glenorchy)

EXISTING UNITS (1 to 9) - 1 362m² APPROX.

PROPOSED SUNROOM ADDITION - 10.64m²

TOTAL - 1 372.64m²

SITE AREA - 4 880m²

TOTAL SITE COVERAGE - 28.13%

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PROJECT:

SUNROOM

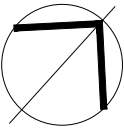
U7/4A BILTON WALK
CLAREMONT

C. BENTLEY

DATE:	MAY 2025
PROJECT No.	1931

ISSUE/REV:

A. PRELIM ISSUE.	3.5.25
B. PLANNING ISSUE.	7.5.25



TITLE:

SITE PLAN

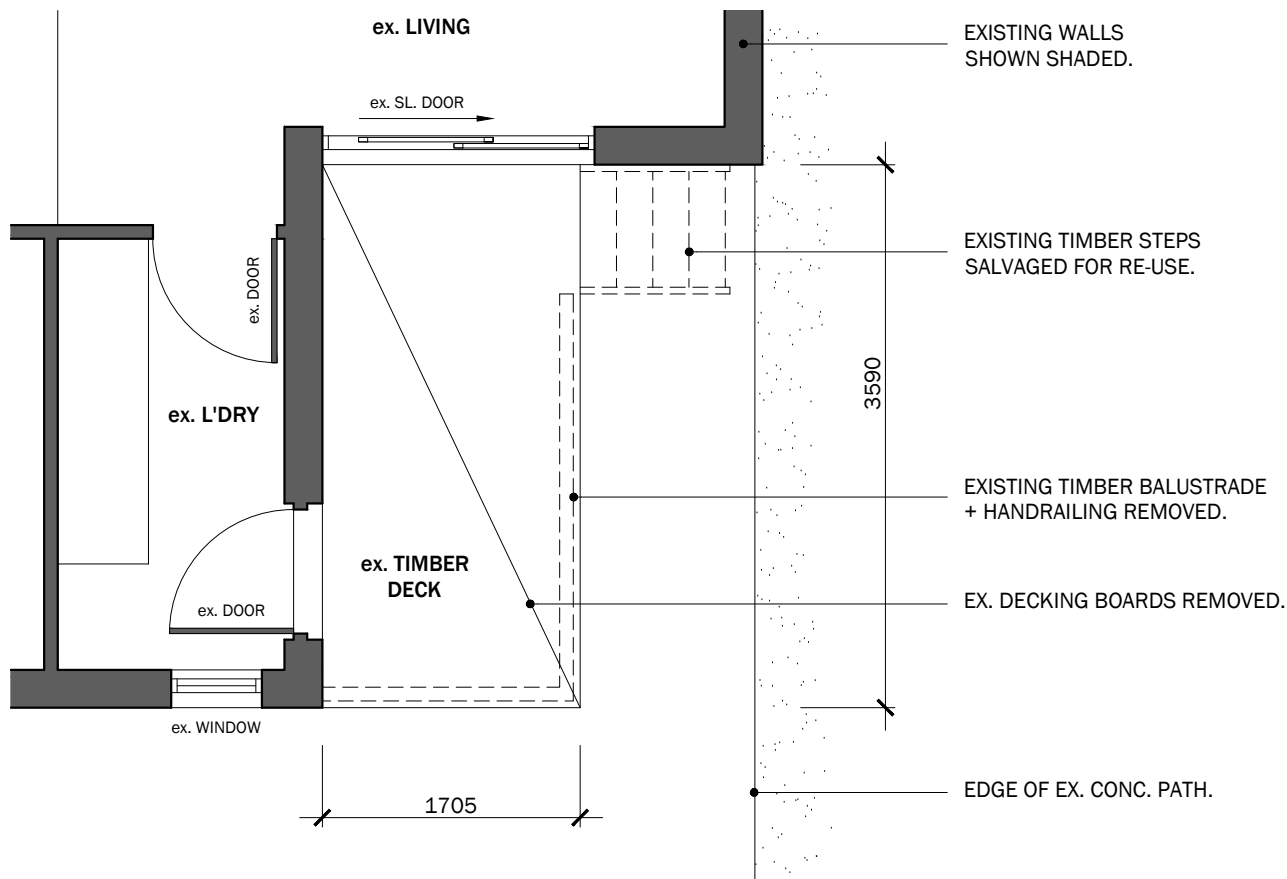
SCALE: 1:200 (A3)

DRAWING No:

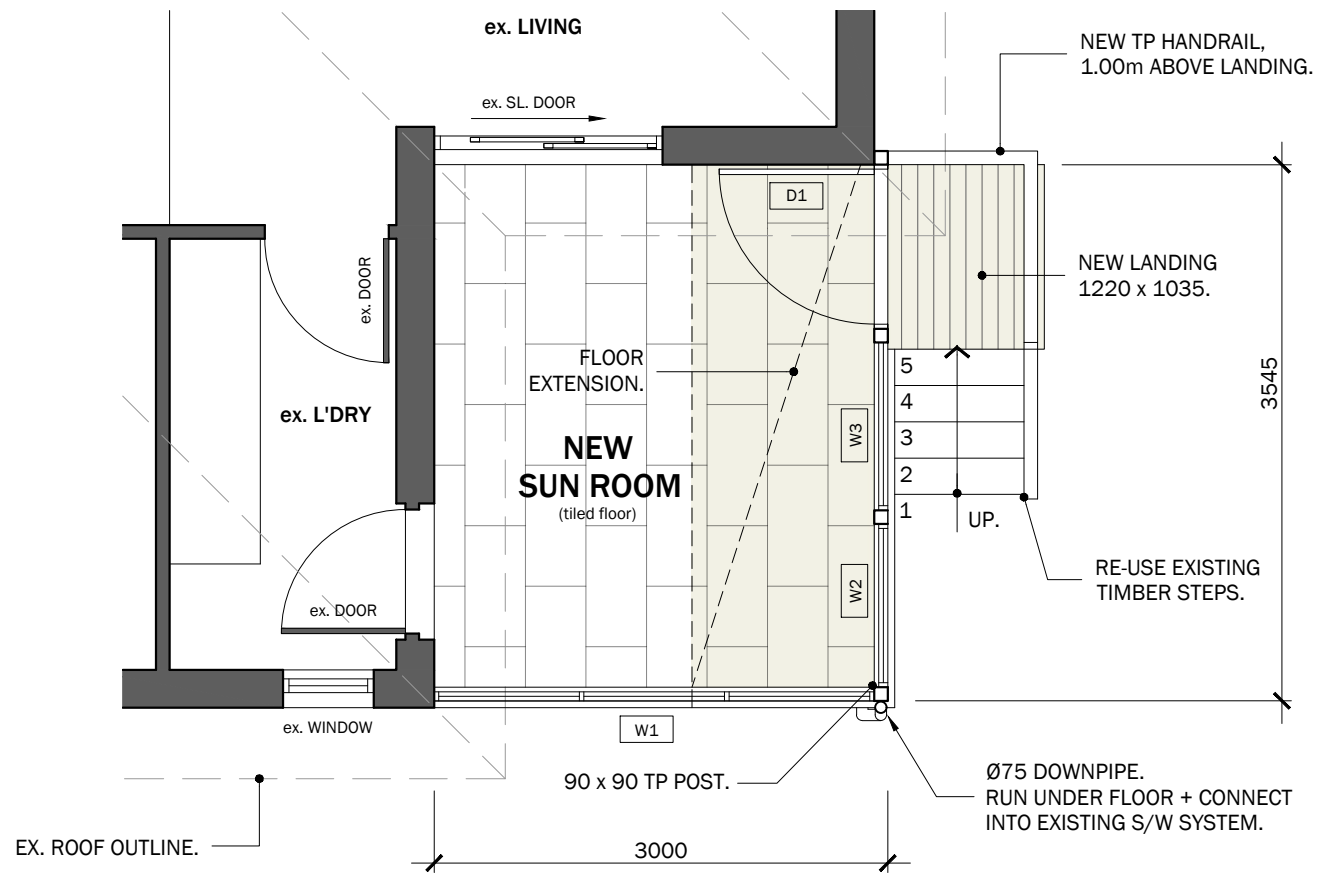
A02

SHEET: 2 OF 7





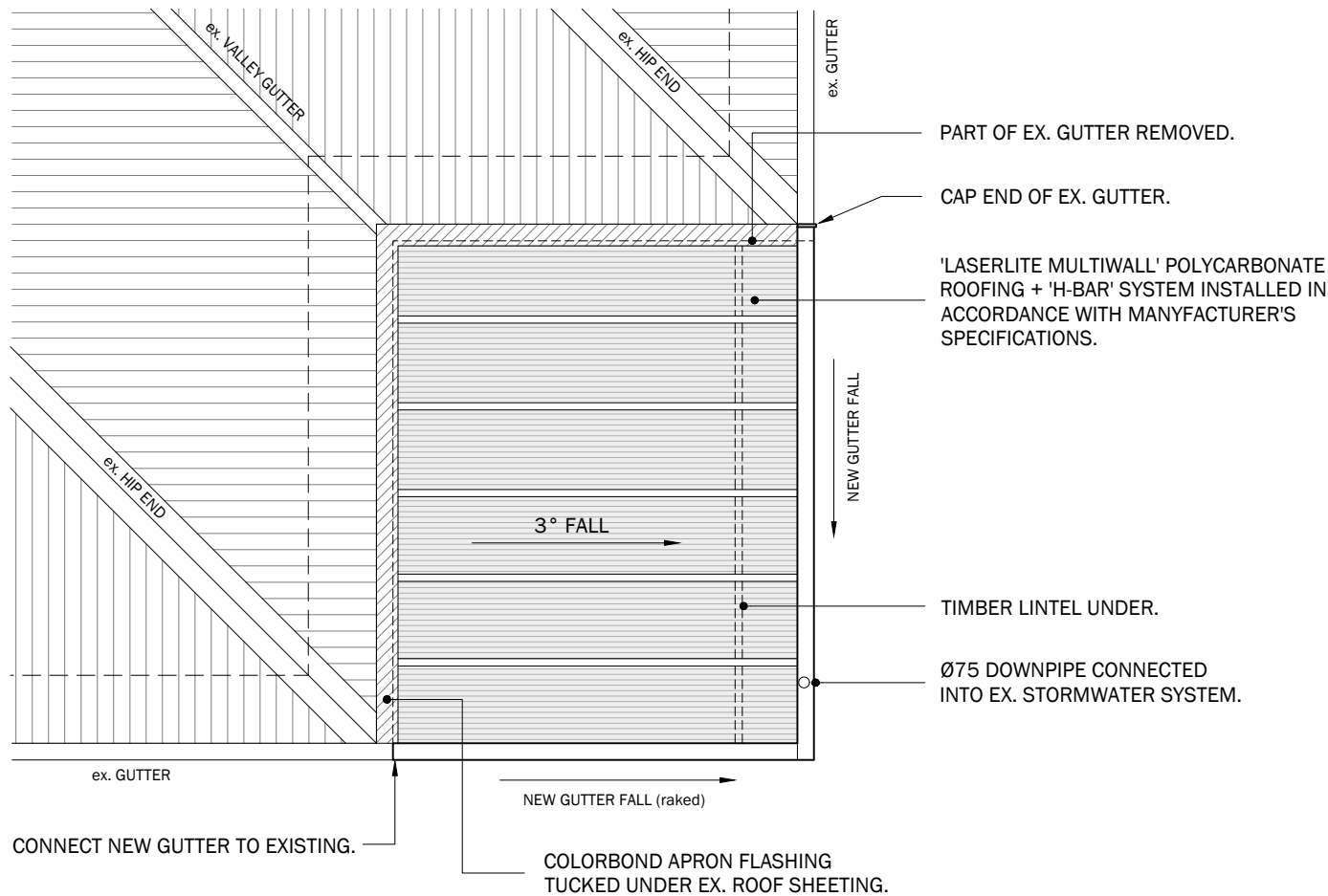
DEMOLITION PLAN 1:50



FLOOR PLAN 1:50

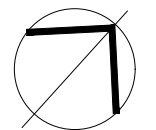
AS CONSTRUCTED

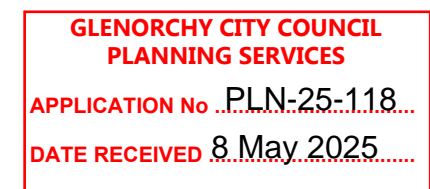
GLENORCHY CITY COUNCIL
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ROOF PLAN 1:50

WINDOW SCHEDULE				
No.	WALL FACE	SIZE (h x w)	ROOM	TYPE
W1	SOUTH	1180 x 2900	SUN ROOM	ALUMINIUM - AWNING (DOUBLE GLAZED)
W2	EAST	1180 x 1080	SUN ROOM	ALUMINIUM - AWNING (DOUBLE GLAZED)
W3	EAST	1110 x 1080	SUN ROOM	ALUMINIUM - SLIDING DOOR (DOUBLE GLAZED)
D1	EAST	2100 x 1020	SUN ROOM	ALUMINIUM - HINGED DOOR (DOUBLE GLAZED)
ALL WINDOW FRAMES SIZES TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING. POWDERCOATED FINISH - COLOUR 'SURFMIST'.				
GLAZING UNIT PANELS ARE AS PER 'GLASS SUPPLIES' SPECIFICATION SHEET.				
UPPER WINDOW GLASS - 20mm IGU; 4mm CLEAR/4mm CLEAR LOWLIGHT GLASS - 20mm IGU; 5mm CLEAR/5mm CLEAR				
DOOR GLASS - 20mm IGU; 4mm CLEAR TOUGH/4mm CLEAR TOUGH.				





