

GLENORCHY PLANNING AUTHORITY
ATTACHMENTS
MONDAY, 11 AUGUST 2025



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PLANNING

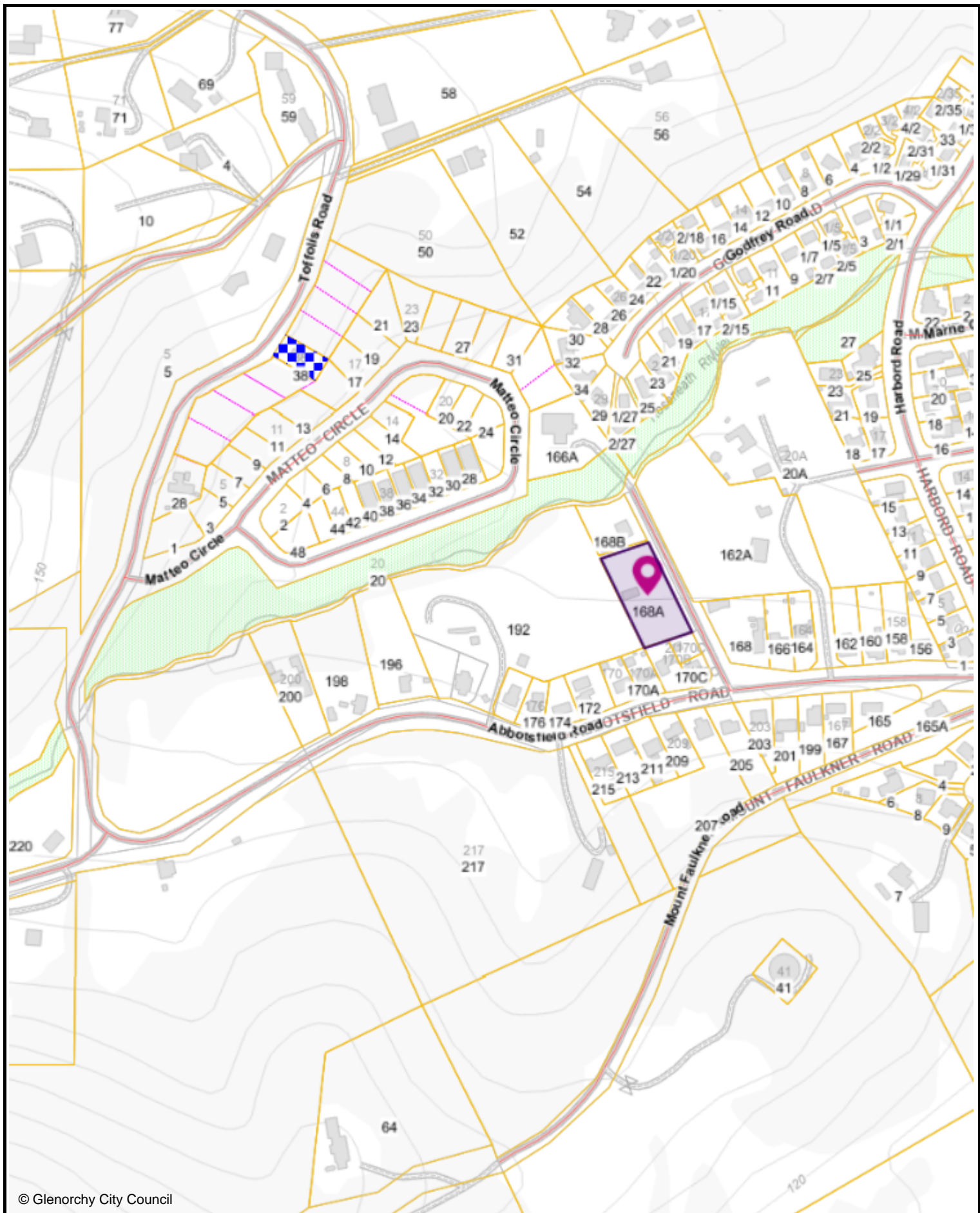
5. PROPOSED USE AND DEVELOPMENT – TWELVE MULTIPLE DWELLINGS AND WORKS IN THE ROAD RESERVE (RESIDENTIAL) – 168A ABBOTSFIELD ROAD CLAREMONT

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GPA - Attachment 1
168A Abbotsfield Road Claremont
Site Plan, Advertised Plans and TasWater Referral



© Glenorchy City Council

168A Abbotsfield Road, Claremont TAS 7011

31-Jul-2025



The graphic information on this map is produced by Glenorchy City Council. As errors or omissions may occur please verify data before any projects are commenced. The representation of roads or tracks is no evidence of right of way. This map is not to be used as a site plan for making an application to council.



100 m



U249 - PROPOSED CUNIC UNIT DEVELOPMENT

168a Abbotsfield Road
CLAREMONT

SHEET		DRAWING TITLE	SHEET		DRAWING TITLE
01	C	SITE PLAN	12	B	UNIT 6 FLOOR PLAN
01a	C	PERSPECTIVE VIEWS	13	B	UNIT 6 ELEVATIONS
01b	C	PRIVATE OPEN SPACE PLAN	14	B	UNIT 7 FLOOR PLAN
01c	C	COMMUNAL AREA PLAN	15	B	UNIT 7 ELEVATIONS
02	B	UNIT 1 FLOOR PLAN	16	B	UNIT 8 FLOOR PLAN
03	B	UNIT 1 ELEVATIONS	17	B	UNIT 8 ELEVATIONS
04	B	UNIT 2 FLOOR PLAN	18	B	UNIT 9 FLOOR PLAN
05	B	UNIT 2 ELEVATIONS	19	B	UNIT 9 ELEVATIONS
06	B	UNIT 3 FLOOR PLAN	20	B	UNIT 10 FLOOR PLAN
07	B	UNIT 3 ELEVATIONS	21	B	UNIT 10 ELEVATIONS
08	B	UNIT 4 FLOOR PLAN	22	B	UNIT 11 FLOOR PLAN
09	B	UNIT 4 ELEVATIONS	23	B	UNIT 11 ELEVATIONS
10	B	UNIT 5 FLOOR PLAN	24	B	UNIT 12 FLOOR PLAN
11	B	UNIT 5 ELEVATIONS	25	B	UNIT 12 ELEVATIONS

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GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No. : PLN-24-270

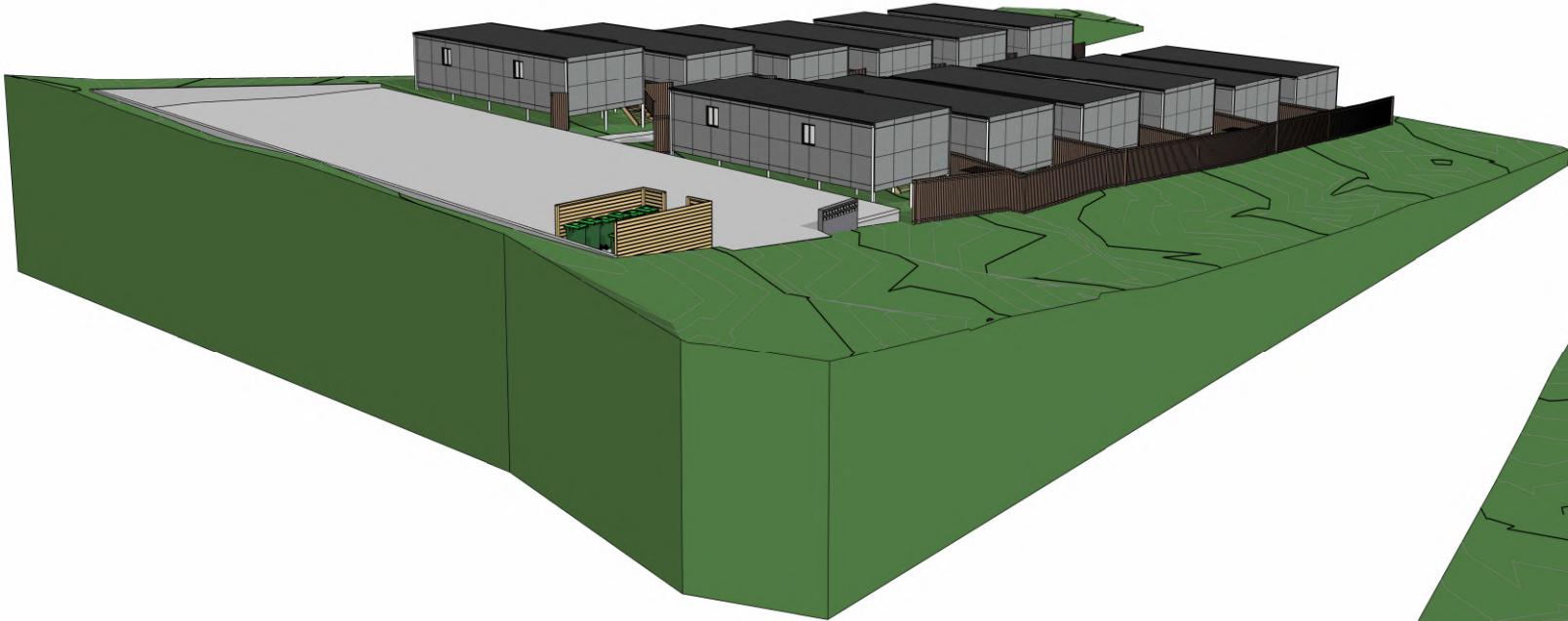
DATE RECEIVED: 06/11/2024

SITE IS NOT BUSHFIRE PRONE AREA AS PER TASMANIAN PLANNING SCHEME OVERLAY - GLENORCHY.
No additional restrictions for construction methods / materials apply.


						<div>Notes</div> <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Do not scale from these drawings.No changes permitted without consultation with designer.	<div>Designer:</div> <div>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</div>	<div>Client / Project info</div> <div>PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT</div>	<div>Soil Classification: Title Reference: Floor Areas: Porch / Deck Areas: Wind Speed: Climate Zone: Alpine Zone: Corrosion Environment: Certified BAL: Designed BAL: (Refer to Standard Notes for Explanation)</div> <div>TBC CT61276/27 Refer to Plans Refer to Plans TBC 7 N/A LOW NOT BUSHFIRE PRONE NOT BUSHFIRE PRONE</div>	COVER SHEET		
					U249							
Date					25 June 2024					Sheet		
Scale										00/25		
C	Remove individual bin storage from each unit, provide screened communal bin storage area to parking area. Update all relevant plans.	5 November 2024	ST	RJ	01 - 01c							
B	CLIENT CHANGES: Remove additional roof from container units, change laserlite roof to trimdek. Update all relevant plans and Shadow Diagrams (Separate drawing set)	2 August 2024	ST	CK	01a, 02 - 25							
A	CLIENT CHANGES: Provide Private Open Space plan, show Flood Prone Hazard Area, provide details on Communal Area, provide Shadow Diagrams (Separate drawing set)	11 July 2024	ST	CK	01, 01b, 01c							
	DA PLAN SET	25 June 2024	ST	CK	01 - 25							
No.	Amendment	Date	Drawn	Checked	Sheet							

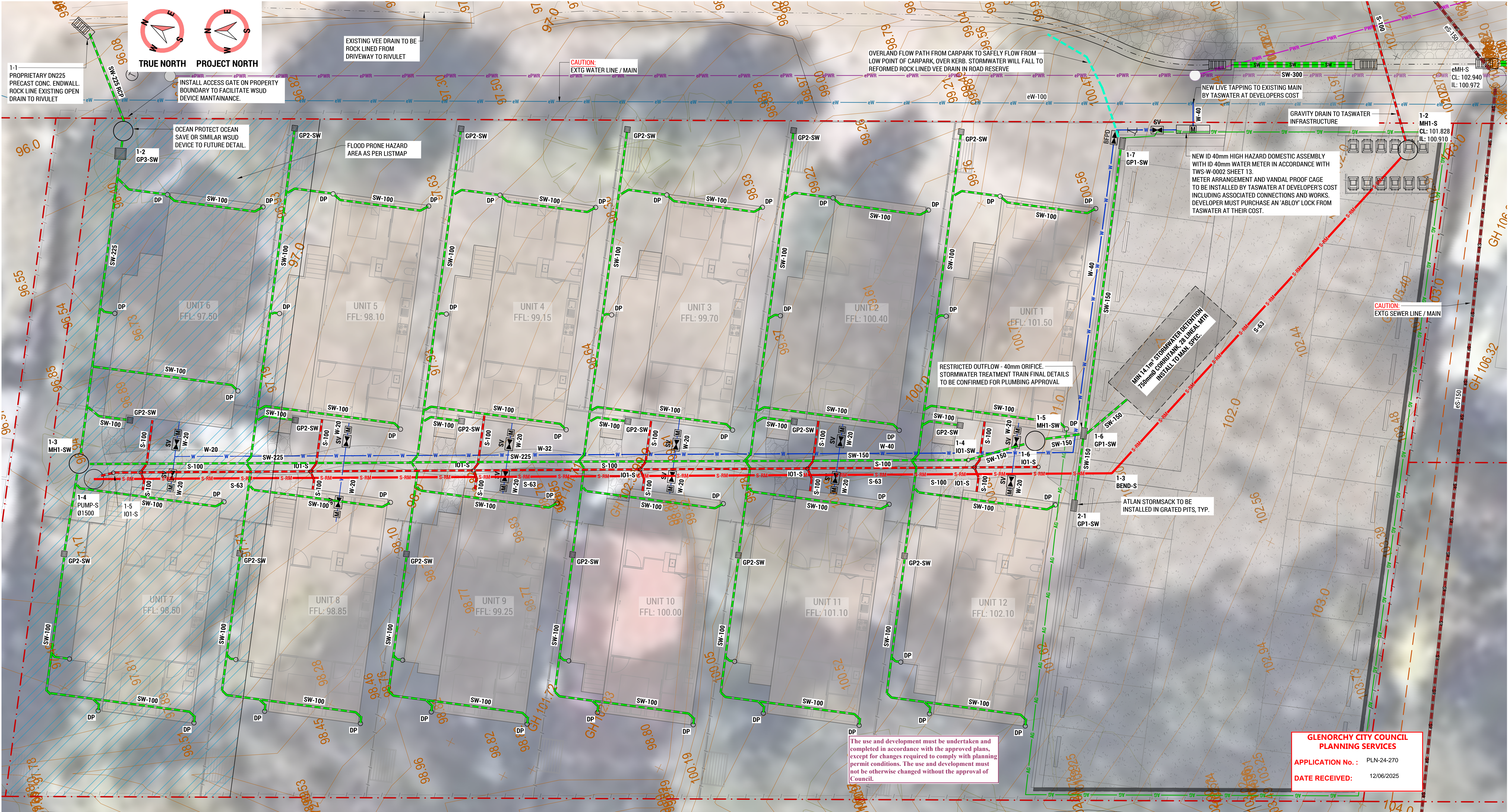


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C	5 November 2024	ST
B	2 August 2024	ST
No.	Date	Int.

Amendment changes as per cover sheet	Shadows shown for stylisations purpose only	<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div></div>	PERSPECTIVE VIEWS		
			<div>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</div>	<div>PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT</div>		Drawn	ST	U249
						Date	13 June 2024	Sheet
						Scale		01a/25
						Copyright ©		



- INFRASTRUCTURE NOTES:**
1. THE FOLLOWING IS TO BE READ IN CONJUNCTION WITH NOTES ON DRAWING C001.
 2. STORMWATER PIPES SHALL BE INSTALLED WITH MIN. 0.5% GRADE FOR SIZES Ø225 AND ABOVE UNLESS NOTED / SCHEDULED OTHERWISE.
 3. STORMWATER PIPES SHALL BE INSTALLED WITH MIN. 1.0% GRADE FOR PIPE SIZES Ø150 AND BELOW UNLESS NOTED / SCHEDULED OTHERWISE.
 4. SEWER PIPES SHALL BE INSTALLED WITH MIN. 1.0% GRADE FOR PIPE SIZES Ø150 AND ABOVE UNLESS NOTED / SCHEDULED OTHERWISE.
 5. SEWER PIPES SHALL BE INSTALLED WITH MIN. 1.65% GRADE FOR PIPE SIZES Ø100 AND BELOW UNLESS NOTED / SCHEDULED OTHERWISE.
 6. ALL 'DN' SIZES SCHEDULED OR NOTED INDICATE INTERNAL DIAMETER.
 7. REFER SECTIONS AND DETAILS FOR PIPE TRENCHING SPECS.
 8. WATER LINES SHALL GENERALLY BE LAID ABOVE SEWER PIPES WHEREVER POSSIBLE.
 9. ALL PIPES SHALL BE INSTALLED WITH MIN. 750mm COVER (U.N.O.)

- INFRASTRUCTURE LEGEND:**
- | | |
|----------|--|
| CL | COVER LEVEL |
| DN | NOMINAL PIPE DIAMETER - INTERNAL DIAMETER (U.N.O.) |
| DP | DOWNPIPE - AS SCHEDULED |
| e / EXTG | EXISTING ITEM / ELEMENT |
| FH | FIRE HYDRANT - REFER SECTIONS AND DETAILS |
| FM | FIRE WATER SERVICE LINE / MAIN |
| FP | FIRE PLUG |
| GD | GRADED DRAIN - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| GP | GRADED / GULLY PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| GVP | GRADED VEE PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| HBC | HOSE BIB COCK |
| IL | INVERT LEVEL |

- | | |
|------|--|
| IO | COVER LEVEL |
| M | METER |
| MH | MANHOLE - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| ORG | OVERFLOW RELIEF GULLY |
| OSDW | ONSITE STORMWATER UNDERGROUND DETENTION SYSTEM |
| RL | REDUCED LEVEL |
| S | SEWER |
| SEP | SIDE ENTRY PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| SM | SUB-METER |
| SV | STOP / SWITCH VALVE |
| SW | STORMWATER |
| VD | VEE DRAIN - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| W | WATER |

STORMWATER PIPE SCHEDULE				
MARK	PIPE SIZE	TYPE	CLASS	GRADE
SW-100	DN100	PVC	SN8	MIN 1%
SW-150	DN150	PVC	SN8	MIN 1%
SW-225	DN225	BLACKMAX	SN8	MIN 1%
SW-225 RCP	DN225	REINFORCED CONC	CLASS 4	MIN 1%
SW-300	DN300	BLACKMAX	SN8	MIN 1%

STORMWATER DRAIN / PIT / MANHOLE SCHEDULE			
MARK	SIZE	TYPE	ACCESSORIES
GP1-SW	600 x 300	PRECAST CONC.	GULLY PIT INTEGRAL WITH KERB
GP2-SW	300 x 300	BLACK PLASTIC	S/S GRATED LID
GP3-SW	600 x 600	PRECAST CONC.	CLASS 'B' GALV. GRATE
MH1-SW	Ø1050	PRECAST CONC.	CLASS 'D' GATIC TRAFFICABLE LID
IO1-SW	DN100	PVC	PLASTIC NON-TRAFFICABLE LID
HW1-SW	MATCH PIPE	PRECAST CONC.	

EXISTING SEWER PIPE SCHEDULE		
MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eS-150	DN150	PVC

SEWER PIPE SCHEDULE				
MARK	PIPE SIZE	TYPE	CLASS	GRADE
S-63	DN63	RIISING MAIN	PEX 100	N/A
S-100	DN100	PVC	SN8	MIN 1.67%

SEWER PIT / MANHOLE SCHEDULE			
MARK	SIZE	TYPE	ACCESSORIES
MH1-S	Ø1050	PRECAST CONC.	CLASS 'D' GATIC TRAFFICABLE LID
PUMP-S	Ø1500	PRECAST CONC	SEWER PUMP
IO1-S	DN100	PVC	PLASTIC NON-TRAFFICABLE LID

EXISTING WATER MAIN SCHEDULE		
MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eW-100	DN100	DUCTILE IRON CEMENT LINED
eW-150	DN150	CAST IRON

WATER MAIN SCHEDULE		
MARK	PIPE SIZE	TYPE
W-20	ID 20 (OD 32)	PEX 100
W-32	ID 32 (OD 40)	HDPE SDR11 PN16
W-40	ID 40 (OD 50)	HDPE SDR11 PN16

F	REVISED DEVELOPMENT APPLICATION	SCP	29-05-25
E	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25
D	REVIEW / INFORMATION	OWM	07-02-25
C	REVISED DEVELOPMENT APPLICATION	OWM	07-11-24
B	DEVELOPMENT APPLICATION	OWM	27-09-24
A	REVIEW / INFORMATION	OWM	26-09-24
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:

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3. THE RECIPIENT IS RESPONSIBLE FOR ENSURING THAT THEY REVIEW THE STATUS OF THIS DRAWING, AND IN RECEIPT OF THE CURRENT REVISION PRIOR TO USE.

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COLLECTIVE CONSULTING

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Level 1, 10-14 Paterson Street

Launceston TAS 7250

P (03) 6334 0854

collectiveconsulting.com.au

CLIENT / ARCHITECT:

CUNIC HOMES

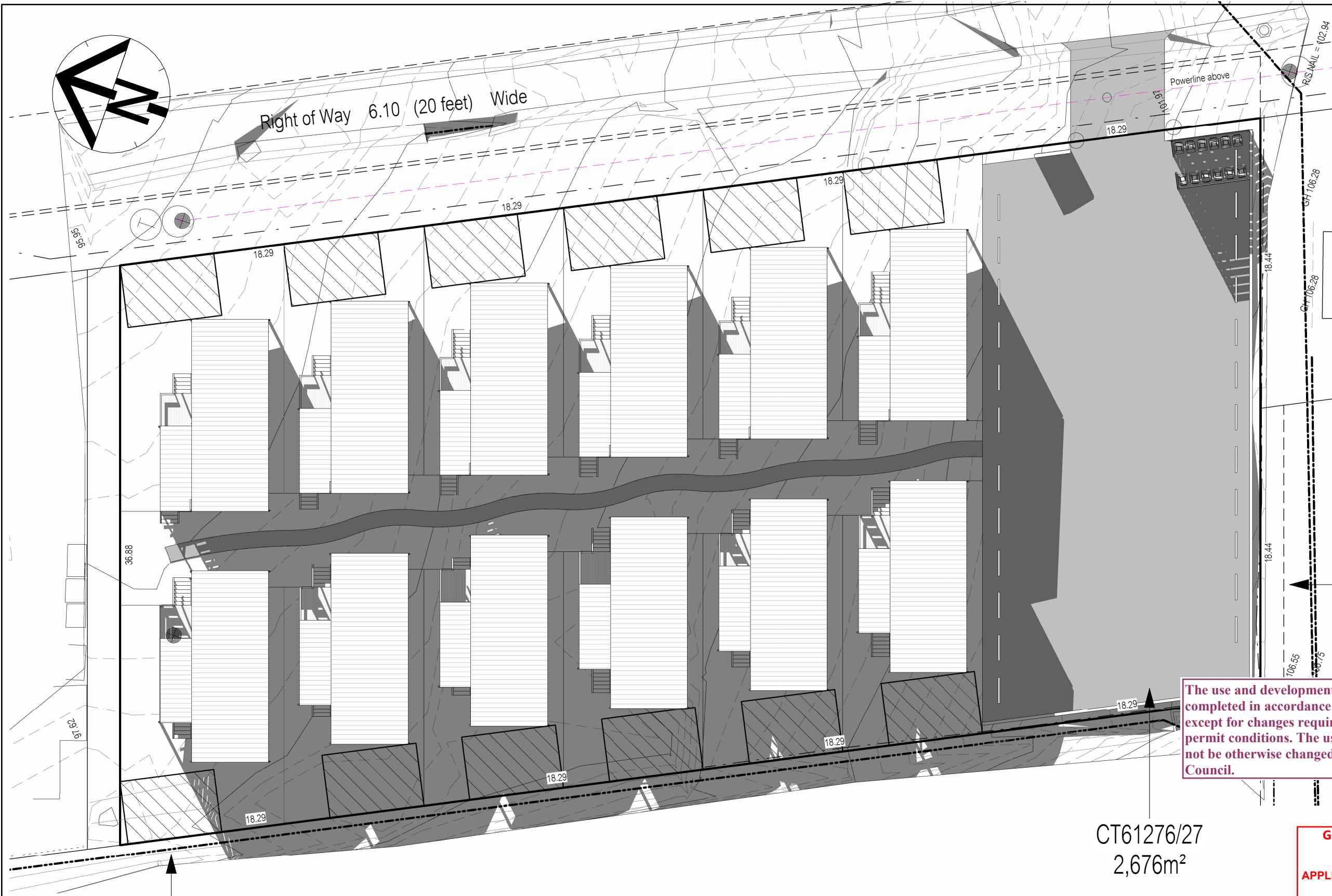


CUNIC homes

Build for life

PROJECT DETAILS:				
168a ABBOTSFIELD ROAD, CLAREMONT				
UNITS DEVELOPMENT				
DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE:			
INFRASTRUCTURE PLAN			
SCALE:	PROJECT No:	DRAWING No:	REVISION:
1:100 @ A1 1:200 @ A3	241043	C401	F



"THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES PTY LTD FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE. DUE TO THE NATURE OF THE TITLE BOUNDARY INFORMATION, IF ANY STRUCTURES ARE DESIGNED ON OR NEAR A BOUNDARY WE WOULD RECOMMEND A RE-MARK SURVEY BE COMPLETED AND LODGED WITH THE LAND TITLES OFFICE TO SUPPORT THE BOUNDARY DEFINITION.

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DRAINAGE EASEMENT 5 FEET WIDE

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CT61276/27
2,676m²

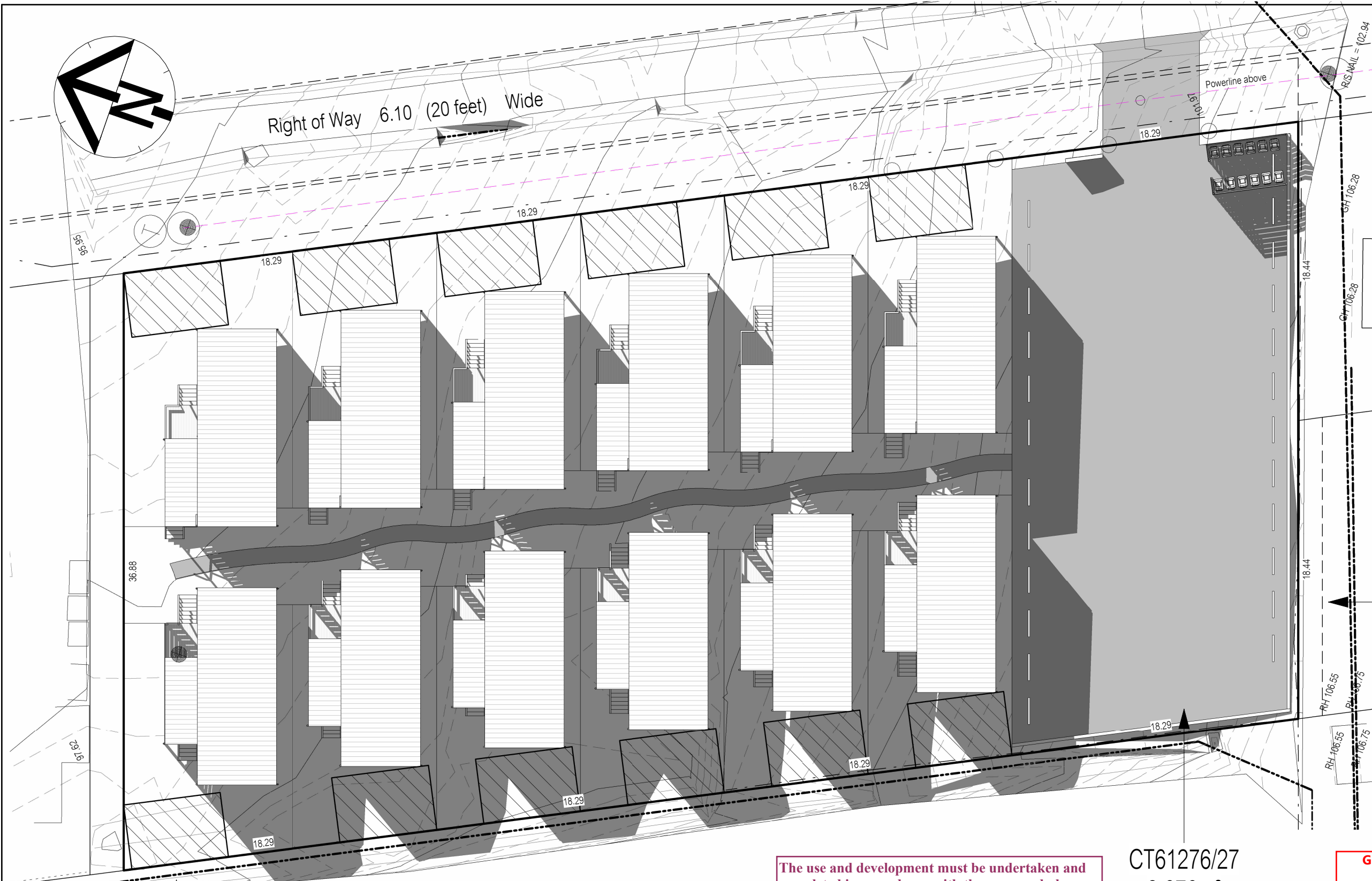
GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-23-270
DATE RECEIVED: 25/02/2025



DRAINAGE EASEMENT 5 FEET WIDE

<div>NOTES</div> <ul style="list-style-type: none">LATITUDE: -42°47' LONGITUDE: 147°14'No allowance for surrounding topography.Ground terrain for development site derived from detail survey.			<div>Notes</div> <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Do not scale from these drawings.No changes permitted without consultation with designer.		Designer:	Client / Project info	<div></div>	SHADOW DIAGRAM - 21/06/25	
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		9am	
<div><div>B</div><div>2 August 2024</div><div>ST</div></div>		Drawn	ST	U249					
		Date	11 July 2024	Sheet					
		Scale	1 : 250	N/A					
<div>No.</div>	<div>Date</div>	<div>Int.</div>	Amendment changes as per cover sheet						



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CT61276/27
2,676m²

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-23-270

DATE RECEIVED: 25/02/2025



NOTES

- LATITUDE: -42°47'
- LONGITUDE: 147°14'
- No allowance for surrounding topography.
- Ground terrain for development site derived from detail survey.

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
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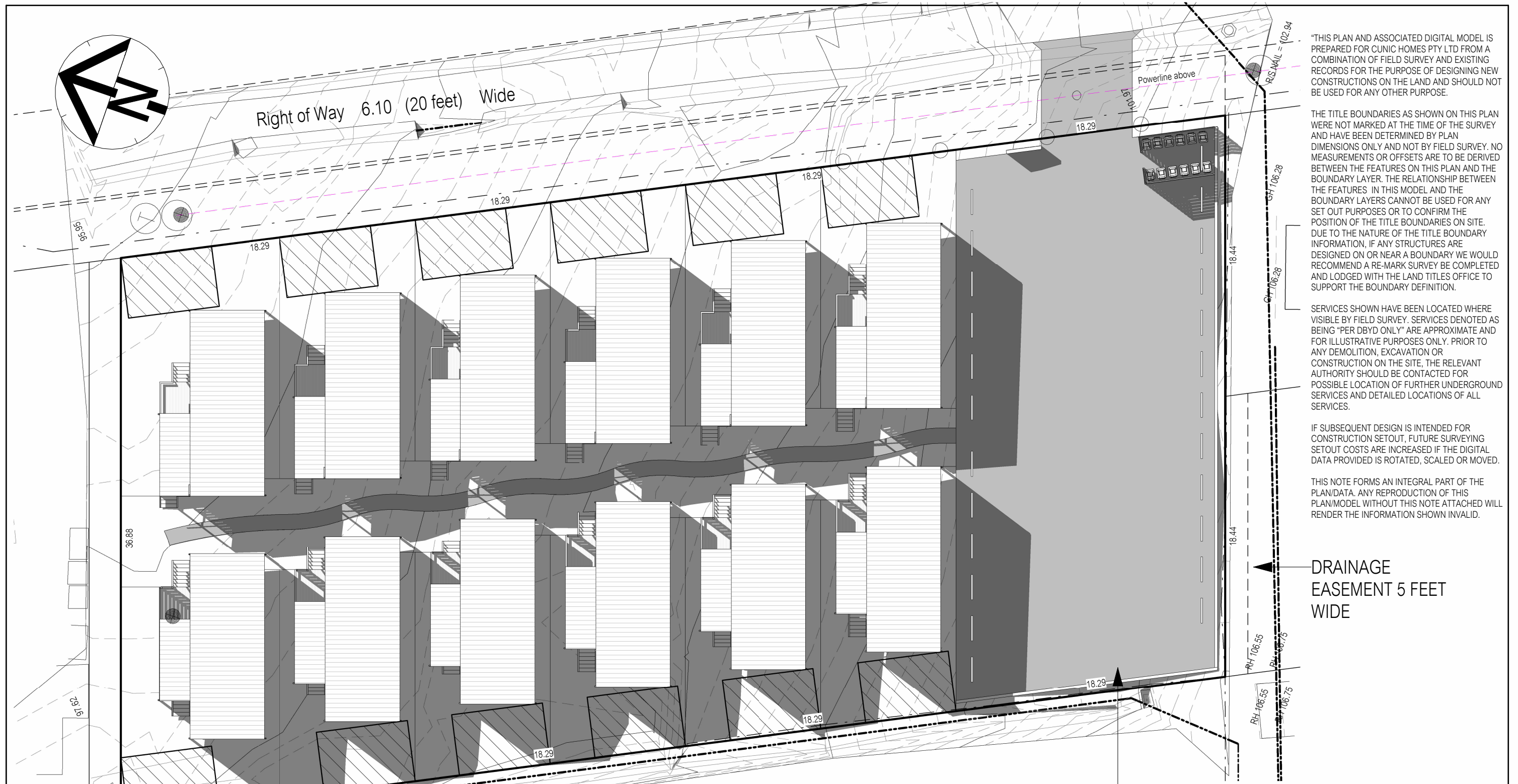
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168a Abbotsfield Road
CLAREMONT



SHADOW DIAGRAM - 21/06/25		
10am		
Drawn	ST	U249
Date	11 July 2024	Sheet
Scale	1:250	N/A

B	2 August 2024	ST
No.	Date	Int.

