

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-083
PROPOSED DEVELOPMENT:	Addition and Alteration to Single Dwelling (Residential)
LOCATION:	43 Chippendale Street Claremont
APPLICANT:	Oramatis Studio
ADVERTISING START DATE:	30/05/2025
ADVERTISING EXPIRY DATE:	16/06/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **16/06/2025**.

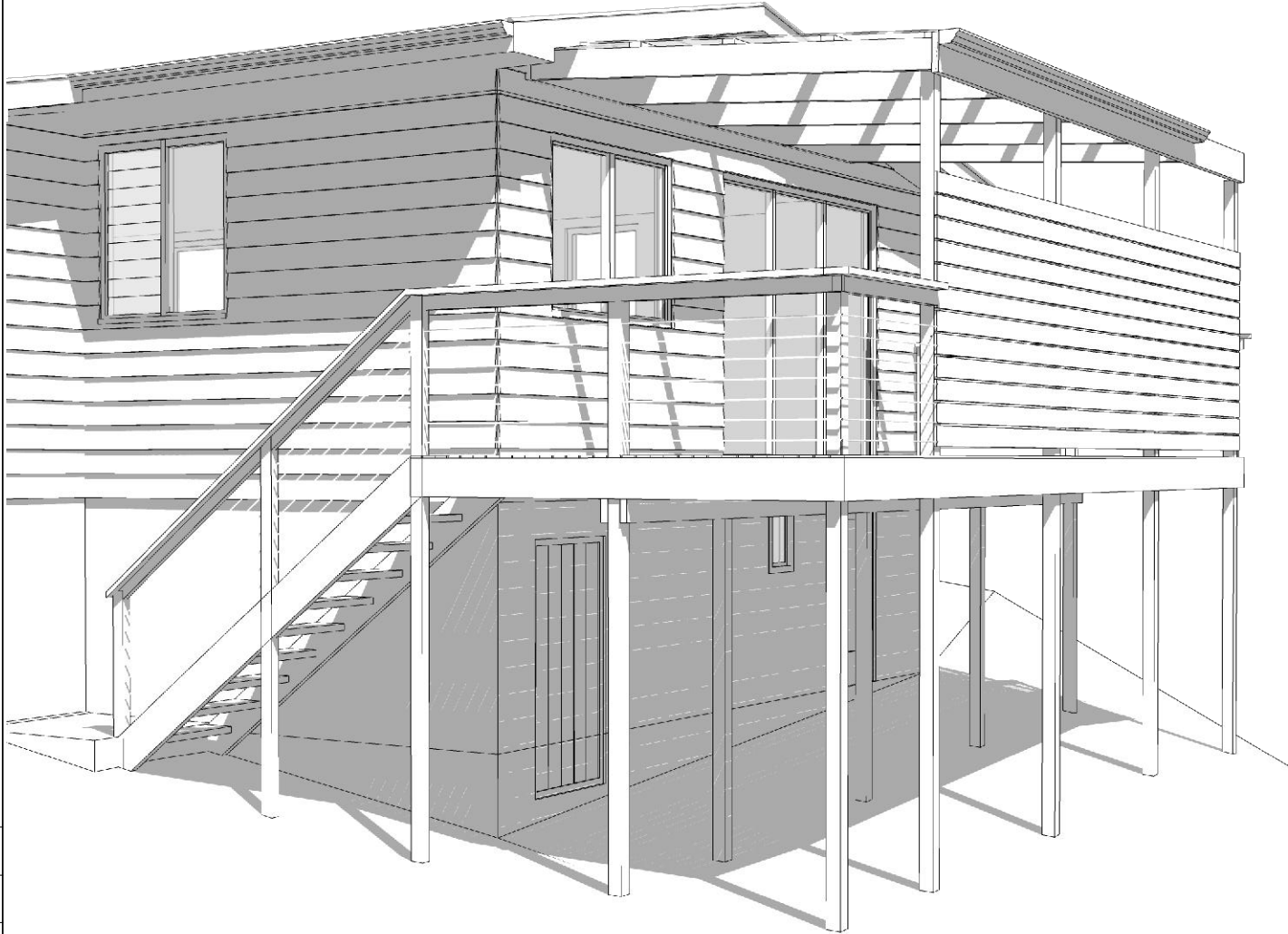
During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **16/06/2025**, or for postal and hand delivered representations, by 5.00 pm on **16/06/2025**.

PROPOSED DECK AND RENOVATION

43 Chippendale Street, Claremont, 7011

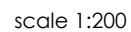
General Information		Index:	ORIGINALLY ISSUED: 05-01-2025
<div>Project Address: 43 Chippendale Street, Claremont</div> <div>Owner Name: J. Cochrane & G. Butler</div> <div>Title:</div> <div>Folio reference: 18</div> <div>Volume number: 60979</div>		<div>01 - Cover page</div> <div>02 - Site plan</div> <div>03 - Demolition plan</div> <div>04 - Proposed floor plan</div> <div>05 - Roof plan</div> <div>06 - Floor framing plan</div> <div>07 - Proposed elevations</div> <div>08 - Section</div> <div>09 - Footing plan</div>	
Site Information			
<div>Design Wind Speed: 40m/s</div> <div>Wind Classification: N2</div> <div>Soil Classification: Footings by engineer</div> <div>Climate Zone: 7</div> <div>Bushfire attack level: n/a</div> <div>Alpine Area: No</div> <div>Corrosion Environment: High</div> <div>Other Site hazards: No</div>			
Total Floor Areas			
<div>Existing house footprint: 88 sqm</div> <div>Proposed deck 22 sqm</div>			
		TOTAL PAGES - 9	
Designer Details		Engineers details	
<div>Name: Alexander Hill</div> <div>Address: 214 Elizabeth Street, Hobart 7000</div> <div>Architectural Designer: CC 6540</div>		<div>Name: MV Consulting</div> <div>Accreditation: CC565H</div>	



