

## **DEVELOPMENT APPLICATION**

**APPLICATION NUMBER:** PLN-25-083

**PROPOSED DEVELOPMENT:** Addition and Alteration to Single Dwelling

(Residential)

**LOCATION:** 43 Chippendale Street Claremont

**APPLICANT:** Oramatis Studio

**ADVERTISING START DATE:** 30/05/2025

**ADVERTISING EXPIRY DATE:** 16/06/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (<a href="www.gcc.tas.gov.au">www.gcc.tas.gov.au</a>) until 16/06/2025.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to <a href="mailto:gccmail@gcc.tas.gov.au">gccmail@gcc.tas.gov.au</a>.

Representations must be received by no later than 11.59 pm on **16/06/2025**, or for postal and hand delivered representations, by 5.00 pm on **16/06/2025**.

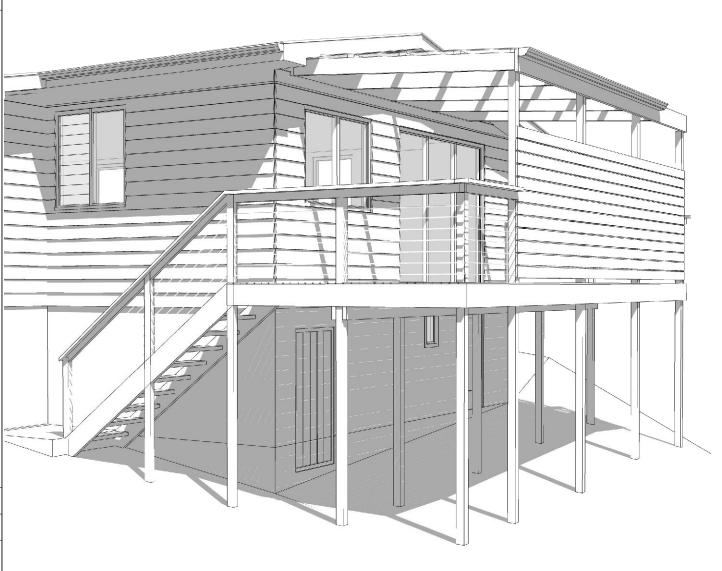
APPLICATION No.: PLN-25-083

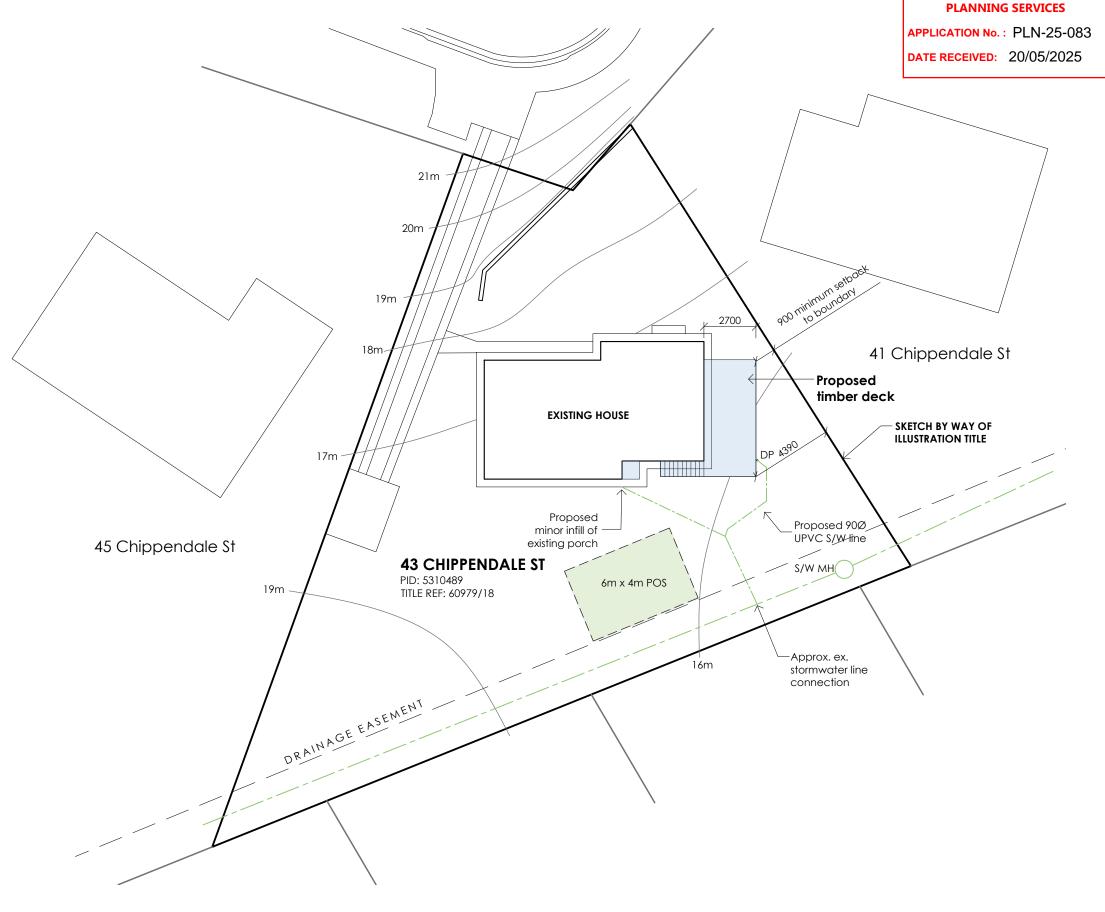
DATE RECEIVED: 20/05/2025

# PROPOSED DECK AND RENOVATION

43 Chippendale Street, Claremont, 7011

General Information	Index:	ORIGINALLY ISSUED: 05-01-2025
General Information  Project Address: 43 Chippendale Street, Claremont  Owner Name: J. Cochrane & G. Butler  Title: Folio reference: 18 Volume number: 60979  Site Information  Design Wind Speed: 40m/s Wind Classification: N2 Soil Classification: Footings by engineer Climate Zone: 7  Bushfire attack level: n/a Alpine Area: No  Corrosion Environment: High Other Site hazards: No	Index:  01 - Cover page 02 - Site plan 03 - Demolition plan 04 - Proposed floor pla 05 - Roof plan 06 - Floor framing plan 07 - Proposed elevatio 08 - Section 09 - Footing plan	n
Total Floor Areas  Existing house footprint: 88 sqm Proposed deck 22 sqm	TOTAL PAGES - 9	