Amendment changes as per cover sheet



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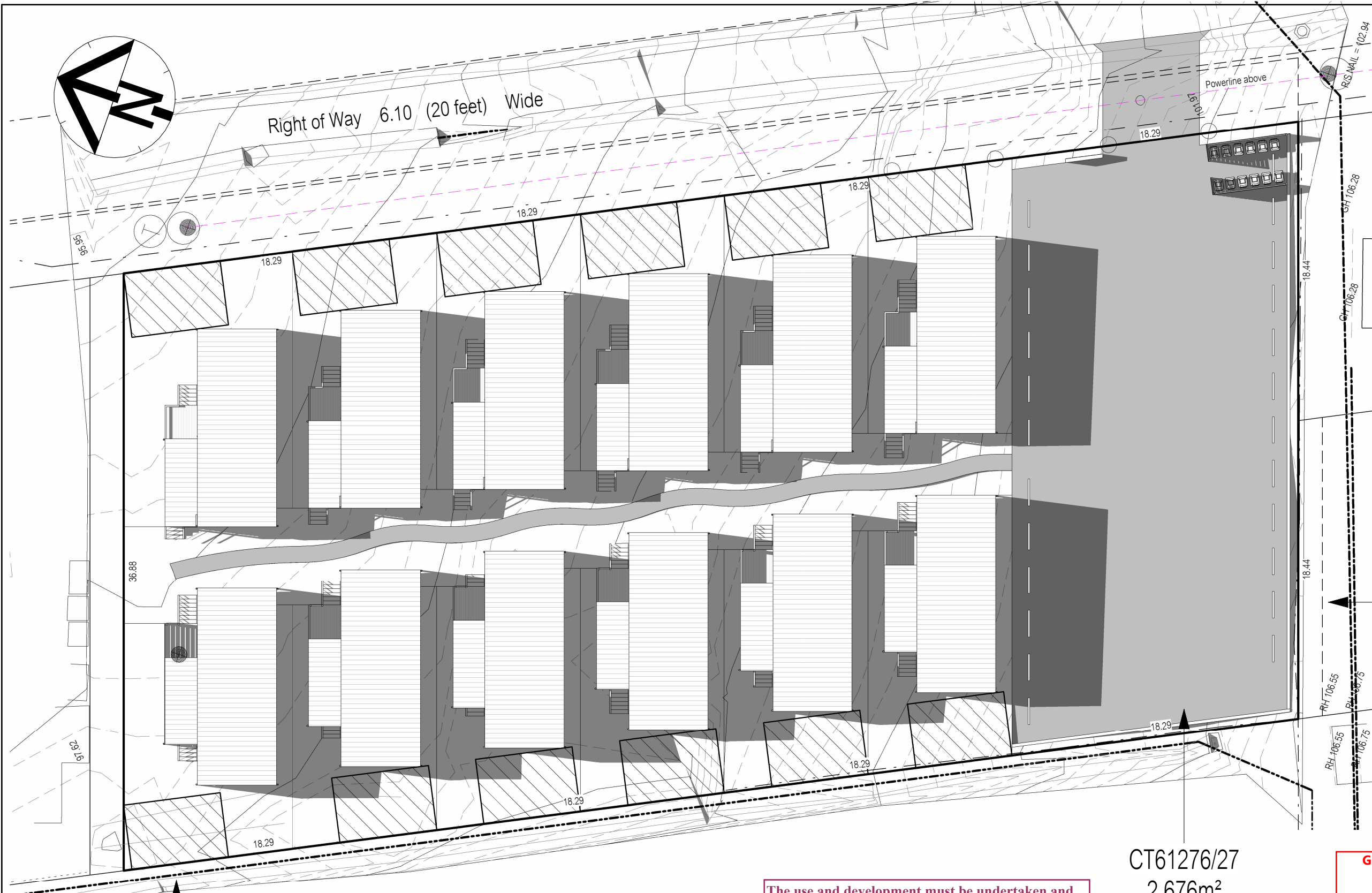
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Client / Project info
PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT



SHADOW DIAGRAM - 21/06/25		
11am		
Drawn	ST	U249
Date	11 July 2024	Sheet
Scale	1:250	N/A





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CT61276/27
2,676m²

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-23-270

DATE RECEIVED: 25/02/2025



SHADOW DIAGRAM - 21/06/25

1pm

Drawn	ST	U249
Date	11 July 2024	Sheet
Scale	1:250	

N/A

- NOTES
- LATITUDE: -42°47'
LONGITUDE: 147°14'
 - No allowance for surrounding topography.
 - Ground terrain for development site derived from detail survey.

- Notes
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 - All materials to be installed according to manufacturers specifications.
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Email:
info@anotherperspective.com.au

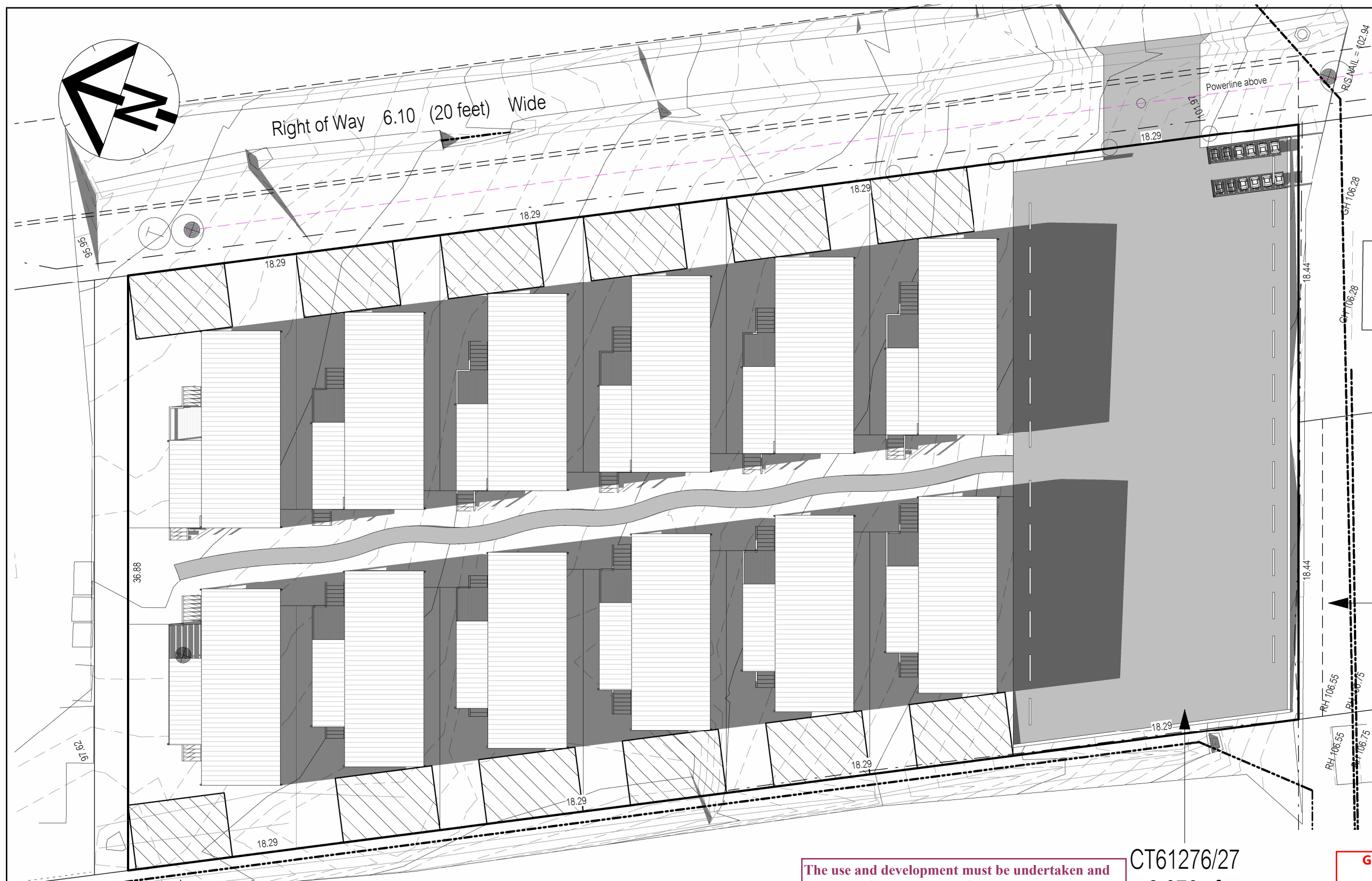
Client / Project info

PROPOSED CUNIC UNIT DEVELOPMENT
168a Abbotsfield Road
CLAREMONT



B	2 August 2024	ST
No.	Date	Int.

Amendment changes as per cover sheet



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DRAINAGE EASEMENT 5 FEET WIDE


DRAINAGE EASEMENT 5 FEET WIDE

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CT61276/27
2,676m²

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-23-270
DATE RECEIVED: 25/02/2025



<div>NOTES</div> <ul style="list-style-type: none">LATITUDE: -42°47' LONGITUDE: 147°14'No allowance for surrounding topography.Ground terrain for development site derived from detail survey.	<div>Notes</div> <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Do not scale from these drawings.No changes permitted without consultation with designer.	Designer:	Client / Project info	<div><div>CUNIC homes</div><div>Built for you</div></div>	SHADOW DIAGRAM - 21/06/25		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		2pm	ST	U249
					Drawn		
					Date	11 July 2024	Sheet
					Scale	1 : 250	N/A
Amendment changes as per cover sheet							



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CT61276/27
2,676m²

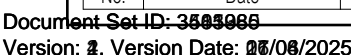
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

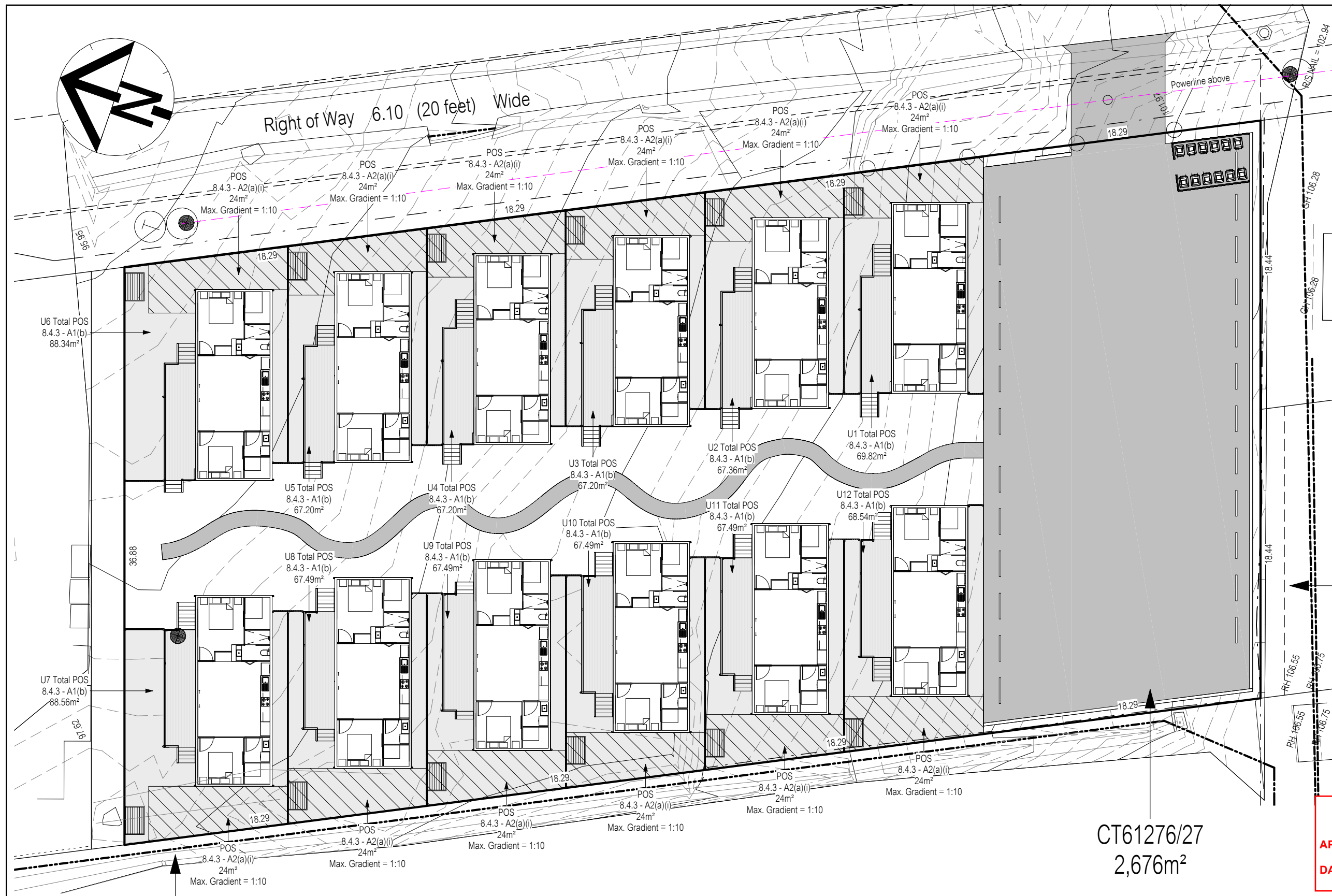
APPLICATION No. : PLN-23-270

DATE RECEIVED: 25/02/2025



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		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		3pm	DrawnSTU249
					Date11 July 2024	Sheet
					Scale1 : 250	N/A
Amendment changes as per cover sheet						





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DRAINAGE EASEMENT 5 FEET WIDE

CT61276/27
2,676m²

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-270

DATE RECEIVED: 06/11/2025

DRAINAGE EASEMENT 5 FEET WIDE



C	5 November 2024	ST
A	11 July 2024	ST
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
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Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info
PROPOSED CUNIC UNIT DEVELOPMENT
168a Abbotsfield Road
CLAREMONT



PRIVATE OPEN SPACE PLAN		
Drawn	ST	U249
Date	11 July 2024	Sheet
Scale	1 : 250	01b/25



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DRAINAGE EASEMENT 5 FEET WIDE

CT61276/27
2,676m²

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-270

DATE RECEIVED: 06/11/2025



C	5 November 2024	ST
A	11 July 2024	ST
No.	Date	Int.

Amendment changes as per cover sheet

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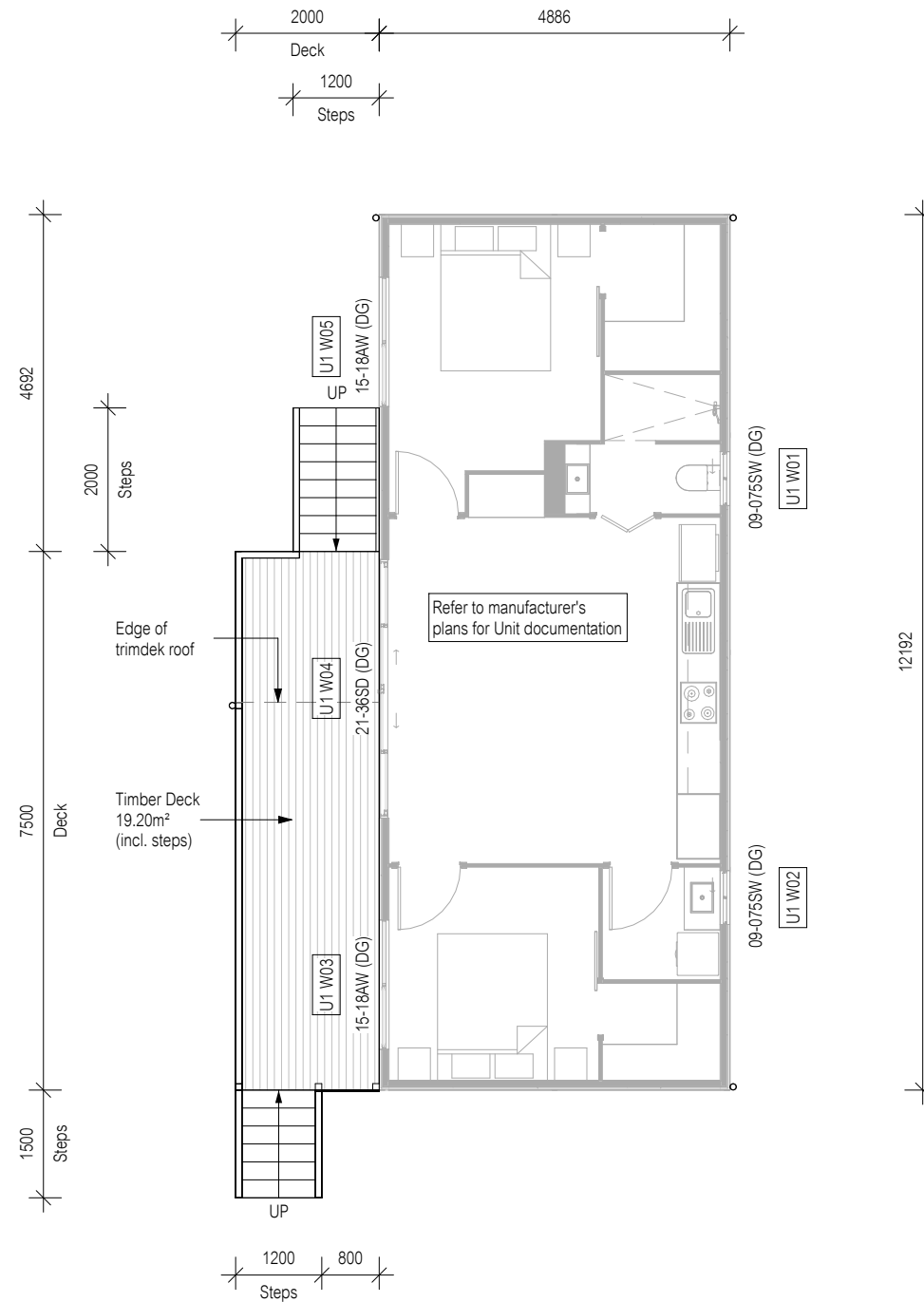
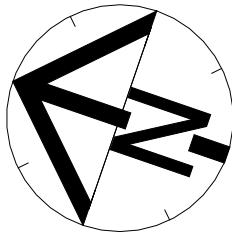
Client / Project info

PROPOSED CUNIC UNIT DEVELOPMENT

168a Abbotsfield Road
CLAREMONT

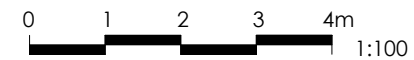



COMMUNAL AREA PLAN		
Drawn	ST	U249
Date	11 July 2024	Sheet
Scale	1 : 250	01c/25



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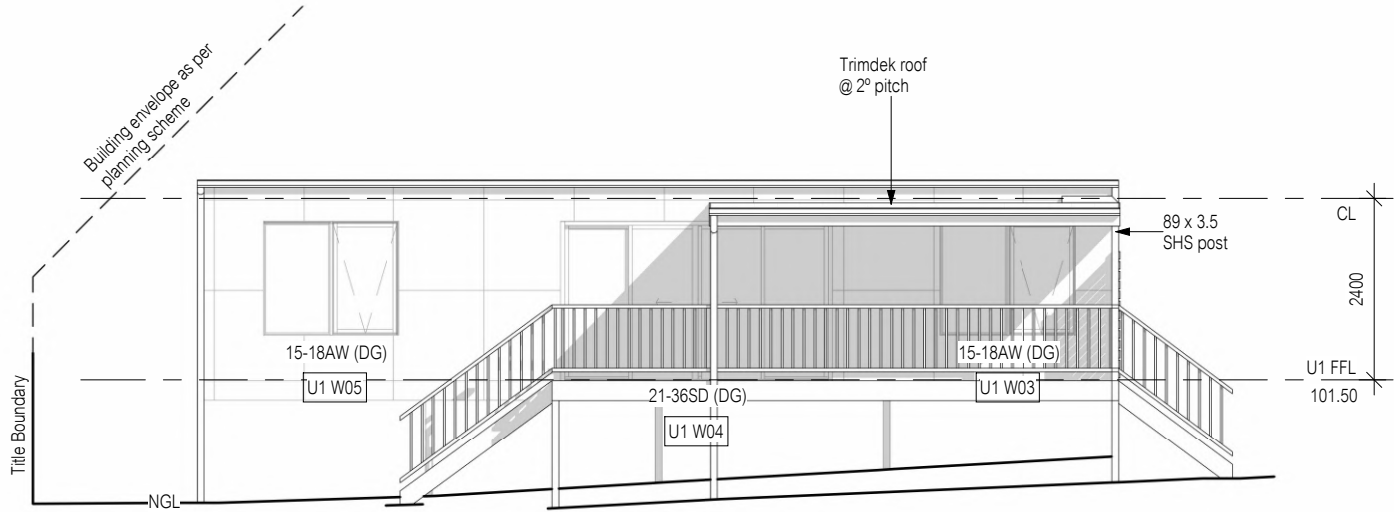
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-270
DATE RECEIVED: 6/11/2024



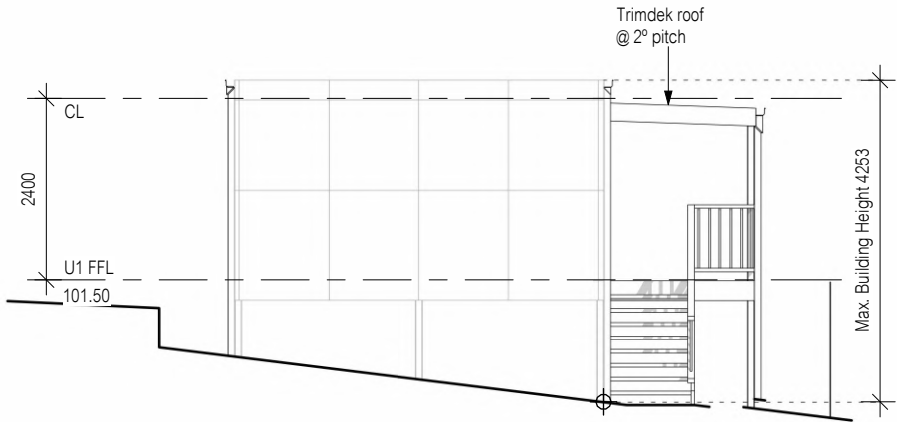
Floor Area = Refer to Manufacturer's Documentation		<div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div>	<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div></div>	UNIT 1 FLOOR PLAN	
<div>—● Articulation joints</div>	<div>☉ Smoke Alarm (interconnected where more than 1)</div>			<div>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</div>	<div>PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT</div>		<div>DrawnST</div>	<div>U249</div>
Amendment changes as per cover sheet							<div>Date11 April 2024</div>	<div>Sheet</div>
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Material	Colour
Trimdek Roof	tbc

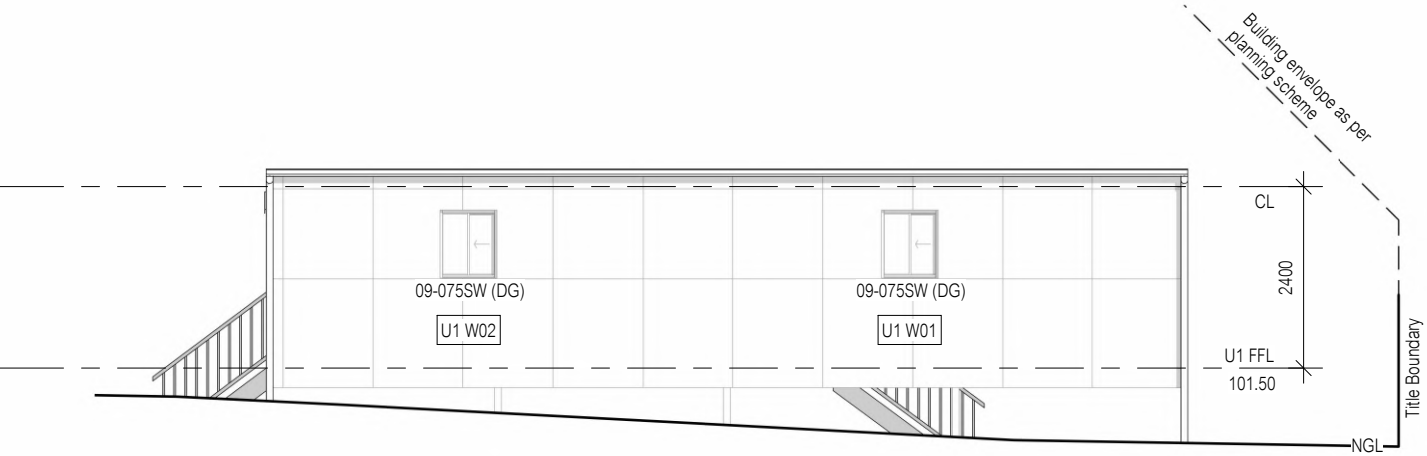
All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



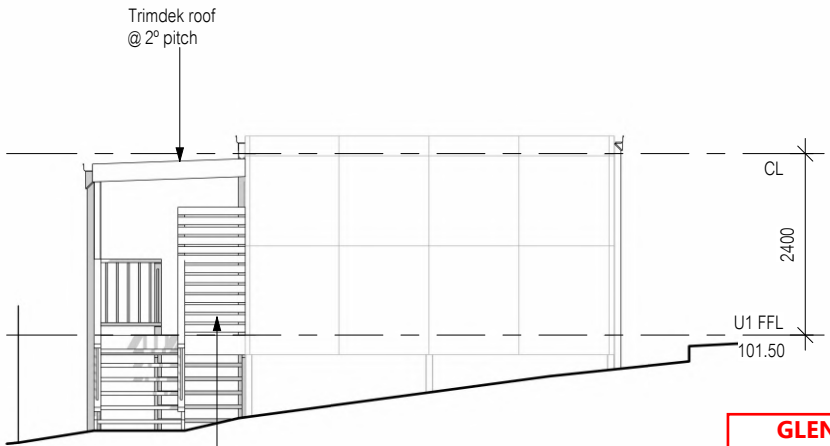
North Elevation



East Elevation



South Elevation




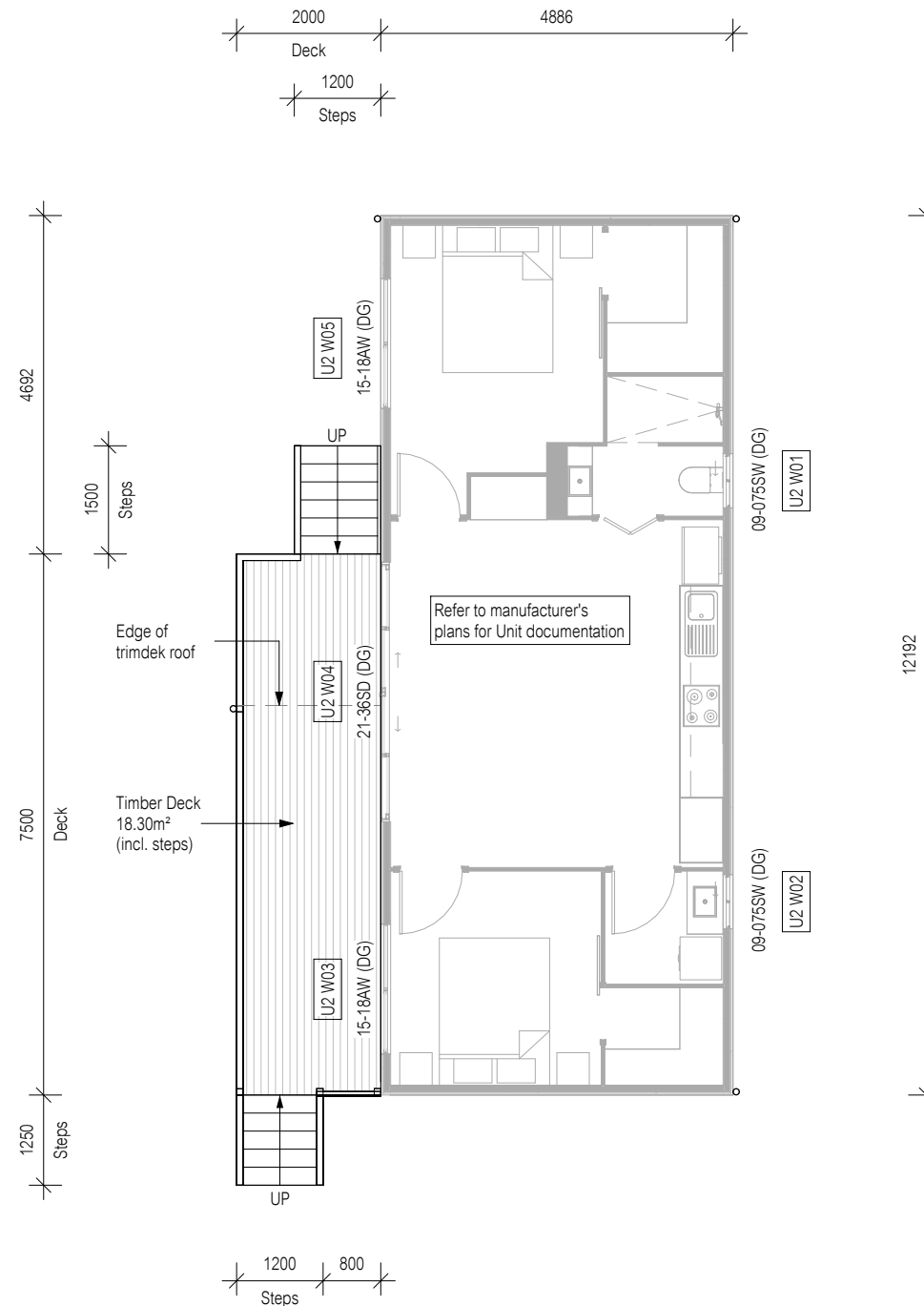
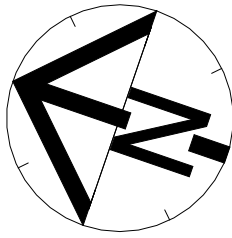
West Elevation

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-270
DATE RECEIVED: 6/11/2024

B	2 August 2024	ST
No.	Date	Int.

<div><div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div><div>LEGEND: AJ - Articulation Joint BV - Brick Vent</div><div>Amendment changes as per cover sheet</div></div> <div>Shadows shown for stylisation purposes only</div>	<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div></div>	UNIT 1 ELEVATIONS		
		<div>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</div>	<div>PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT</div>		Drawn	ST	U249
					Date	12 April 2024	Sheet
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					Copyright ©		

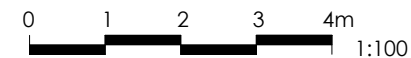


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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**


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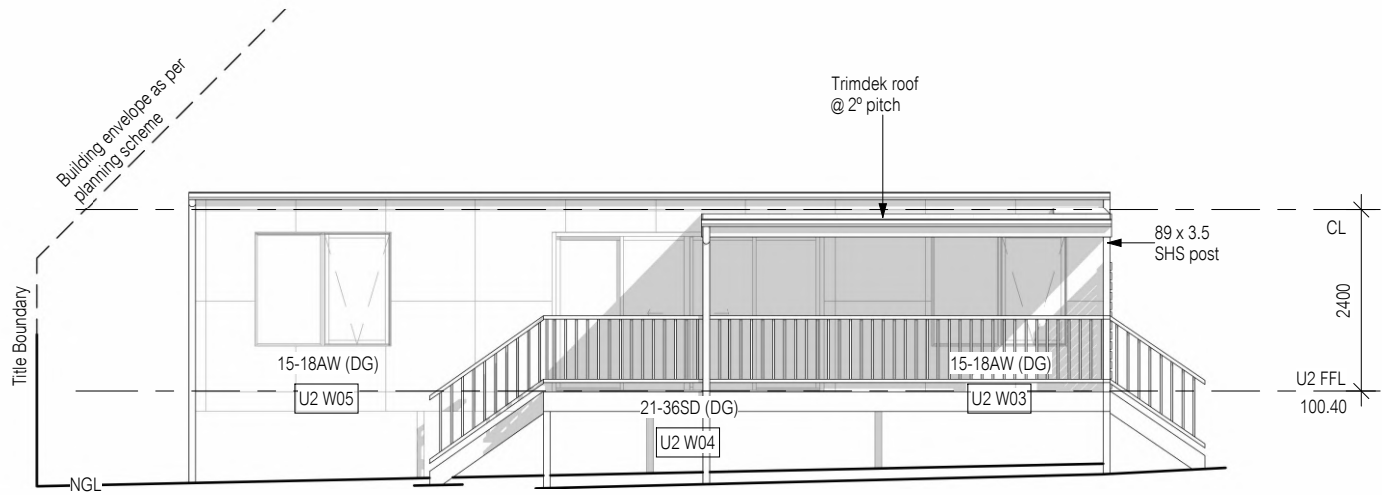
B	2 August 2024	ST
No.	Date	Int.

