

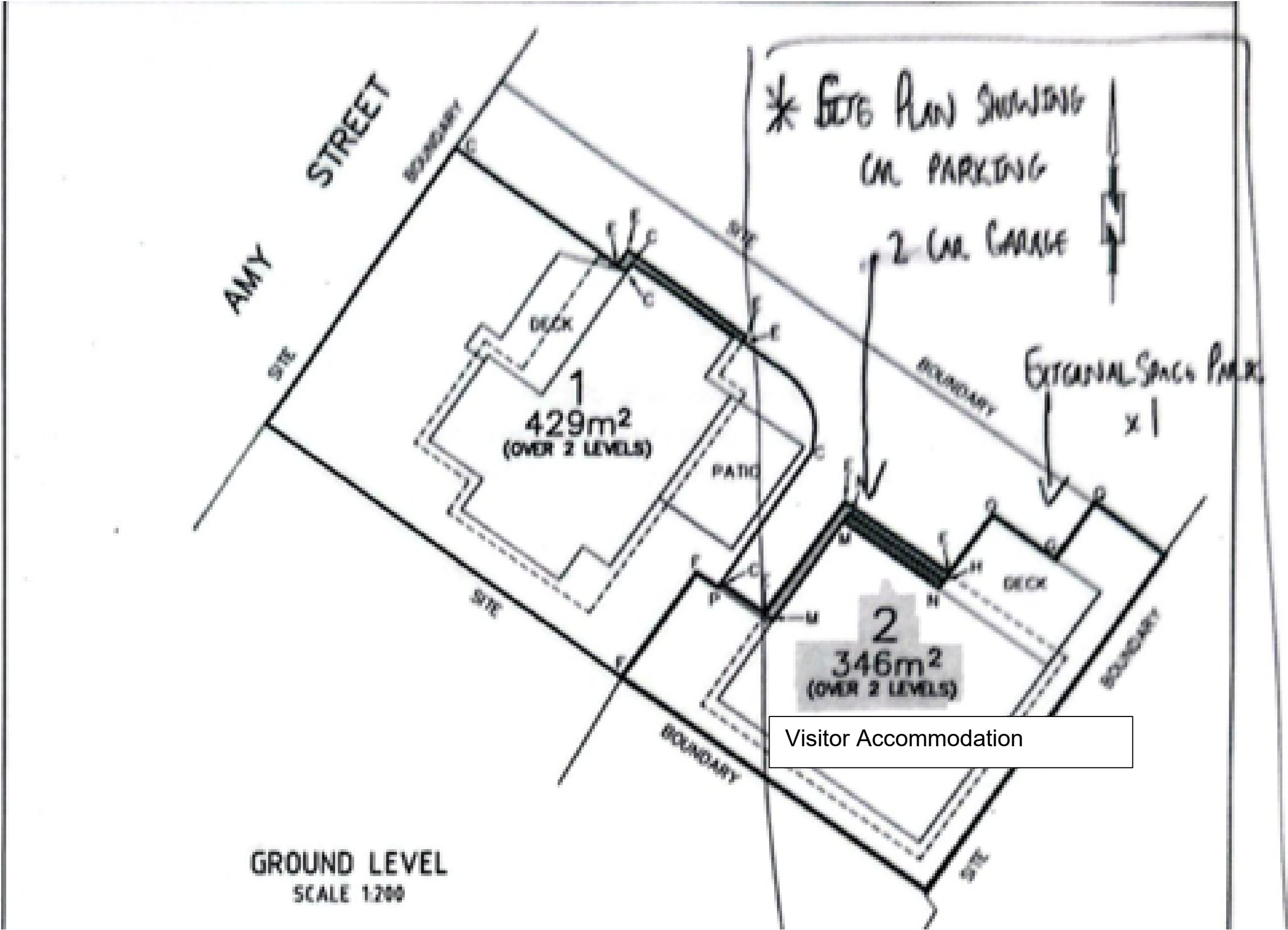
## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-25-105
<b>PROPOSED DEVELOPMENT:</b>	Visitor Accommodation
<b>LOCATION:</b>	2/57 Amy Street, West Moonah
<b>APPLICANT:</b>	R Mansell
<b>ADVERTISING START DATE:</b>	06/06/2025
<b>ADVERTISING EXPIRY DATE:</b>	23/06/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **23/06/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **23/06/2025**, or for postal and hand delivered representations, by 5.00 pm on **23/06/2025**.