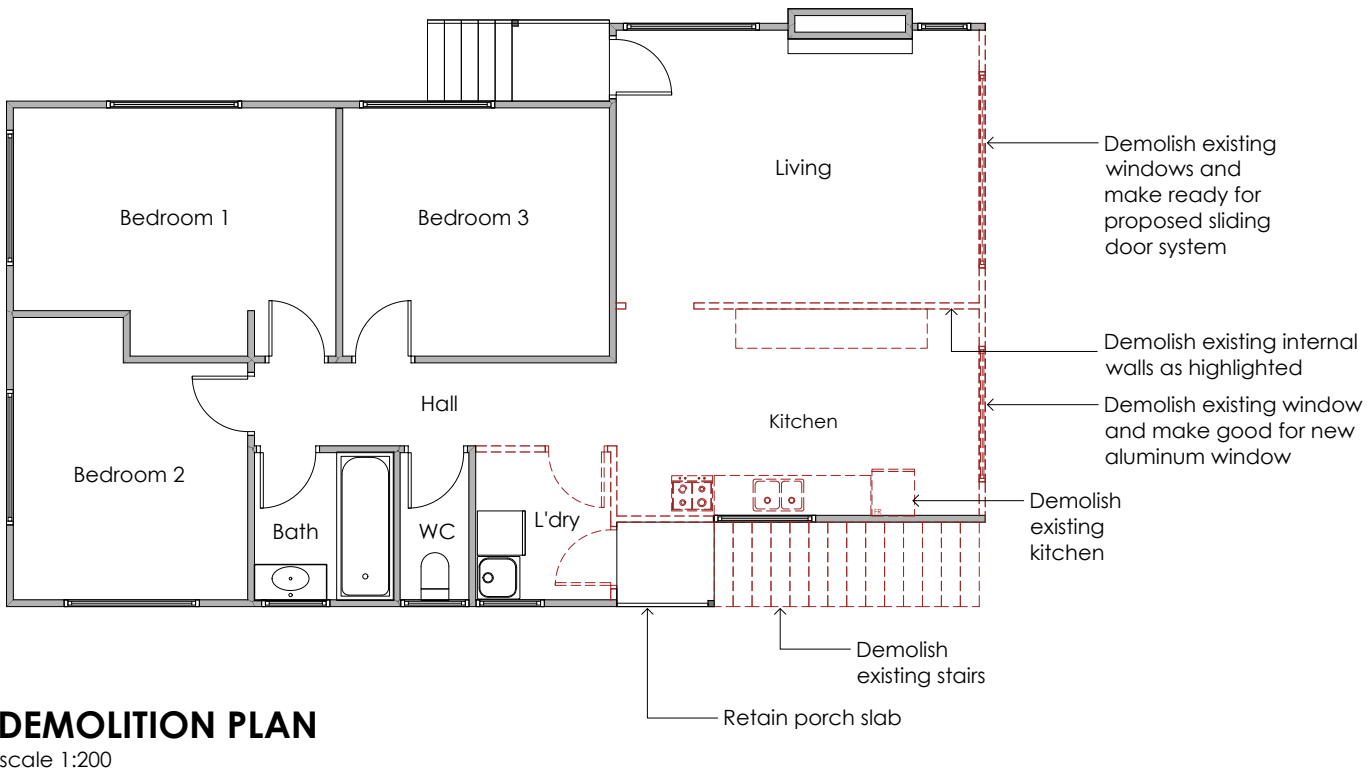
3 Before disturbing the ground surface, erect silt fences, construct cut-off drains and detention sumps and ensure that adequate all-weather access is provided to the site. Prevent soil etc. from migrating to adjacent private or public land in accordance with local council policy.

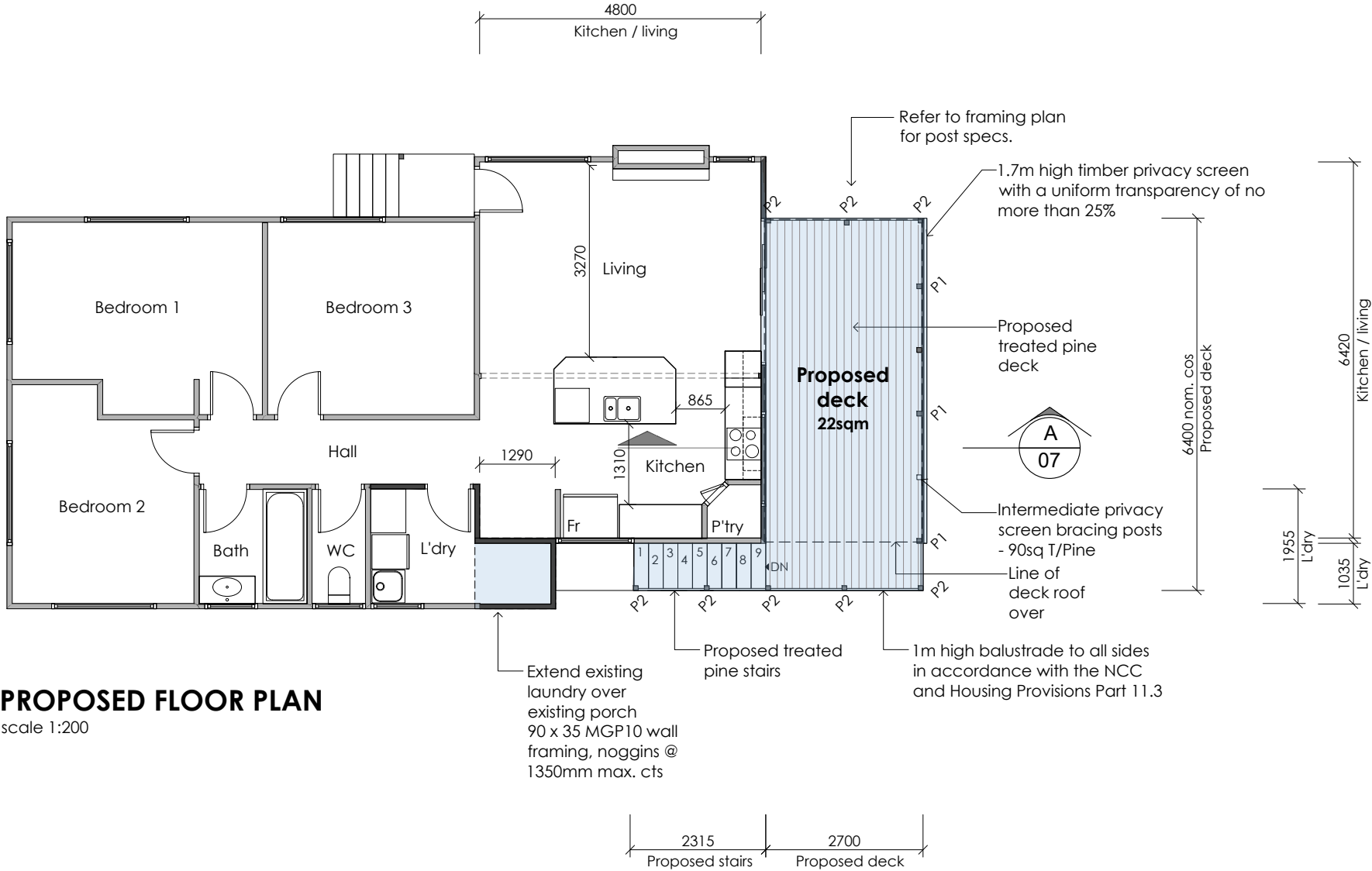
- All work shall comply with the Tasmanian Building Act 2016, National Construction Code (NCC) and relevant current Australian Standards,

4 All footings and slabs to be adequately protected from temporary excavations and trenching in accordance with AS 2870; Ratio of depth to horizontal distance from footings.