Document Set ID: 3505085
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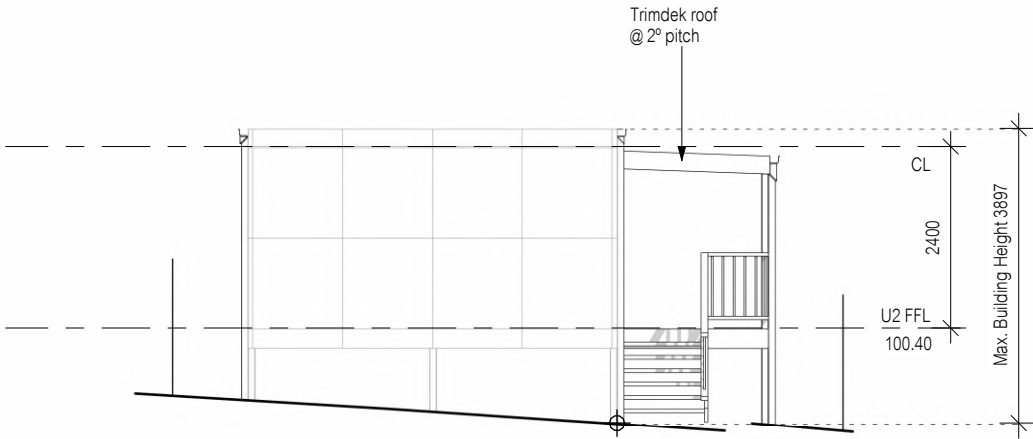
Floor Area = Refer to Manufacturer's Documentation		<div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div>	<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div> CUNIC homes <i>Built for you</i></div>	UNIT 2 FLOOR PLAN		
<div>—● Articulation joints</div> <div>☉ Smoke Alarm (interconnected where more than 1)</div>	<div>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</div>			<div>PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT</div>	Drawn		ST	U249	
							Date	13 June 2024	Sheet
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Amendment changes as per cover sheet							Copyright ©		

Material	Colour
Trimdek Roof	tbc

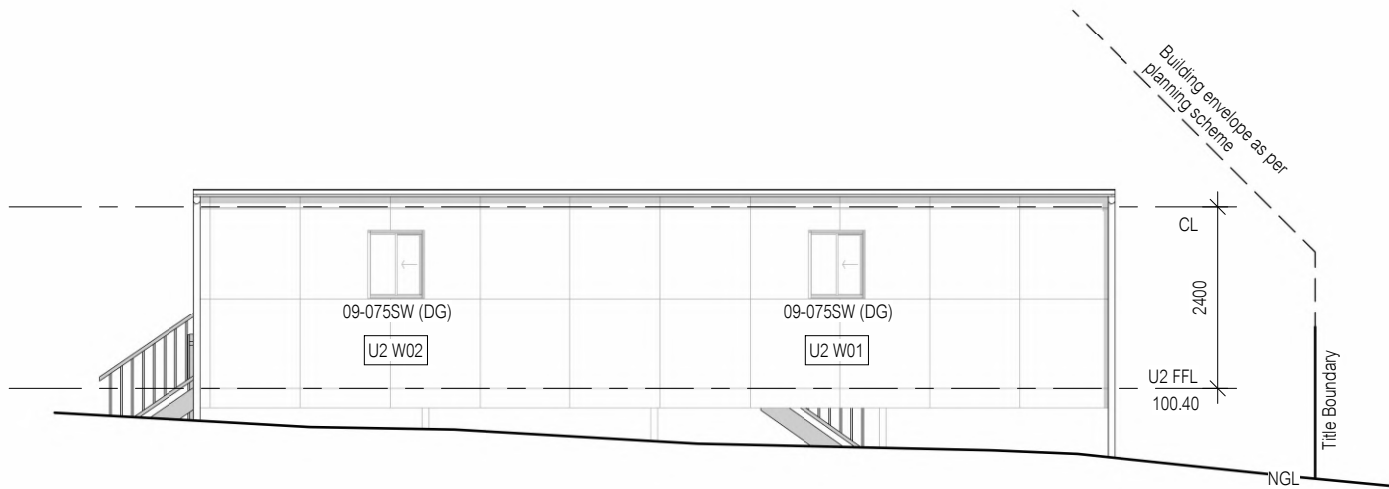
All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



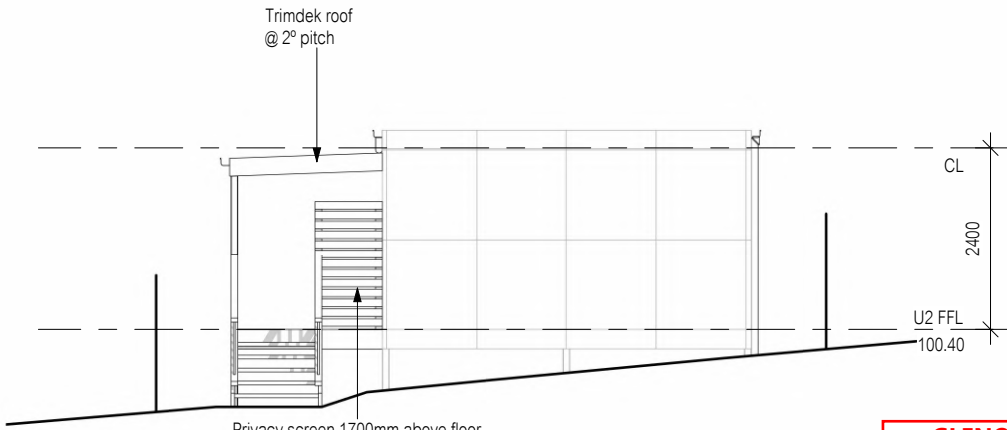
North Elevation



East Elevation



South Elevation



West Elevation

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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Amendment changes as per cover sheet

LEGEND:

AJ - Articulation Joint
BV - Brick Vent

Shadows shown for stylisation purposes only

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

Notes

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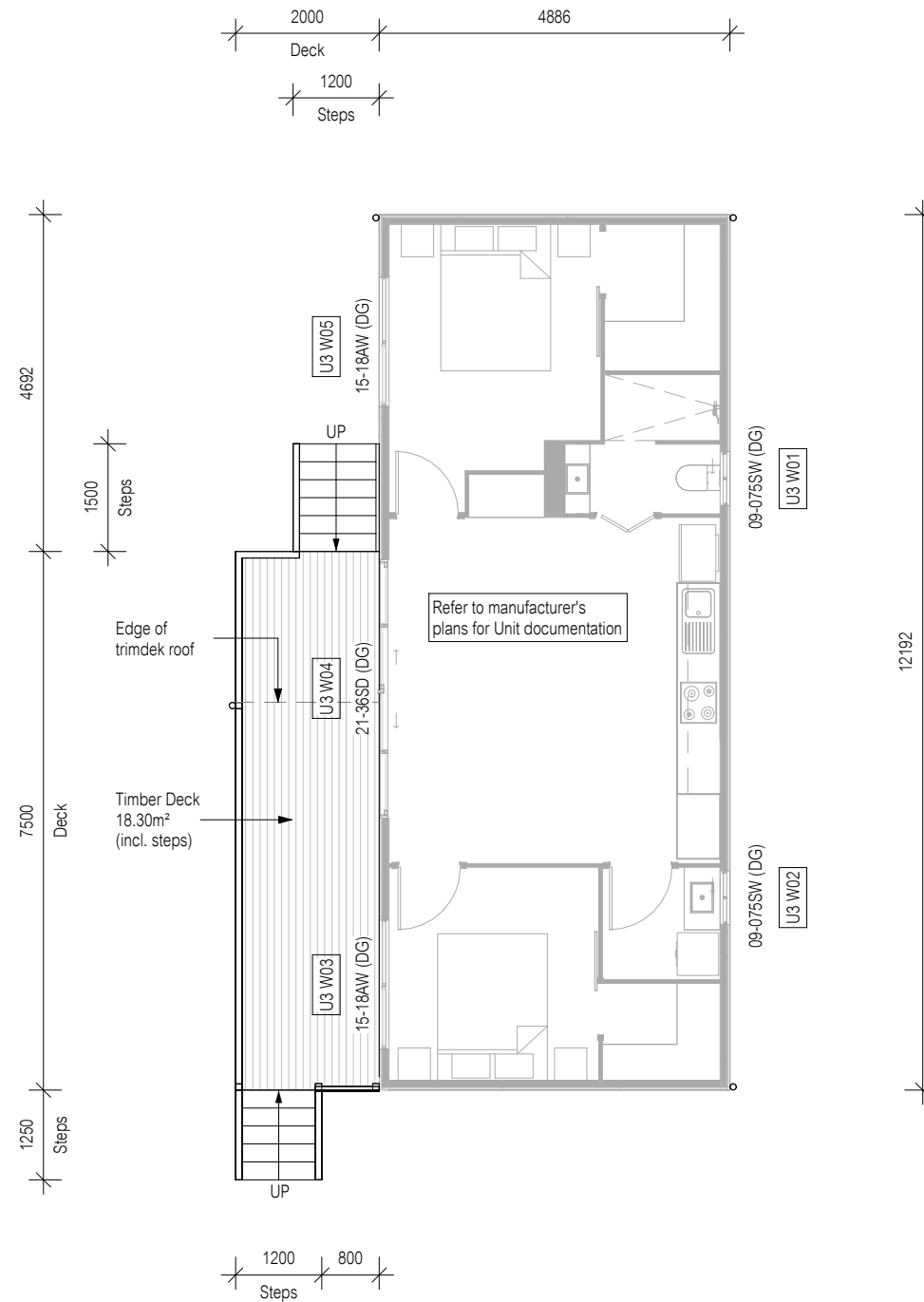
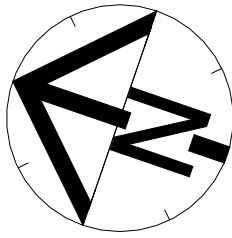
PROPOSED CUNIC UNIT DEVELOPMENT
168a Abbotsfield Road
CLAREMONT



UNIT 2 ELEVATIONS

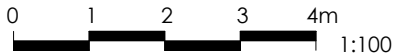
Drawn	ST	U249
Date	13 June 2024	Sheet
Scale	1 : 100	
Copyright ©		

05/25






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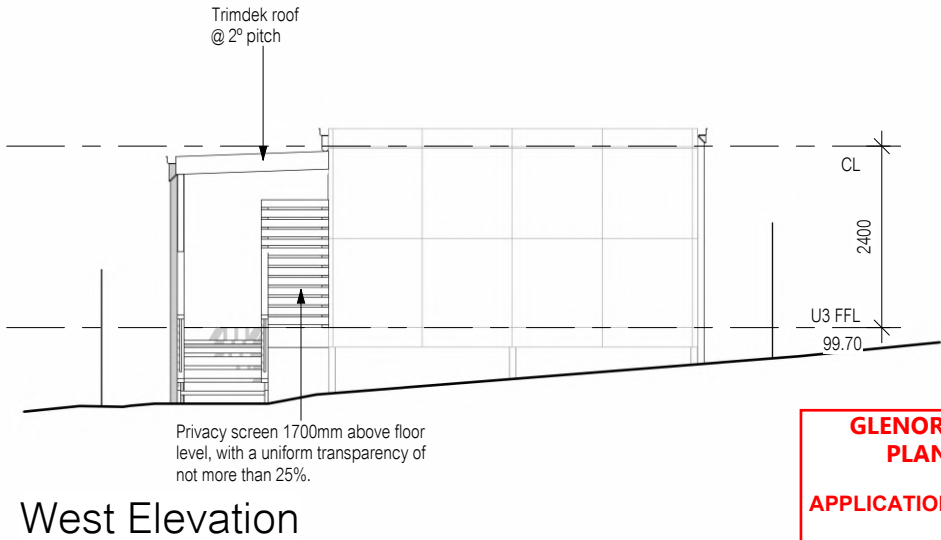
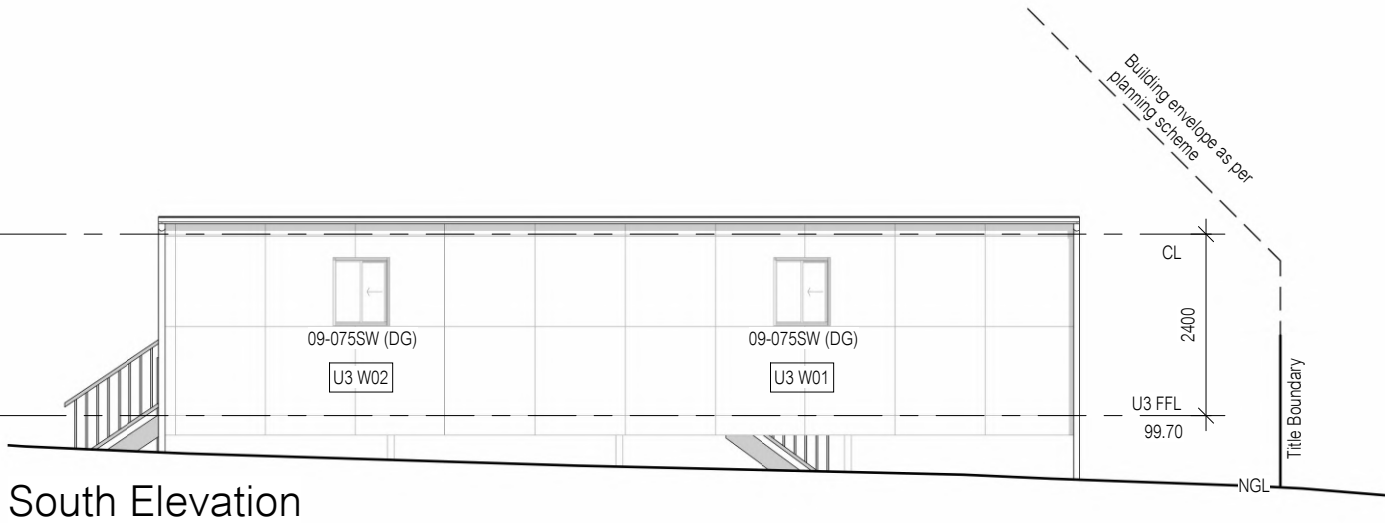
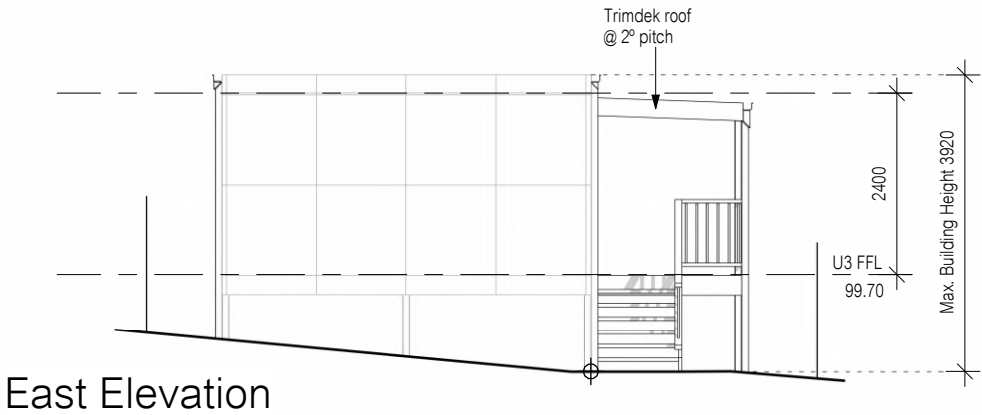
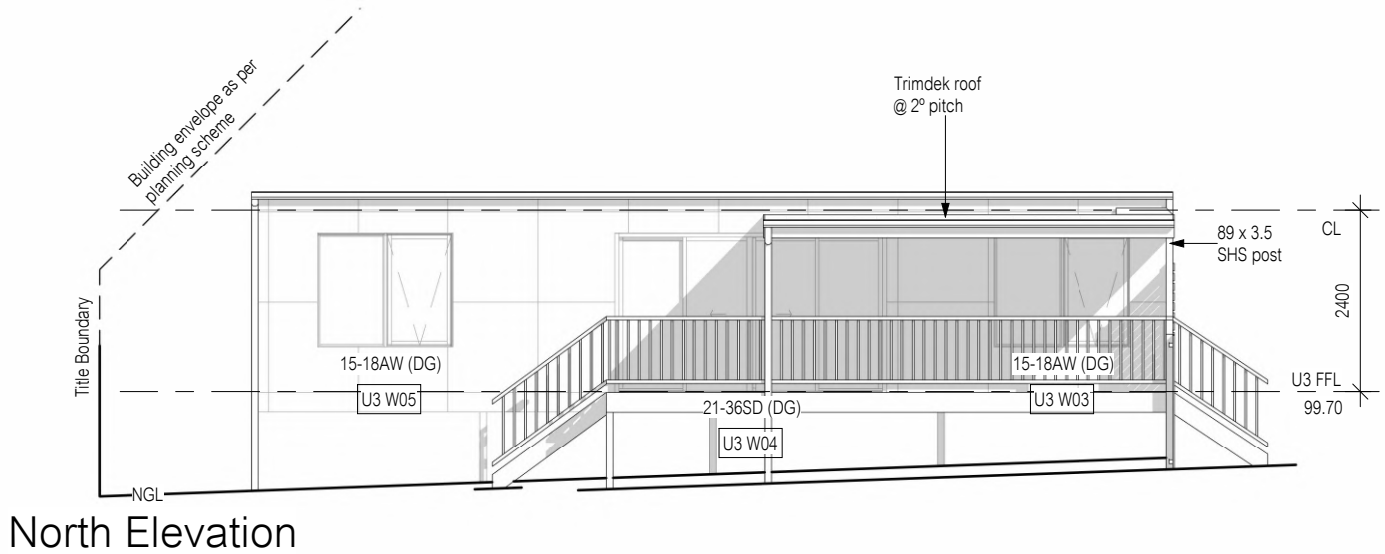
Floor Area = Refer to Manufacturer's Documentation		<div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div>	Notes	Designer:	Client / Project info	<div></div>	UNIT 3 FLOOR PLAN	
 Articulation joints	 Smoke Alarm (interconnected where more than 1)		<ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		Drawn	ST
					Date		13 June 2024	Sheet
					Scale		1 : 100	06/25
							Copyright ©	

Amendment changes as per cover sheet

06/25

Material	Colour
Trimdek Roof	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.




**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

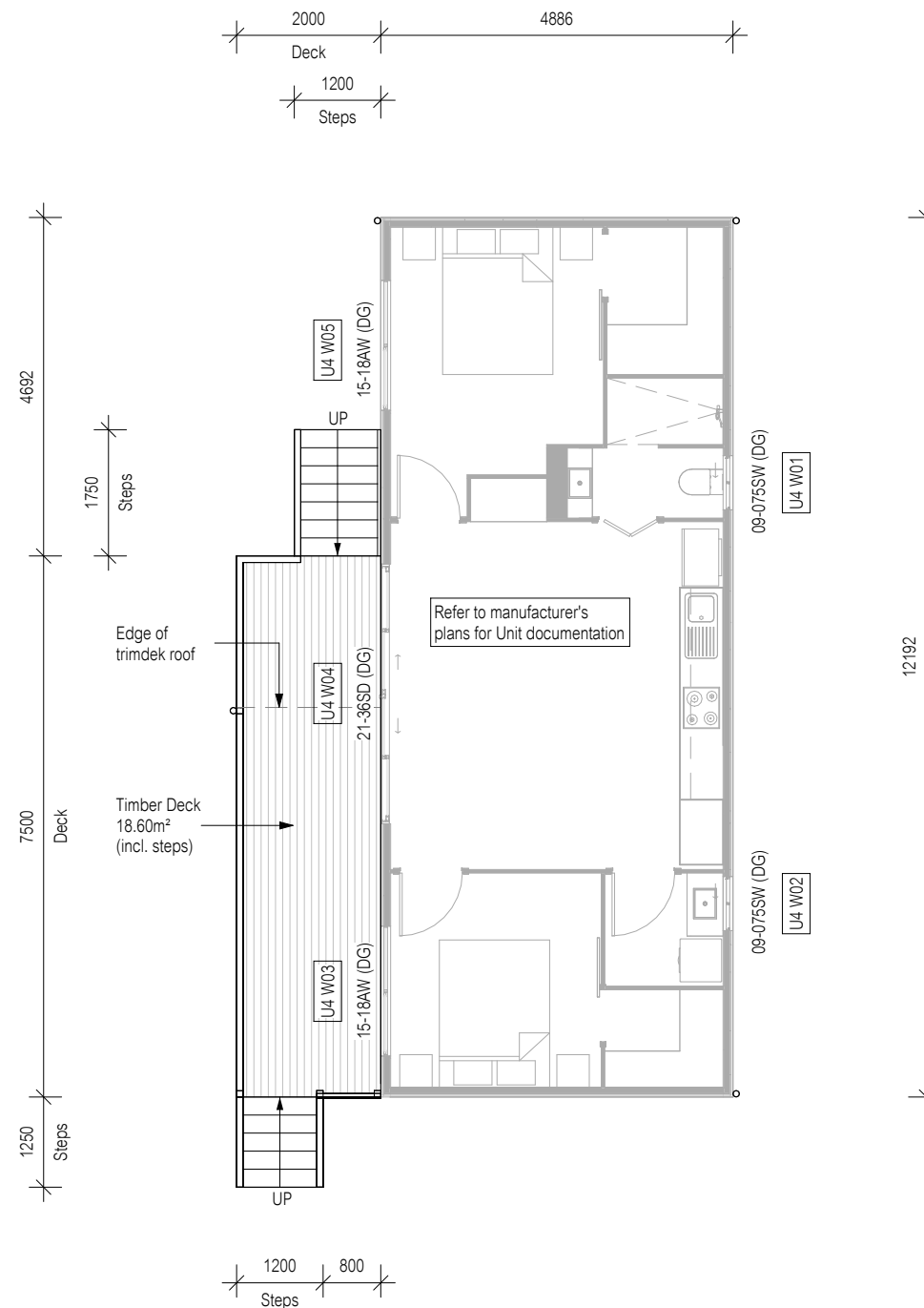
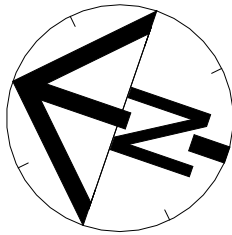
APPLICATION No. : PLN-24-270

DATE RECEIVED: 6/11/2024

The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.

B	2 August 2024	ST
No.	Date	Int.

<div><div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div><div>LEGEND: AJ - Articulation Joint BV - Brick Vent</div><div>Amendment changes as per cover sheet</div><div>Shadows shown for stylisation purposes only</div></div>	<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	<div>Designer:</div> <div>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</div>	<div>Client / Project info</div> <div>PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT</div>	<div></div>	UNIT 3 ELEVATIONS	
					Drawn	ST
		Date	13 June 2024		Sheet	
		Scale	1 : 100		07/25	
		Copyright ©				



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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**


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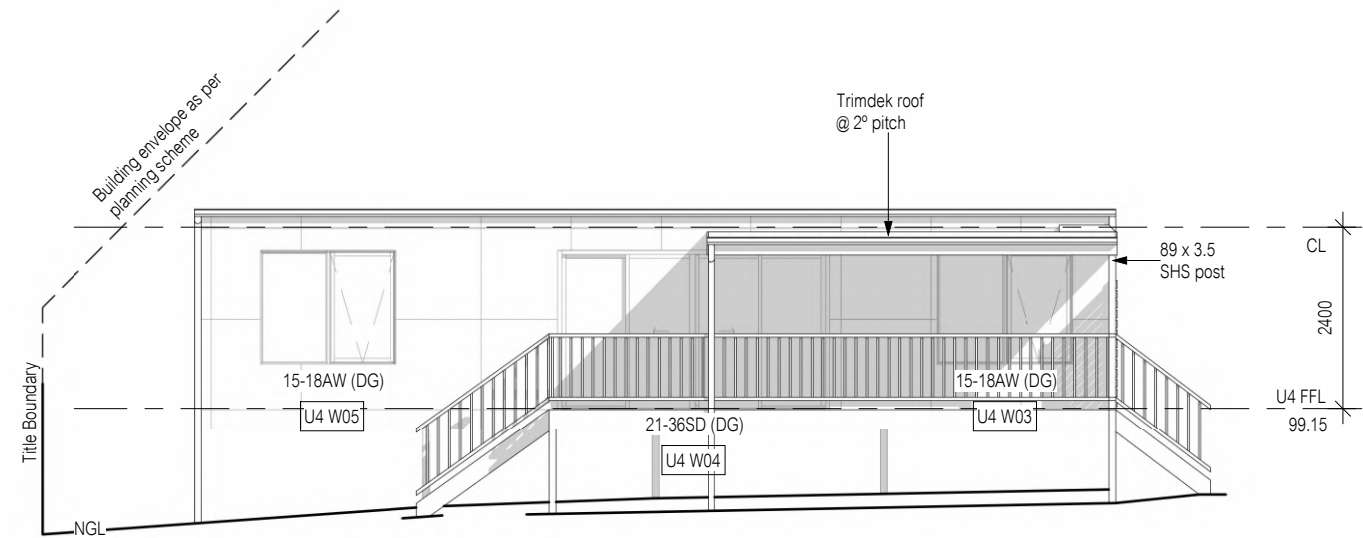
B	2 August 2024	ST
No.	Date	Int.

Document Set ID: 3505085
Version: 2, Version Date: 08/08/2025

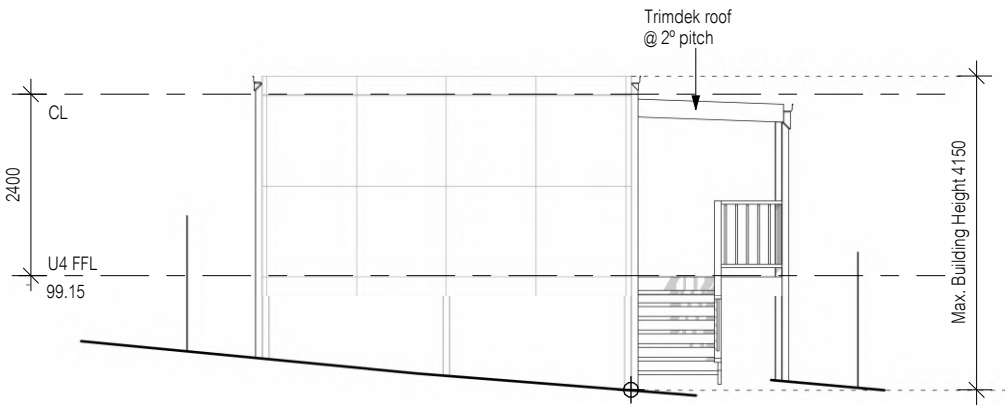
Floor Area = Refer to Manufacturer's Documentation		<div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div>	<div>Notes<ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.</div>	Designer:	Client / Project info	<div><div>CUNIC homes <i>Built for you</i></div></div>	UNIT 4 FLOOR PLAN	
<div>—● Articulation joints</div> <div>☉ Smoke Alarm (interconnected where more than 1)</div>	Amendment changes as per cover sheet			ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		DrawnST	U249
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Material	Colour
Trimdek Roof	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



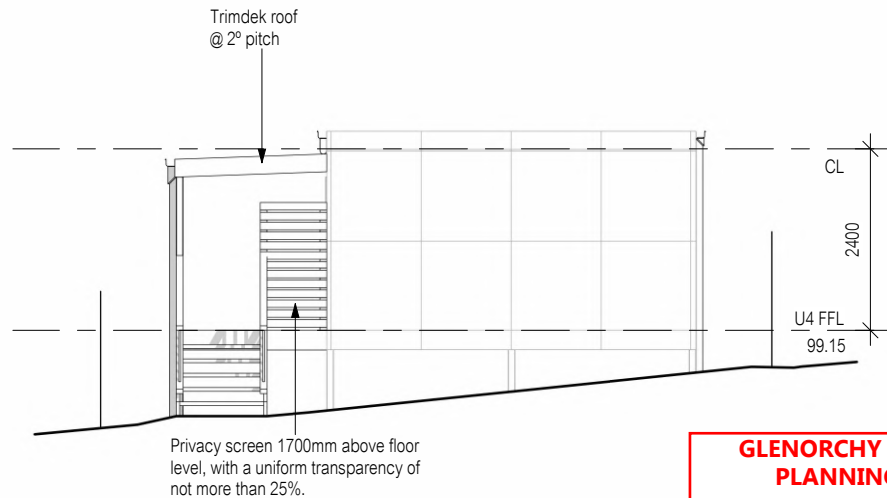
North Elevation



East Elevation



South Elevation




West Elevation

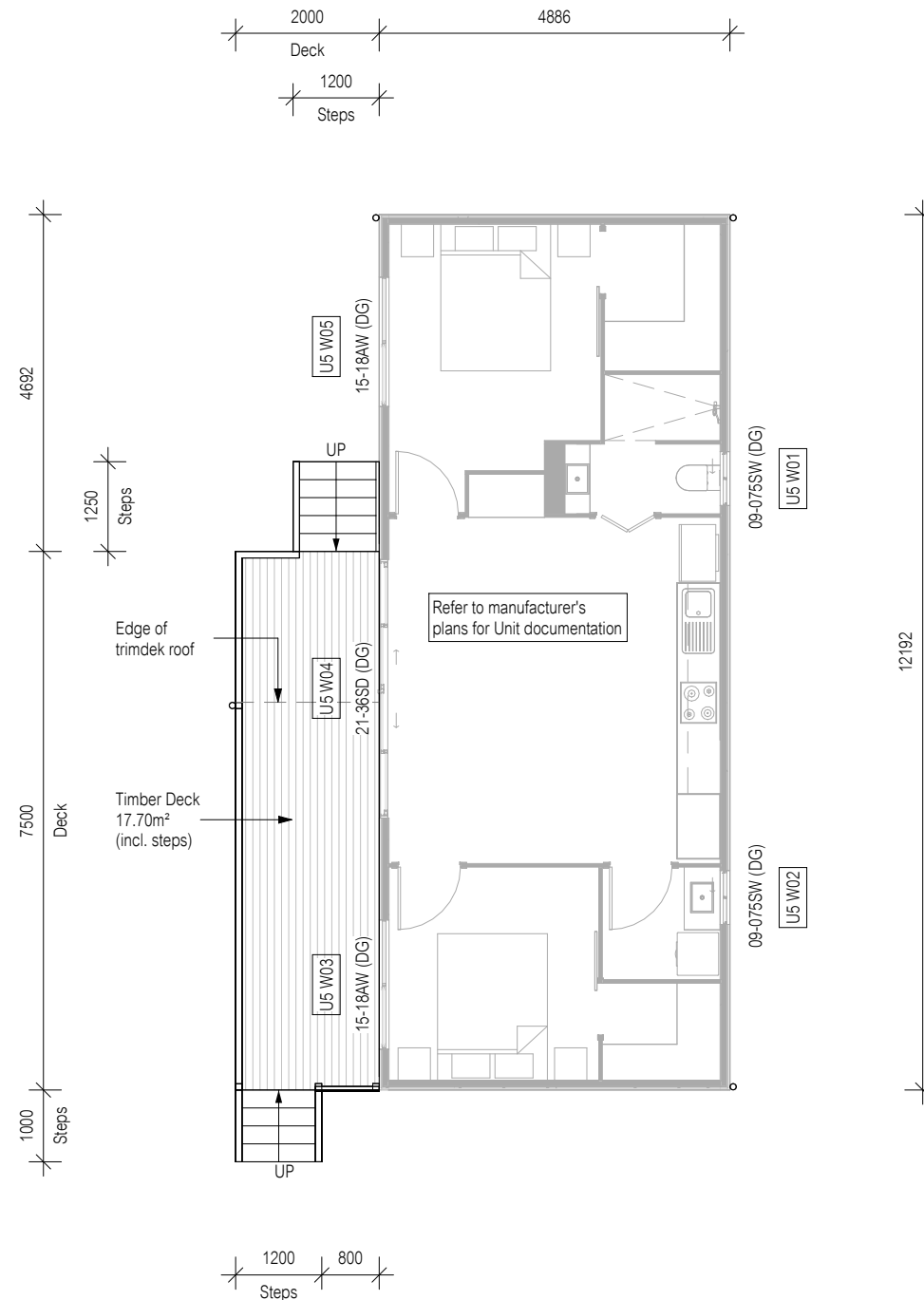
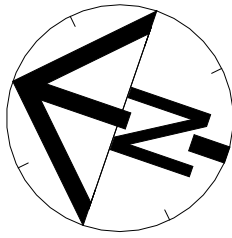
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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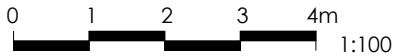
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		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		Drawn	ST	U249
					Date	13 June 2024	Sheet
					Scale	1 : 100	09/25
					Copyright ©		