#### GENERAL NOTES

1. All work to comply with relevant SAA codes and the Building Code of Australia (BCA)  
2. Codes: Concrete AS2870, Masonry AS3700, Plumbing AS3500 Timber Frame AS1684.2, Windows AS2047 Glazing AS1288, Roofing AS1562 Steelwork AS1250, AS4100, Electrical AS3000  
3. Wet Areas as defined by Part 3.8.1 of BCA shall comply with that part and AS3740 with approved flashing's and sealants to all junctions and around fittings.  
4. Wall lintels - F17 sizes shown. Other Grades to AS1684.2 may be used.  
SIZES FOR SPANS- SEE NOTES ON WALL BRACING PLAN

5. Wall Bracing- To AS1684.2 See Table 8.18 (d) & (h) SEE NOTES ON WALL BRACING PLANS

6. Energy Efficiency Notes  
REQUIRED INSULATION (MIN TOTAL R-VALUE INCLUDING FLOOR, WALL, ROOF AND CEILING CONSTRUCTION)  
R VALUES FOR CEILINGS/ROOFS, WALLS AND FLOORS SHALL BE AS INDICATED ON THE ENERGY STAR RATING REPORT AND NOTED ON THE FLOOR PLANS

HOT WATER PIPES to AS3500 with 25mm CLOSED CELL POLYMER R1.3 INSULATION TO EXTERNAL LOCATIONS & 13mm CLOSED CELL POLYMER R0.6 INSULATION TO INTERNAL LOCATIONS.

All external openings shall be sealed to minimize air leakage. Seals to be either foam or rubber compressible strips, fibrous seals or the like and comply with Part 3.12.3.3 of BCA

Any Mechanical ventilators shall be installed with an approved sealing device complying with Part 3.12.3.4 of BCA

#### 7. Masonry

All Clay or Masonry Brick or Concrete Block masonry, including flashings and weep holes below windows and doors & DPC, sealing around windows and doors, construction of articulation joints and subfloor ventilation shall comply with AS3700

#### BATH ROOM NOTE:

THE DOOR THRESHOLD SHALL BE FITTED WITH AN APPROVED BRASS OR ALUMINIUM ANGLE WATER STOP  
SHOWER ON PRE-MANUFACTURED BASE AND SCREENS WITH INTEGRAL WATER STOP  
NO TIMBER SKIRTING SHALL BE INSTALLED IN BATHROOMS

#### WATERPROOFING WET AREAS Standard

General: To AS 3740  
Membrane: To AS/NZS 4858  
Extent: To BCA 3.8.1.2

#### Membrane

Provide a proprietary (non acrylic) liquid applied or sheet membrane system for use in wet areas, shower recess bases and associated floors and wall to floor junctions which are to be tiled.

Proprietary term: Bosik Dampix 2.

#### Bond breakers materials

Requirement: Compatible with the flexibility class of the membrane to be used.

Material: Purpose made bond breakers tapes and closed cell foam backing rods or fillets of sealant.

#### Bond breakers installation

Requirement: After the priming of surfaces, provide bond breakers at all wall/floor, hob/wall junctions and at control joints where the membrane is bonded to the substrate.

#### Sealant fillet bond breakers

Application: Form a triangular fillet or cove of sealant to internal corners within the period recommended by the membrane manufacturer after the application of the primer.

Widths: 8 mm minimum to vertical corners, 10 - 12 mm to horizontal corners.

Backing rod bond breakers: Retain in position with continuous length of tape pressed firmly in place against the surfaces on each side of the rod.

#### Sealants

Requirement: Waterproof, flexible, mould-resistant and compatible with host materials.

#### Preparation

General: Ensure substrates are as follows:

- Clean and free of any deposit or finish which may impair adhesion or location of tiles.

- If walls are plastered, remove loose sand.

- Compatible with all components of the floor system.

- If framed or discontinuous, support members are in full lengths, without splicing.

- If solid or continuous,

- Excessive projections are removed.