Proposed external works





PROPOSED FLOOR PLAN
scale 1:200

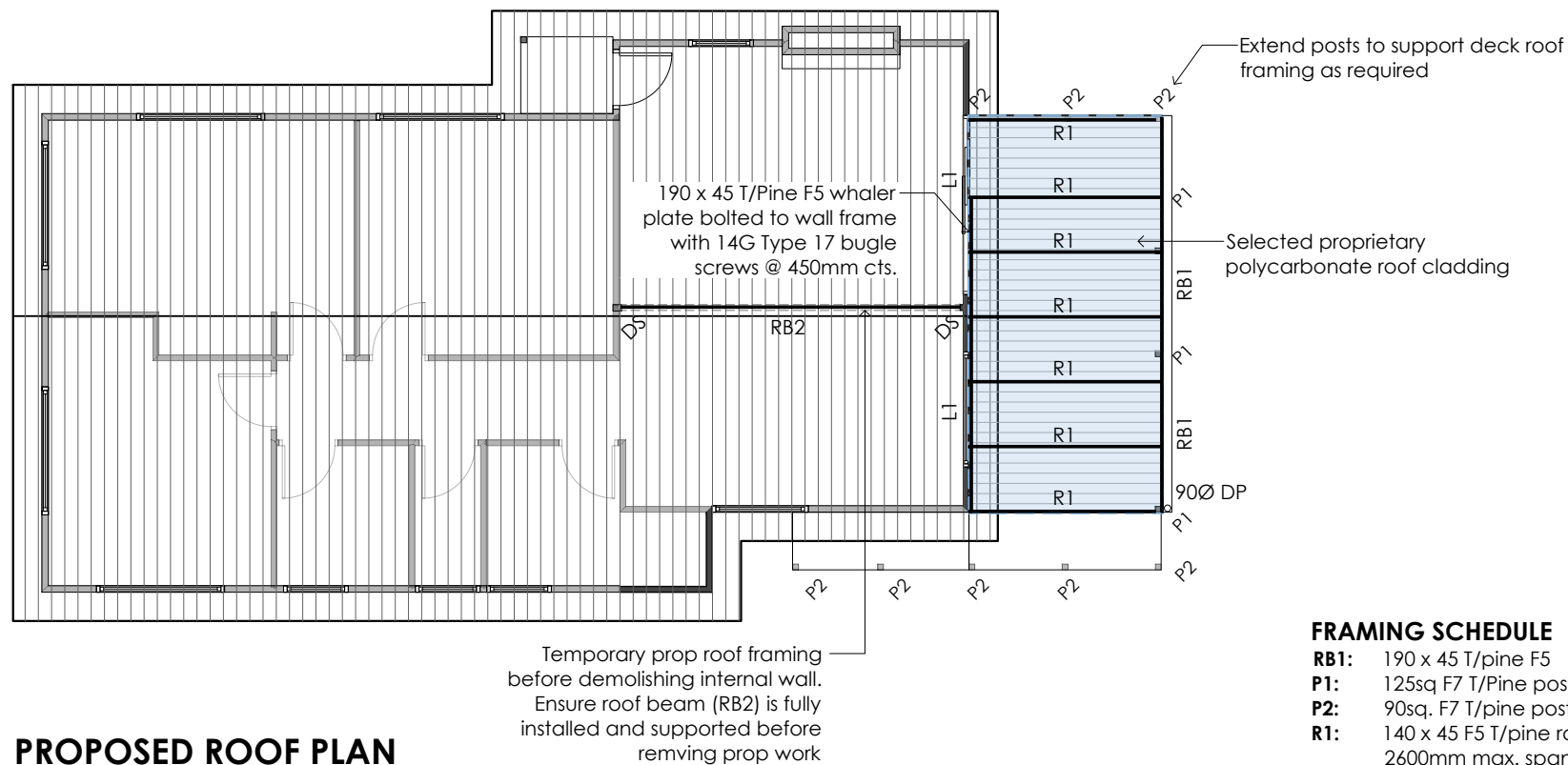
INSULATION SCHEDULE

EXTERNAL WALLS (EXCLUDING GARAGE)	R2.5 INSULATION TO ALL EXTERNAL WALLS
INTERNAL WALLS	N/A
FLOOR	R2.0 TO ALL FLOORS BELOW HABITABLE ROOMS

- GENERAL NOTES:
- 1. Please note R Values stated represent added insulation and not total R Value
 - 2. All insulation to be installed in accordance with AS 3999