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GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-270
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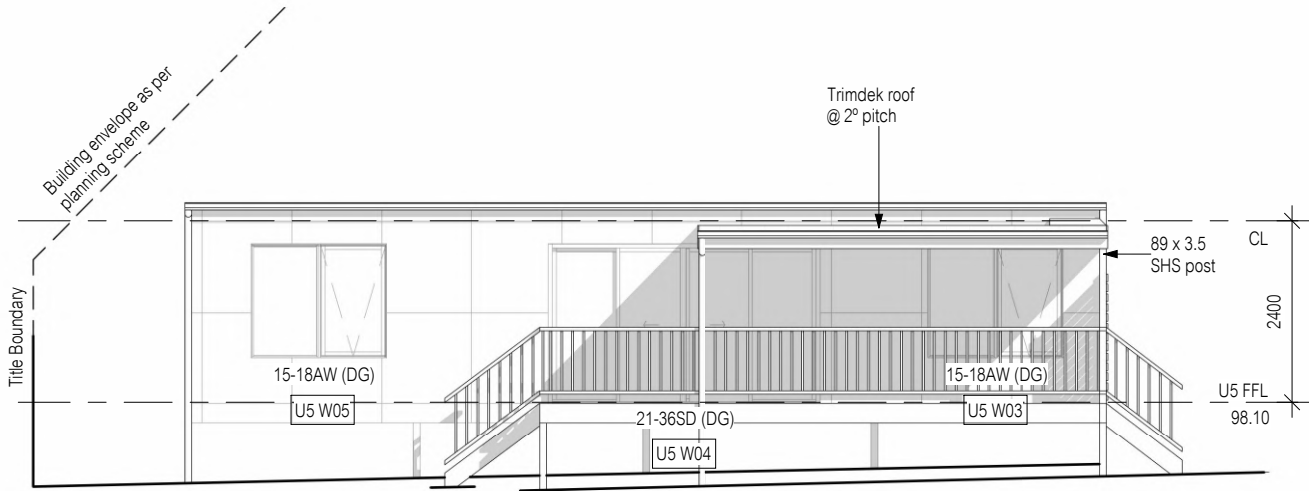
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Floor Area = Refer to Manufacturer's Documentation		<div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div>	<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div> CUNIC homes <i>Built for you</i></div>	UNIT 5 FLOOR PLAN	
<div>—● Articulation joints</div> <div>☉ Smoke Alarm (interconnected where more than 1)</div>	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au			PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT	Drawn		ST	U249
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			Copyright ©					

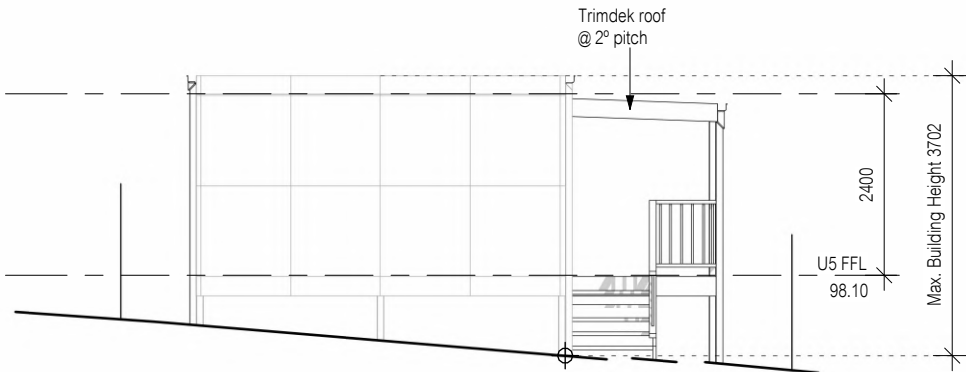
Amendment changes as per cover sheet

Material	Colour
Trimdek Roof	tbc

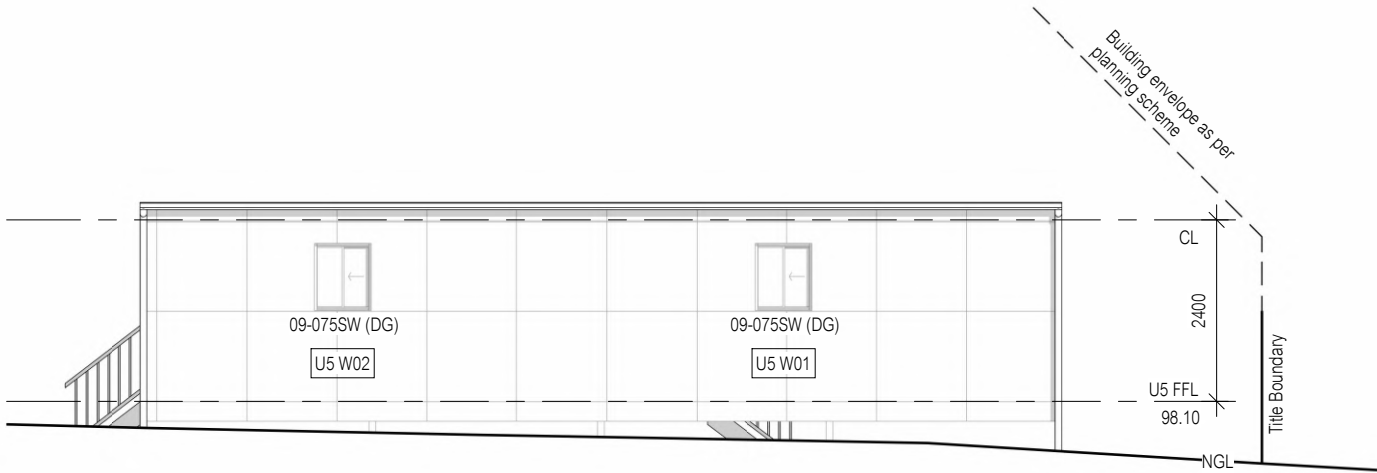
All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



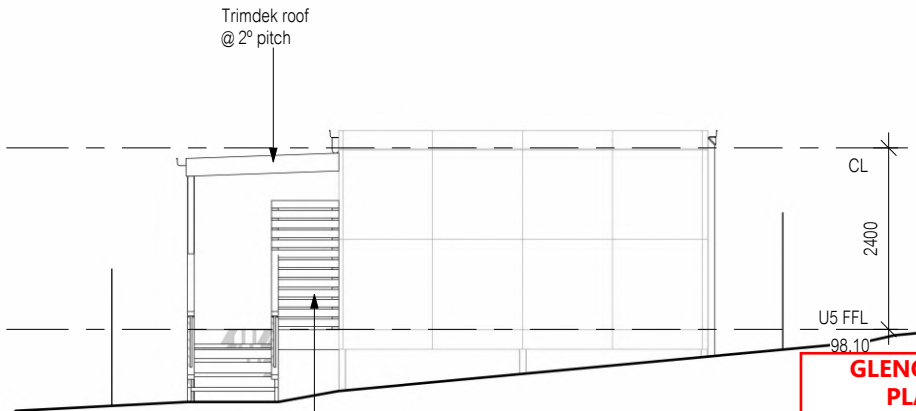
North Elevation



East Elevation



South Elevation




West Elevation

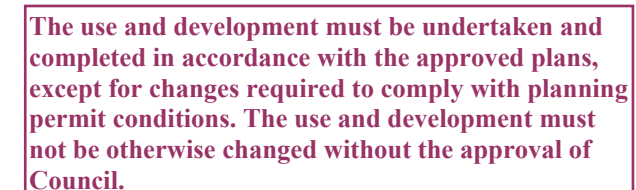
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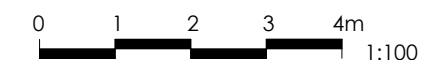
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							Drawn	ST	U249
							Date	13 June 2024	Sheet
							Scale	1 : 100	11/25
							Copyright ©		

11/25

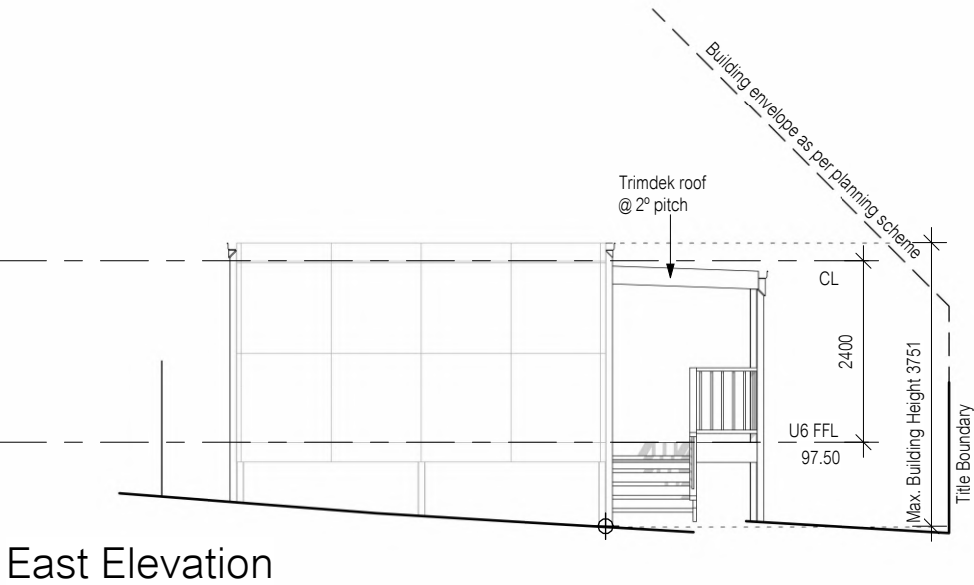
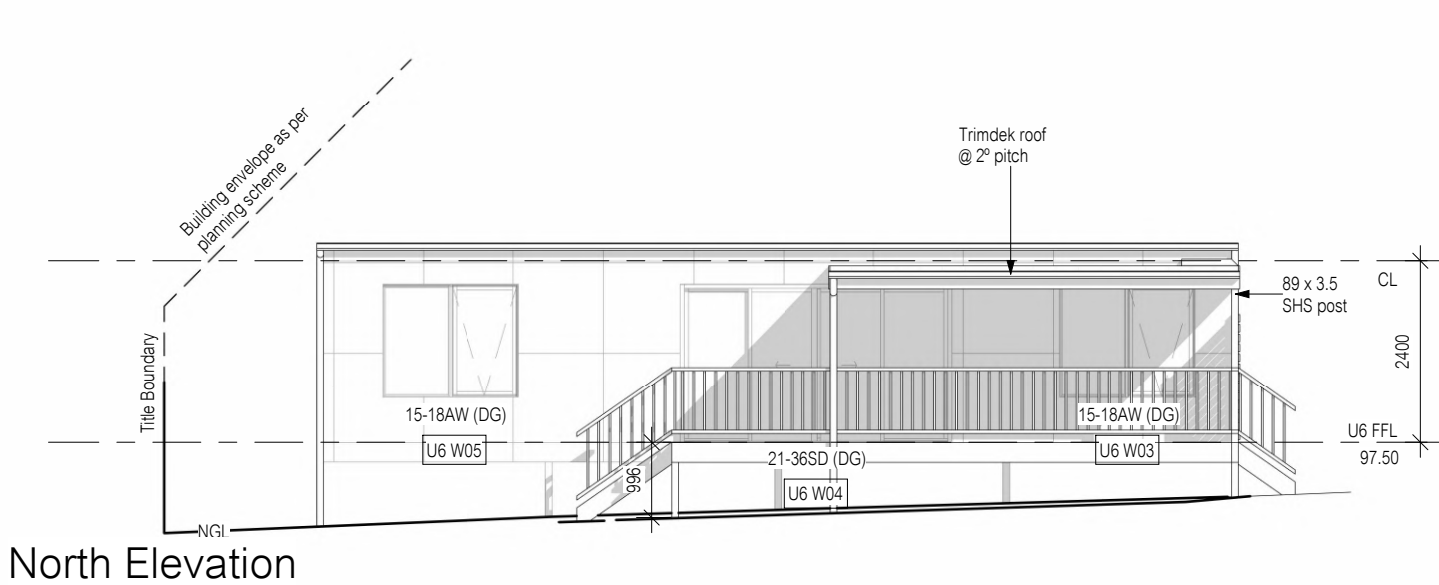


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DATE RECEIVED: 6/11/2024

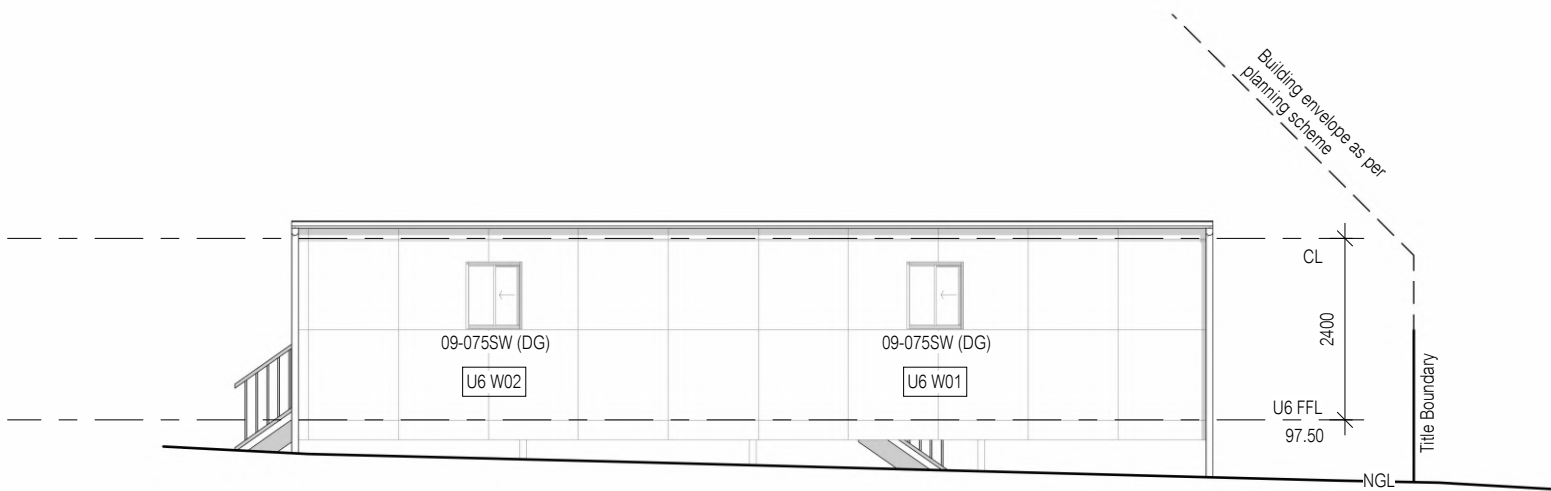


Material	Colour
Trimdek Roof	tbc

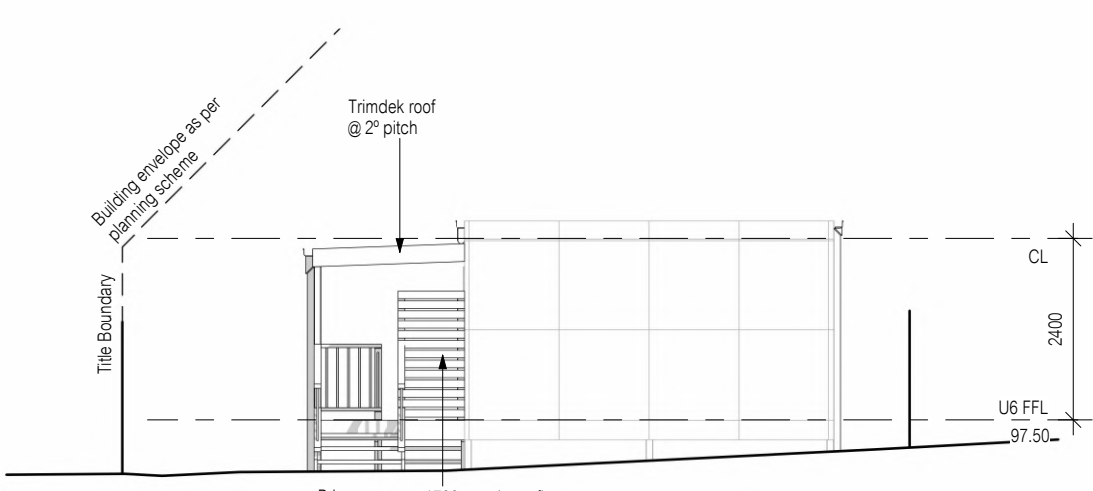
All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



East Elevation



South Elevation



West Elevation

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All window sizes to be checked and/or confirmed on site prior to ordering glazing units		
LEGEND: AJ - Articulation Joint BV - Brick Vent		
Amendment changes as per cover sheet		
Shadows shown for stylisation purposes only		

Notes

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Designer:

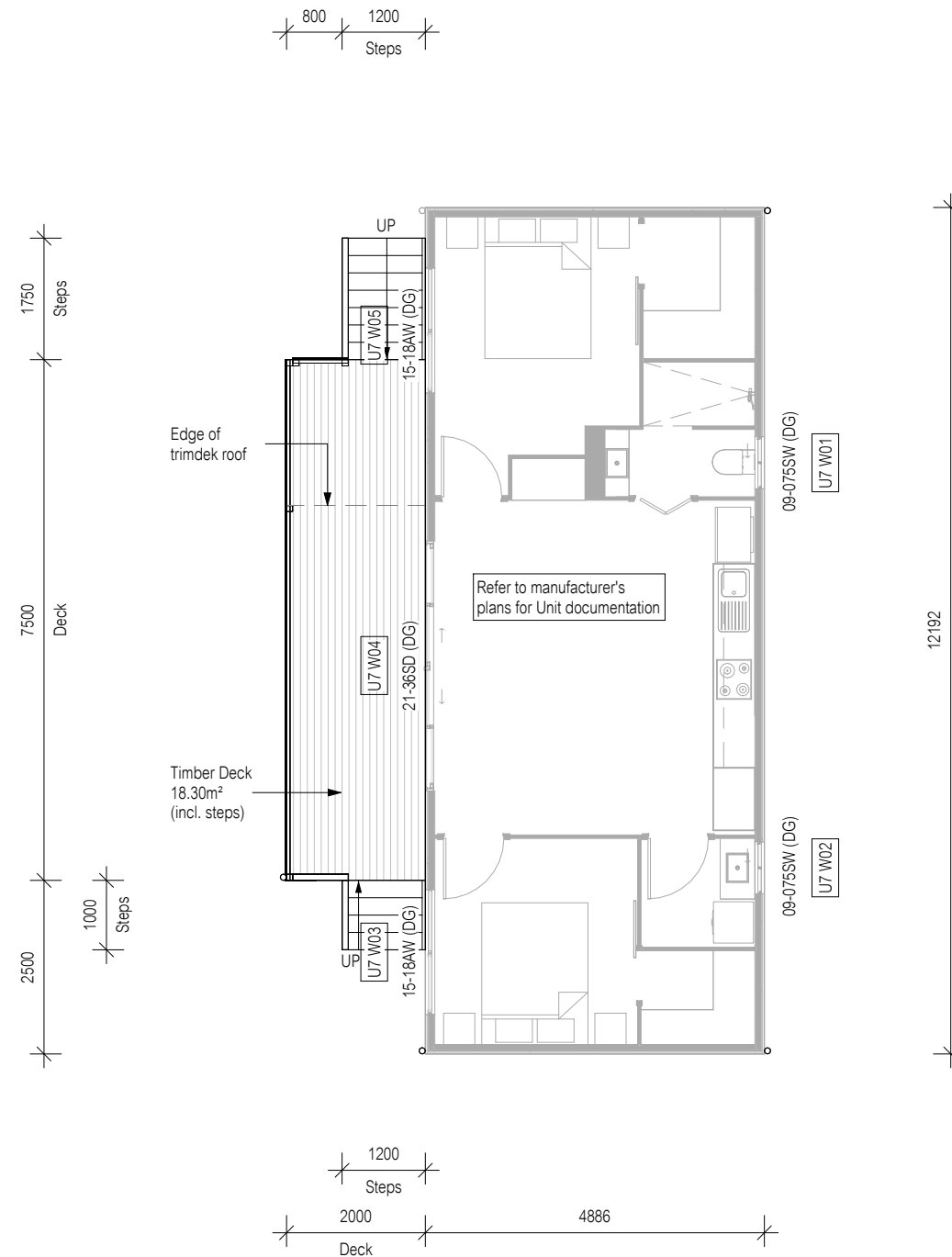
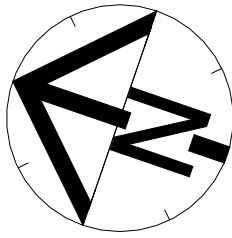
ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

PROPOSED CUNIC UNIT DEVELOPMENT
168a Abbotsfield Road
CLAREMONT



UNIT 6 ELEVATIONS		
Drawn	ST	U249
Date	13 June 2024	Sheet
Scale	1 : 100	13/25
Copyright ©		



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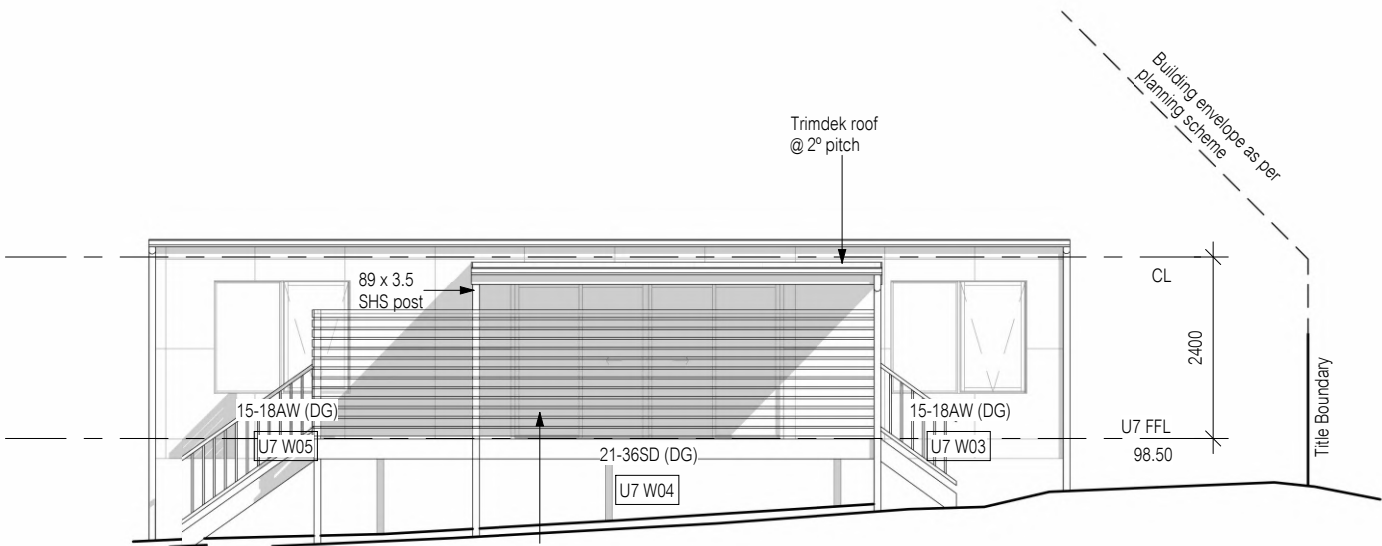
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No.	Date	Int.

Document Set ID: 3505085
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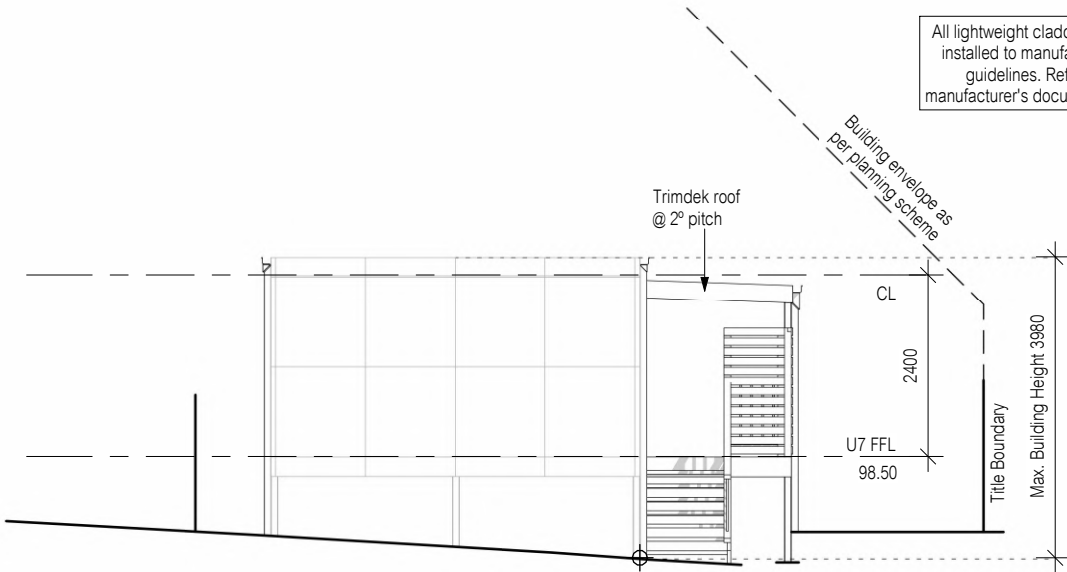
Floor Area = Refer to Manufacturer's Documentation		<div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div>	<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div><div>CUNIC homes</div><div>Built for you</div></div>	UNIT 7 FLOOR PLAN	
<div>Articulation joints</div>	<div>Smoke Alarm (interconnected where more than 1)</div>		<div>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</div>	<div>PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT</div>	<div>DrawnST</div> <div>U249</div> <div>Date13 June 2024</div> <div>Sheet</div> <div>Scale1 : 100</div> <div>14/25</div> <div>Copyright ©</div>			
Amendment changes as per cover sheet								

Material	Colour
Trimdek Roof	tbc

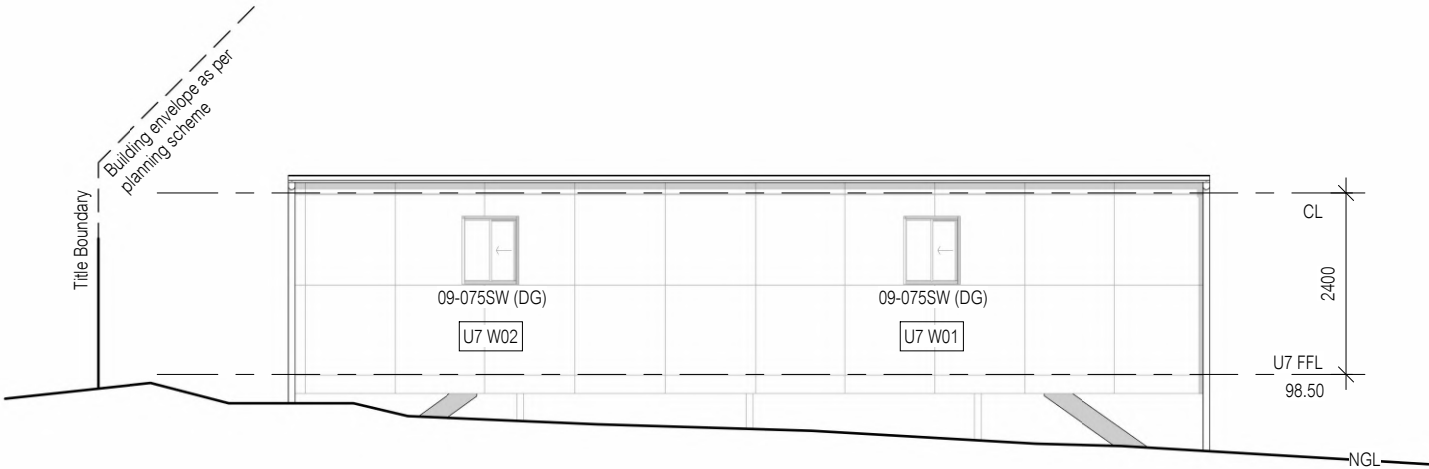
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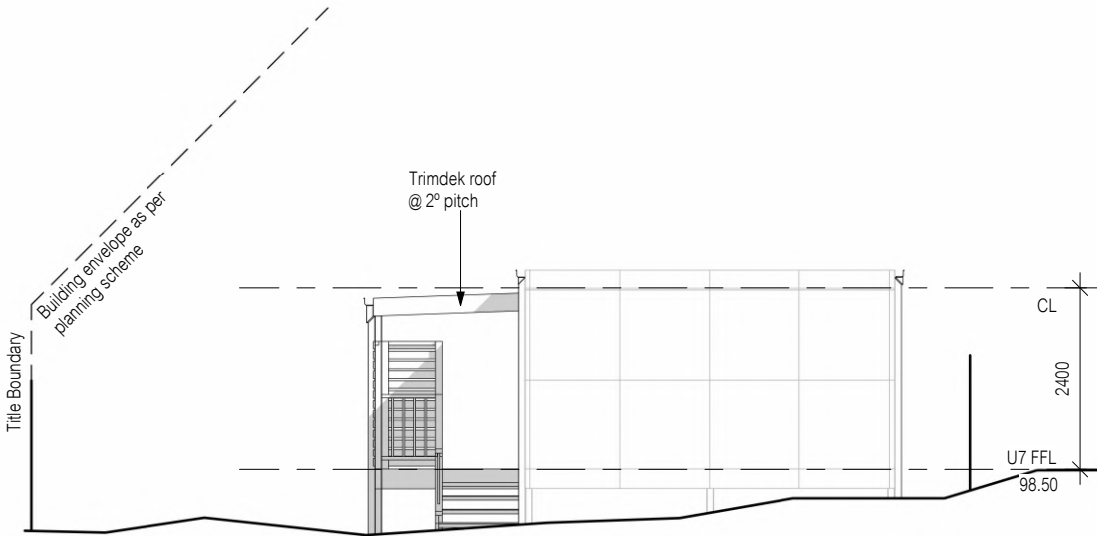
North Elevation



East Elevation



South Elevation




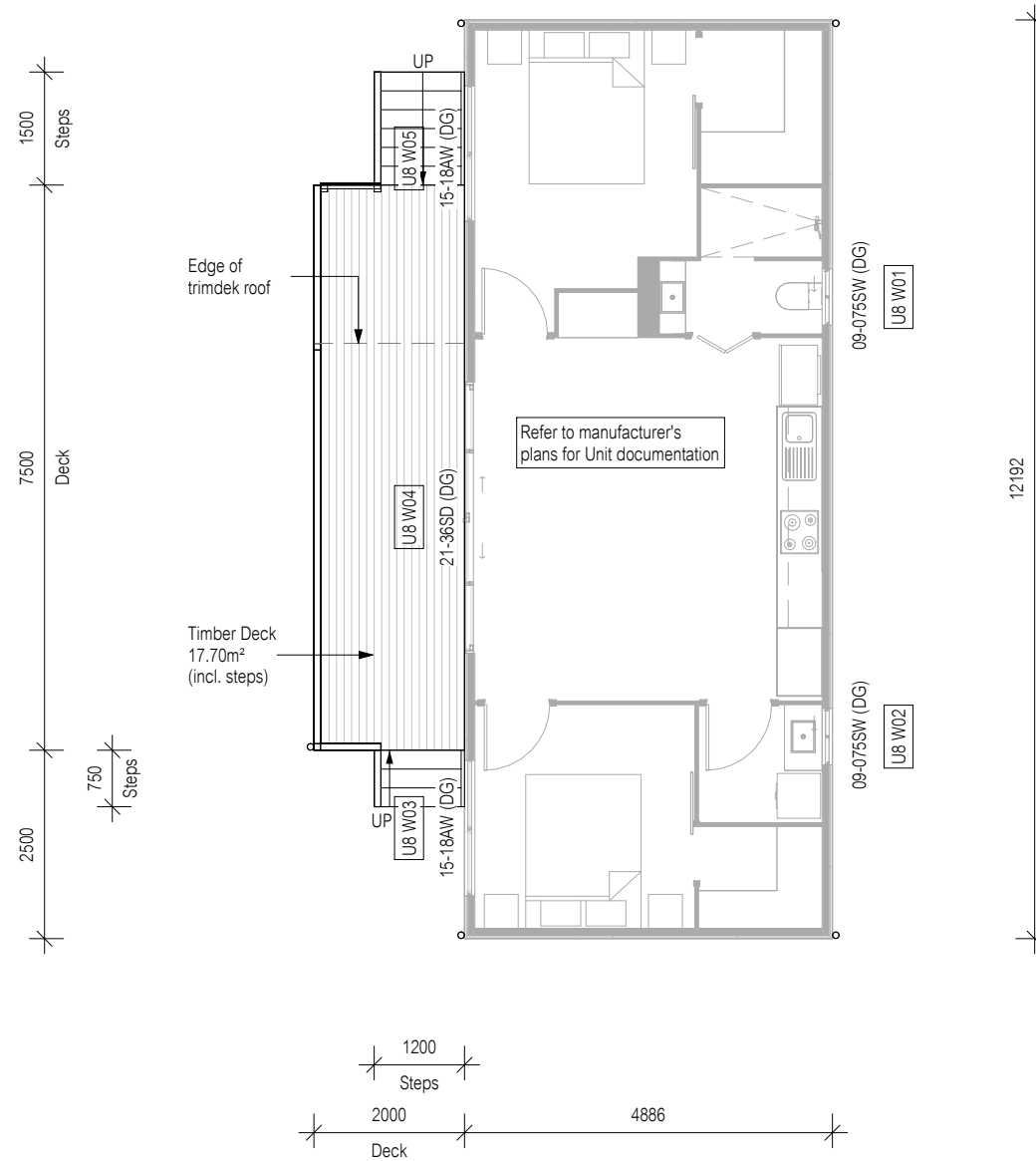
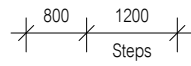
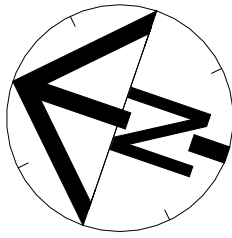
West Elevation

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<div><div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div><div>LEGEND: AJ - Articulation Joint BV - Brick Vent</div><div>Amendment changes as per cover sheet</div><div>Shadows shown for stylisation purposes only</div></div>	<div>Notes</div> <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Do not scale from these drawings.No changes permitted without consultation with designer.	Designer:	Client / Project info	<div><div>CUNIC homes Built for you</div></div>	UNIT 7 ELEVATIONS		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		Drawn	ST	U249
					Date	13 June 2024	Sheet
					Scale	1 : 100	15/25
					Copyright ©		



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PLANNING SERVICES

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B	2 August 2024	ST
No.	Date	Int.