- Voids and hollows > 10 mm are filled with a cement/sand mix not stronger than the substrate nor weaker than the bedding.

- Depressions < 10 mm are filled with a latex modified cementitious product with feathering eliminated by scabbling the edges.

- Fill cracks in substrates wider than 1.5 mm with a filler compatible with the membrane system.

External corners: Round or arris edges.

Absorbent substrates: If suction is excessive, control it by dampening but avoid over-wetting and do not apply mortar bedding to substrates showing surface moisture.

Dense concrete: If not sufficiently rough to provide a mechanical key, roughen by scabbling or the like to remove 3 mm of the surface and expose the aggregate, then apply a bonding treatment.

#### Installation

Floor wastes: Turn membrane down into the floor waste drainage flanges, and adhere to form a waterproof connection.

Hobs: Extend membrane over the hob and into the room at least 50 mm. For unenclosed showers extend membrane at least 1500 mm into the room measured from a point directly below the shower rose outlet on the wall.

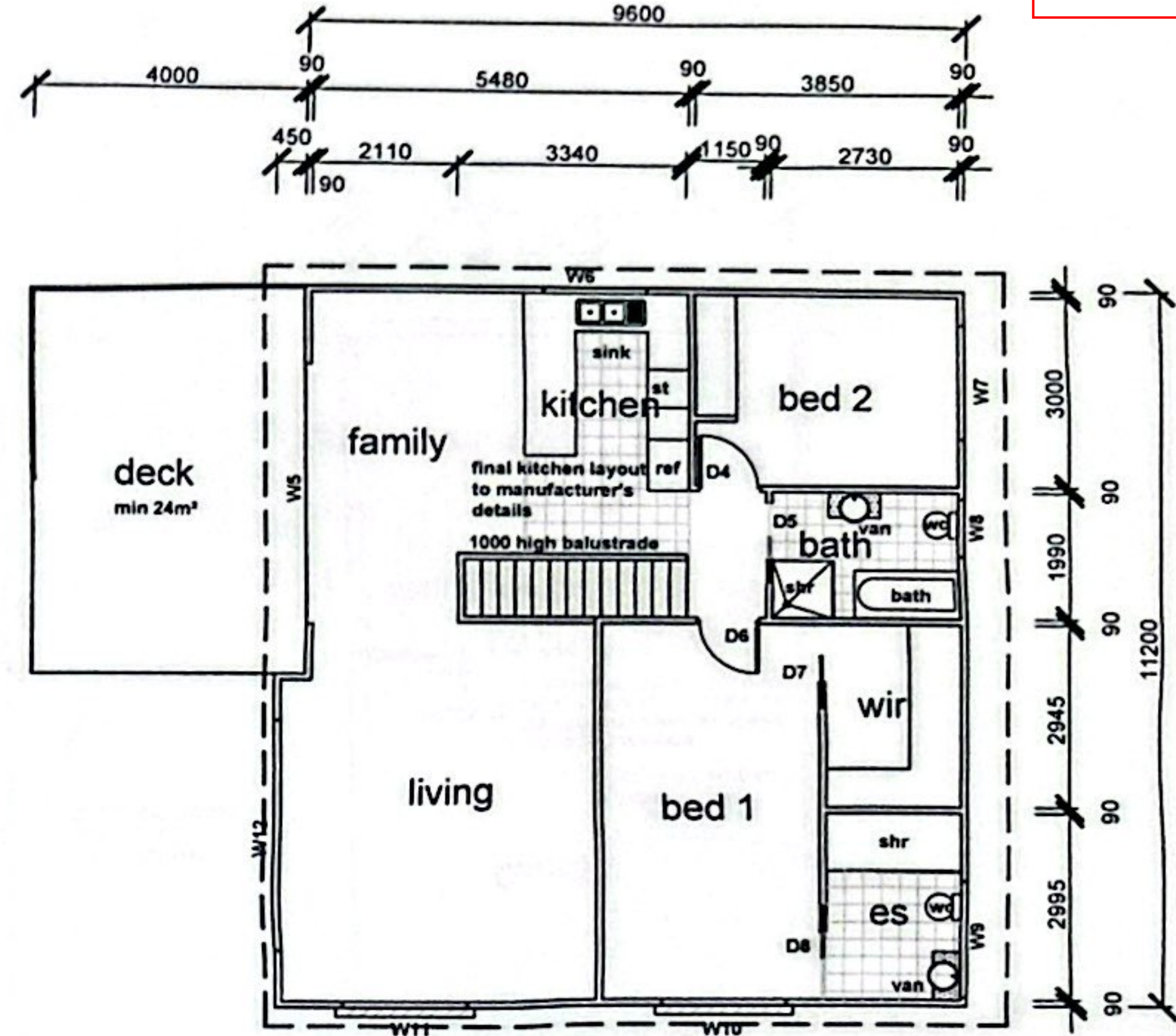
External tiling: Provide a waterproof membrane under external floor tiling, to balconies and over habitable rooms, which forms a drained tank suitable for continuous immersion. Do not run under bounding walls.