KEY

Proposed external works

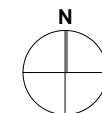


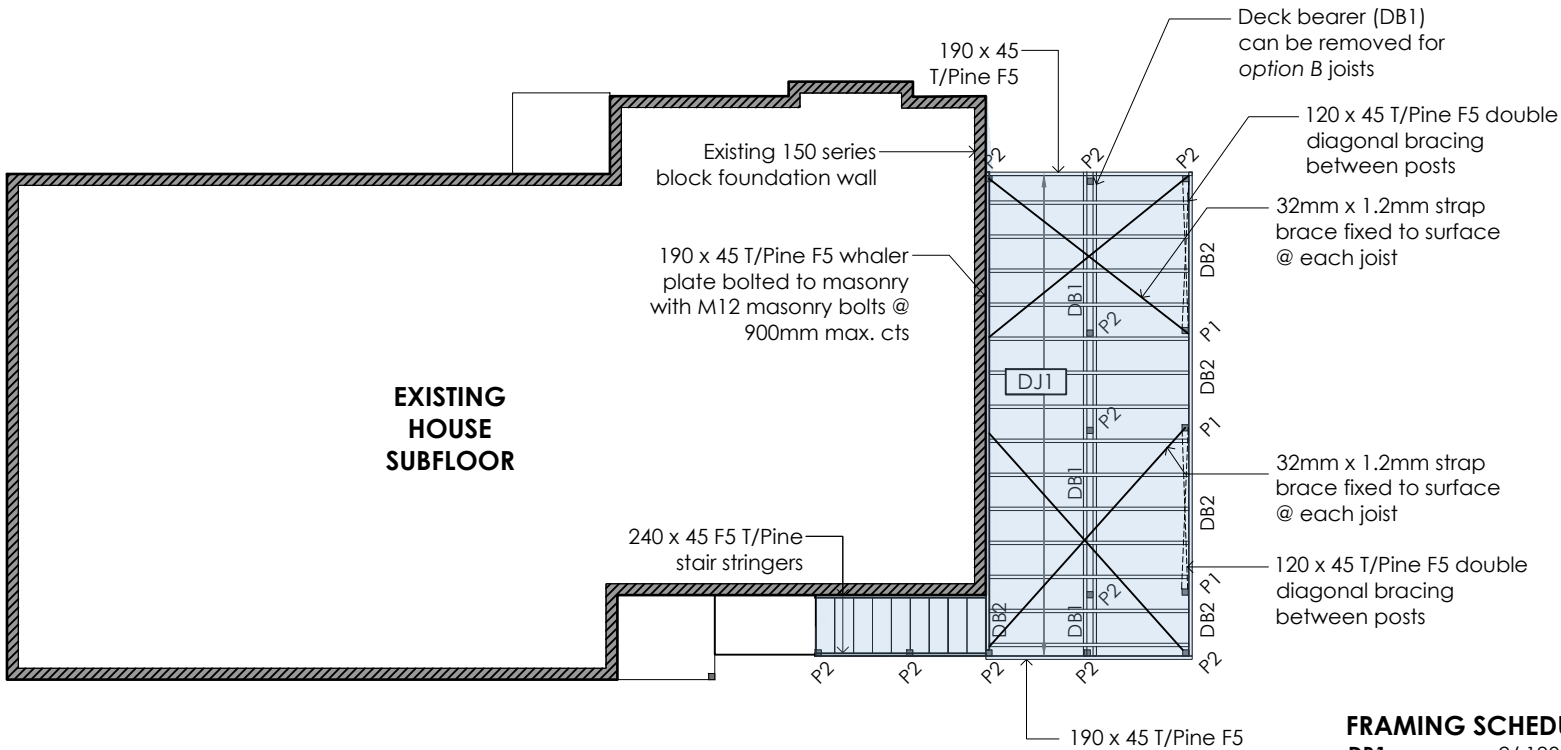
PROPOSED ROOF PLAN
scale 1:200

FRAMING SCHEDULE

- RB1:** 190 x 45 T/pine F5
P1: 125sq F7 T/Pine post, 5000mm max. height
P2: 90sq. F7 T/pine post, 2600mm max. height
R1: 140 x 45 F5 T/pine rafters @ 900mm cts., 2600mm max. span
RB2: 2/290 x 45 hySPAN14, 4700mm max span @ 4000mm max. roof load width
DS: 2/90x45 F17 laminated studs
L1: 190 x 45 hYSPAN14 lintel, 2700mm max. span

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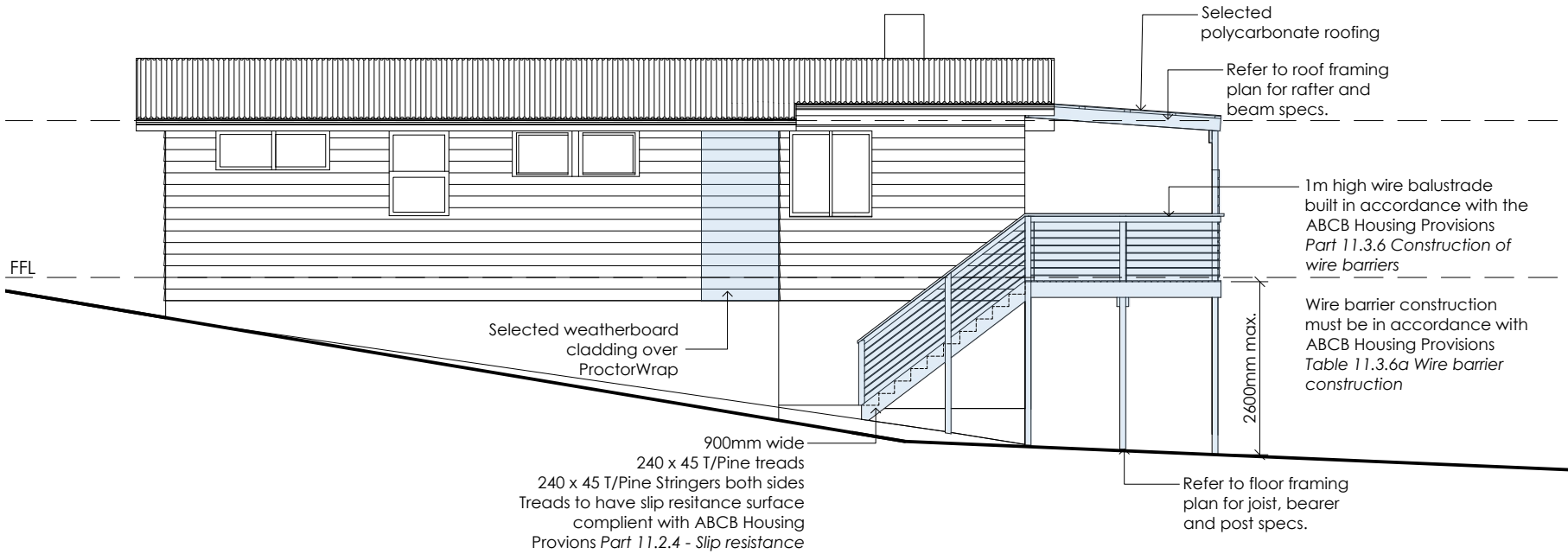