Floor Area = Refer to Manufacturer's Documentation

Articulation joints

Smoke Alarm (interconnected where more than 1)

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
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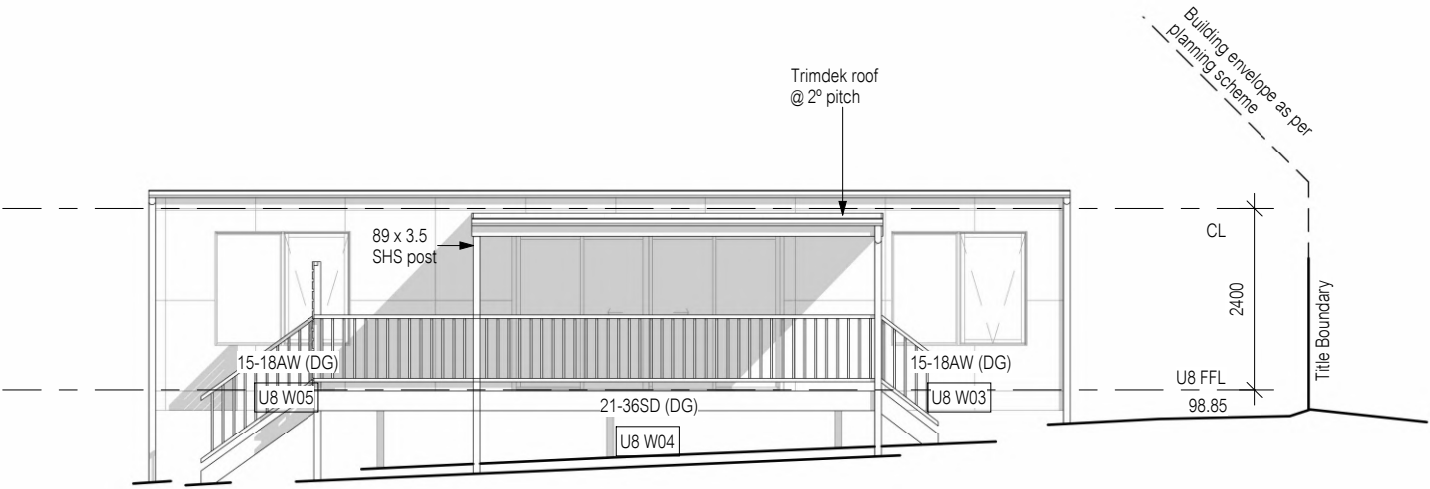
PROPOSED CUNIC UNIT DEVELOPMENT
168a Abbotsfield Road
CLAREMONT



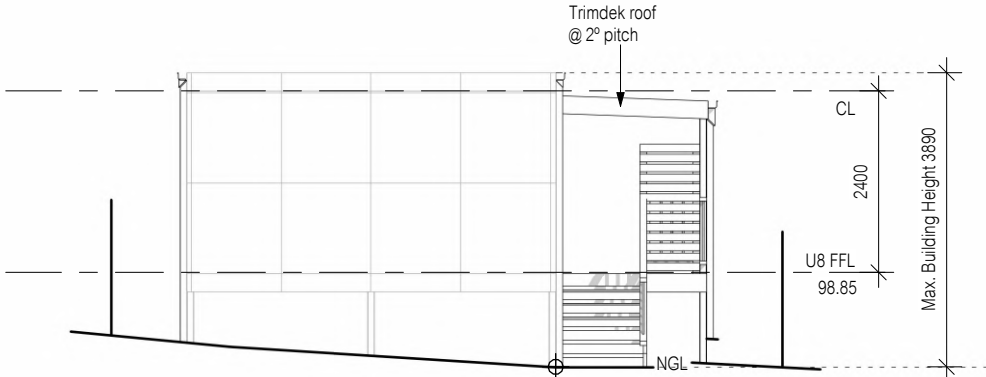
UNIT 8 FLOOR PLAN		
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Scale	1 : 100	16/25
Copyright ©		

Material	Colour
Trimdek Roof	tbc

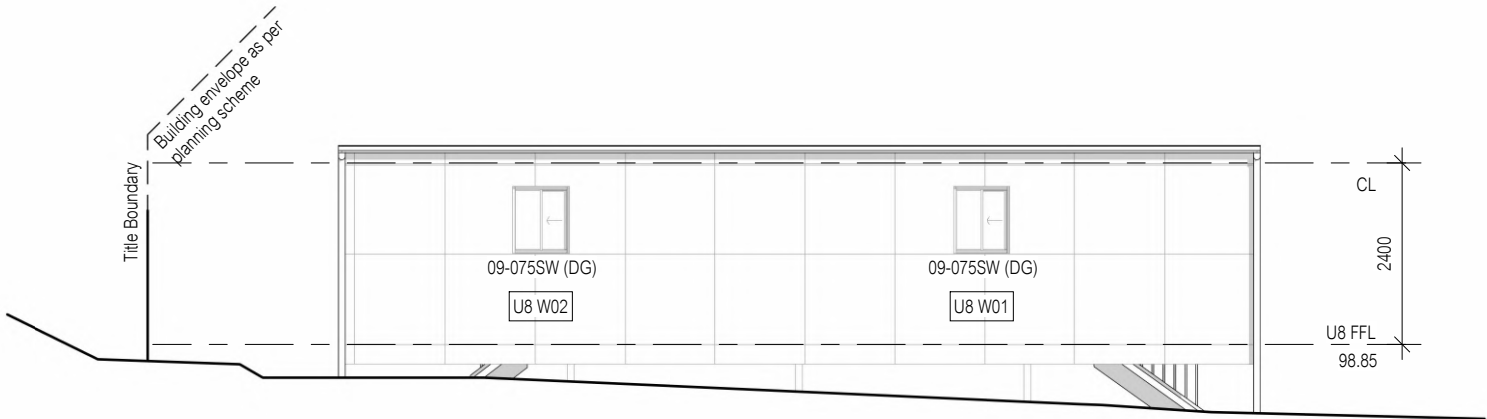
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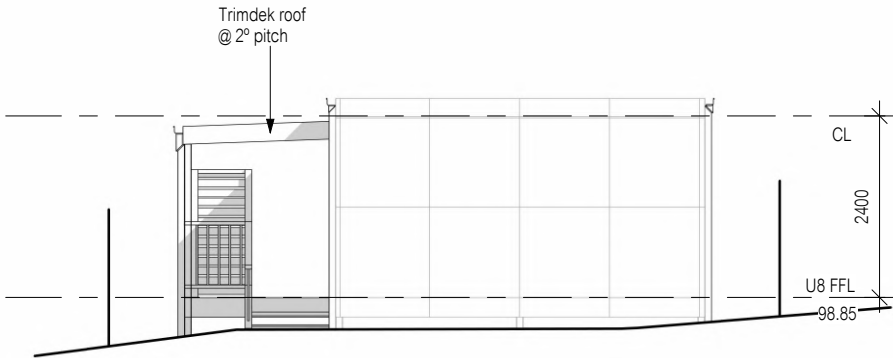
North Elevation



East Elevation



South Elevation




West Elevation

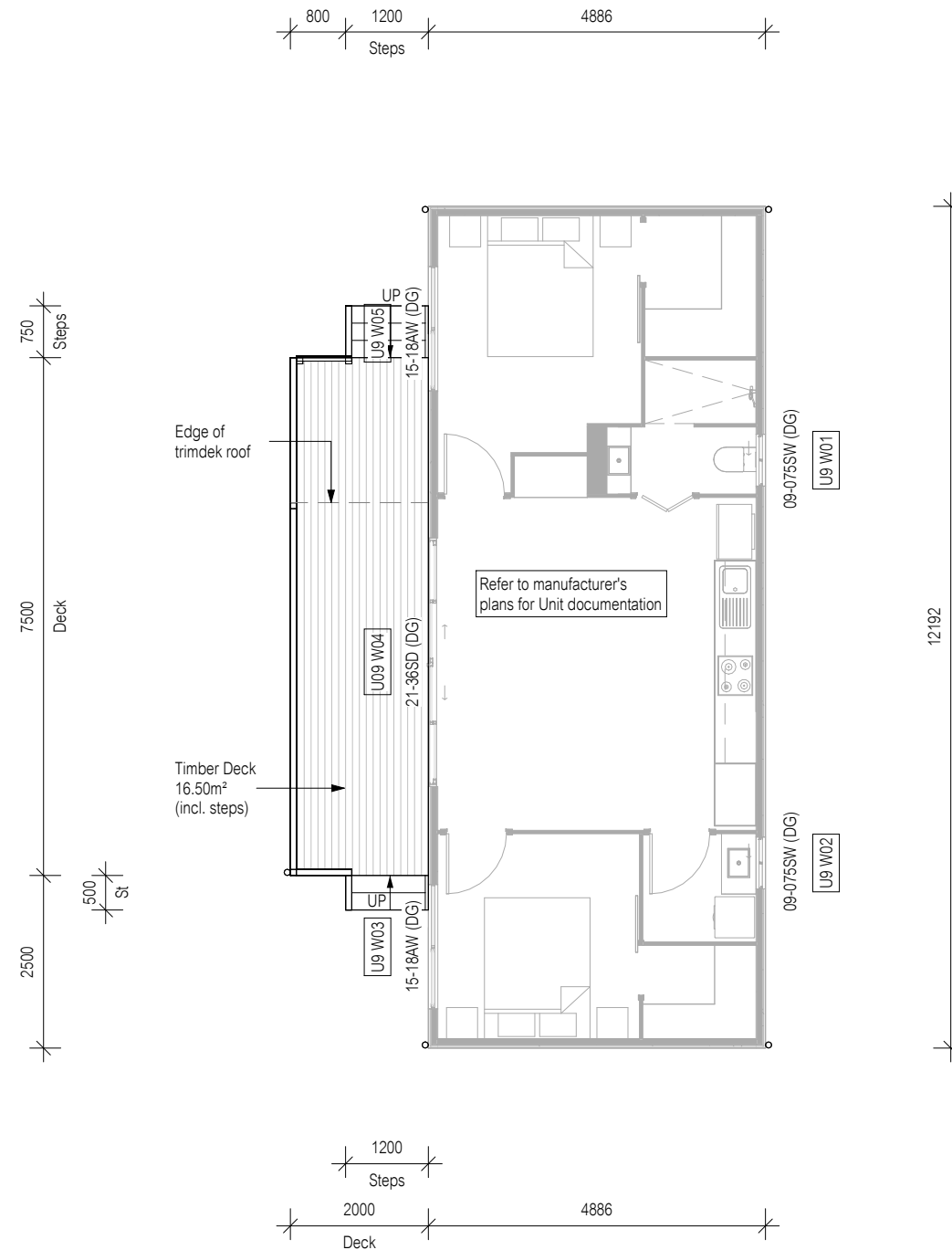
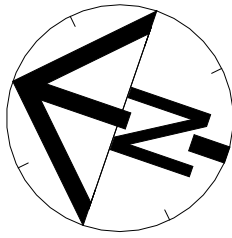
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			<div>Drawn</div> ST		U249	
			<div>Date</div> 13 June 2024		Sheet	
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			<div>Copyright ©</div>			



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PLANNING SERVICES**

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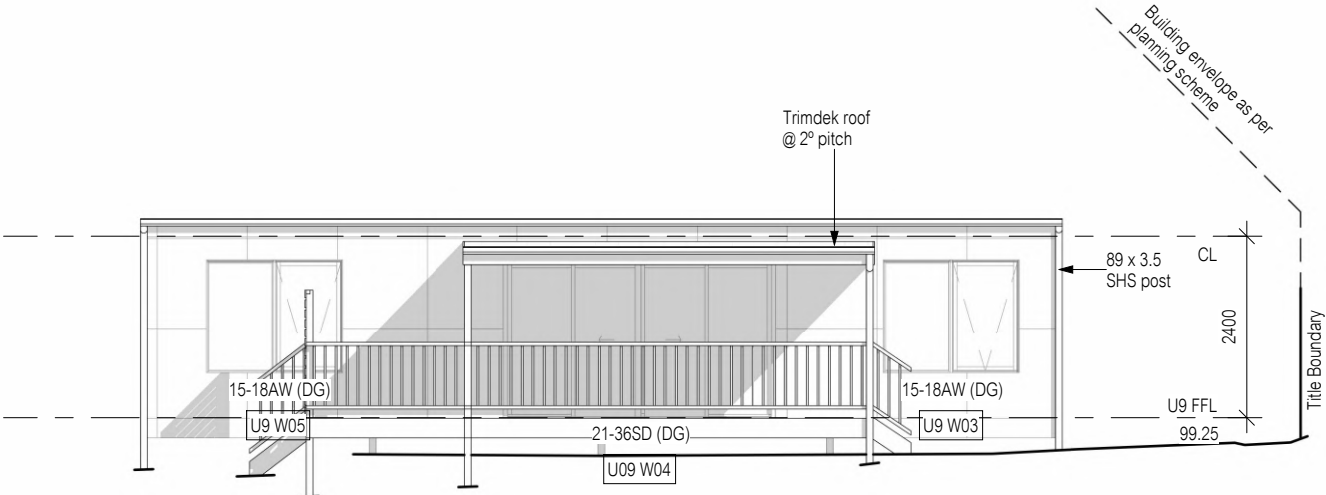
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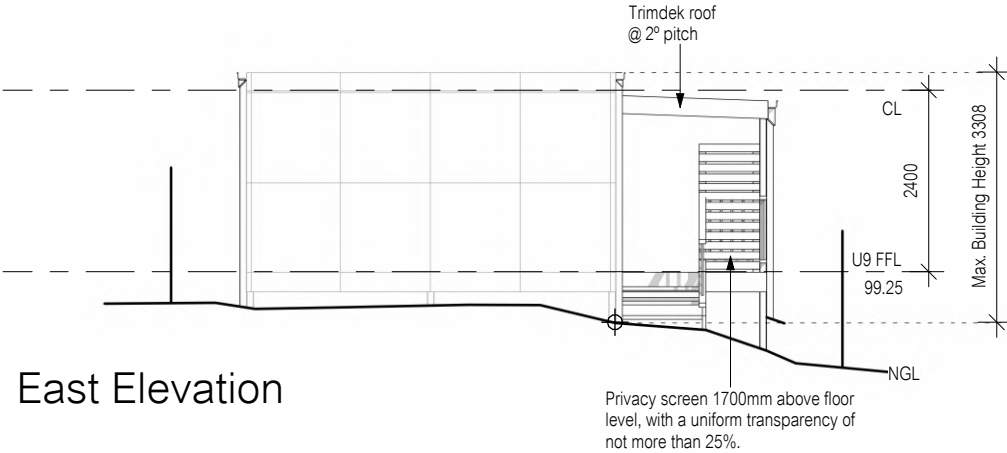
<p>Floor Area = Refer to Manufacturer's Documentation</p> <p>Articulation joints</p> <p>Smoke Alarm (interconnected where more than 1)</p> <p>Amendment changes as per cover sheet</p>		<p>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</p>	<p>Notes</p> <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Do not scale from these drawings.No changes permitted without consultation with designer.	<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</p>	<p>Client / Project info</p> <p>PROPOSED CUNIC UNIT DEVELOPMENT</p> <p>168a Abbotsfield Road CLAREMONT</p>	<p></p>	<table><tr><td colspan="3">UNIT 9 FLOOR PLAN</td></tr><tr><td>Drawn</td><td>ST</td><td>U249</td></tr><tr><td>Date</td><td>13 June 2024</td><td>Sheet</td></tr><tr><td>Scale</td><td>1 : 100</td><td rowspan="2">18/25</td></tr><tr><td colspan="2">Copyright ©</td></tr></table>	UNIT 9 FLOOR PLAN			Drawn	ST	U249	Date	13 June 2024	Sheet	Scale	1 : 100	18/25	Copyright ©	
UNIT 9 FLOOR PLAN																					
Drawn	ST	U249																			
Date	13 June 2024	Sheet																			
Scale	1 : 100	18/25																			
Copyright ©																					

Material	Colour
Trimdek Roof	tbc

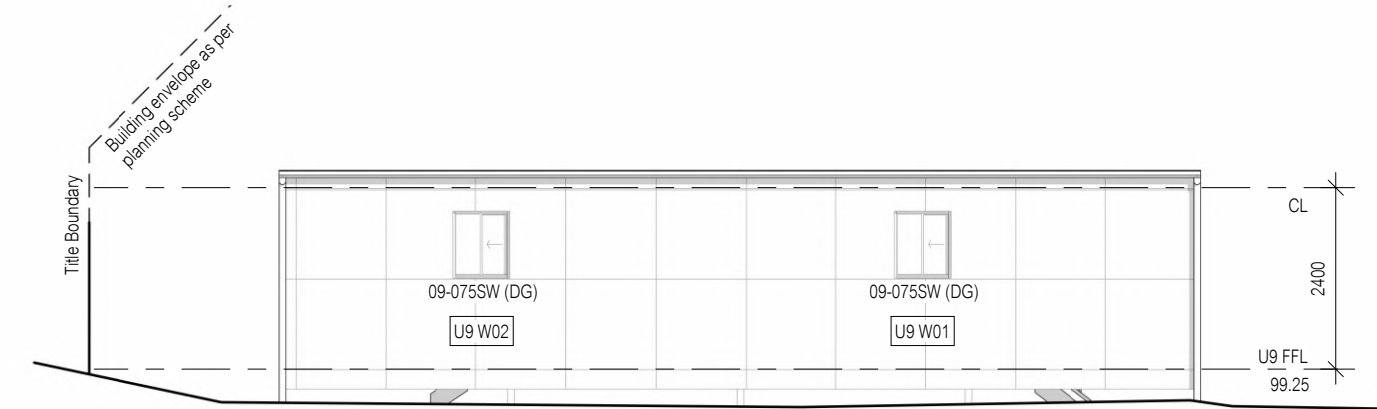
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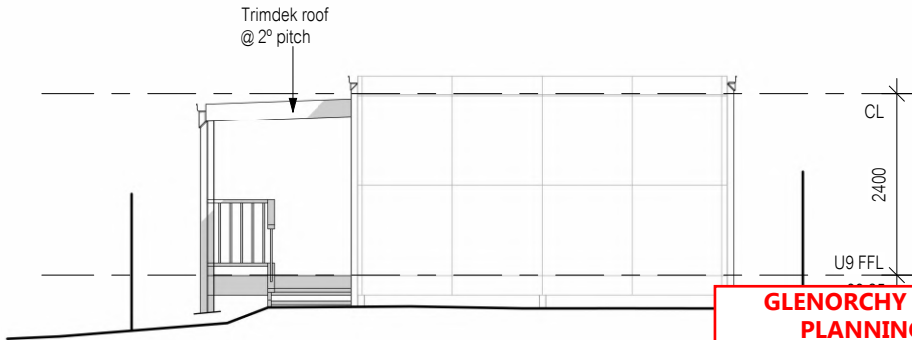
North Elevation



East Elevation



South Elevation




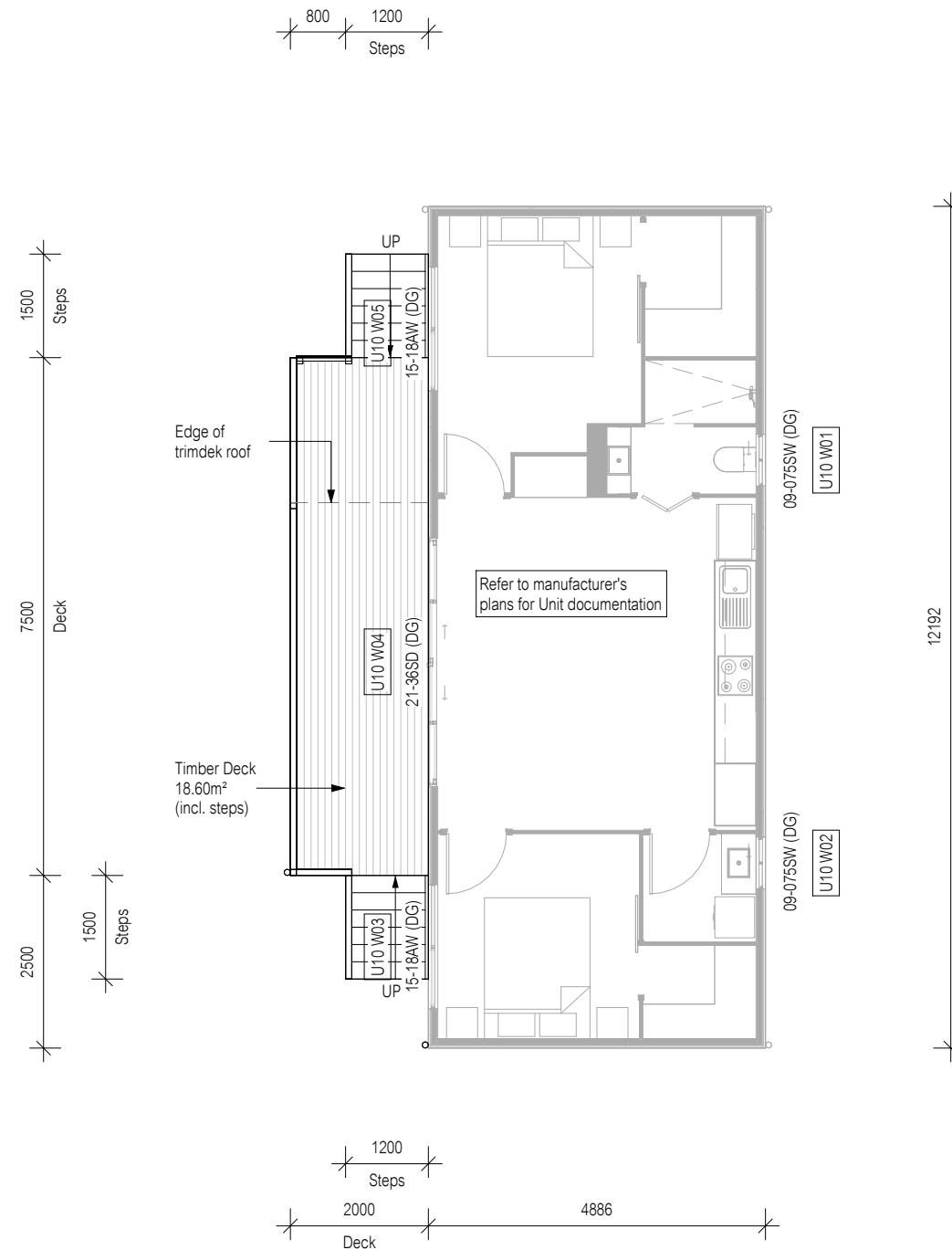
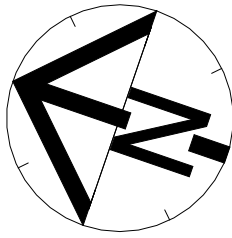
West Elevation

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-270
DATE RECEIVED: 6/11/2024

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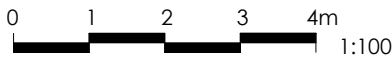
B	2 August 2024	ST
No.	Date	Int.

<div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div> <div>LEGEND: AJ - Articulation Joint BV - Brick Vent</div> <div>Amendment changes as per cover sheet</div> <div>Shadows shown for stylisation purposes only</div>	Notes	Designer:	Client / Project info	<div></div>	UNIT 9 ELEVATIONS		
	<ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		Drawn	ST	U249
					Date	13 June 2024	Sheet
					Scale	1 : 100	19/25
					Copyright ©		




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PLANNING SERVICES**
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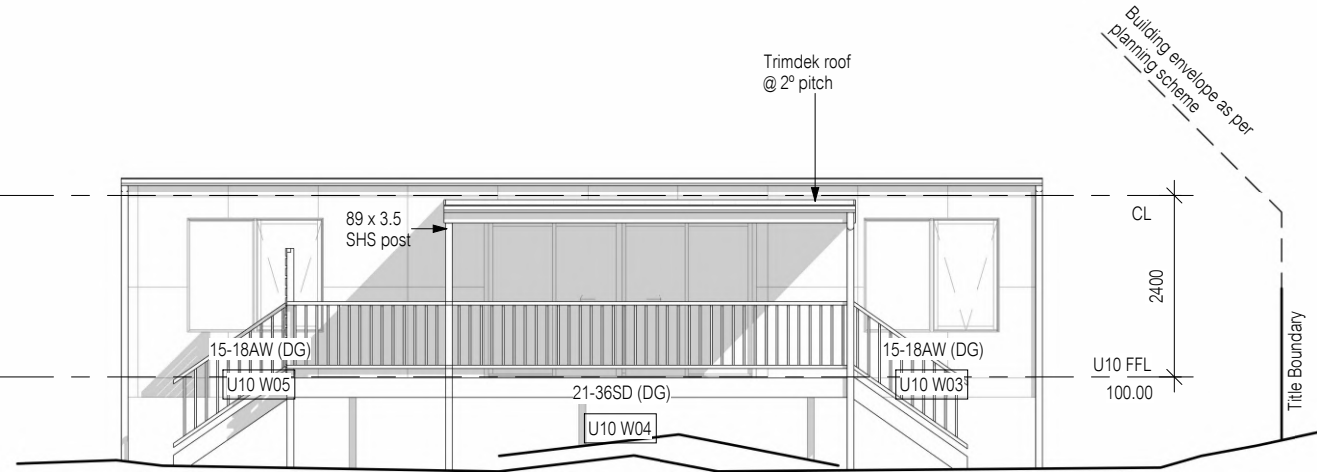
B	2 August 2024	ST
No.	Date	Int.

Document Set ID: 3505085
Version: 2, Version Date: 08/08/2025

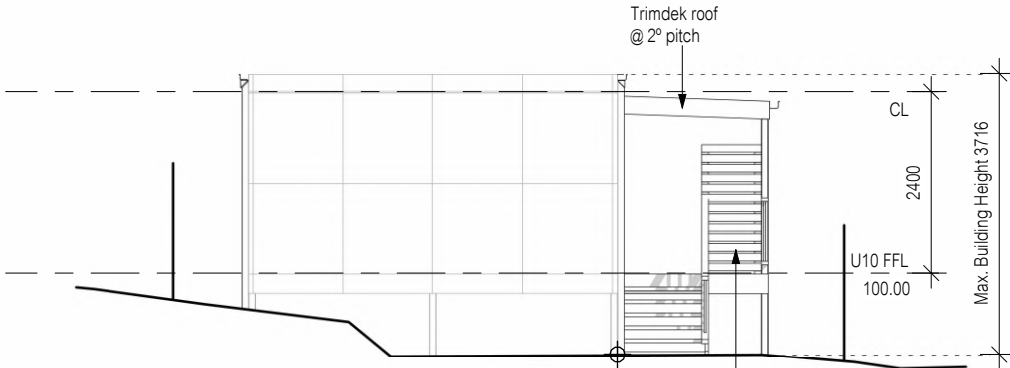
Floor Area = Refer to Manufacturer's Documentation		<div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div>	<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div></div>	UNIT 10 FLOOR PLAN		
<div>—● Articulation joints</div>	<div>☉ Smoke Alarm (interconnected where more than 1)</div>			ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		Drawn	ST	U249
				Date	13 June 2024		Sheet		
				Scale	1 : 100		20/25		
				Copyright ©					
Amendment changes as per cover sheet									

Material	Colour
Trimdek Roof	tbc

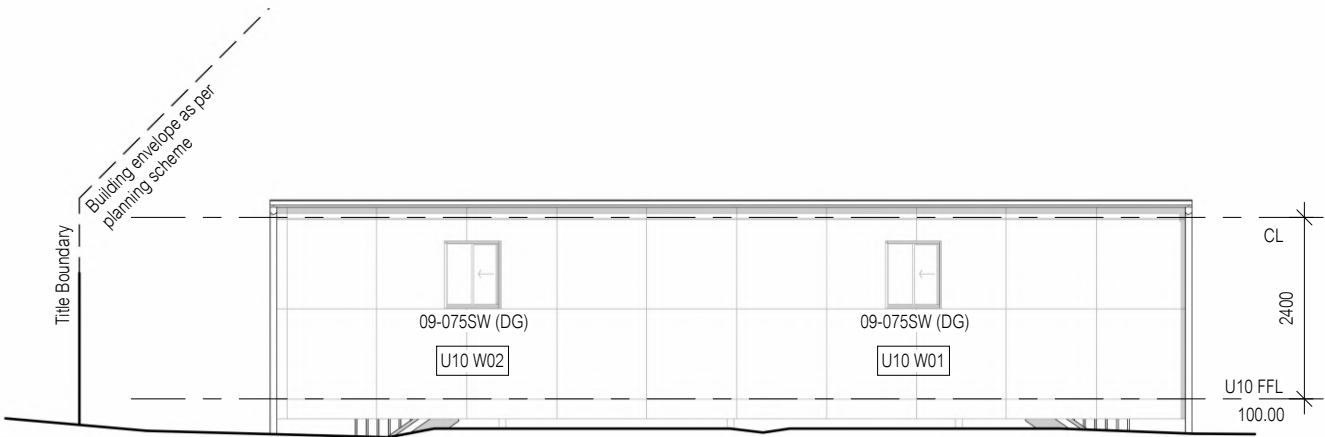
All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



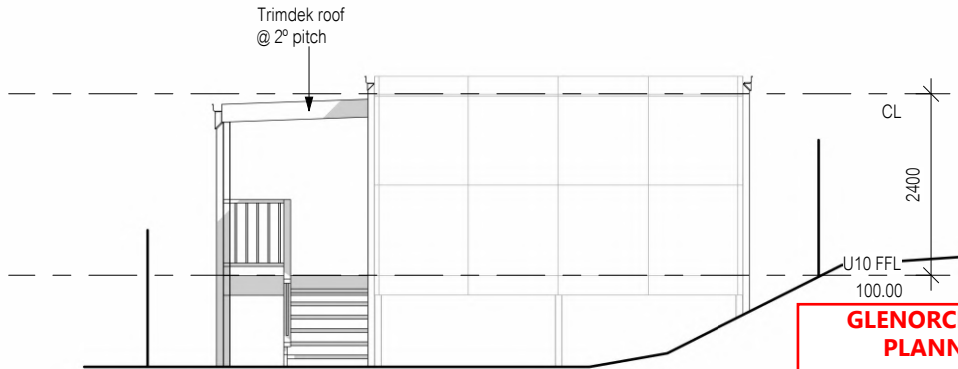
North Elevation



East Elevation



South Elevation



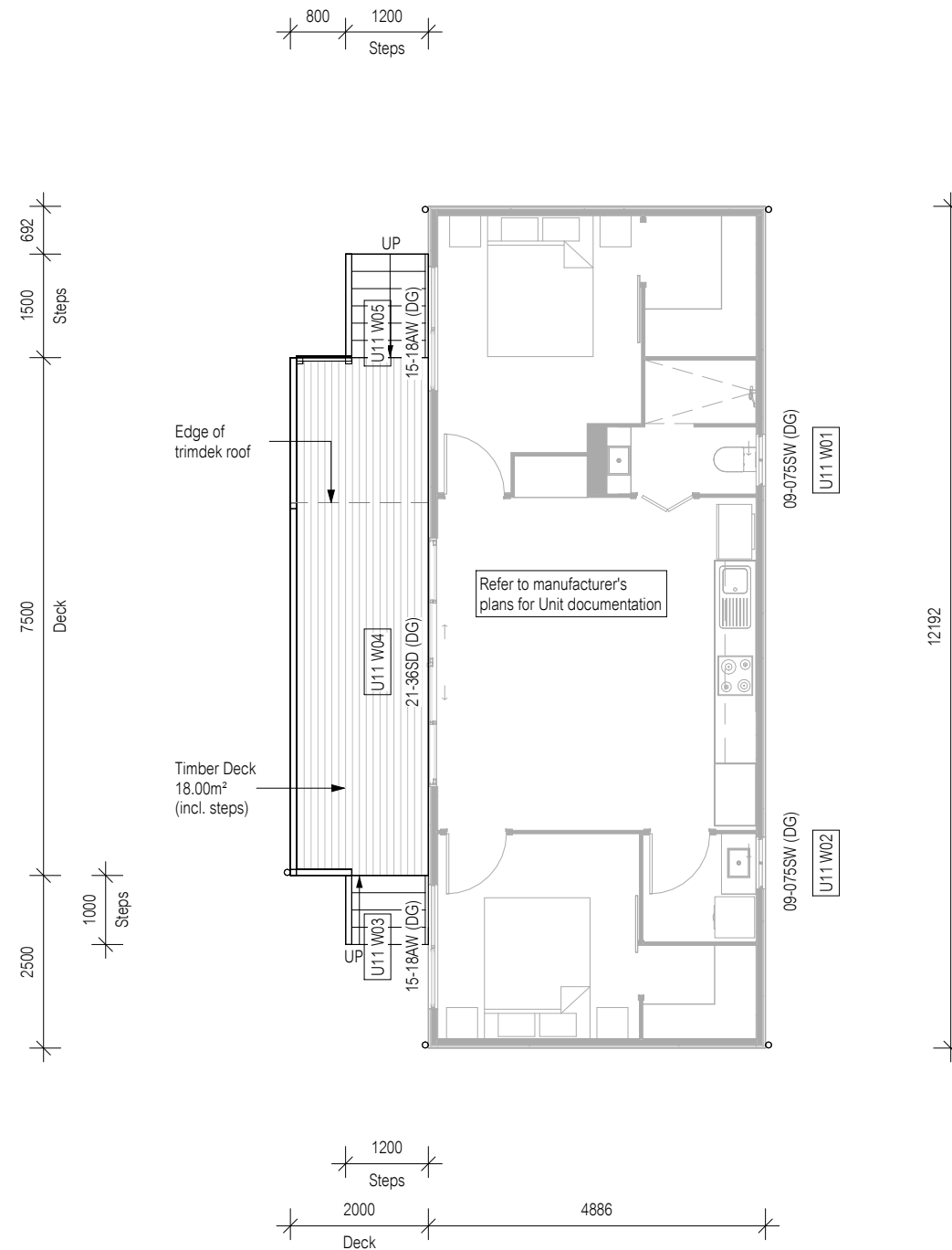
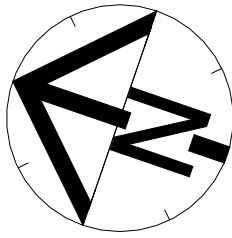
West Elevation