Designer Details	Engineers details	)
Name: Alexander Hill Address: 214 Elizabeth Street, Hobart 7000 Architectural Designer: CC 6540	Name: MV Consulting Accreditation: CC565h	-1





#### **GENERAL**

**GLENORCHY CITY COUNCIL** 

- No work (including excavations) is to commence until Building Permits have been issued by your local Council permit authority.
- Check all dimensions, mark & maintain all boundaries, easements and service locations on
- Before disturbing the ground surface, erect silt fences, construct cut-off drains and detention sumps and ensure that adequate all-weather access is provided to the site. Prevent soil etc. from migrating to adjacent private or public land in accordance with local council policy.

#### STANDARDS:

All work shall comply with the Tasmanian Building Act 2016, National Construction Code (NCC) and relevant current Australian Standards,

#### **FOUNDATIONS:**

- All footings shall be founded on sound rock, clay or sand foundations having a safe bearing capacity of at least 100kpa unless otherwise noted on drawings.
- 2 Excavation to be taken down to natural undisturbed soil
- Footings to be 150 MM clear of any isolated rock 3 or Floater. Install 150mm sand packing to ensure
- All footings and slabs to be adequately protected from temporary excavations and trenching in accordance with AS 2870; Ratio of depth to horizontal distance from footings.

SITE PLAN

scale 1:200

KEY

Proposed external works



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GENERAL NOTES Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled.