PROPOSED DECK FLOOR FRAMING
scale 1:200

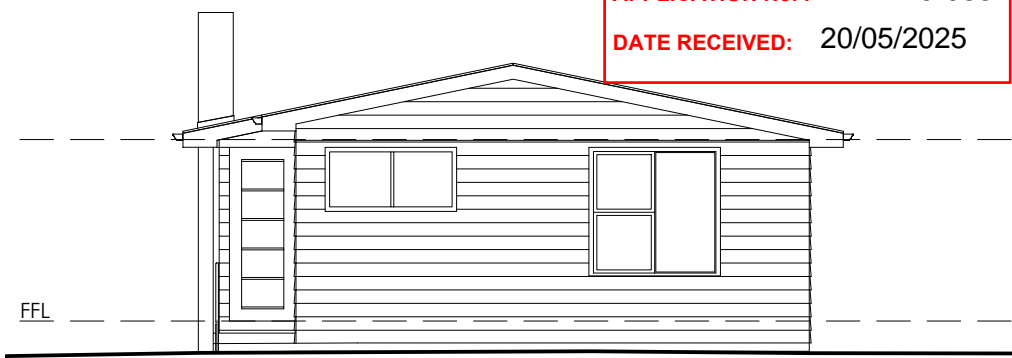
FRAMING SCHEDULE	
DB1:	2/ 190 x 45 T/pine F5 bearers, 2400mm max. cont. span
DB2:	2/190 x 45 T/pine F5 bearer, 2400mm max. cont. span
DJ1 option A:	140 x 45 T/pine F5 joists @ 450mm cts, 2400mm max cont. span
DJ1 option B:	190 x 45 T/pine F5 joists @ 450mm cts, 3000mm max single span
P1:	125sq F7 T/Pine post, 5000mm max. height
P2:	90sq. F7 T/pine post, 2600mm max. height