Curing: Allow membrane to cure fully before tiling.

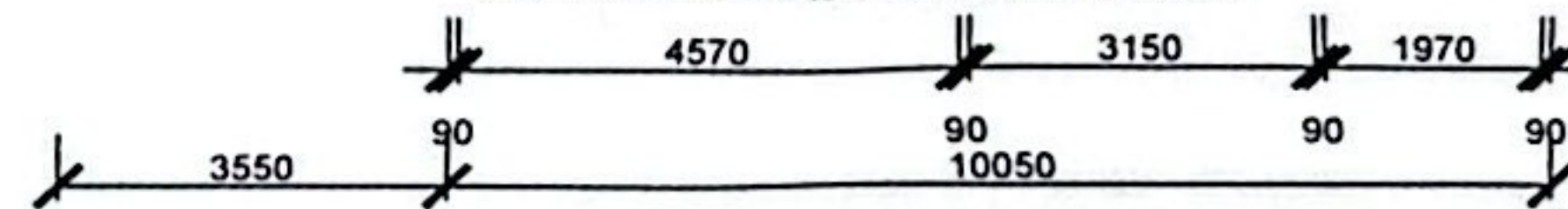
DOOR SCHEDULE		
CODE	SIZE	FRAME
D4	820	timber external entry door
D5	820csd	timber internal
D6	820	timber external
D7	820csd	timber internal
D8	820csd	timber internal

WINDOW SCHEDULE				
CODE	ROOM	SIZE	FRAME	GLASS TYPE
W5	family	2140	AL Sliding door	DG
W6	kitchen	0418	AL awning	DG
W7	bed 2	0918	AL awning	DG
W8	laundry	0909	AL awning	DG
W9	es	0418	AL awning	DG
W10	bed 1	1518	AL Sliding	DG
W11	living	1518	AL sliding	DG
W12	living	1536	AL awning	DG

DG= 4/ 11/ 4 CLEAR DOUBLE GLAZED WINDOWS AND 6/ 11/ 5 CLEAR DOUBLE GLAZED SLIDING DOOR  
SG= 5mm CLEAR GLASS SLIDING DOOR UNIT



NB- WINDOWS W11 AND W12 TO BE FITTED WITH A LOUVRE SCREEN SET TO ALLOW VIEWS TO THE NORTH BUT NOT TOWARDS THE OPEN SPACE ON THE WEST or translucent film to 1700 above floor level



UPPER FLOOR PLAN  
SCALE 1 : 100  
Unit 2 109.79 m<sup>2</sup>

<b>SKIZZE</b> building design 88 New Town Road New Town P 6228 7762 Accreditation Number CG464	Proposed: Dwelling Unit		JOB:20028	Revisions:
	Client: L Noye		Sheet :6 of 19	DRAWN: RV Date : February 2021 Issue Date: 22Feb21
	At: 57 Amy Street, West Moonah			