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DESCRIPTION

REVISION Extension & renovations 43 Chippendale Street, Claremont PROJECT ID

J. Cochrane & G. Butler

2931

DATE SCALE 05/01/2025 DRAWN BY

As shown @ A3

02 DRAWING

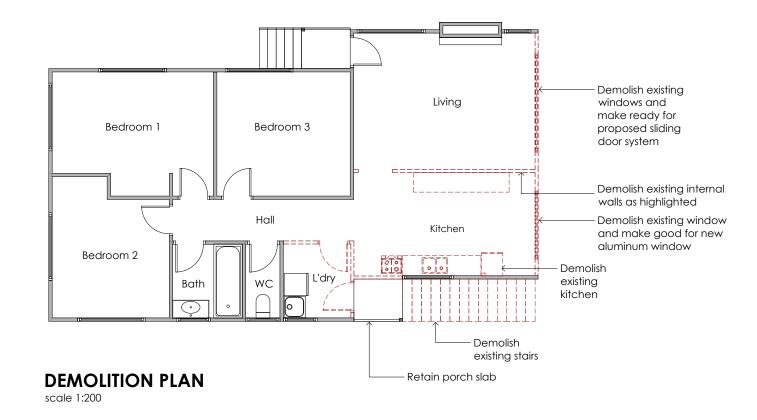
PAGE

Site Plan

Decircing Poetition 8494 97 ptitiation: CC6540 Version: 2, Version Date: 26/05/2025

APPLICATION No.: PLN-25-083

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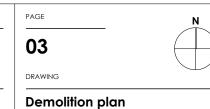
Version: 2, Version Date: 26/05/2025

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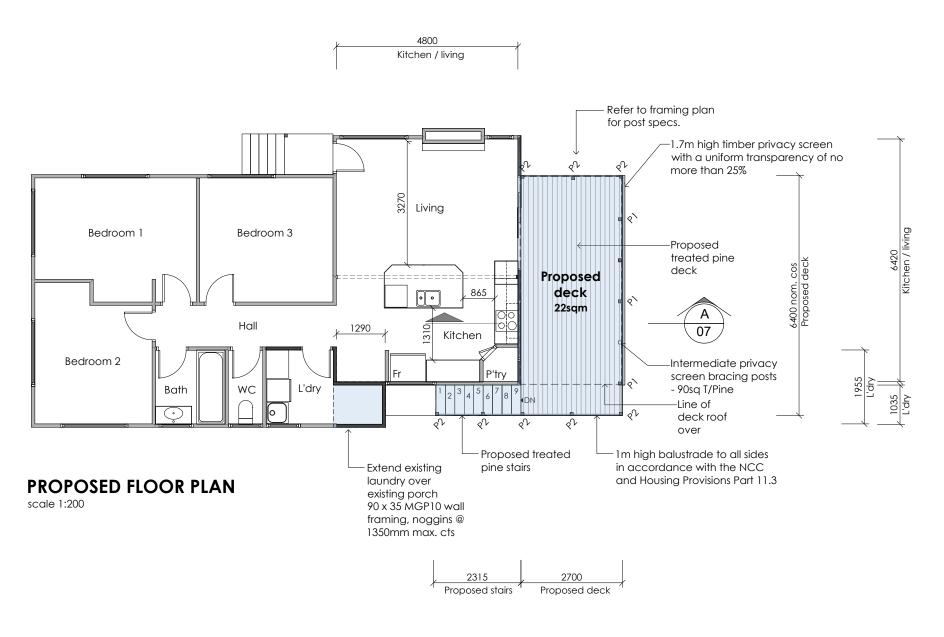
PROJECT	REVISION	DATE	SCALE
Extension & renovations 43 Chippendale Street, Claremont	-	05/01/2025	As shown @ A3
CLIENT	PROJECT ID		DRAWN BY
J. Cochrane & G. Butler	2931		Hill



APPLICATION No.: PLN-25-083

KEY

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DESCRIPTION

### INSULATION SCHEDULE

EXTERNAL WALLS R2.5 INSULATION TO ALL EXTERNAL WALLS

(EXCLUDING GARAGE) INTERNAL WALLS

R2.0 TO ALL FLOORS BELOW HABITABLE ROOMS **FLOOR** 

#### GENERAL NOTES:

1. Please note R Values stated represent added insulation and not total R Value

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2. All insulation to be installed in accordance with AS 3999