KEY

Proposed external works



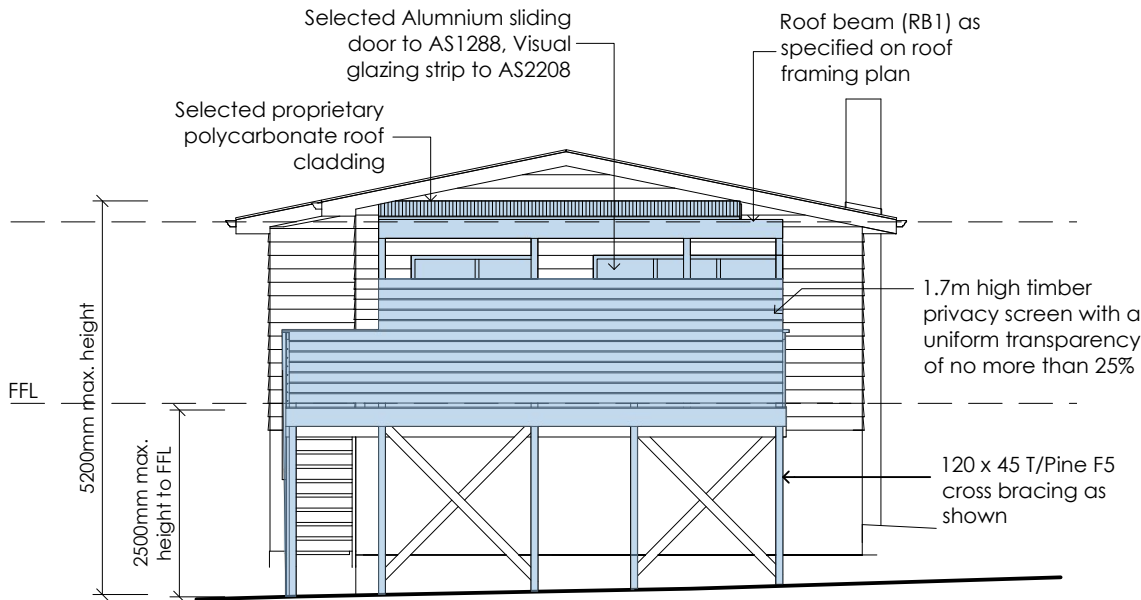
PROPOSED SOUTH ELEVATION
scale 1:100



WEST ELEVATION - NO MODIFICATION
scale 1:100

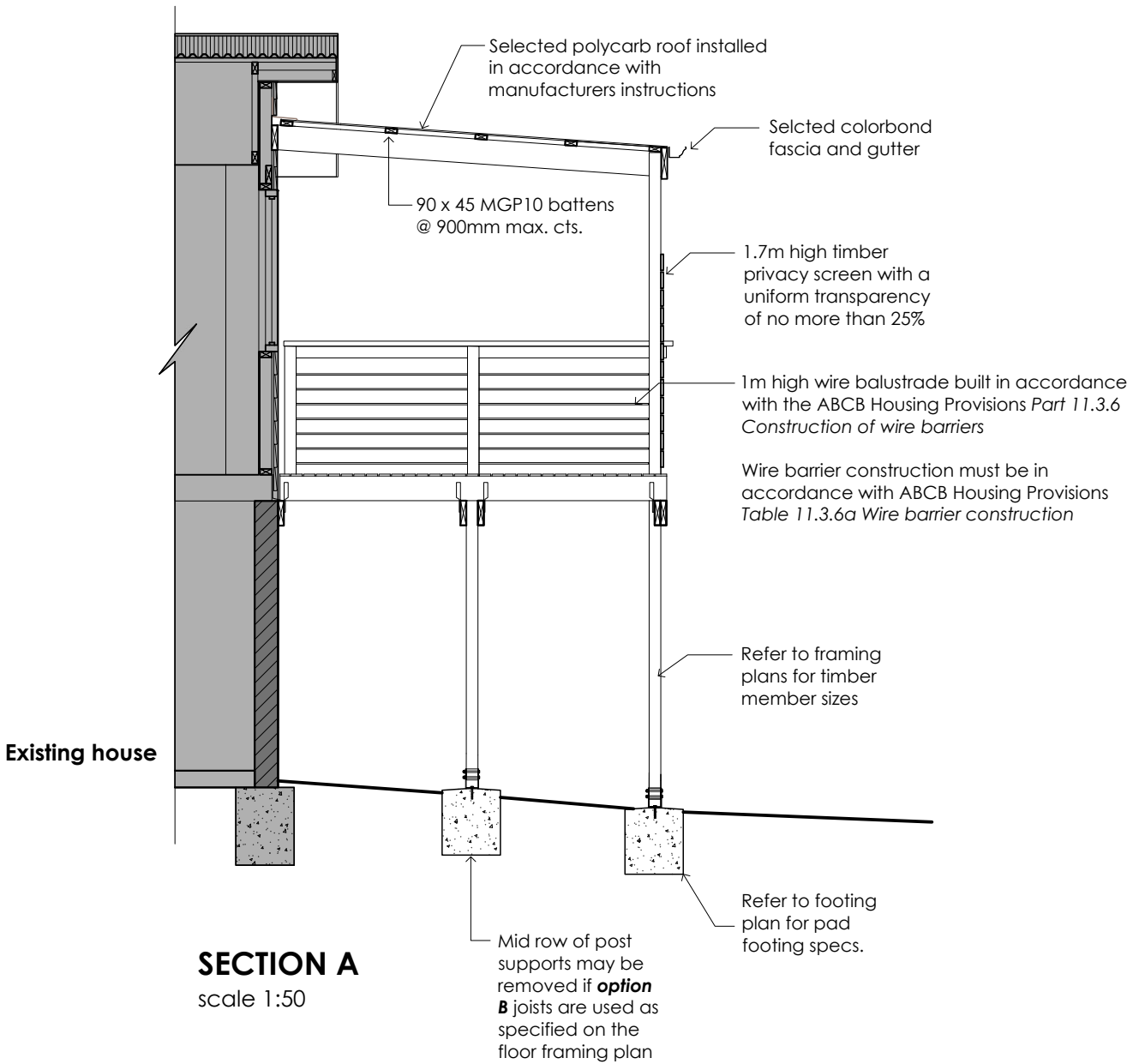


PROPOSED NORTH ELEVATION
scale 1:100

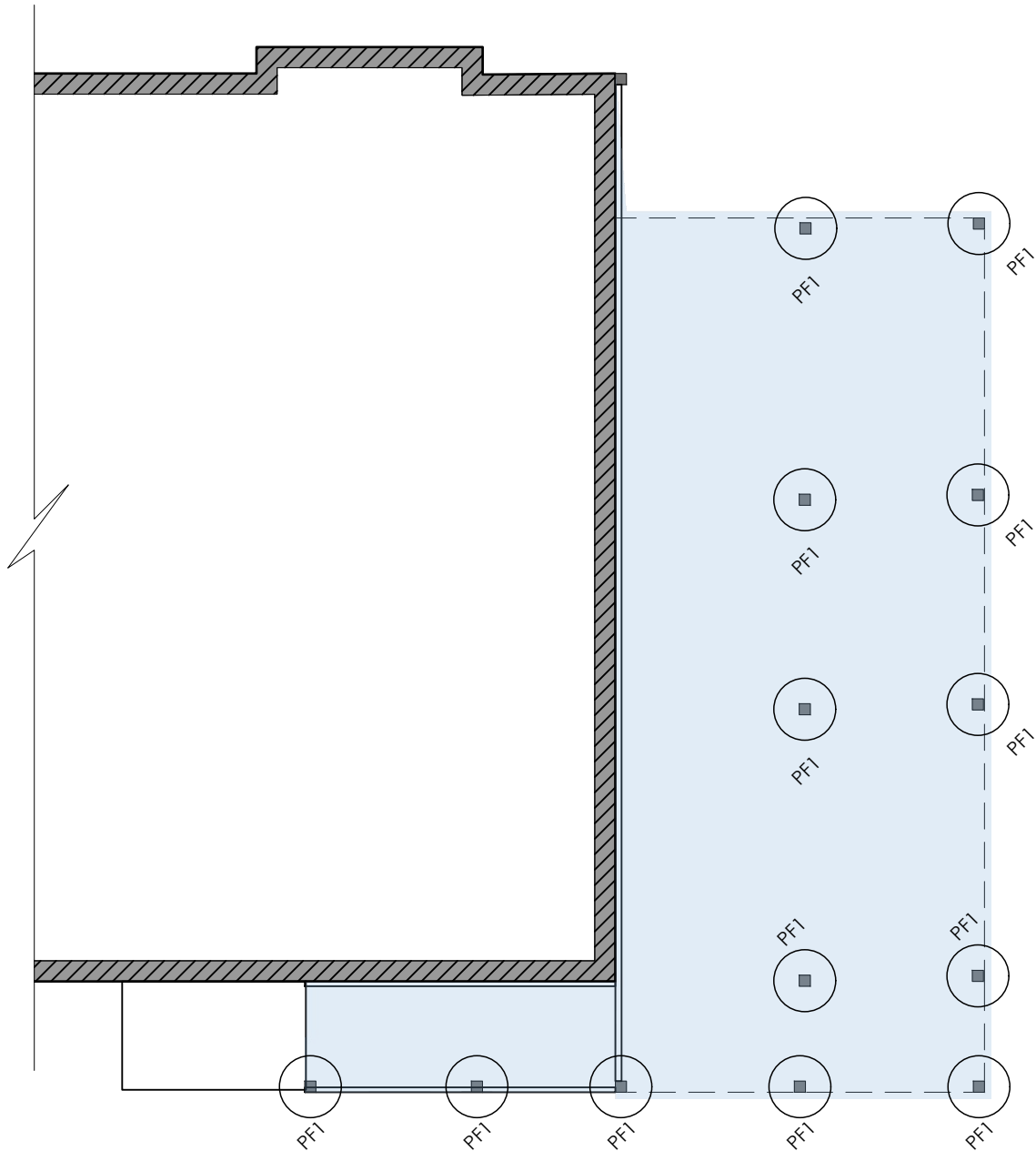


PROPOSED EAST ELEVATION
scale 1:100

KEY
Proposed external works



- CONCRETE:
- 1 All concrete to be grade N25 placed in accordance with section 19 of AS3600 unless otherwise noted on drawings.
 - 2 Concrete to be placed in accordance with good building practice.
 - 3 All concrete to be vibrated during placement.
 - 4 Concrete is to be kept damp for 7 to 10 days to control hydration. Continuous curing to commence promptly after surface has been finished.
 - 5 Any form work (boxing) to be retained (left in place) for a minimum period 3 days to 7 days depending on weather conditions to assist curing.
 - 6 To minimise shrinkage cracking in concrete the concrete slump should be minimal 80mm recommended.
 - 7 No water to be added to supplied concrete.
 - 8 Concrete dimensions shown are the minimum requirements for soil classification of the site.
 - 9 Actual founding depths may vary to suit floor levels and construction site requirements. It is not necessary to remove solid rock simply to achieve footing dimension as long as continuity and cover of reinforcements are maintained.