DEMOLITION

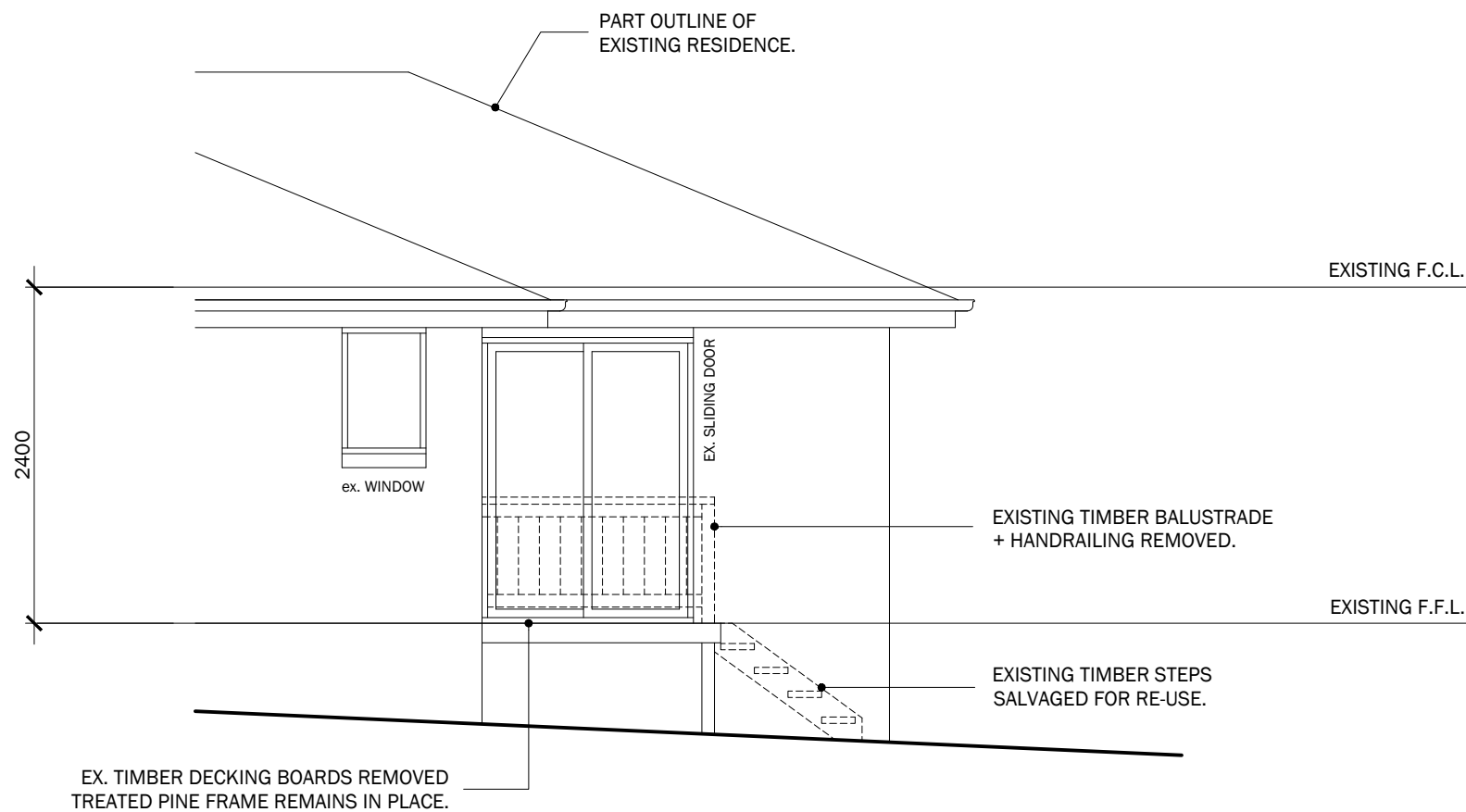


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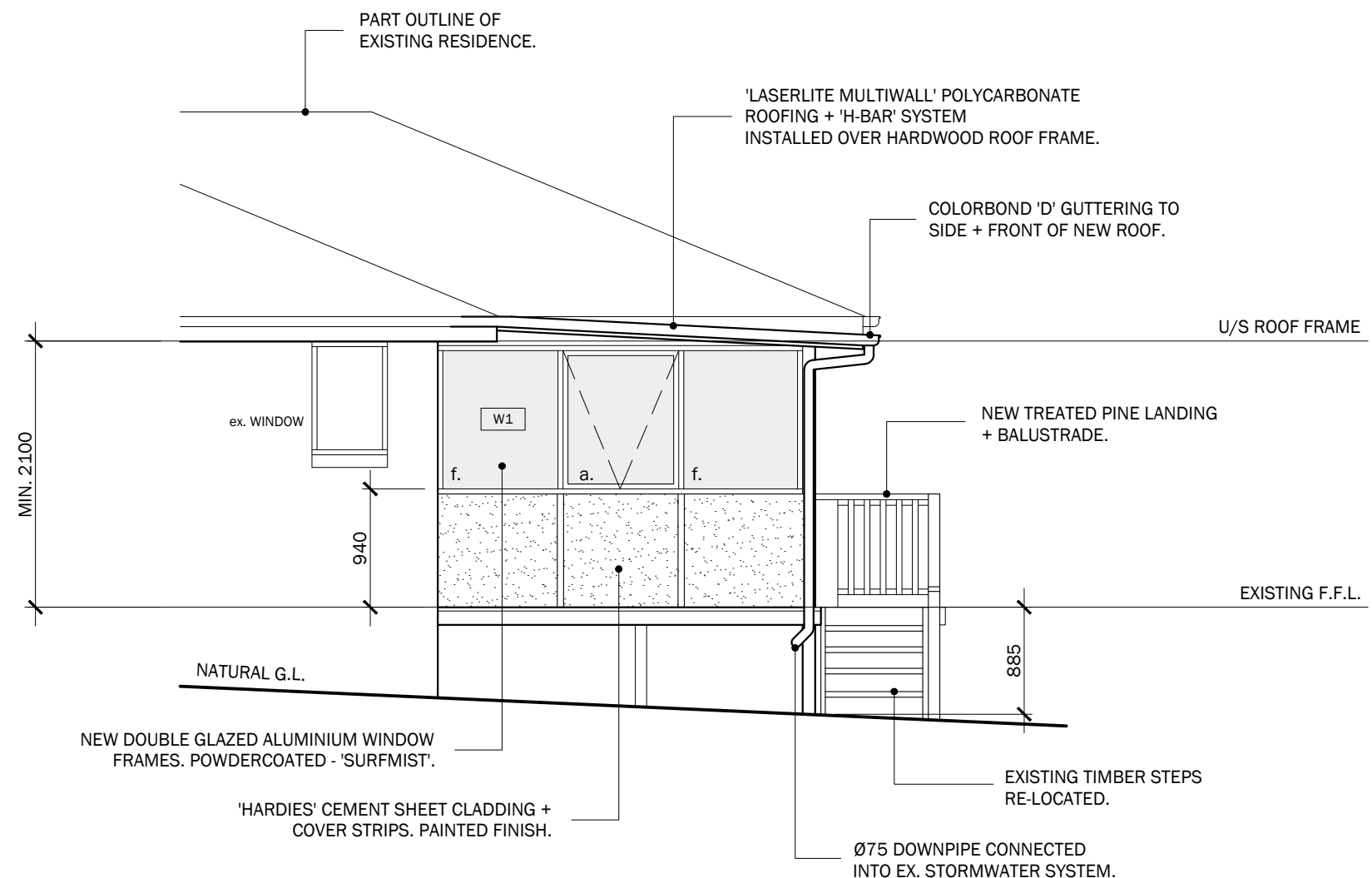
A04