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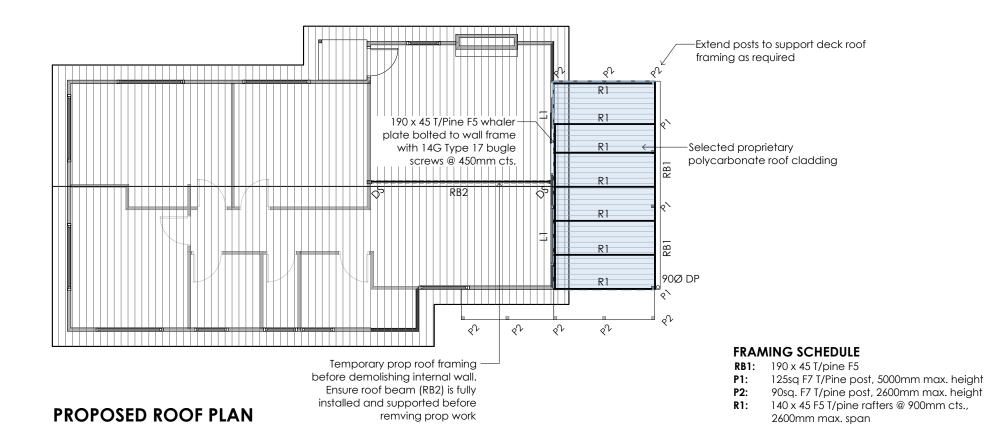
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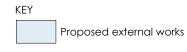
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GENERAL NOTES

scale 1:200

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DESCRIPTION

REVISION DATE SCALE Extension & renovations 05/01/2025 As shown @ A3 43 Chippendale Street, Claremont PROJECT ID DRAWN BY 2931 J. Cochrane & G. Butler

L1:

2/290 x 45 hySPAN14, 4700mm max span @

190 x 45 hYSPAN14 lintel, 2700mm max. span

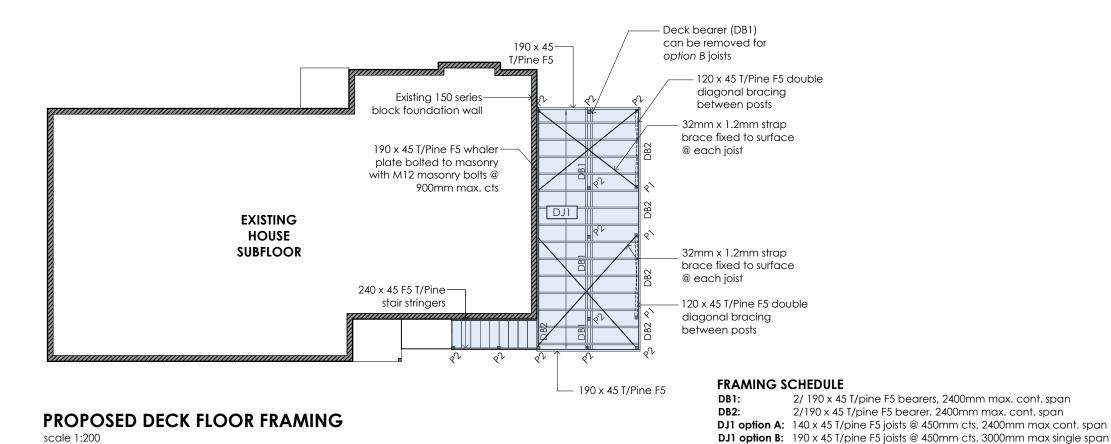
4000mm max. roof load width 2/90x45 F17 laminated studs

> PAGE 05

DRAWING **Roof plan** 

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P2:

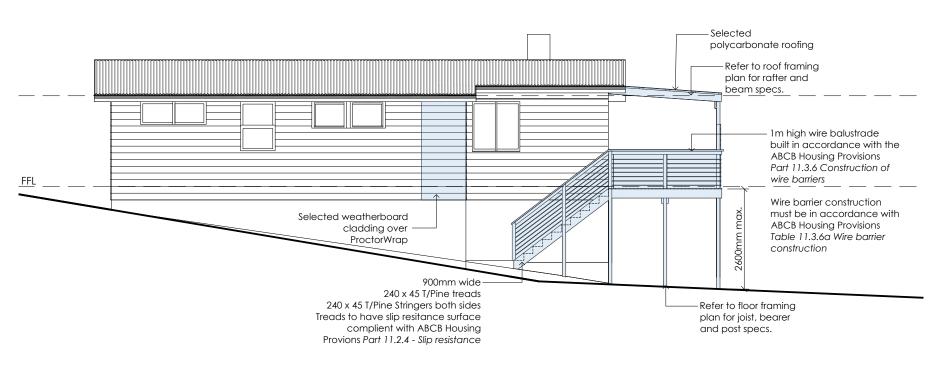
125sq F7 T/Pine post, 5000mm max. height

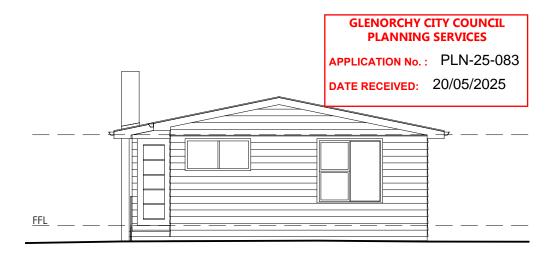
90sq. F7 T/pine post, 2600mm max. height

06 DRAWING

Floor framing plan

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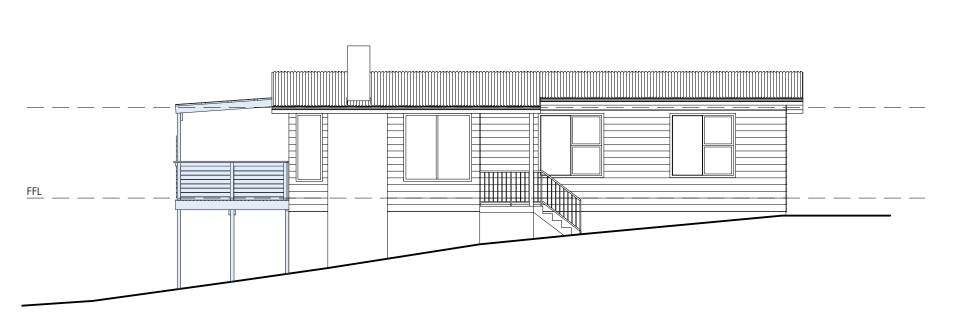


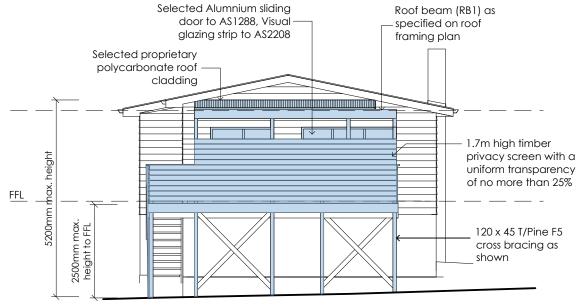
# **WEST ELEVATION - NO MODIFICATION**

scale 1:100

## PROPOSED SOUTH ELEVATION

scale 1:100





# PROPOSED NORTH ELEVATION

scale 1:100

# PROPOSED EAST ELEVATION

scale 1:100





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obart	must not be scaled.  Contractors shall submit samples and shop drawings before commencing work. All works shall be carried out in according to the property of