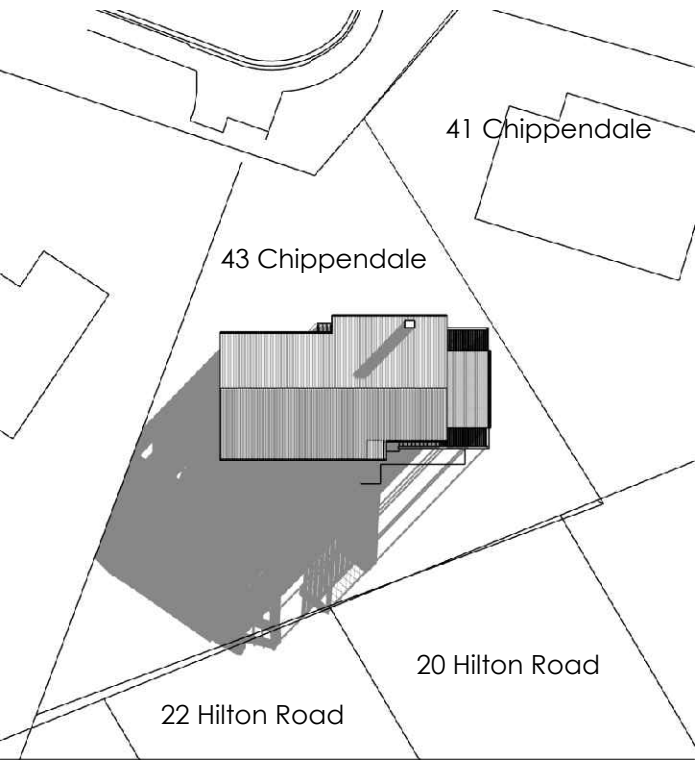


PROPOSED FOOTING PLAN
scale 1:50

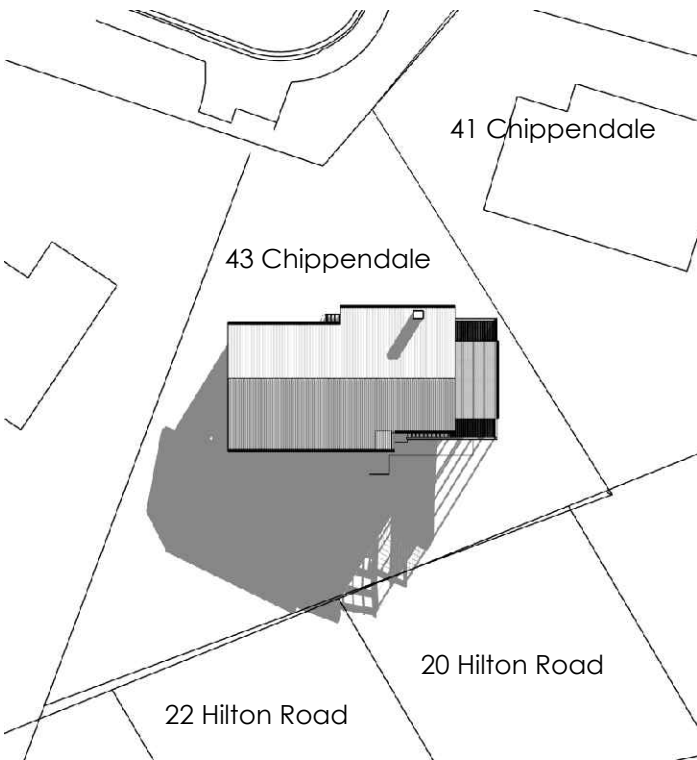
KEY

PF1

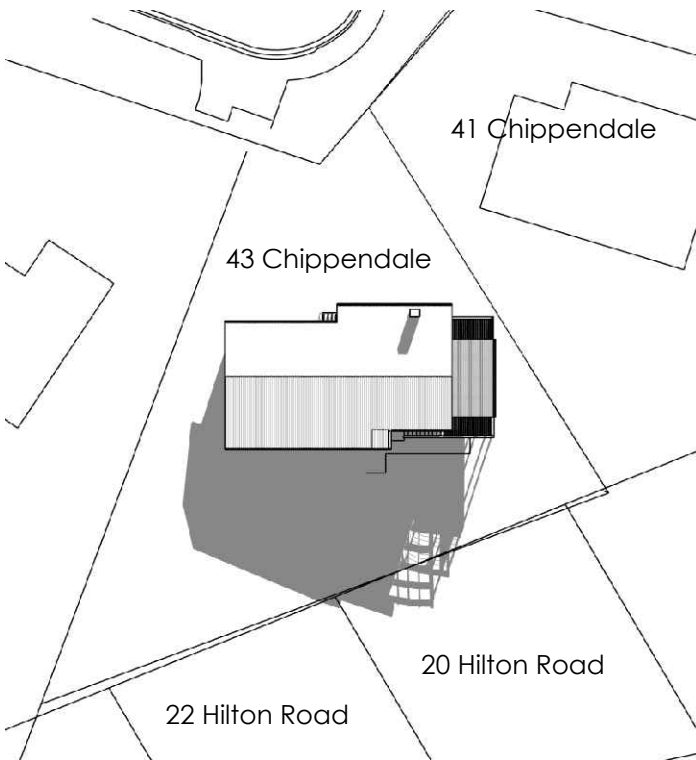
450Ø x 500 deep pad footing
Grade N25 concrete
Founded in natural undisturbed clay