HEET: **4** OF 7



SOUTH ELEVATION 1:100

DEMOLITION



SOUTH ELEVATION 1:100

PROPOSED SUNROOM

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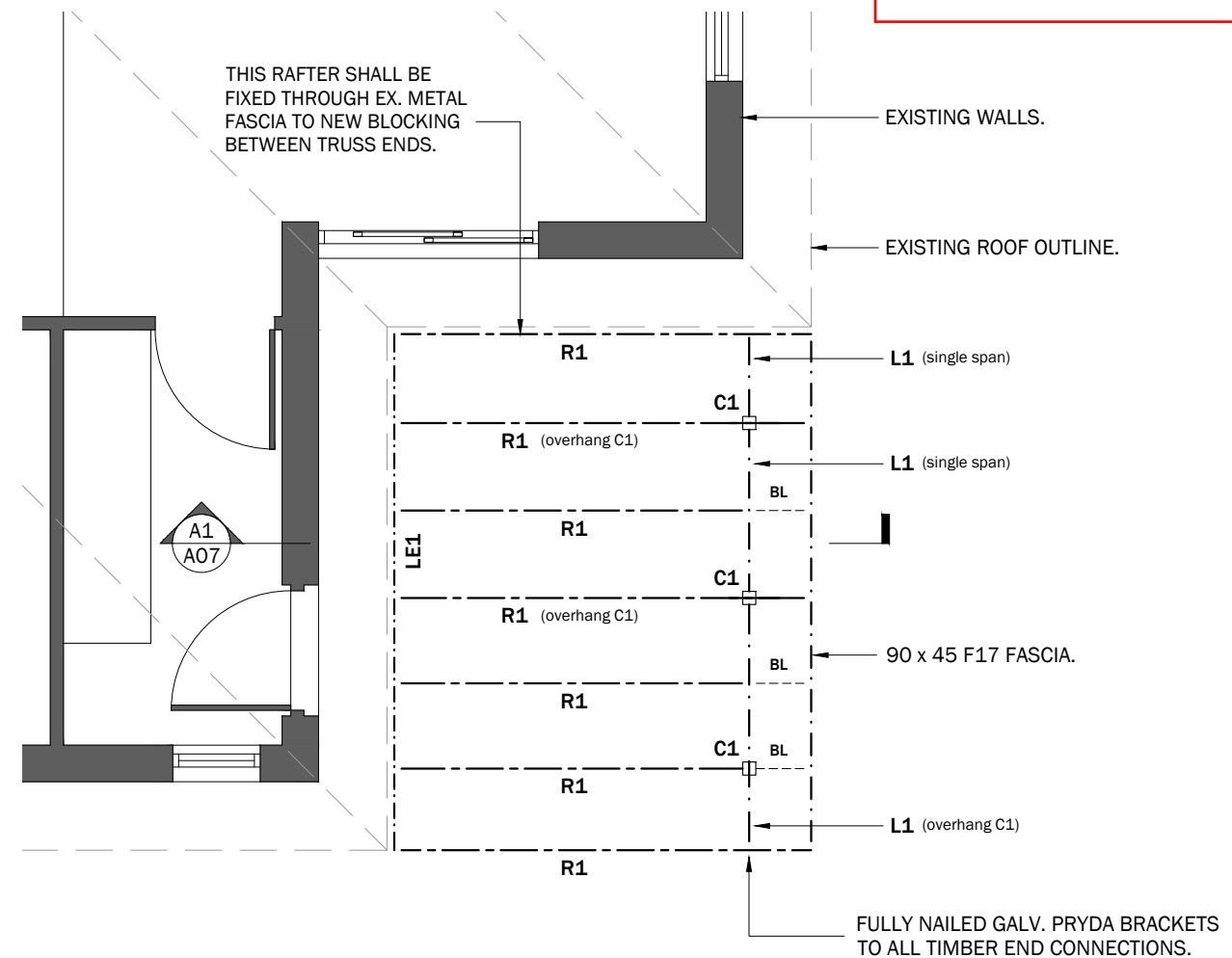
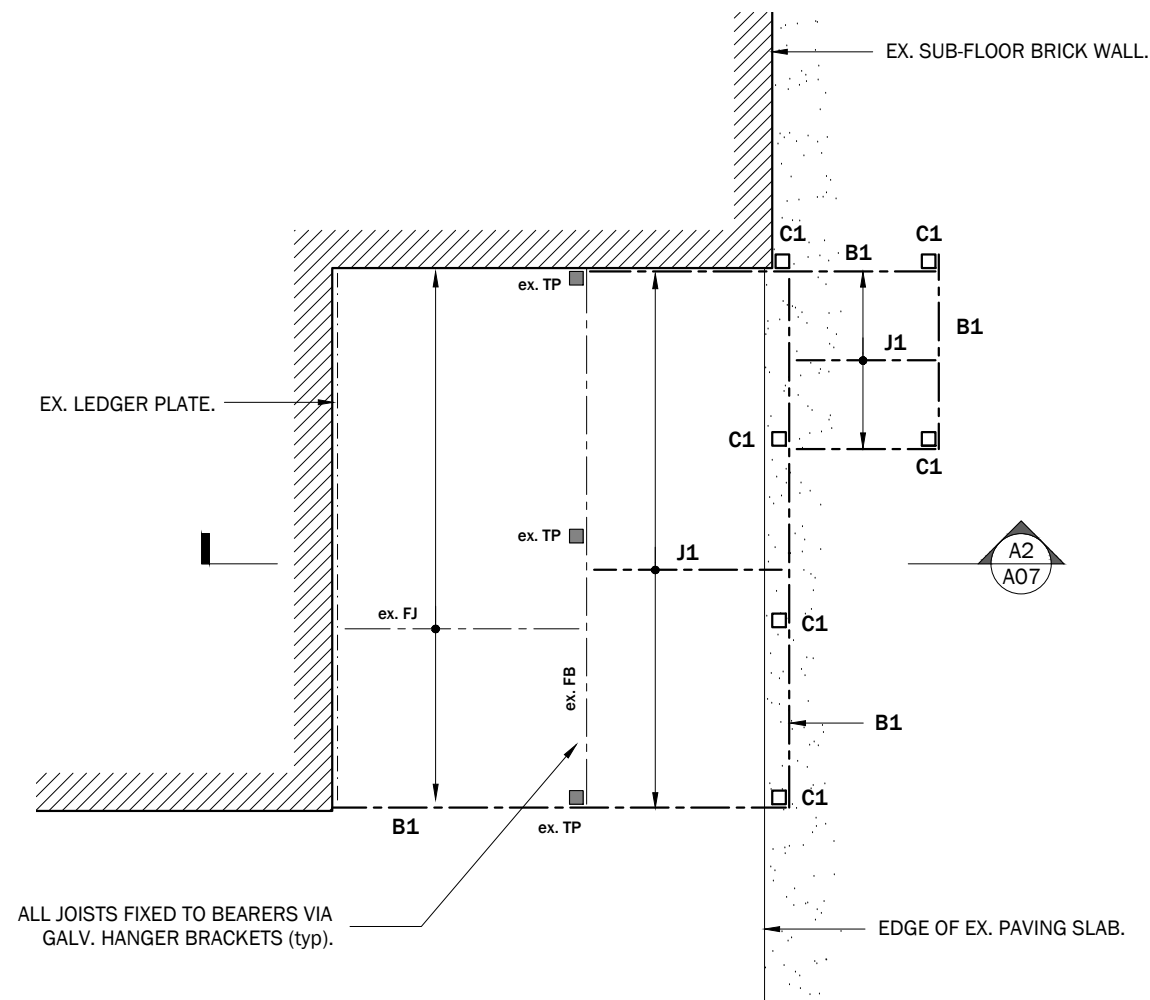
PROJECT:
SUNROOM
U7/4A BILTON WALK
CLAREMONT
C. BENTLEY
DATE: **MAY 2025**
PROJECT No. 1931