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  - Codes: Concrete AS2870, Masonry AS3700, Plumbing AS3500 Timber Frame AS1684.2, Windows AS2047 Glazing AS1288, Roofing AS1562 Steelwork AS1250, AS4100, Electrical AS3000
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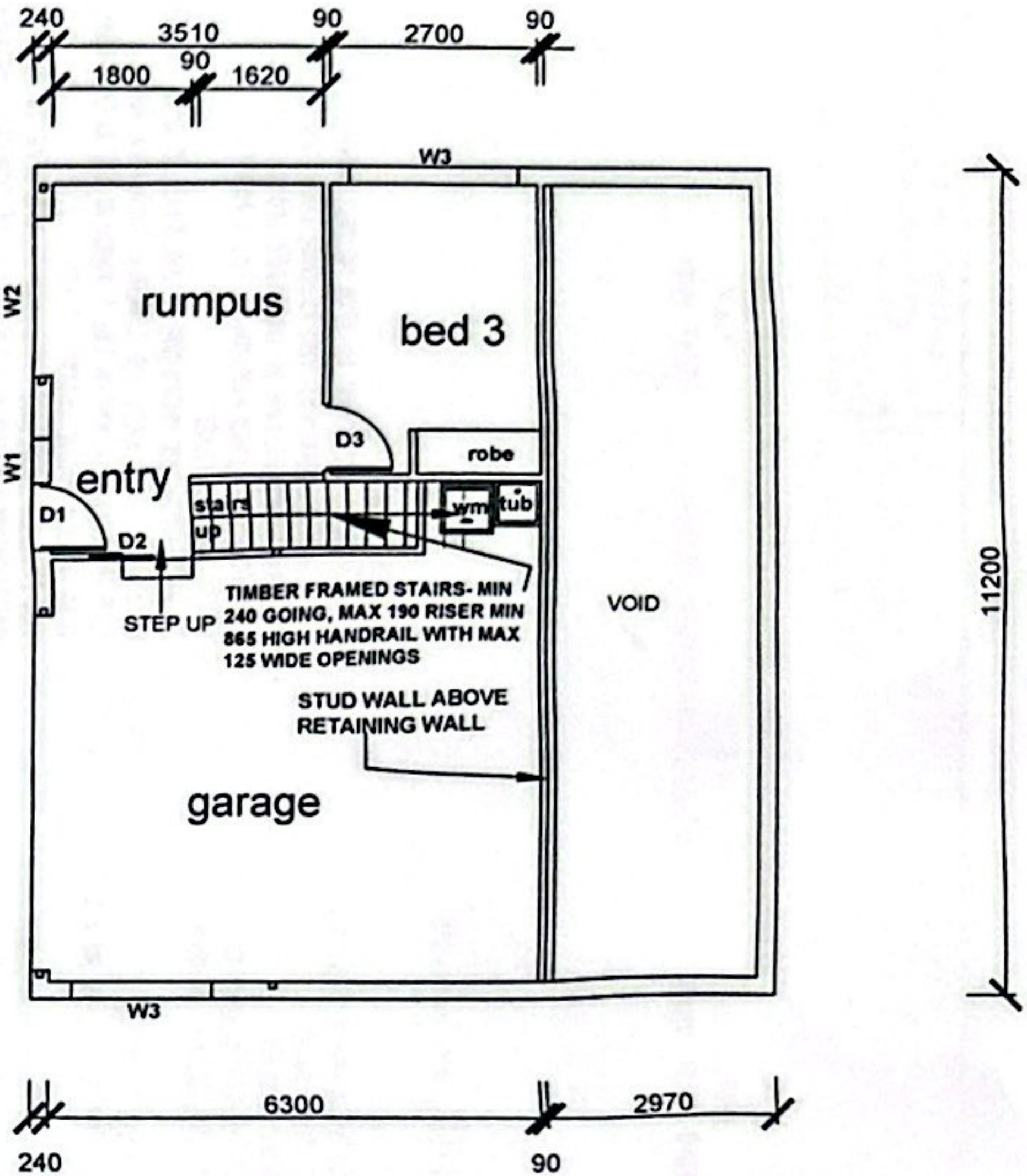
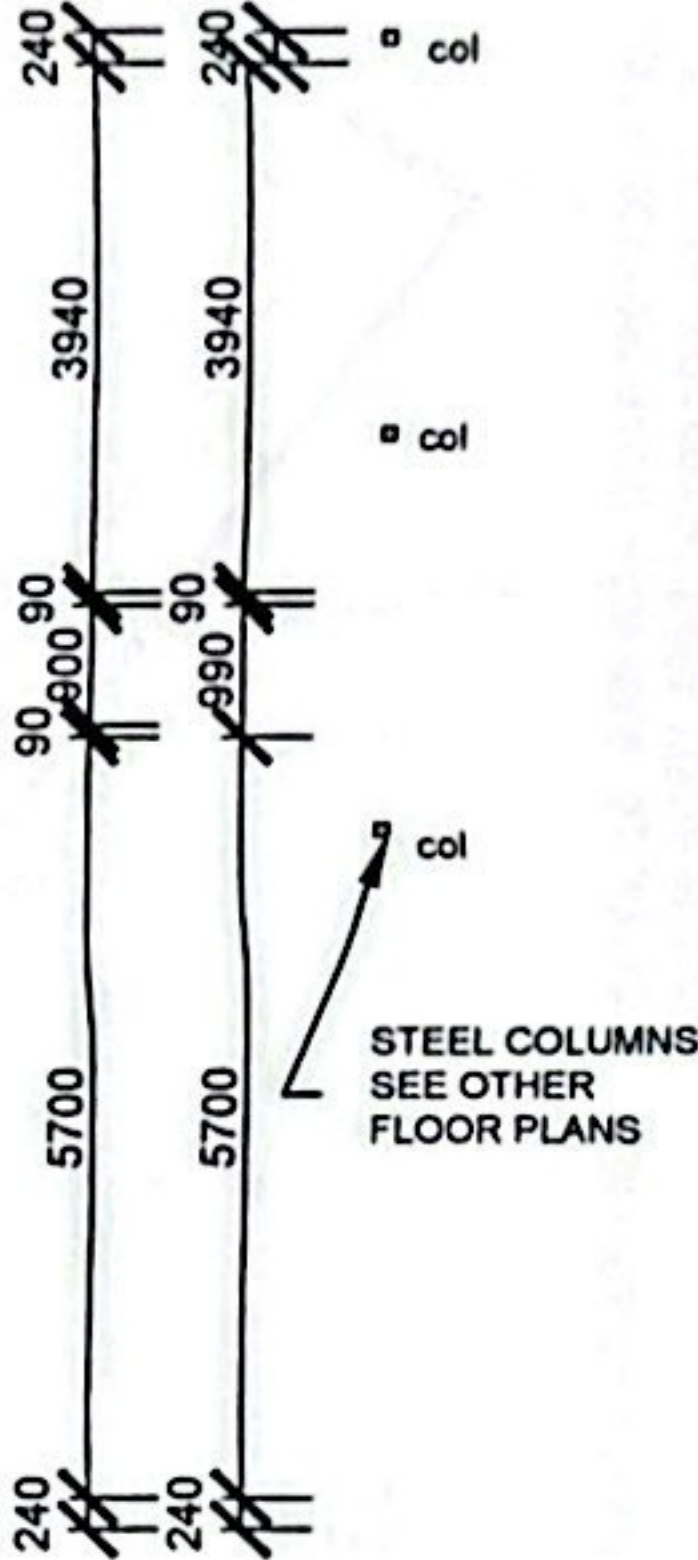
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DOOR SCHEDULE		
CODE	SIZE	FRAME
D1	820	aluminium or timber external entry door
D2	820csd	timber internal
D3	820	timber internal

WINDOW SCHEDULE				
CODE	ROOM	SIZE	FRAME	GLASS TYPE
W1	entry	2106	AL fixed	DG
W2	rumpus	2121	AL Sliding door	DG
W3	bed 3	0522	AL awning	DG
W4	garage	0418	AL awning	DG

DG= 4/ 11/ 4 CLEAR DOUBLE GLAZED WINDOWS AND 5/ 11/ 5 CLEAR DOUBLE GLAZED SLIDING DOOR  
SG= 5mm CLEAR GLASS SLIDING DOOR UNIT



LOWER FLOOR PLAN  
SCALE 1 : 100  
Unit 2 74.25 m<sup>2</sup>  
(includes 39.16m<sup>2</sup> garage)



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Proposed: Dwelling Unit

JOB:20028

Revisions:

Client: L Noye

Sheet :5 of 19

DRAWN: RV  
Date : February 2021  
Issue Date: 22Feb21

At : 57 Amy Street, West Moonah