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		<div>Drawn</div>	<div>ST</div>		<div>U249</div>	
		<div>Date</div>	<div>13 June 2024</div>		<div>Sheet</div>	
		<div>Scale</div>	<div>1 : 100</div>		<div>21/25</div>	
		<div>Copyright ©</div>				



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GLENORCHY CITY COUNCIL

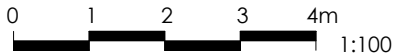
PLANNING SERVICES

APPLICATION No. :

PLN-24-270

DATE RECEIVED:

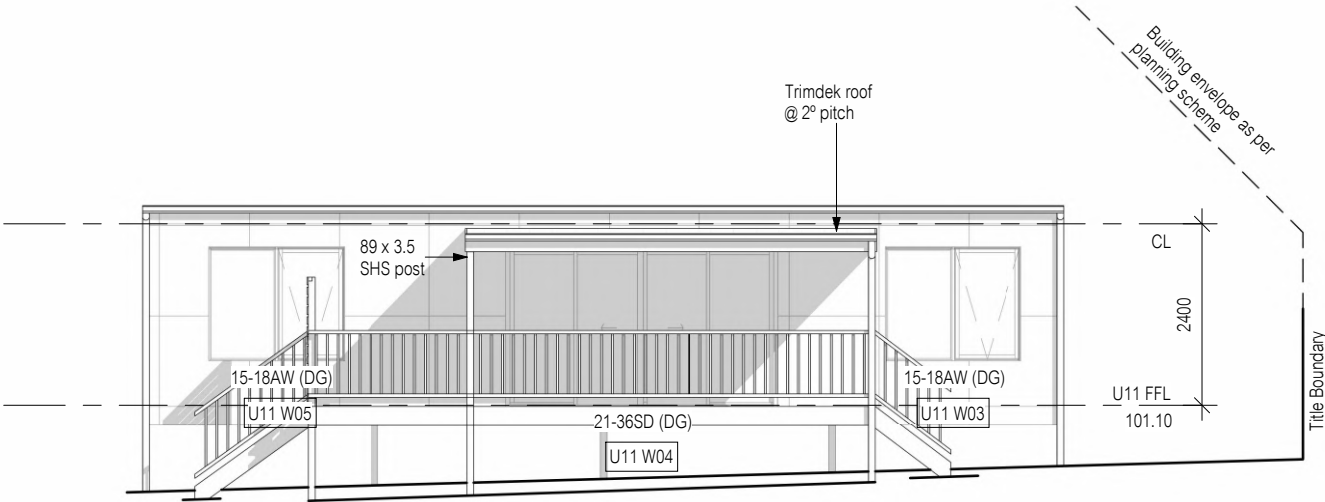
6/11/2024



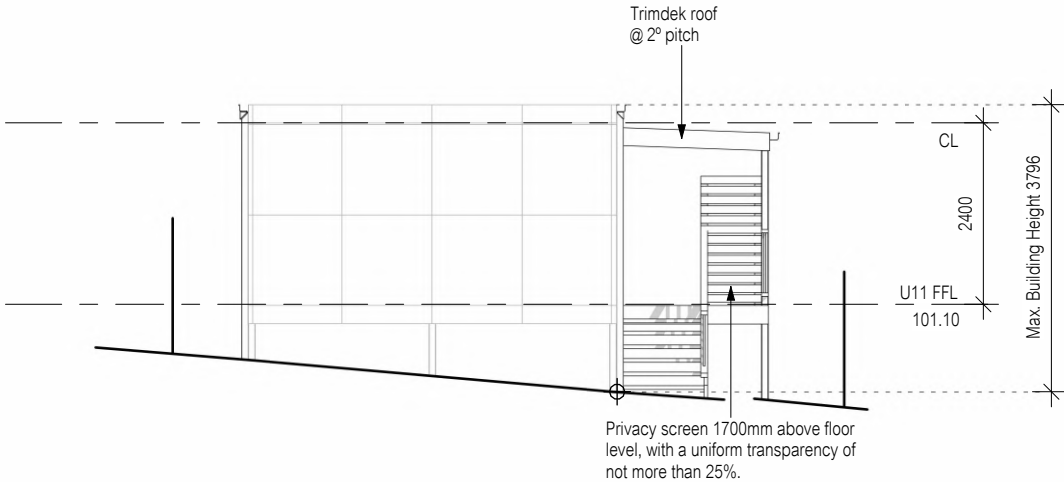
<div>Floor Area = Refer to Manufacturer's Documentation</div> <div><div><div><div></div></div><div>Articulation joints</div></div><div><div><div></div></div><div>Smoke Alarm (interconnected where more than 1)</div></div></div> <div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div>	<div>Notes</div> <div><div>• Builder to verify all dimensions and levels on site prior to commencement of work</div><div>• All work to be carried out in accordance with the current National Construction Code.</div><div>• All materials to be installed according to manufacturers specifications.</div><div>• Do not scale from these drawings.</div><div>• No changes permitted without consultation with designer.</div></div>	Designer:	Client / Project info	<div><div><div><div></div></div><div>CUNIC</div><div>homes</div><div>Built for you</div></div></div>	UNIT 11 FLOOR PLAN		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CUNIC UNIT DEVELOPMENT 168a Abbotsfield Road CLAREMONT		Drawn	ST	U249
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						Copyright ©	
Amendment changes as per cover sheet							

Material	Colour
Trimdek Roof	tbc

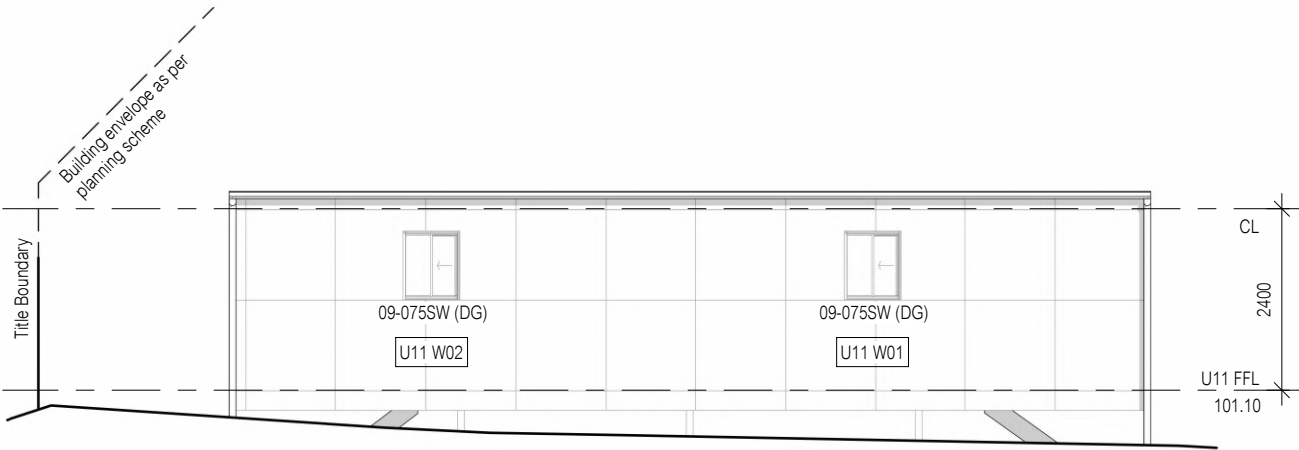
All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



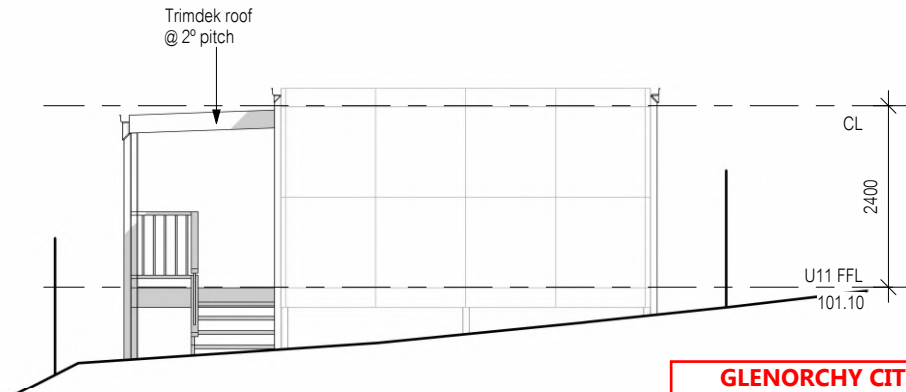
North Elevation



East Elevation



South Elevation




West Elevation

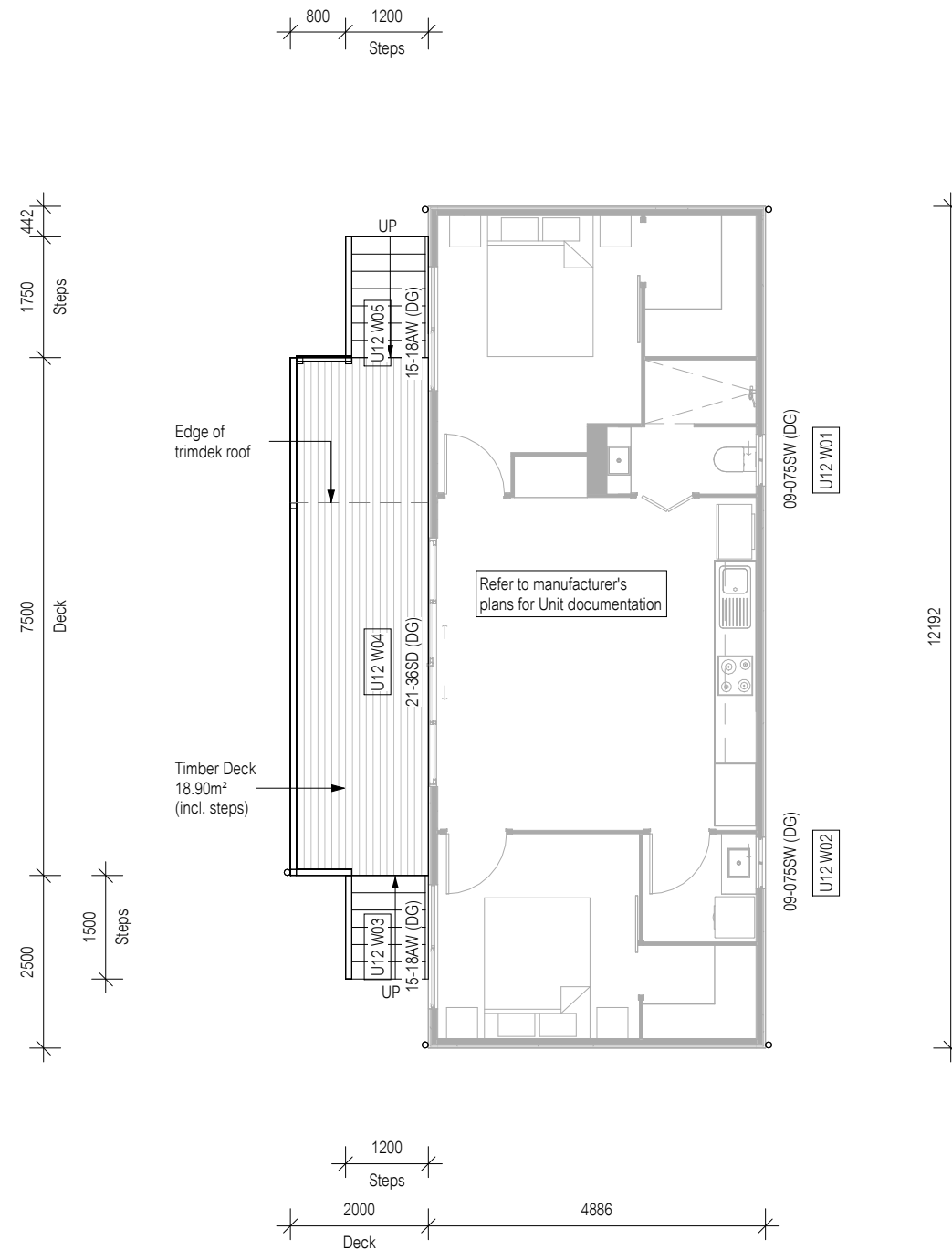
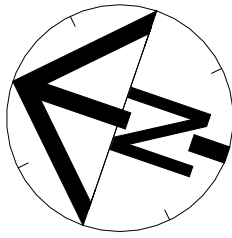
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PLANNING SERVICES

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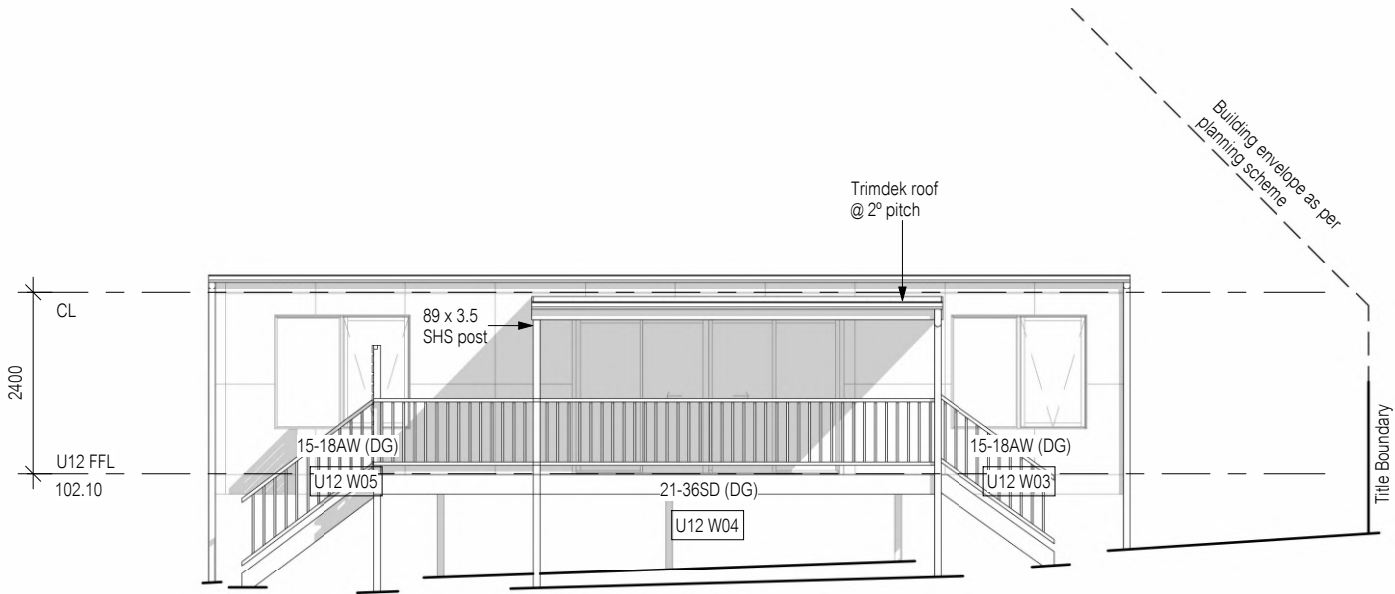
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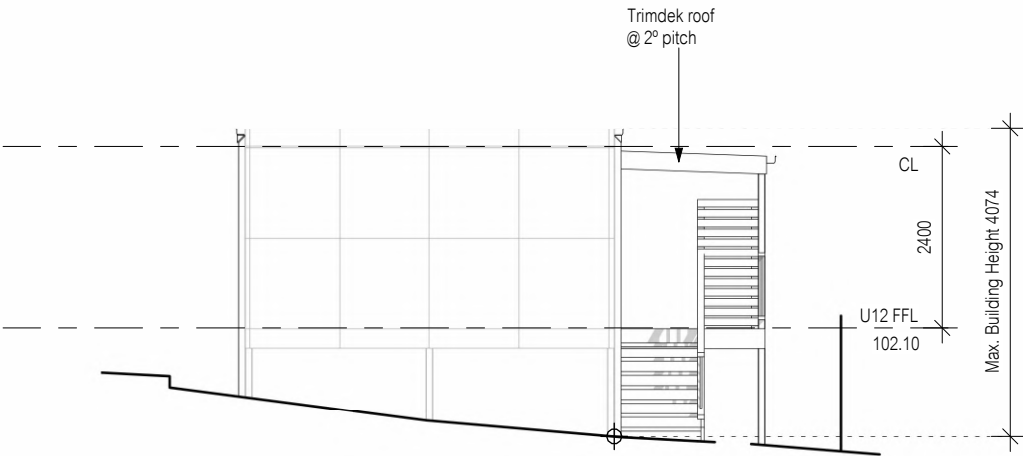
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 Smoke Alarm (interconnected where more than 1)				Date		13 June 2024	Sheet	
				Scale		1 : 100	24/25	
						Copyright ©		
Amendment changes as per cover sheet								

Material	Colour
Trimdek Roof	tbc

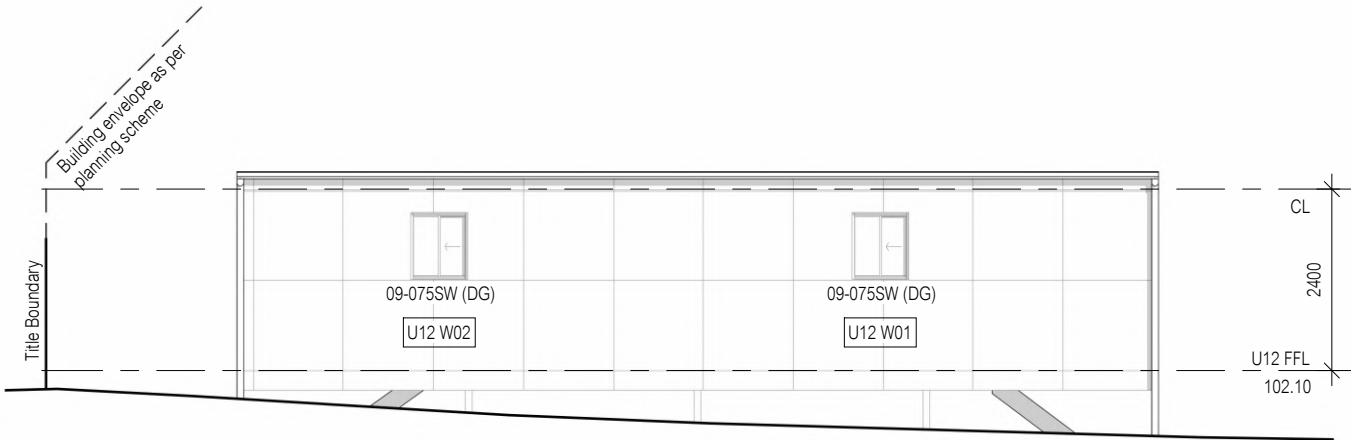
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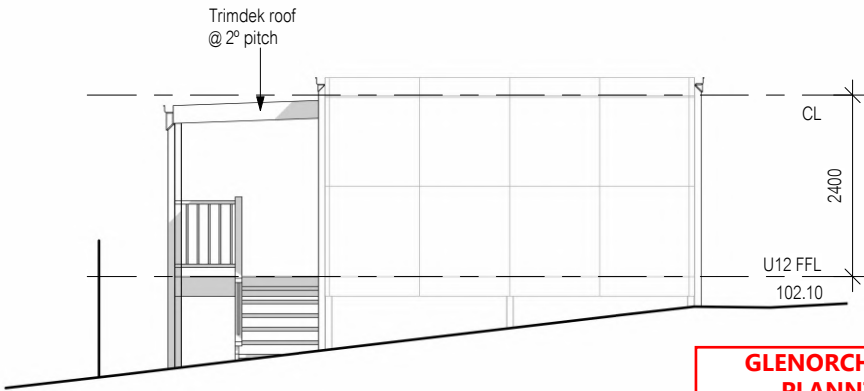
North Elevation



East Elevation



South Elevation



West Elevation

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--	--

CLIENT / ARCHITECT:

CUNIC HOMES

PROJECT DETAILS:

UNITS DEVELOPMENT

168A ABBOTSFIELD ROAD, CLAREMONT

PROJECT No:

241043

DISCIPLINE:

CIVIL

DRAWINGS:

- COV - COVER SHEET
- C001 - CIVIL NOTES
- C100 - OVERALL SITE PLAN
- C101 - EXISTING SITE / DEMOLITION PLAN - PLAN A
- C102 - EXISTING SITE / DEMOLITION PLAN - PLAN B
- C201 - EROSION CONTROL PLAN - PLAN A
- C202 - EROSION CONTROL PLAN - PLAN B
- C401 - INFRASTRUCTURE PLAN - PLAN A
- C402 - INFRASTRUCTURE PLAN - PLAN B
- C411 - SEWER LONGITUDINAL SECTION
- C421 - STORMWATER LONGITUDINAL SECTION
- C501 - CIVIL WORKS PLAN - PLAN A
- C502 - CIVIL WORKS PLAN - PLAN B
- C511 - CIVIL LEVELS PLAN - PLAN A
- C512 - CIVIL LEVELS PLAN - PLAN B
- C521 - LONGITUDINAL & CROSS SECTIONS - SHEET 1
- C522 - LONGITUDINAL & CROSS SECTIONS - SHEET 2
- C523 - LONGITUDINAL & CROSS SECTIONS - SHEET 3
- C524 - LONGITUDINAL & CROSS SECTIONS - SHEET 4
- C701 - VEHICLE TURNING MOVEMENTS PLAN - SHEET 1
- C801 - SECTIONS & DETAILS - SHEET 1
- C802 - SECTIONS & DETAILS - SHEET 2
- C803 - SECTIONS & DETAILS - SHEET 3
- C804 - SECTIONS & DETAILS - SHEET 4

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GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-270

DATE RECEIVED: 12/06/2025

F		REVISED DEVELOPMENT APPLICATION	SCP	29-05-25	<div>COLLECTIVE CONSULTING DISCLAIMER:</div> <div>1. THIS DRAWING HAS BEEN PRODUCED FOR THE NAMED CLIENT AND FOR USE OF THIS PROJECT ONLY, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.</div> <div>2. THESE DRAWINGS MUST BE APPROVED BY COUNCIL, TASWATER AND ANY OTHER REQUIRED AUTHORITIES PRIOR TO COMMENCING CONSTRUCTION.</div> <div>3. THE RECIPIENT IS RESPONSIBLE FOR ENSURING THAT THEY REVIEW THE STATUS OF THIS DRAWING, AND IN RECEIPT OF THE CURRENT REVISION PRIOR TO USE.</div> <div>4. INFORMATION PROVIDED WITHIN THIS DOCUMENT HAS BEEN PROVIDED UNDER COLLECTIVE CONSULTING'S TERMS OF ENGAGEMENT. BY ACCEPTING OR USING THE INFORMATION WITHIN THIS DOCUMENT YOU HAVE ACCEPTED THE TERMS OF ENGAGEMENT. TERMS CAN BE VIEWED AT: WWW.COLLECTIVECONSULTING.COM.AU/TERMSOFENGAGEMENT.</div> <div>5. DO NOT SCALE DRAWINGS. COLLECTIVE CONSULTING IS NOT RESPONSIBLE FOR THE DIMENSIONING AND SETTING OUT OF COMPONENTS WITHIN THESE PROJECT DOCUMENTS.</div>	<div><div>COLLECTIVE CONSULTING</div></div> <div>E admin@collectiveconsulting.com.au Level 1, 10-14 Paterson Street Launceston TAS 7250 P (03) 6334 0834 collectiveconsulting.com.au</div>	<div>CLIENT / ARCHITECT:</div> <div>CUNIC HOMES</div> <div></div>	PROJECT DETAILS: 168a ABBOTSFIELD ROAD, CLAREMONT UNITS DEVELOPMENT					DRAWING TITLE: COVER SHEET			
E		REVISED DEVELOPMENT APPLICATION	OWM	18-02-25												
D		REVIEW / INFORMATION	OWM	07-02-25												
C		REVISED DEVELOPMENT APPLICATION	OWM	07-11-24												
B		DEVELOPMENT APPLICATION	OWM	27-09-24												
A		REVIEW / INFORMATION	OWM	26-09-24												
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:													
				DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:	SCALE:	PROJECT No:	DRAWING No:	REVISION:				
				AJL	JTA	OWM	JTA		-	241043	COV	F				

GENERAL NOTES

- 1 // **GENERAL**
- A. THESE DRAWINGS AND NOTES SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL, LANDSCAPE ARCHITECTS, STRUCTURAL, BUILDING SERVICES AND OTHER DISCIPLINES' DRAWINGS AND SPECIFICATIONS AND WITH ANY WRITTEN ENGINEER'S INSTRUCTIONS ISSUED DURING THE CONTRACT.
- B. THE CONTRACTOR SHALL ENSURE THAT ALL CIVIL WORKS, MATERIALS, INFRASTRUCTURE AND WORKMANSHIP COMPLY WITH PLANNING AND BUILDING PERMITS, THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC), AUSTRALIAN STANDARDS (AS), DEPARTMENT OF STATE GROWTH (DSG), INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALIA (IPWEA) - TAS DIVISION, LOCAL GOVERNMENT ASSOCIATION TASMANIA (LGAT), WATER SERVICES ASSOCIATION OF AUSTRALIA (WSAA) AND ANY OTHER STATE / TERRITORY / LOCAL GOVERNMENT REGULATIONS.
- C. ALL AUSTRALIAN STANDARDS REFERENCED IN THESE DRAWINGS ARE TO BE NOTED AS THE CURRENT VERSIONS.
- D. ANY DISCREPANCIES ARE TO BE REPORTED TO THE SUPERINTENDENT BEFORE PROCEEDING WITH THE WORK.
- E. THESE GENERAL NOTES DO NOT HAVE PRECEDENCE OVER THE SPECIFICATION OR DRAWING NOTES.
- F. ALL SET OUT DIMENSIONS ON THE DRAWINGS ARE TO BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE COMMENCING WORK.
- G. DO NOT SCALE FOR DIMENSIONS OF THESE DRAWINGS.
- H. UNLESS NOTED OTHERWISE, ALL DIMENSIONS SHOWN ARE IN MILLIMETRES WITH THE EXCEPTION OF SURVEY LEVELS, WHICH ARE IN METRES.
- I. THE CONTRACTOR IS TO ENSURE THAT ANY PROFESSIONALS, TRADESMEN OR SUPPLIERS ENGAGED THROUGHOUT THE DURATION OF THE CONTRACT ARE ACCREDITED AND QUALIFIED FOR THEIR DUTY OF WORK AND CARRY ALL NECESSARY PERMITS REQUIRED BY ANY STATUTORY AUTHORITY.
- J. INSTALL ANY AND ALL PROPRIETARY ITEMS IN ACCORDANCE WITH SPECIFIC MANUFACTURERS REQUIREMENTS, SPECIFICATIONS AND RECOMMENDATIONS.
- 2 // **NOTICE TO CONTRACTOR / TENDERER**
- A. THE CONTRACTOR / TENDERER IS TO MAKE THEMSELVES AWARE OF THE LOCAL COUNCIL AND THE DEPARTMENT OF STATE GROWTH (DSG) STANDARDS FOR CIVIL WORKS. TENDERER IS TO ALLOW FOR THESE STANDARDS DURING PRICING.
- B. CONSTRUCTION IS TO BE CARRIED OUT IN ACCORDANCE WITH THESE STANDARDS THROUGHOUT THE DURATION OF THE CONTRACT.
- C. COPIES OF THESE STANDARDS ARE AVAILABLE UPON REQUEST FROM THE LOCAL COUNCIL AND DSG WEBSITE.
- 3 // **DESIGN LEVELS**
- A. CONFIRM / DETERMINE FINISHED FLOOR LEVELS ON SITE TO ACHIEVE DESIGN INTENT. REFER ARCHITECT FOR ANY DISCREPANCIES OR CHANGES TO FLOOR LEVELS. GENERALLY, SURFACES ARE TO BE SLOPED AWAY FROM BUILDINGS.
- 4 // **SCOPE OF WORKS**
- A. THE SCOPE OF WORKS ARE SHOWN IN THESE DOCUMENTS AND THE SPECIFICATION.
- B. THE CONTRACTOR IS EXPECTED TO RESOLVE ALL ISSUES UNCOVERED ON SITE THAT ARE NOT DETAILED IN THESE DOCUMENTS, IN CONJUNCTION WITH THE SUPERINTENDENT / PRINCIPAL.
- 5 // **DISPOSAL OF EXCAVATED MATERIAL**
- A. DISPOSE OF EXCAVATED MATERIAL TO A LICENSED WASTE FACILITY OR APPROVED LAND FILL SITE.
- 6 // **APPROVALS**
- ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING APPROVALS:
- NIL**
- 7 // **LINE/TYPE LEGEND**
- | | |
|---------|---|
| —eCOM | EXISTING COMMUNICATIONS LINE - CONFIRM EXACT LOCATION |
| —COM | PROPOSED COMMUNICATIONS LINE |
| —eFM | EXISTING FIRE WATER LINE / MAIN - CONFIRM EXACT LOCATION |
| —FM | PROPOSED FIRE WATER LINE / MAIN |
| —eGAS | EXISTING GAS LINE / MAIN - CONFIRM EXACT LOCATION |
| —GAS | NEW GAS LINE / MAIN |
| —ePWR | EXISTING POWER LINE - CONFIRM EXACT LOCATION |
| —PWR | PROPOSED POWER LINE |
| — | EXISTING SEWER SERVICE LINE / MAIN - CONFIRM EXACT LOCATION |
| — | PROPOSED SEWER SERVICE LINE / MAIN |
| —eS-RM | EXISTING SEWER RISING MAIN - CONFIRM EXACT LOCATION |
| —S-RM | PROPOSED SEWER RISING MAIN |
| — | EXISTING STORMWATER LINE / MAIN - CONFIRM EXACT LOCATION |
| — | PROPOSED STORMWATER LINE / MAIN |
| —eSW-RM | EXISTING STORMWATER RISING MAIN - CONFIRM EXACT LOCATION |
| —SW-RM | PROPOSED STORMWATER RISING MAIN |
| —eAG | EXISTING AGRICULTURAL DRAIN (AG DRAIN) |
| —AG | PROPOSED SLOTTED AGRICULTURAL DRAIN (AG DRAIN) |
| —eW | EXISTING WATER SERVICE LINE / MAIN - CONFIRM EXACT LOCATION |
| —W | PROPOSED WATER SERVICE LINE / MAIN |
| — | PROPOSED VEE DRAIN - REFER SECTIONS AND DETAILS |
| — | EXISTING SERVICE LINE / MAIN TO BE DEMOLISHED |
| — | EXISTING SURFACE / STRUCTURE TO BE DEMOLISHED |
| — | TITLE BOUNDARY |
| — | DRAINAGE EASEMENT / RIGHT OF WAY |
| — | EROSION CONTROL BARRIER |

EXISTING INFRASTRUCTURE

- 1 // **LOCATION OF EXISTING INFRASTRUCTURE**
- A. LOCATE ALL EXISTING UNDERGROUND INFRASTRUCTURE PRIOR TO COMMENCING ANY SITE AND DEMOLITION WORKS WITH THE FOLLOWING METHODS:
- A.1. THE CONTRACTOR IS TO NOTIFY ALL RELEVANT STATUTORY AUTHORITIES PRIOR TO COMMENCING ANY WORK FOR THE POSSIBLE LOCATION OF ANY EXISTING INFRASTRUCTURE.
- A.2. THE CONTRACTOR IS TO COMPLETE A 'BEFORE YOU DIG'.
- A.3. THE CONTRACTOR IS TO REVIEW ALL SURVEY AND UNDERGROUND ASSET DATA.
- A.4. THE CONTRACTOR IS TO ARRANGE AND PAY FOR THE ON SITE MARKING AND CONFIRMATION OF SEPTIC SERVICES LOCATIONS FOR ALL UNDERGROUND INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO: COMMUNICATIONS, TASNWORKS, TASSGAS, TASWATER AND COUNCIL INFRASTRUCTURE (IE SEWER, STORMWATER, WATER ETC.) IN THE AREA OF NEW WORKS. CONFIRM LOCATIONS USING CABLE LOCATORS, POT HOLING, SUCTION TRUCK, HAND DIGGING AND UNDERGROUND CCTV CAMERA INSPECTIONS.
- A.5. THE CONTRACTOR IS TO WALK SITE AND IDENTIFY ANY ASSETS THAT MAY HAVE BEEN MISSED AND REPORT TO SUPERINTENDENT.
- 2 // **GENERAL**
- A. ANY CLASHES WITH DESIGNED INFRASTRUCTURE ON THE FOLLOWING DESIGN DRAWINGS ARE TO BE REPORTED TO DESIGN ENGINEER FOR DIRECTION.
- B. ALL EXISTING INFRASTRUCTURE IS TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO EXISTING INFRASTRUCTURE IS TO BE MADE GOOD AT THE CONTRACTOR'S EXPENSE.
- C. TRENCHES WHERE SERVICES ARE REMOVED ARE TO BE FILLED WITH AN APPROVED COMPACTED MATERIAL AND TO ENGINEERS COMPACTION SPECIFICATIONS. MATCH AND MAKE GOOD SURFACES TO MATCH EXISTING SURROUNDINGS.