ISSUE/REV:
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TITLE:
EXTERIOR
ELEVATIONS
- SOUTH
SCALE: **1:50 (A3)**
DRAWING No:

A05

SHEET: **5** OF 7



FLOOR FRAMING SCHEDULE		
	MARK	DESCRIPTION
EXISTING	ex. TP	EXISTING 90 x 90 TREATED PINE POST/STUMP.
	ex. FB	EXISTING 140 x 45 TREATED PINE BEARER.
	ex. FJ	EXISTING 140 x 35 TREATED PINE FLOOR JOISTS @ 400 cts.
AS CONSTRUCTED (unapproved)	C1	90 x 90 TREATED PINE POST/STUMP FIXED TO GALV. POST SADDLE, ANCHORED INTO EXISTING CONCRETE PAVEMENT.
	B1	140 x 45 F17 TREATED PINE BEARER.
	J1	140 x 45 F17 TREATED PINE FLOOR JOISTS @ 400 cts.

ROOF FRAMING SCHEDULE	
MARK	DESCRIPTION
C1	90 x 90 TREATED PINE POST.
L1	90 x 45 F17 LINTEL - SINGLE SPAN.
LE1	90 x 45 F17 LEDGER PLATE FIXED THROUGH EX. METAL FASCIA TO NEW BLOCKING BETWEEN TRUSS ENDS.
R1	90 x 45 F17 RAFTER @ 600 cts MAX.
BL	90 x 45 F17 BLOCKING.

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PLANNING SERVICES**

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PROJECT:

SUNROOM

**U7/4A BILTON WALK
CLAREMONT**

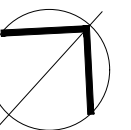
C. BENTLEY

DATE: MAY 2

PROJECT No. 1

ISSUE/REV:

A. PRELIM ISSUE.	3.5
B. PLANNING ISSUE.	7.5



TITLE:

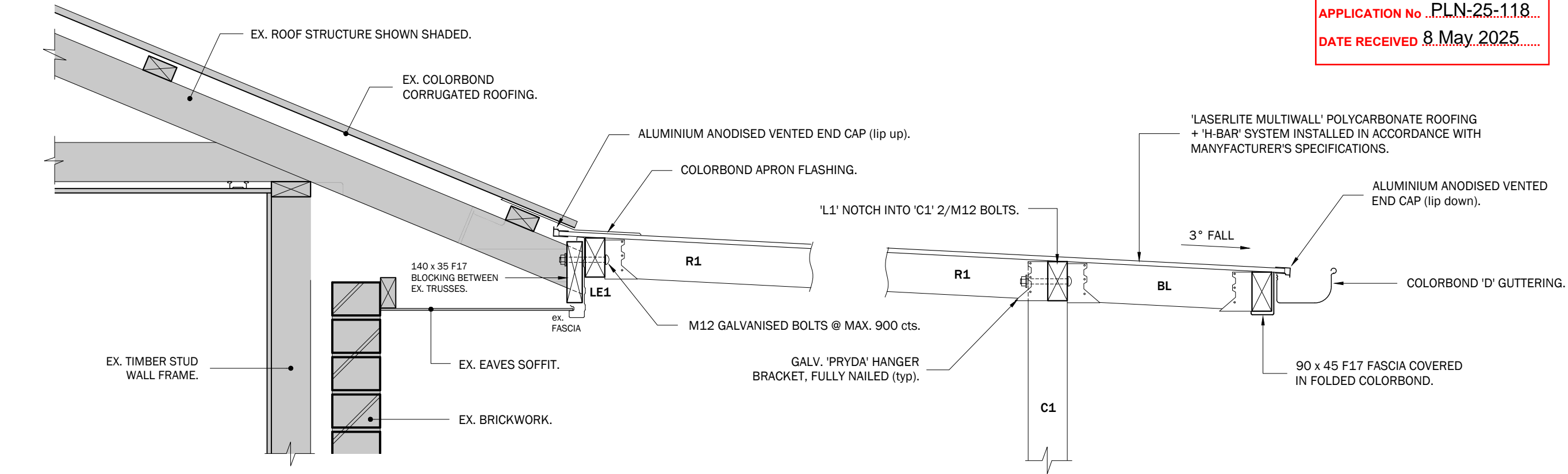
FOOTING PLAN

SCALE: 1:50

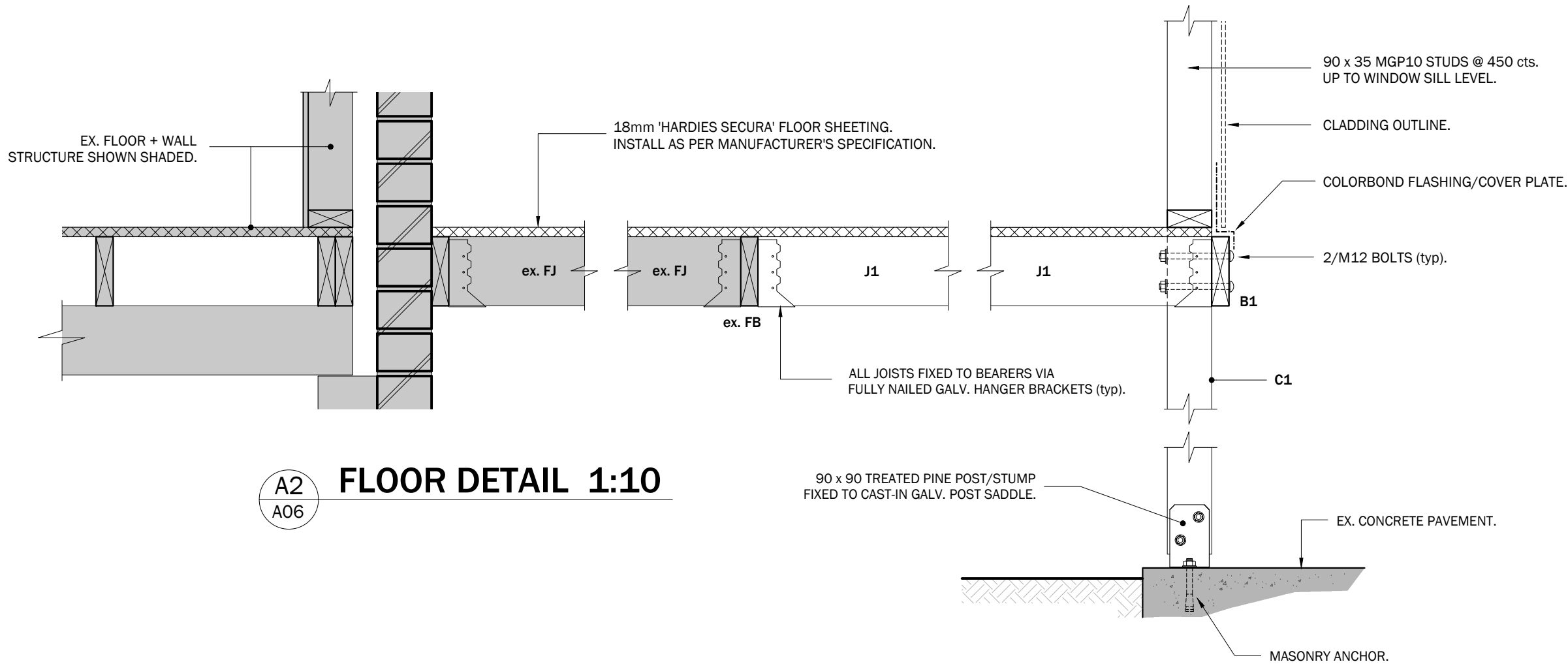
DRAWING No:

A06

SHEET: **6** of 6



A1
A06
ROOF DETAIL 1:10



A2
A06
FLOOR DETAIL 1:10