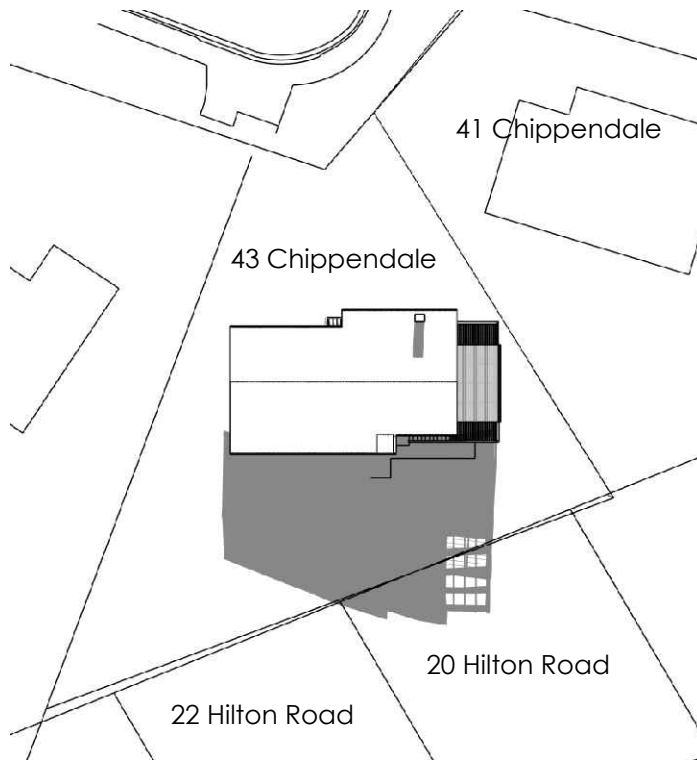
9am SHADING - 21st JUNE
scale 1:200



10am SHADING - 21st JUNE
scale 1:200

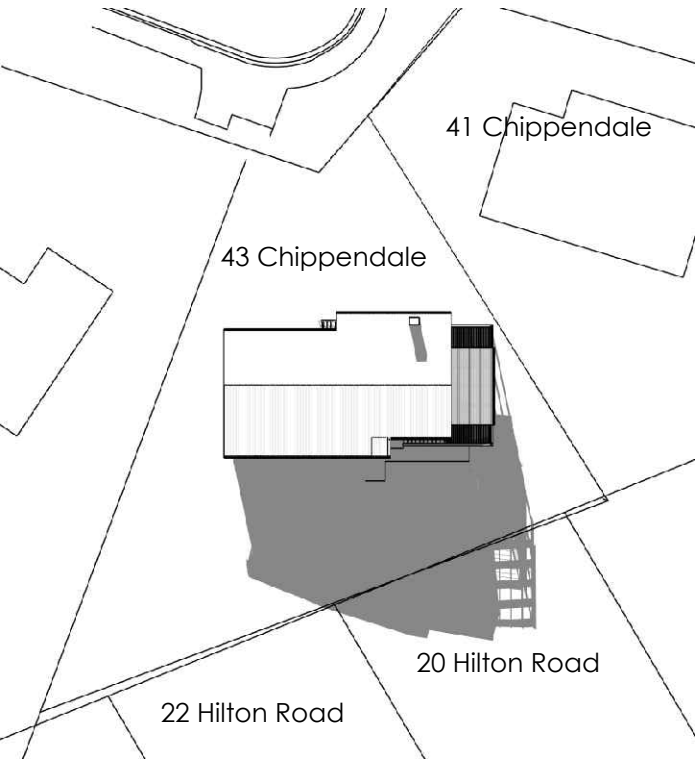


11am SHADING - 21st JUNE
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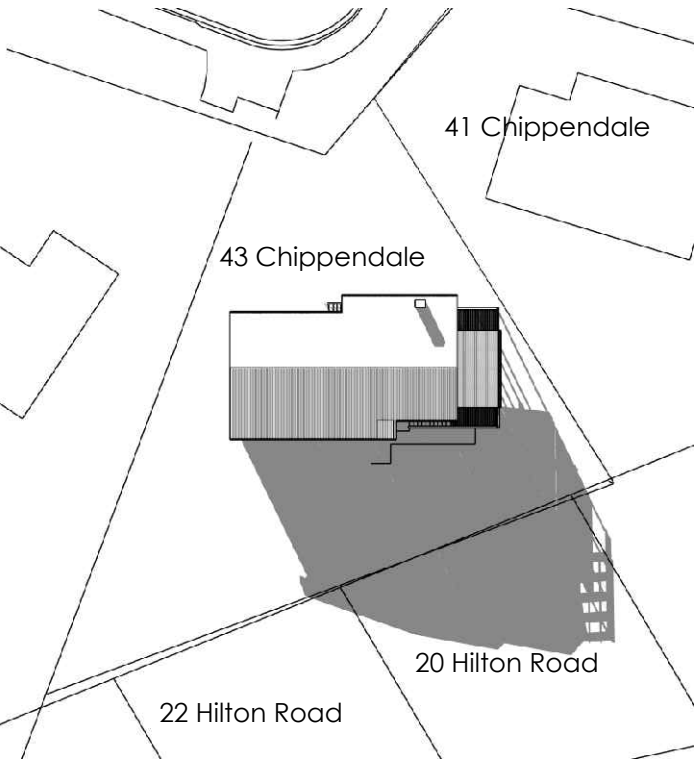


12pm SHADING - 21st JUNE
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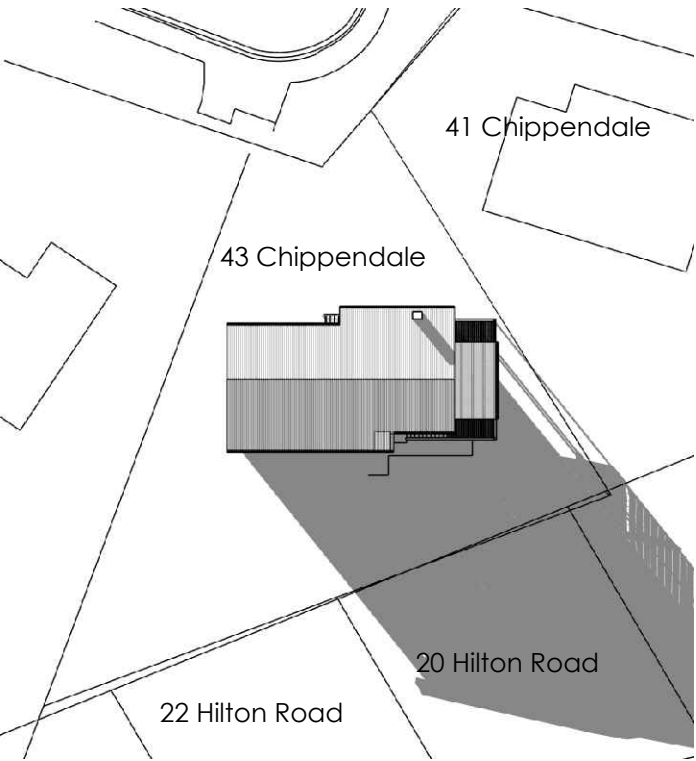
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. PLN-25-083
DATE RECEIVED: 20/05/2025



1pm SHADING - 21st JUNE
scale 1:200



2pm SHADING - 21st JUNE
scale 1:200



3pm SHADING - 21st JUNE
scale 1:200