GENERAL NOTES

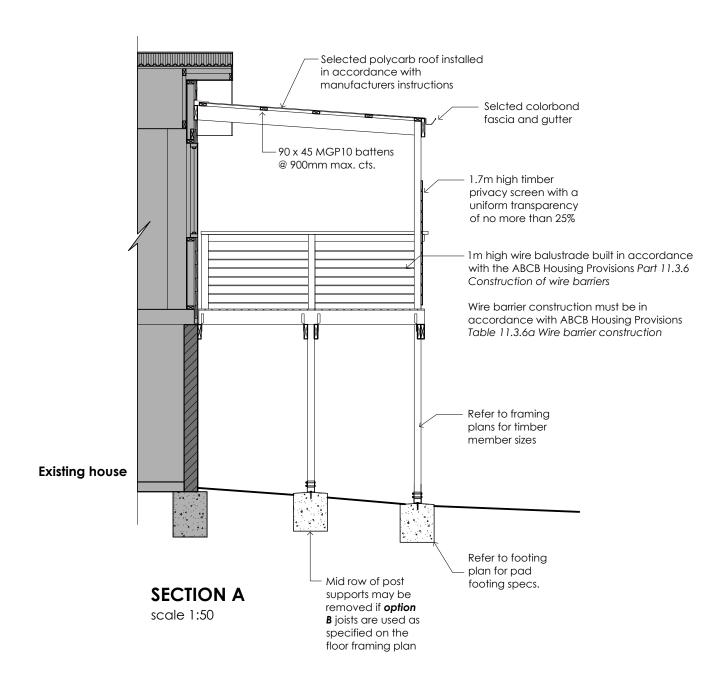
discrepancies before commencement of any work. Drawings must not be scaled.
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PROJECT	REVISION	DATE	SCALE	PAGE
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CLIENT	PROJECT ID		DRAWN BY	DRAWING
J. Cochrane & G. Butler	2931	_	Hill	Proposed elevations

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### GENERAL NOTES

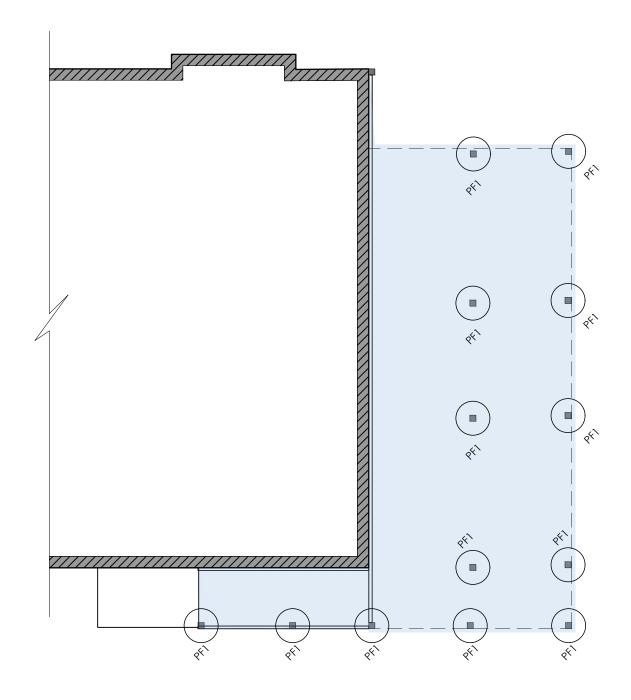
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J. Cochrane & G. Butler	2931		Hill

80 DRAWING

**Section A** 



# PROPOSED FOOTING PLAN

scale 1:50

# GLENORCHY CITY COUNCIL PLANNING SERVICES

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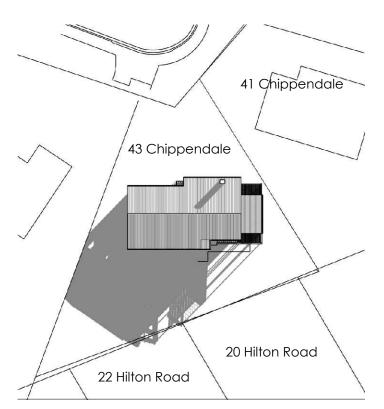
APPLICATION No.: PLN-25-083