SAFETY IN DESIGN

- 1 // **GENERAL**
- A. THE 'SAFETY IN DESIGN' RISK MITIGATION MEASURES FOR THIS PROJECT DO NOT ACCOUNT FOR ALL DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE AND DEMOLITION ASSESSMENTS.
- B. THEY DO NOT REDUCE OR LIMIT THE OBLIGATIONS OF THE CONTRACTOR, CONSTRUCTOR, USER, OPERATOR, MAINTAINER OR DEMOLISHER TO PERFORM THEIR OWN SAFETY IN DESIGN RISK ASSESSMENTS.
- C. CONSTRUCTION AND INSTALLATION SAFE WORK METHOD STATEMENTS ARE TO BE REVIEWED BY A QUALIFIED PERSON TO ELIMINATE AND MINIMISE INSTALLATION RISKS.

DEMOLITION WORKS

- 1 // **GENERAL**
- A. DEMOLITION WORKS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS' DEMOLITION PLANS. CONTRACTOR TO NOTIFY ARCHITECT AND CONFIRM ANY ISSUES / CONTRADICTIONS WITH ARCHITECT.
- B. CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR REQUIRED DEMOLITIONS, REMOVALS AND RELOCATIONS TO SUIT NEW WORKS.
- C. ALL EXISTING INFRASTRUCTURE IS TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO EXISTING INFRASTRUCTURE IS TO BE MADE GOOD AT THE CONTRACTOR'S EXPENSE.
- D. CAP, TERMINATE AND REMOVE REDUNDANT DISUSED DRAINAGE SERVICES TO SATISFACTION OF ENGINEER, LOCAL AUTHORITIES AND IN ACCORDANCE WITH AS3300.
- E. TRENCHES WHERE SERVICES ARE REMOVED ARE TO BE FILLED WITH AN APPROVED COMPACTED MATERIAL AND TO ENGINEERS COMPACTION SPECIFICATIONS. MATCH AND MAKE GOOD SURFACES TO MATCH EXISTING SURROUNDINGS.
- F. CONTRACTOR TO ALLOW TO MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION WORKS TO SUPERINTENDENT / PRINCIPAL / LOCAL COUNCIL'S SATISFACTION.

EXISTING SURVEY

1 // EXISTING SURVEY DETAILS

- A. THE FOLLOWING ARE THE SURVEY DETAILS USED AS A BASIS FOR THE DESIGN:

SURVEYOR:	ROGERSON & BIRCH SURVEYORS
SURVEY REFERENCE NUMBER:	6126/027
SURVEY DATE:	19/12/2023
SITE LOCATION:	168A ABBOTSFIELD ROAD, CLAREMONT
COORDINATION SYSTEM:	MGA2020
LEVEL DATUM:	AHD83
SERVICE MARKER:	SP49546

SITE SETOUT

1 // GENERAL

- A. SETOUT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SURVEYOR.
- B. THE CONTRACTOR IS TO ARRANGE AND PAY FOR A REGISTERED SURVEYOR TO SETOUT THE BUILDING/S, CIVIL WORKS AND ANY OTHER COMPONENT.
- C. COLLECTIVE CONSULTING TAKE NO RESPONSIBILITY FOR THE SETOUT OF BUILDING/S, CIVIL WORKS AND ANY OTHER COMPONENT.
- D. REFER ARCHT FOR SETOUT OF ALL BUILDING/S AND RELATED COMPONENTS.
- E. ALL SETOUT DIMENSIONS ON THESE DRAWINGS ARE TO BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE COMMENCING WORK.
- F. DO NOT SCALE FOR DIMENSIONS OF THESE DRAWINGS.
- G. UNLESS NOTED OTHERWISE, ALL DIMENSIONS SHOWN ARE IN MILLIMETRES WITH THE EXCEPTION OF SURVEY LEVELS, WHICH ARE IN METRES.

EARTHWORKS

1 // GENERAL

- A. GENERAL EARTHWORKS, MATERIAL AND WORKMANSHIP SHALL COMPLY WITH THE SPECIFICATION, THE CURRENT EDITION OF THE SAA CODE FOR EARTHWORKS, AS3798, THE NCC, SAFE WORK AUSTRALIA CODE OF PRACTICE FOR EXCAVATION WORK, TOGETHER WITH ANY OTHER STANDARDS OR REGULATIONS REFERRED TO THEREIN.
- B. THE CONTRACTOR SHALL KEEP A COPY OF THE CURRENT VERSION OF AS3798 AND ANY OTHER REQUIRED CODES, STANDARDS AND REGULATIONS ON SITE.

2 // TESTING & INSPECTIONS

- A. THE CONTRACTOR IS TO BE RESPONSIBLE FOR ENGAGING AND PAYING ALL COSTS FOR AN APPROVED CONSTRUCTION MATERIALS TESTING COMPANY TO CARRY OUT TESTING OF ALL EARTHWORKS INCLUDING, BUT NOT LIMITED TO:
- | TESTING TYPE | TESTING REQUIREMENTS: |
|------------------------------|-----------------------|
| SUBGRADE | LEVEL 1 TESTING |
| BACKFILL OF SERVICE TRENCHES | LEVEL 1 TESTING |
| FILLS | LEVEL 1 TESTING |
| PAYMENTS | LEVEL 1 TESTING |

CERTIFICATION OF THESE ELEMENTS ARE TO BE PROVIDED PRIOR TO PRACTICAL COMPLETION.

3 // AREAS OF CUT

- A. STRIP EXISTING TOP SOIL, VEGETATION, HARD SURFACES AND OTHER MATERIAL TO SUBGRADE LEVEL.
- B. PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289U TO:
- 88% STANDARD DRY DENSITY UNDER BUILDINGS
 - 98% STANDARD DRY DENSITY UNDER ROADS AND CARPARKS
 - REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE

4 // AREAS OF FILL

- A. STRIP EXISTING TOP SOIL, VEGETATION, HARD SURFACES AND OTHER MATERIAL TO SUBGRADE LEVEL.
- B. PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289U TO:
- 88% STANDARD DRY DENSITY UNDER BUILDINGS
 - 98% STANDARD DRY DENSITY UNDER ROADS AND CARPARKS
 - REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE
- C. PLACE FILL AS SPECIFIED AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE.

5 // DISPOSAL OF EXCAVATED MATERIAL

- A. DISPOSE OF EXCAVATED MATERIAL TO A LICENSED WASTE FACILITY OR APPROVED LAND FILL SITE.

SOIL AND WATER MANAGEMENT

1 // GENERAL

- A. ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH 'SOIL & WATER MANAGEMENT ON BUILDING & CONSTRUCTION SITES' GUIDELINES AVAILABLE FROM NORTHERN RESOURCE MANAGEMENT (NRM) AND DETAILS SUPPLIED IN THESE DESIGN DRAWINGS.
- B. COMPLY WITH ALL REQUIREMENTS TO LIMIT STORMWATER RUNOFF FROM THE SITE DURING CONSTRUCTION.
- C. IT IS STRONGLY RECOMMENDED THAT THE DEVELOPER RECOVERS ANY DISTURBED AREAS WITH TOPSOIL AS QUICKLY AS POSSIBLE AFTER BULK EARTHWORKS ARE COMPLETED, TO PREVENT SOIL DISPERSION.

2 // SOIL EROSION CONTROL

- A. CONTRACTOR TO ALLOW TO:
1. LIMIT DISTURBANCE WHEN EXCAVATING BY PRESERVING VEGETATED AREAS AS MUCH AS POSSIBLE.
 2. DIVERT UP-SLOPE WATER WHERE PRACTICAL.
 3. INSTALL SEDIMENT FENCES DOWN-SLOPE OF ALL DISTURBED LANDS TO FILTER LARGE PARTICLES PRIOR TO STORMWATER SYSTEM.
 4. WASH EQUIPMENT IN DESIGNATED AREA THAT DOES NOT DRAIN TO STORMWATER SYSTEM OR NATURAL DRAINAGE LINES.
 5. PLACE STOCK PILES AWAY FROM ON-SITE DRAINAGE & UP-SLOPE FROM SEDIMENT FENCES.
 6. LEAVE AND MAINTAIN VEGETATED FOOTPATHS.
 7. STORE ALL HARD WASTE AND LITTER IN A DESIGNATED AREA THAT WILL PREVENT IT FROM BEING BLOWN AWAY AND WASHED INTO THE STORMWATER SYSTEMS.
 8. RESTRICT VEHICLE MOVEMENT TO A STABILISED ACCESS.

3 // NRM GUIDELINES

- A. CONTRACTOR TO COMPLETE ALL WORKS IN ACCORDANCE WITH NRM SOIL & WATER MANAGEMENT ON BUILDING & CONSTRUCTION SITE USING THE FOLLOWING FACT SHEETS:
- FACT SHEET 1: SOIL & WATER MANAGEMENT ON LARGE BUILDING & CONSTRUCTION SITES
- FACT SHEET 2: SOIL & WATER MANAGEMENT ON STANDARD BUILDING & CONSTRUCTION SITES
- FACT SHEET 3: SOIL & WATER MANAGEMENT PLANS
- FACT SHEET 4: DISPERSION SOILS - HIGH RISK OF TUNNEL EROSION
- FACT SHEET 5: MINIMISE SOIL DISTURBANCE
- FACT SHEET 7: DIVERT UP-SLOPE WATER
- FACT SHEET 8: EROSION CONTROL MATS & BLANKETS
- FACT SHEET 9: PROTECT SERVICE TRENCHES & STOCKPILES
- FACT SHEET 10: EARLY ROOF DRAINAGE CONNECTION
- FACT SHEET 11: SCOUR PROTECTION - STORMWATER PIPE OUTFALLS & CHECK DAMS
- FACT SHEET 12: STABILISED ACCESS
- FACT SHEET 13: WHEEL WASH
- FACT SHEET 14: SEDIMENT FENCES & FIBRE ROLLS
- FACT SHEET 15: PROTECTION OF STORMWATER PITS
- FACT SHEET 16: MANAGE CONCRETE, BRICK & TILE CUTTING
- FACT SHEET 17: SEDIMENT BASINS
- FACT SHEET 18: DUST CONTROL
- FACT SHEET 19: SITE RE-VEGETATION

CIVIL WORKS

1 // GENERAL

- A. THE CONTRACTOR SHALL ENSURE THAT ALL CIVIL WORKS, MATERIALS AND WORKMANSHIP COMPLY WITH PLANNING AND BUILDING PERMITS, THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC), AUSTRALIAN STANDARDS (AS), DEPARTMENT OF STATE GROWTH (DSG), INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALIA (IPWEA) - TAS DIVISION, LOCAL GOVERNMENT ASSOCIATION TASMANIA (LGAT), AND ANY OTHER STATE / TERRITORY / LOCAL GOVERNMENT REGULATIONS.
- B. ANY DEPARTURE FROM THESE STANDARDS AND REGULATIONS REQUIRES THE PRIOR WRITTEN APPROVAL FROM THE SUPERINTENDENT AND THE WORKS SUPERVISOR / INSPECTOR.

2 // INSPECTIONS

- A. THE CONTRACTOR IS TO BE RESPONSIBLE FOR ORGANISING INSPECTIONS WITH THE SUPERINTENDENT.
- B. THE FOLLOWING SITE INSPECTIONS ARE REQUIRED DURING CONSTRUCTION / HOLD POINTS, AS A MINIMUM, BEFORE COMMENCEMENT OF FURTHER WORKS:

REQUIRED SITE INSPECTIONS:
SUBGRADE PREPARATION
SUBBASE FOR ROADS, CARPARKS AND KERBS
FINAL TRIM PRIOR TO PLACING KERBS
FINAL TRIM PRIOR TO SEALING

- C. THE CONTRACTOR IS TO MAKE THEMSELVES AWARE OF ANY ADDITIONAL INSPECTIONS REQUIRED BY THE LOCAL COUNCIL TO ACHIEVE PRACTICAL COMPLETION AND NOTIFY COLLECTIVE CONSULTING.
- D. COLLECTIVE CONSULTING REQUIRE MIN. 48 HOURS NOTICE PRIOR TO ALL REQUIRED INSPECTIONS.

3 // TESTING

- A. THE CONTRACTOR IS TO BE RESPONSIBLE FOR ENGAGING AND PAYING ALL COSTS FOR AN APPROVED CONSTRUCTION MATERIALS TESTING COMPANY TO CARRY OUT TESTING IN ACCORDANCE WITH DSG SPEC. SECTION 173 - EXAMINATION AND TESTING OF MATERIALS AND WORK (ROADWORKS).

4 // HOTMIX ASPHALT

- A. THE ASPHALT IS TO BE BLACK IN COLOUR (U.N.O.) AND IS TO BE PLACED IN ACCORDANCE WITH DSG SPEC. SECTION 173 - EXAMINATION AND TESTING OF MATERIALS AND WORK (ROADWORKS).
- B. ON-SITE TESTING IS TO BE CARRIED OUT DURING ESTABLISHMENT AND PRIOR TO COMMENCEMENT OF NEW WORKS. PROVIDE LATENT CONDITIONS REPORT TO ENGINEER FOR PRICING. THIS REPORT IS TO IDENTIFY INFRASTRUCTURE UPGRADE WORKS AT THE FRONT END OF THE PROJECT.
- C. NO VARIATION WILL BE PAID FOR LATENT PLUMBING CONDITIONS THAT HAVE NOT BEEN IDENTIFIED DURING THE ON-SITE TESTING & LATENT CONDITIONS REPORT.

5 // KERBS AND CHANNELS

- A. ALL KERBS AND CHANNELS AND ACCESS RAMPS SHOWN ON THE DRAWINGS ARE TO BE IN ACCORDANCE WITH LGAT STANDARD DRAWINGS TSD-R14-v3 TO TSD-R18-v3.

6 // FOOTPATHS

- A. CONSTRUCT FOOTPATHS INCLUDING EXPANSION JOINTS, CONTROL JOINTS, WEARCING PLANE JOINTS, ETC) IN ACCORDANCE WITH LGAT STANDARD DRAWINGS TSD-R11-v3.
- 1 // **LANDSCAPE / STREET FURNITURE**
- A. LANDSCAPE AND STREET FURNITURE DESIGN AND DETAILING BY OTHERS.
- 8 // **ROAD RESERVE WORKS**
- A. ALL WORKS IN (OR REQUIRING OCCUPANCY) IN THE ROAD RESERVE MUST BE UNDERTAKEN BY CONTRACTOR REGISTERED WITH COUNCIL'S REGISTERED CONTRACTORS OR AS APPROVED BY COUNCIL.

SIGNAGE AND LINE MARKING

1 // GENERAL

- A. LINE MARKING AND SIGNAGE SHOWN ON THE DESIGN PLANS ARE FOR INFORMATION ONLY. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS.
- B. CONTRACTOR TO INSTALL ALL SIGNAGE AND LINE MARKING AS PER THE ARCHITECTURAL PLANS.
- C. CAR PARKING SPACES/ AND LINE MARKING TO BE IN ACCORDANCE WITH AS2890.6.
- D. ACCESS CAR PARKING SPACES/ SIGNAGE, SHARED AREA BOLLARD AND LINE MARKING TO BE IN ACCORDANCE AS2890.6.
- E. ALL LINE MARKING TO BE WITH DULUX ROADMASTER (OR EQUIVALENT) U.N.O.
- F. ALL SIGN WORKS AND INSTALLATION TO BE IN ACCORDANCE WITH CURRENT VERSION OF 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES' (MUTCD) & AUSTRADRS FOR SIGNAGE DETAILS.

INFRASTRUCTURE IN EMBANKMENT FILL

1 // GENERAL

- A. WHERE THE LOCATION OF SEWER OR STORMWATER INFRASTRUCTURE REQUIRING FILL OR CONSTRUCTION IN AN EMBANKMENT, ALONG THE ROUTE SHOWN IN THE DESIGN DRAWINGS, PROCEED AS FOLLOWS:
- A.1. PREPARE THE FOUNDATION FOR THE FILL BY CLEANING AWAY ALL DEBRIS, VEGETATION, ORGANIC MATERIAL AND TOPSOIL FOR THE FULL WIDTH OF THE FILL AREA.
- A.2. COMPACT THE CLEANED SOIL SURFACE TO NOT LESS THAN 95% OF IT'S STANDARD MAXIMUM DRY DENSITY (AS3798).
- A.3. PLACE THE FILL IN LAYERS NOT EXCEEDING 200MM THICKNESS AND COMPACT EACH LAYER TO NOT LESS THAN 95% OF IT'S STANDARD MAXIMUM DRY DENSITY (AS3798).
- A.4. BRING THE COMPACTED FILL LEVEL UP TO A HEIGHT OF AT LEAST 300MM ABOVE THE DESIGN LEVEL OF THE TOP OF THE PIPE.
- A.5. PLACE THE REMAINDER OF THE FILL IN LAYERS NOT EXCEEDING 300MM THICKNESS AND COMPACT EACH LAYER TO NOT LESS THAN 95% OF IT'S STANDARD MAXIMUM DRY DENSITY (AS3798).
- B. NOTE THAT ALL EARTHWORKS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS3798.

CONTRACTOR SPECIFIC WORKS - PLUMBING

1 // GENERAL

- A. DUE TO THE AGE OF BUILDING AND THE REQUIREMENTS FOR NEW BUILDING WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC), AUSTRALIAN STANDARDS (AS), DEPARTMENT OF STATE GROWTH (DSG), INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALIA (IPWEA) - TAS DIVISION, LOCAL GOVERNMENT ASSOCIATION TASMANIA (LGAT), WATER SERVICES ASSOCIATION OF AUSTRALIA (WSAA) TASMANIA FIRE SERVICE REQUIREMENTS AND ANY OTHER STATE / TERRITORY / LOCAL GOVERNMENT REGULATIONS, CONTRACTORS ARE TO COMPLETE ALL NECESSARY CHECKS AND ASSESSMENTS LISTED BELOW TO ENSURE THE BUILDING WORKS ARE READY FOR CERTIFICATE OF OCCUPANCY & CERTIFICATE OF COMPLETION.
- B. ON-SITE TESTING IS TO BE CARRIED OUT DURING ESTABLISHMENT AND PRIOR TO COMMENCEMENT OF NEW WORKS. PROVIDE LATENT CONDITIONS REPORT TO ENGINEER FOR PRICING. THIS REPORT IS TO IDENTIFY INFRASTRUCTURE UPGRADE WORKS AT THE FRONT END OF THE PROJECT.
- C. NO VARIATION WILL BE PAID FOR LATENT PLUMBING CONDITIONS THAT HAVE NOT BEEN IDENTIFIED DURING THE ON-SITE TESTING & LATENT CONDITIONS REPORT.
- D. THESE WORKS ARE TO BE INCLUDED IN CONTRACTORS TENDER AS AGREED WITH SUPERINTENDENT.
- E. LOCATE EXISTING INFRASTRUCTURE USING CABLE LOCATORS, POT HOLING, SUCTION TRUCK, HAND DIGGING AND UNDERGROUND CCTV CAMERA INSPECTIONS.

2 // COMPLIANCE WORKS

- A. CONTRACTORS ARE TO COMPLETE THE FOLLOWING WORK:
- A.1. FLOW TEST ALL EXTERNAL & INTERNAL FIRE HYDRANTS FOR COMPLIANCE WITH AS 2419.1. NOTIFY RESULTS TO ENGINEER FOR APPROVAL.
- A.2. FLOW TEST ALL FIRE HOSE REELS FOR COMPLIANCE WITH AS1851.9. NOTIFY RESULTS TO ENGINEER FOR APPROVAL.
- A.3. UPGRADE FIRE HOSE REEL & HYDRANTS TO ACHIEVE COMPLIANCE WITH CURRENT STANDARDS TO ALLOW ISSUE OF CERTIFICATE OF OCCUPANCY & COMPLETION.
- A.4. PRESSURE TEST A DIE TEST EXISTING SEWER SYSTEM PRIOR TO COMMENCING WORKS & CHECK FOR LEAKS OR DEFECTS. MAKE GOOD DEFECTIVE AREAS & PROVIDE CERTIFIED RESULTS TO ENGINEER FOR APPROVAL. AS PART OF LATENT CONDITIONS REPORT PREPARED AT FRONT END OF PROJECT. RE-TEST AFTER COMPLETION OF WORKS & PROVIDE RESULTS PRIOR TO HAND OVER.

STORMWATER INFRASTRUCTURE

1 // GENERAL

- A. ALL STORMWATER INFRASTRUCTURE WORKS TO BE IN ACCORDANCE WITH THE LOCAL COUNCIL AND DSG STANDARDS AND REGULATIONS.
- B. ALL STORMWATER PLUMBING INFRASTRUCTURE AND DRAINAGE TO COMPLY WITH ENGINEER'S INSTRUCTIONS ISSUED DURING THE CONTRACT.
- C. ANY DEPARTURE FROM THESE STANDARDS AND REGULATIONS REQUIRES THE PRIOR WRITTEN APPROVAL FROM THE SUPERINTENDENT AND LOCAL COUNCIL'S WORKS SUPERVISOR / INSPECTOR.
- 2 // **TESTING**
- A. ALL DRAINAGE WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES WHO HAVE JURISDICTION OVER THE VARIOUS SERVICES.
- B. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND REINSTALLED AT THE CONTRACTOR'S EXPENSE.
- C. ONCE DRAINAGE INFRASTRUCTURE HAS BEEN INSTALLED, CONTRACTORS SHALL CCTV ALL PIPES AND SUBMIT FOOTAGE TO LOCAL COUNCIL FOR APPROVAL.

3 // MANHOLES (MH)

- A. MANHOLES ARE TO BE Ø1050 ID (U.N.O.) PRECAST CONCRETE, INSTALLED IN ACCORDANCE WITH AS3419.
- B. ALL MANHOLES IN TRAFFICABLE AREAS ARE TO BE FITTED WITH HEAVY DUTY CLASS D GATIC COVERS AND SURROUNDS (U.N.O.)
- C. ALL MANHOLES IN NON-TRAFFICABLE AREAS ARE TO BE FITTED WITH MEDIUM DUTY CLASS B GATIC COVERS AND SURROUNDS (U.N.O.)
- D. ALL MANHOLES ARE TO HAVE A 5m LENGTH OF Ø75mm MIN. AGRICULTURAL DRAIN CONNECTED TO MANHOLE AND LAD IN THE UPSTREAM PIPE TRENCH IMMEDIATELY ADJACENT TO AND AT THE INVERT OF THE LOWEST PIPEWORK.

4 // TRENCHING AND BACKFILLING

- A. ALL TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THESE DRAWINGS AND TASWATER STANDARDS, INCLUDING ELECTROMAGNETIC METAL IMPREGATED TAPE IN ALL NON METALLIC PIPE TRENCHES.

6 // INSPECTIONS

- A. THE CONTRACTOR IS TO BE RESPONSIBLE FOR ORGANISING INSPECTIONS WITH THE SUPERINTENDENT - LIAISE WITH LOCAL COUNCIL.
- B. THE FOLLOWING SITE INSPECTIONS ARE REQUIRED DURING CONSTRUCTION / HOLD POINTS, AS A MINIMUM, BEFORE COMMENCEMENT OF FURTHER WORKS:
- | REQUIRED SITE INSPECTIONS: |
|-------------------------------------|
| PIPEWORK BEDDING |
| INSTALLED PIPE PRIOR TO BACKFILLING |
| BACKFILLING |
- C. THE CONTRACTOR IS TO MAKE THEMSELVES AWARE OF ANY ADDITIONAL INSPECTIONS REQUIRED BY THE LOCAL COUNCIL TO ACHIEVE PRACTICAL COMPLETION AND NOTIFY COLLECTIVE CONSULTING.
- D. COLLECTIVE CONSULTING REQUIRE MIN. 48 HOURS NOTICE PRIOR TO ALL REQUIRED INSPECTIONS.

7 // AS CONSTRUCTED DRAWINGS

- A. THE CONTRACTOR WILL BE RESPONSIBLE FOR PRODUCING 'AS INSTALLED' DRAWINGS TO THE STANDARD REQUIRED BY THE LOCAL COUNCIL.
- B. THE DRAWINGS SHALL BE CERTIFIED AS BEING CORRECT BY EITHER A CHARTERED CIVIL ENGINEER OR A REGISTERED SURVEYOR.
- C. COLLECTIVE CONSULTING CAN PROVIDE THIS SERVICE, AT AN ADDITIONAL FEE. THIS HAS NOT BEEN ALLOWED FOR AS PART OF THESE WORKS / CONTRACT.

8 // REDUNDANT PIPEWORK

- A. FILL ALL REDUNDANT SECTION OF PIPEWORK WITH 'LIQUIFILL' (GRADE PC-1 - 0.5-2.0 MPa) U.N.O.

SEWER INFRASTRUCTURE

1 // GENERAL

- A. ALL SEWER INFRASTRUCTURE WORKS TO BE IN ACCORDANCE WITH THE WSAA SEWER CODE (02-2014-3.1) GRAVITY SEWERAGE CODE OF AUSTRALIA - MELBOURNE RETAIL WATER AGENCIES INTEGRATED (MRWA) VERSION 2.0 AND AS AMENDED BY THE TASWATER SUPPLEMENT.
- B. TASWATER APPROVED PRODUCTS CAN BE FOUND AT THE FOLLOWING WEBSITE: <https://newa.com.au/Pages/Products.aspx>
- C. ANY DEPARTURE FROM THESE STANDARDS AND REGULATIONS REQUIRES THE PRIOR WRITTEN APPROVAL FROM THE SUPERINTENDENT AND TASWATER FIELD SERVICES OFFICER.
- 2 // **TESTING**
- A. ALL DRAINAGE WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES WHO HAVE JURISDICTION OVER THE VARIOUS SERVICES.
- B. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND REINSTALLED AT THE CONTRACTOR'S EXPENSE.
- C. ONCE DRAINAGE INFRASTRUCTURE HAS BEEN INSTALLED, CONTRACTORS SHALL CCTV ALL PIPES AND SUBMIT FOOTAGE TO TASWATER FOR APPROVAL.

3 // SEWER MAIN CONNECTIONS

- A. ALL NEW LIVE CONNECTIONS TO EXISTING TASWATER SEWER INFRASTRUCTURE INCLUDING, BUT NOT LIMITED TO SEWER MAINS AND MANHOLES, ARE TO BE COMPLETED BY TASWATER (UNLESS PRIOR WRITTEN APPROVAL AT OWNERS COST).
- B. INSTALL PROPERTY SEWER CONNECTIONS STANDARD OR SLOPED WITH A SURFACE INSPECTION OPENING (Ø) NOM. 1.0m WITHIN EACH NEW LOT IN ACCORDANCE WITH SECTION 5 OF WSAA SEWER CODE 02-2014-3.1 GRAVITY SEWERAGE CODE OF AUSTRALIA VERSION 2.0.

4 // MANHOLES (MH)

- A. MANHOLES ARE TO BE Ø1050 ID (U.N.O.) PRECAST CONCRETE, INSTALLED IN ACCORDANCE WITH WSAA STANDARDS.
- B. CONSTRUCTION AND INSTALLATION OF ALL MANHOLES AND MANHOLE COVERS TO BE IN ACCORDANCE WITH THE WSAA SEWER CODE 02-2014-3.1 GRAVITY SEWERAGE CODE OF AUSTRALIA - MELBOURNE RETAIL WATER AGENCIES INTEGRATED (MRWA) VERSION 2.0 AND AS AMENDED BY THE TASWATER SUPPLEMENT.
- C. ALL MANHOLES IN TRAFFICABLE AREAS ARE TO BE FITTED WITH HEAVY DUTY CLASS D GATIC COVERS AND SURROUNDS (U.N.O.)
- D. ALL MANHOLES IN NON-TRAFFICABLE AREAS ARE TO BE FITTED WITH MEDIUM DUTY CLASS B GATIC COVERS AND SURROUNDS (U.N.O.)
- E. BENCHING TO BE FULL DEPTH OF PIPE DIA. AS PER DETAILS IN WSAA SEWER CODE 02-2014-3.1 GRAVITY SEWERAGE CODE OF AUSTRALIA - MELBOURNE RETAIL WATER AGENCIES INTEGRATED (MRWA) VERSION 2.0 AND AS AMENDED BY THE TASWATER SUPPLEMENT.

5 // TRENCHING AND BACKFILLING

- A. ALL TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THESE DRAWINGS AND TASWATER STANDARDS, INCLUDING ELECTROMAGNETIC METAL IMPREGATED TAPE IN ALL NON METALLIC PIPE TRENCHES.
- B. CEMENT STABILISED EMBEMENT FOR SEWER MAINS, IN ACCORDANCE WITH MRWA SEWERAGE STANDARDS DRAWING RWA-S-AND AS AMENDED BY THE TASWATER SUPPLEMENT.

6 // INSPECTIONS

- A. THE CONTRACTOR IS TO BE RESPONSIBLE FOR ORGANISING INSPECTIONS WITH THE SUPERINTENDENT - LIAISE WITH TASWATER.
- B. THE FOLLOWING SITE INSPECTIONS ARE REQUIRED DURING CONSTRUCTION / HOLD POINTS, AS A MINIMUM, BEFORE COMMENCEMENT OF FURTHER WORKS:

REQUIRED SITE INSPECTIONS:
PIPEWORK BEDDING
INSTALLED PIPE PRIOR TO BACKFILLING
BACKFILLING

- C. THE CONTRACTOR IS TO MAKE THEMSELVES AWARE OF ANY ADDITIONAL INSPECTIONS REQUIRED BY TASWATER TO ACHIEVE PRACTICAL COMPLETION AND NOTIFY COLLECTIVE CONSULTING.
- D. COLLECTIVE CONSULTING REQUIRE MIN. 48 HOURS NOTICE PRIOR TO ALL REQUIRED INSPECTIONS.

7 // AS CONSTRUCTED DRAWINGS

- A. THE CONTRACTOR WILL BE RESPONSIBLE FOR PRODUCING 'AS INSTALLED' DRAWINGS TO THE STANDARD REQUIRED BY TASWATER.
- B. THE DRAWINGS SHALL BE CERTIFIED AS BEING CORRECT BY EITHER A CHARTERED CIVIL ENGINEER OR A REGISTERED SURVEYOR.
- C. COLLECTIVE CONSULTING CAN PROVIDE THIS SERVICE, AT AN ADDITIONAL FEE. THIS HAS NOT BEEN ALLOWED FOR AS PART OF THESE WORKS / CONTRACT.

8 // REDUNDANT PIPEWORK

- A. FILL ALL REDUNDANT SECTION OF PIPEWORK WITH 'LIQUIFILL' (GRADE PC-1 - 0.5-2.0 MPa) U.N.O.

WATER RETICULATION INFRASTRUCTURE

1 // GENERAL

- A. ALL WATER INFRASTRUCTURE WORKS TO BE IN ACCORDANCE WITH THE FOLLOWING:
- A.1. WSAA WATER SUPPLY CODE 03-2011-3.1 WATER SUPPLY CODE OF AUSTRALIA - MELBOURNE RETAIL WATER AGENCIES INTEGRATED (MRWA) VERSION 2.0 AND AS AMENDED BY THE TASWATER SUPPLEMENT.
- A.2. TASWATER STANDARD DRAWINGS TWS-W-0002 SERIES.
- A.3. WATER METERING POLICY / METERING GUIDELINES.
- A.4. TASWATER'S STANDARD DRAWINGS: TWS-W-0003 SERIES - FOR PROPERTY SERVICE CONNECTIONS: JOSEFER WATER METER ASSEMBLY.
- A.5. BOUNDARY BACKFLOW CONTAINMENT REQUIREMENTS AND AS3500.1.
- B. ANY DEPARTURE FROM THESE STANDARDS AND REGULATIONS REQUIRES THE PRIOR WRITTEN APPROVAL FROM THE SUPERINTENDENT AND TASWATER'S FIELD SERVICES OFFICER.