#### CONCRETE:

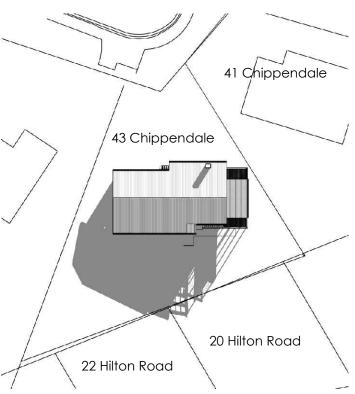
- All concrete to be grade N25 placed in accordance with section 19 of AS3600 unless otherwise noted on drawings
- 2 Concrete to be placed in accordance with good building practice.
- All concrete to be vibrated during placement.
- 4 Concrete is to be kept damp for 7 to 10 days to control hydration. Continuous curing to commence promptly after surface has been finished.
- Any form work (boxing) to be retained (left in place) for a minimum period 3 days to 7 days depending on weather conditions to assist curing.
- To minimise shrinkage cracking in concrete the concrete slump should be minimal 80mm recommended.
- 7 No water to be added to supplied concrete.
- 8 Concrete dimensions shown are the minimum requirements for soil classification of the site.
- Actual founding depths may vary to suit floor levels and construction site requirements. It is not necessary to remove solid rock simply to achieve footing dimension as long as continuity and cover of reinforcements are maintained.



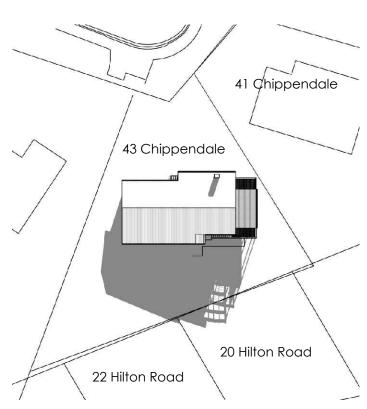




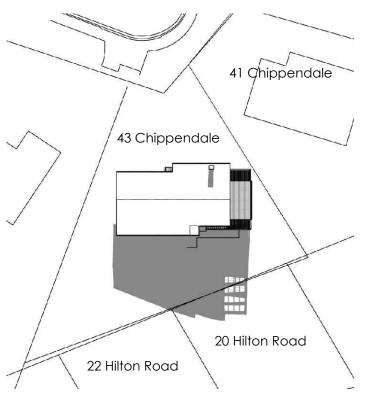
9am SHADING - 21st JUNE scale 1:200



10am SHADING - 21st JUNE scale 1:200



11am SHADING - 21st JUNE scale 1:200

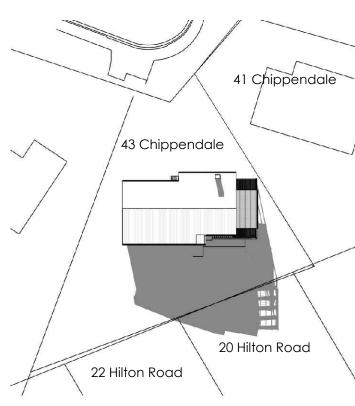


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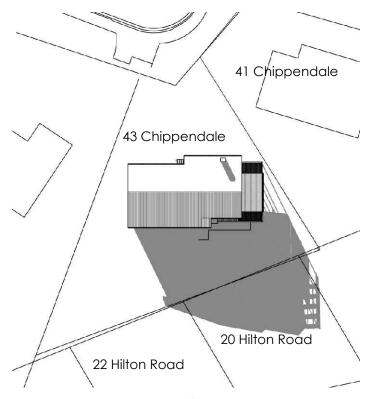
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**GLENORCHY CITY COUNCIL PLANNING SERVICES** APPLICATION No. PLN-25-083

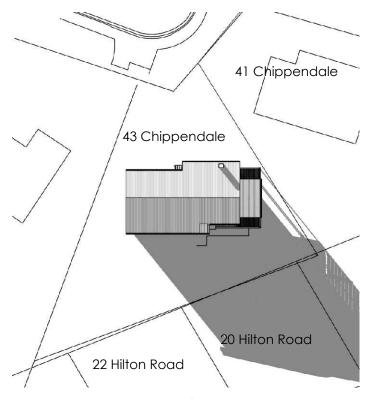
**DATE RECEIVED: 20/05/2025** 



1pm SHADING - 21st JUNE scale 1:200



2pm SHADING - 21st JUNE scale 1:200



3pm SHADING - 21st JUNE

scale 1:200



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J. Cochrane & G. Butler

REVISION SCALE 05/01/2025 As shown @ A3 DRAWN BY

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PAGE **SH01** DRAWING Shading

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