2 // TESTING

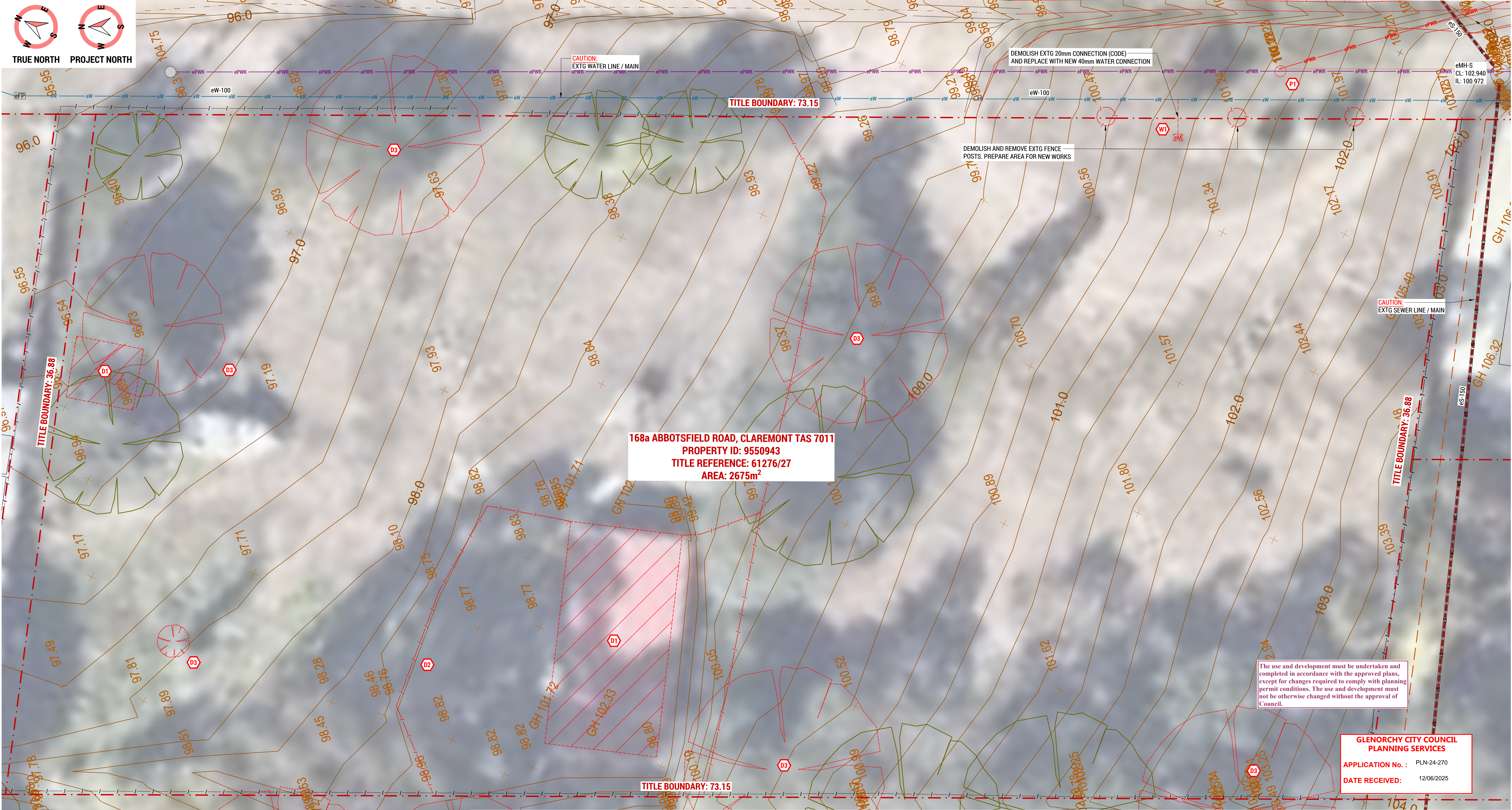
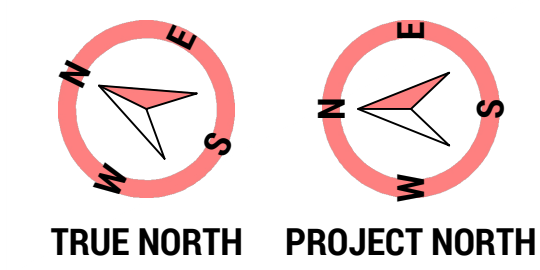
- A. ALL DRAINAGE WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES WHO HAVE JURISDICTION OVER THE VARIOUS SERVICES.
- B. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND REINSTALLED AT THE CONTRACTOR'S EXPENSE.

3 // FIRE HYDRANTS (FH)

- A. INSTALLATION



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A	REVISED DEVELOPMENT APPLICATION		OWN	18-02-25												
B	REVIEW / INFORMATION		OWN	07-02-25												
REV:	(ISSUED FOR / DESCRIPTION)		BY:	DATE:												
	DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:	SCALE:	PROJECT No:	DRAWING No:	REVISION:							
	AJL	JTA	OWM	JTA		1:250 @ A1 1:500 @ A3	241043	C100	B							



- EXISTING SITE / DEMOLITION NOTES:**
1. THE FOLLOWING IS TO BE READ IN CONJUNCTION WITH NOTES ON DRAWING C001.
 2. LOCATE ALL EXISTING UNDERGROUND INFRASTRUCTURE PRIOR TO COMMENCING ANY SITE AND DEMOLITION WORKS. REFER 'EXISTING INFRASTRUCTURE' NOTES ON DRAWING C001 FOR METHODS.
 3. ANY CLASHES WITH DESIGNED INFRASTRUCTURE ON THE FOLLOWING DESIGN DRAWINGS ARE TO BE REPORTED TO DESIGN ENGINEER FOR DIRECTION.
 4. ALL EXISTING INFRASTRUCTURE IS TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO EXISTING INFRASTRUCTURES IS TO BE MADE GOOD AT THE CONTRACTOR'S EXPENSE.
 5. CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR REQUIRED DEMOLITIONS, REMOVALS AND RELOCATIONS TO SUIT NEW WORKS. REFER 'DEMOLITION WORKS' NOTES ON DRAWING C001.
 6. CAP, TERMINATE AND REMOVE REDUNDANT DISUSED DRAINAGE SERVICES TO SATISFACTION OF ENGINEER, LOCAL AUTHORITIES AND IN ACCORDANCE WITH AS3500.
 7. TRENCHES WHERE SERVICES ARE REMOVED ARE TO BE FILLED WITH AN APPROVED COMPACTED MATERIAL AND TO ENGINEERS COMPACTION SPECIFICATIONS. MATCH AND MAKE GOOD EXISTING SURFACES TO MATCH EXISTING SURROUNDINGS.
 8. CONTRACTOR TO ALLOW TO MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION WORKS TO SUPERINTENDENT / PRINCIPAL SATISFACTION.

- EXISTING SITE LEGEND:**
- | | |
|----------|---------------------------------|
| CL | COVER LEVEL |
| e / EXTG | EXISTING ITEM / ELEMENT |
| eEP | EXISTING ELECTRICAL / COMMS PIT |
| eFP | EXISTING FIRE PLUG |
| eGP | EXISTING GRATED / GULLY PIT |
| eHW | EXISTING HEADWALL |
| eMH | EXISTING MANHOLE |
| ePP | EXISTING POWER / LIGHT POLE |
| eSV | EXISTING STOP / SWITCH VALVE |
| eTP | EXISTING TELSTRA PIT |
| IL | INVERT LEVEL |
| S | SEWER |

EXISTING SEWER PIPE SCHEDULE		
MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eS-1	DN150	PVC

EXISTING WATER MAIN SCHEDULE		
MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eW-1	DN100	DUCTILE IRON CEMENT LINED

- DEMOLITION LEGEND:**
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| D1 | DEMOLISH EXTG BUILDINGS (INCLUDING ROOFS, WALLS, FLOORS, FOOTINGS, ETC.) |
| D2 | CAP AND TERMINATE REDUNDANT INFRASTRUCTURE CLEAR OF NEW WORKS |
| D3 | READ IN CONJUNCTION WITH ARCH. DEMOLITION PLANS |
| D4 | MAKE GOOD AREAS AND EXTG SURFACES AND PREPARE FOR NEW WORKS |
| D5 | MAKE GOOD AREAS AND EXTG SURFACES AND PREPARE FOR NEW WORKS |
| D6 | MAKE GOOD AREAS AND EXTG SURFACES AND PREPARE FOR NEW WORKS |
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| D99 | MAKE GOOD AREAS AND EXTG SURFACES AND PREPARE FOR NEW WORKS |
| D100 | MAKE GOOD AREAS AND EXTG SURFACES AND PREPARE FOR NEW WORKS |

E	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25
D	REVIEW / INFORMATION	OWM	07-02-25
C	REVISED DEVELOPMENT APPLICATION	OWM	07-11-24
B	DEVELOPMENT APPLICATION	OWM	27-09-24
A	REVIEW / INFORMATION	OWM	26-09-24
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:

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CLIENT / ARCHITECT:
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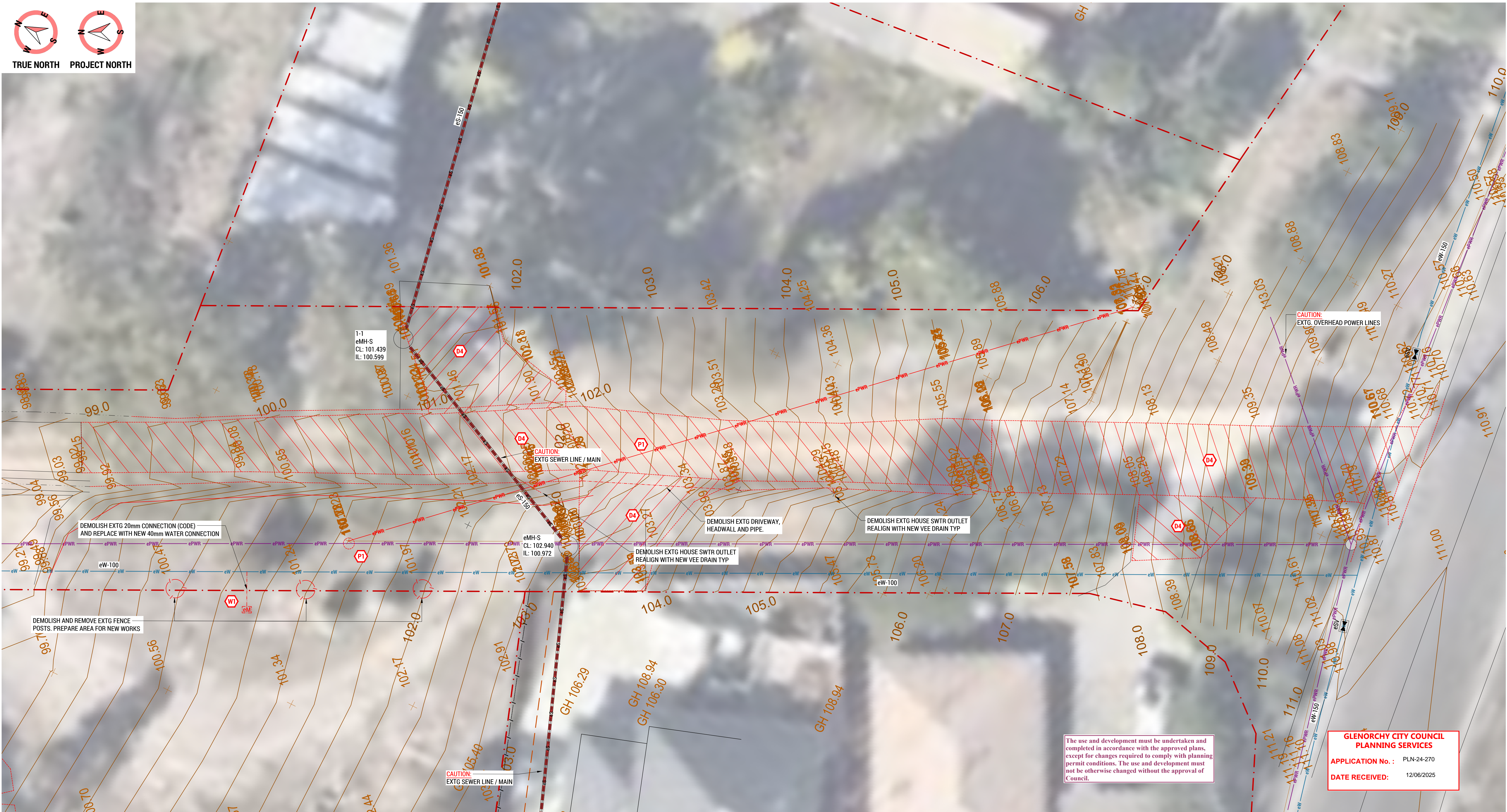
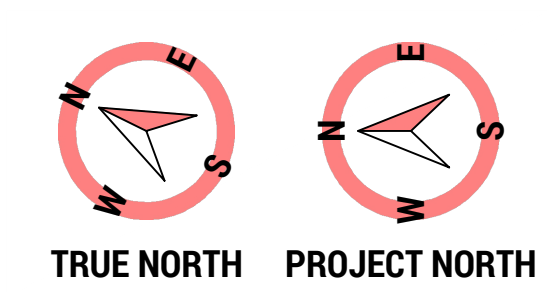


PROJECT DETAILS:
**168a ABBOTSFIELD ROAD, CLAREMONT
UNITS DEVELOPMENT**

DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE:
EXISTING SITE / DEMOLITION PLAN

SCALE:	PROJECT No:	DRAWING No:	REVISION:
1:100 @ A1 (1:200 @ A3)	241043	C101	E



EXISTING SITE / DEMOLITION NOTES:

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EXISTING SITE LEGEND:

CL	COVER LEVEL
e / EXTG	EXISTING ITEM / ELEMENT
eEP	EXISTING ELECTRICAL / COMMS PIT
eFP	EXISTING FIRE PLUG
eGP	EXISTING GRATED / GULLY PIT
eHW	EXISTING HEADWALL
eMH	EXISTING MANHOLE
ePP	EXISTING POWER / LIGHT POLE
eSV	EXISTING STOP / SWITCH VALVE
eTP	EXISTING TELSTRA PIT
IL	INVERT LEVEL
S	SEWER

SW STORMWATER
W WATER

EXISTING SEWER PIPE SCHEDULE		
MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eS-1	DN150	PVC

EXISTING WATER MAIN SCHEDULE		
MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eW-1	DN100	DUCTILE IRON CEMENT LINED

DEMOLITION LEGEND:

- (D1)** DEMOLISH EXTG BUILDINGS (INCLUDING ROOFS, WALLS, FLOORS, FOOTINGS, ETC.) CAP AND TERMINATE REDUNDANT INFRASTRUCTURE CLEAR OF NEW WORKS
READ IN CONJUNCTION WITH ARCH. DEMOLITION PLANS - ALL WORKS TO A SAW CUT EDGE
MAKE GOOD AREAS AND EXTG SURFACES AND PREPARE FOR NEW WORKS

- (D2)** DEMOLISH AND REMOVE EXTG FENCING / SCREENING / ETC. TO EXTENT SHOWN
READ IN CONJUNCTION WITH ARCH. DEMOLITION PLANS
MAKE GOOD AREAS AND EXTG SURFACES AND PREPARE FOR NEW WORKS
- (D3)** DEMOLISH AND REMOVE EXTG LANDSCAPING / PLANTING / SOFT AREAS / ETC.
READ IN CONJUNCTION WITH ARCH. DEMOLITION PLANS
MAKE GOOD AREAS AND EXTG SURFACES AND PREPARE FOR NEW WORKS
- (D4)** DEMOLISH AND REMOVE EXTG CONC. AND GRAVEL HARDSTANDS
READ IN CONJUNCTION WITH ARCH. DEMOLITION PLANS
MAKE GOOD AREAS AND EXTG SURFACES AND PREPARE FOR NEW WORKS
- (W1)** DEMOLISH AND REMOVE EXISTING WATER INFRASTRUCTURE
WORKS TO BE COMPLETED BY TASWATER AT DEVELOPERS COST
MAKE GOOD AREAS ADJACENT AND PREPARE FOR NEW WORKS
- (P1)** DEMOLISH AND RELOCATE EXISTING POWER POLE AND POWER LINES
WORKS TO BE COMPLETED BY TASNETWORKS AT DEVELOPERS COST
MAKE GOOD AREAS ADJACENT AND PREPARE FOR NEW WORKS

B	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25
A	REVIEW / INFORMATION	OWM	07-02-25
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:

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CLIENT / ARCHITECT:

CUNIC HOMES



PROJECT DETAILS:

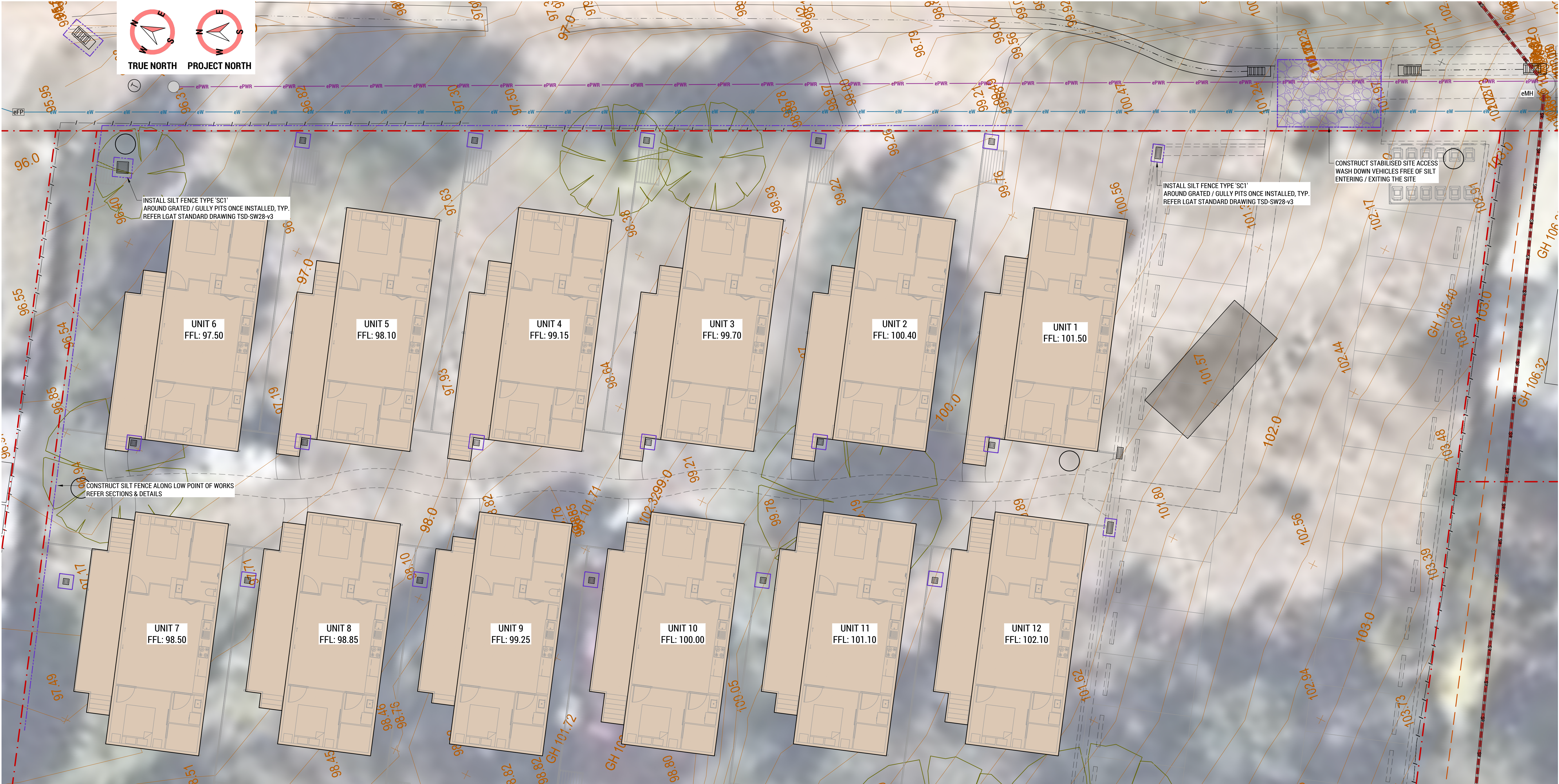
168a ABBOTSFIELD ROAD, CLAREMONT
UNITS DEVELOPMENT

DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE:

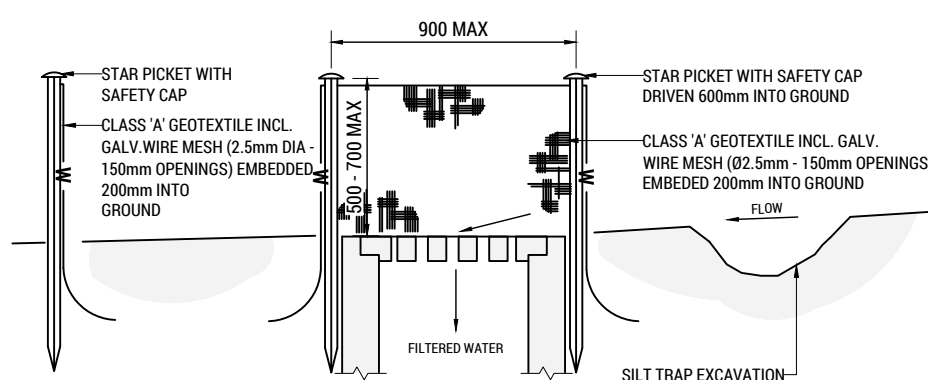
EXISTING SITE / DEMOLITION PLAN

SCALE:	PROJECT No:	DRAWING No:	REVISION:
1:100 @ A1 (1:200 @ A3)	241043	C102	B

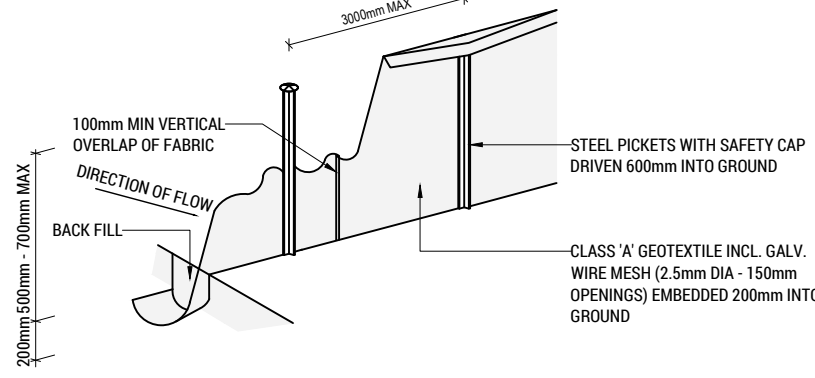


- EROSION AND SEDIMENT CONTROL NOTES:**
1. THE FOLLOWING IS TO BE READ IN CONJUNCTION WITH NOTES ON DRAWING C001.
 2. COMPLY WITH ALL REQUIREMENTS TO LIMIT STORMWATER RUNOFF FROM THE SITE DURING CONSTRUCTION.
 3. EROSION AND SEDIMENT CONTROL MEASURES TO BE CARRIED OUT IN ACCORDANCE WITH 'SOIL AND WATER MANAGEMENT ON BUILDING AND CONSTRUCTION SITES' GUIDELINES AVAILABLE FROM NORTHERN RESOURCE MANAGEMENT (NRM) AND DETAILS SUPPLIED IN THESE DESIGN DRAWINGS.
 4. REFER 'SOIL AND WATER MANAGEMENT' NOTES ON DRAWING C001 FOR ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES.
 5. INSTALL SILT FENCES AND TRAPS TO PREVENT SEDIMENTS AND POLLUTANTS ENTERING STORMWATER SYSTEM OR NATURAL DRAINAGE LINES.
 6. REFER LGAT STANDARD DRAWING TSD-SW28-v3 FOR GUIDELINE / DETAILS FOR SEDIMENT CONTROL. CONSTRUCT AS DETAILED AND INSTALL CLASS 'A' GEOTEXTILE OR USE PROPRIETARY SILT FENCE, EG: MACCAFERRI 'SILT LOK'.
 7. ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AND CLEANED DAILY TO PREVENT BREAKAGE / OVERTOPPING AND MAINTAINED IN A FUNCTIONING CONDITION.
 8. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL TEMPORARY SEDIMENT CONTROL MEASURES.
 9. ALL VEGETATION OUTSIDE OF THE BUILDING ENVELOPE TO BE RETAINED WHERE ABLE.
 10. IT IS STRONGLY RECOMMENDED THAT THE DEVELOPER RE-COVERS ANY DISTURBED AREAS WITH TOPSOIL AS QUICKLY AS POSSIBLE AFTER BULK EARTHWORKS ARE COMPLETED, TO PREVENT SOIL DISPERSION.
 11. STOCK PILING OF SOILS OR OTHER MATERIALS AFFECTED BY WATER TO BE STORED CLEAR OF ANY DRAINAGE PATHS.
 12. WASH DOWN VEHICLES FREE OF SILT ENTERING / EXITING THE SITE.

EROSION AND SEDIMENT CONTROL LEGEND:

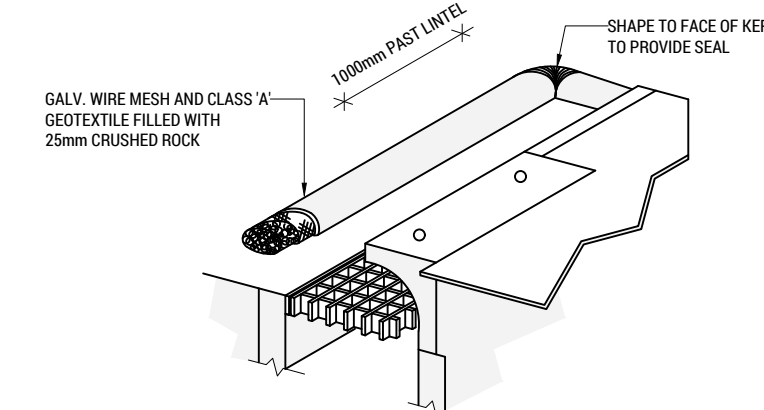


EROSION CONTROL - SILT FENCE AT GRATE PIT - SC1
SCALE N.T.S.



EROSION CONTROL - SILT FENCE
SCALE N.T.S.

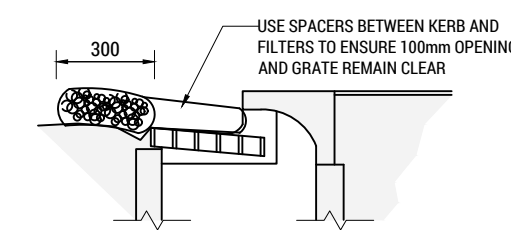
The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.



SILT FENCE
CONSTRUCT AS DETAILED AND INSTALL CLASS 'A' GEOTEXTILE OR USE PROPRIETARY SILT FENCE, EG: MACCAFERRI 'SILT LOK'.
OMIT SANDBAG WALL AND SILT TRAP WHEN PIT IS IN A LOW POINT.
GULLY PIT
GALVANIZED WIRE MESH 2mm DIA x 12mm OPENING.

GENERAL
SEDIMENT FENCES ARE TO BE CLEANED DAILY TO PREVENT BREAKAGE/OVERTOPPING.
IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL MAINTAIN AND (UPON COMPLETION) REMOVE ALL TEMPORARY SEDIMENT CONTROL MEASURES.
IT IS STRONGLY RECOMMENDED THAT THE DEVELOPER RE-COVERS ANY DISTURBED AREAS WITH TOPSOIL AS QUICKLY AS POSSIBLE AFTER BULK EARTHWORKS ARE COMPLETED, TO PREVENT SOIL DISPERSION.

EROSION CONTROL - SILT FENCE AT SIDE ENTRY PIT - SC3
SCALE N.T.S.



EROSION CONTROL - SILT FENCE AT SIDE ENTRY PIT - SC3
SCALE N.T.S.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-270
DATE RECEIVED: 12/06/2025

B	REVISED DEVELOPMENT APPLICATION	SCP	29-05-25
A	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:

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CLIENT / ARCHITECT:

CUNIC HOMES

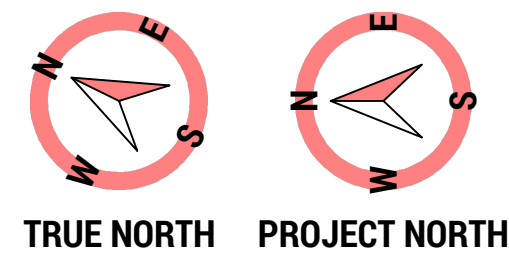


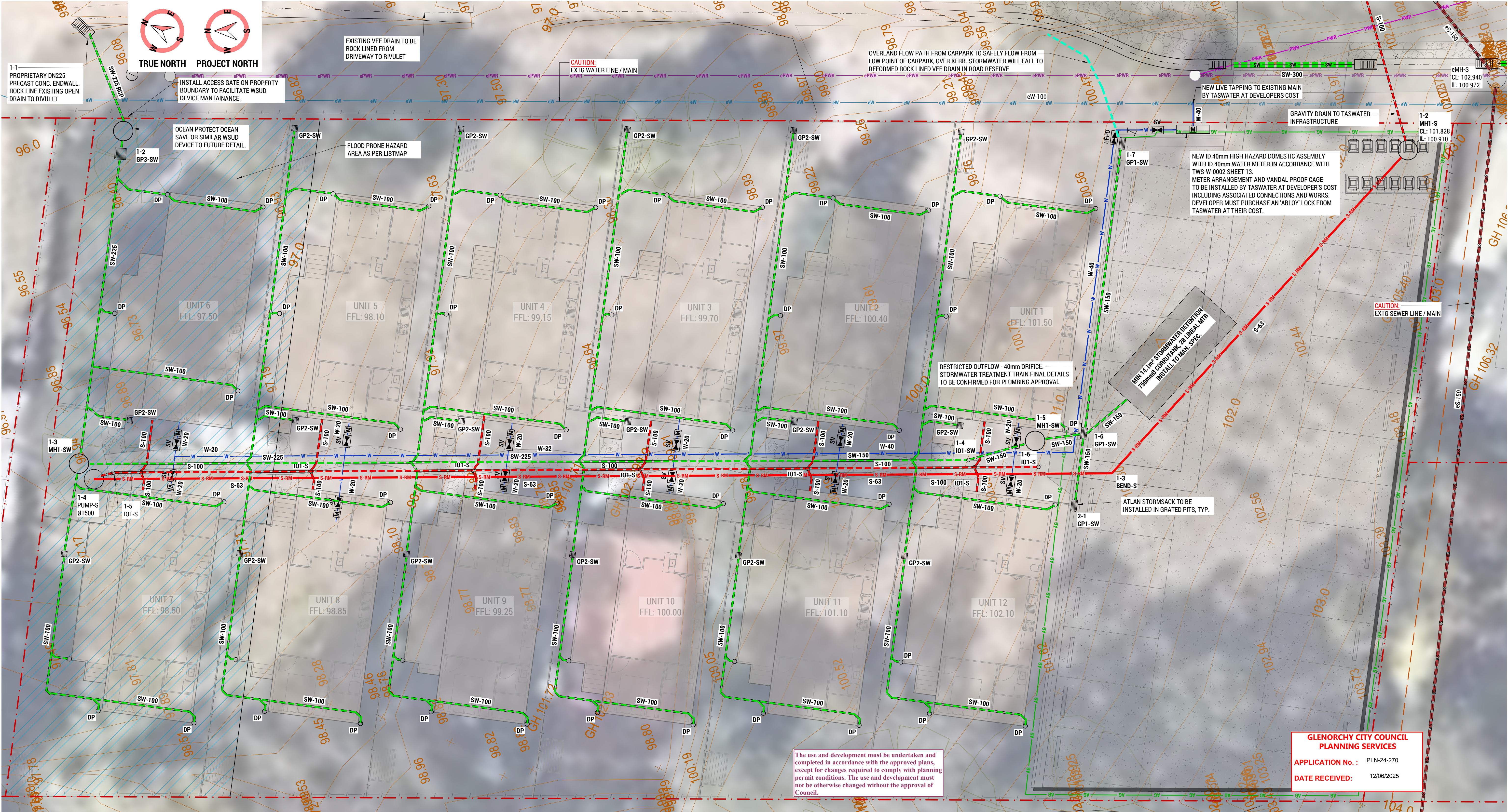
PROJECT DETAILS:
**168a ABBOTSFIELD ROAD, CLAREMONT
UNITS DEVELOPMENT**

DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE:
EROSION CONTROL PLAN

SCALE:	PROJECT No:	DRAWING No:	REVISION:
1:100 @ A1 (1:200 @ A3)	241043	C201	B





INFRASTRUCTURE NOTES:

- 1. THE FOLLOWING IS TO BE READ IN CONJUNCTION WITH NOTES ON DRAWING C001.
- 2. STORMWATER PIPES SHALL BE INSTALLED WITH MIN. 0.5% GRADE FOR SIZES Ø225 AND ABOVE UNLESS NOTED / SCHEDULED OTHERWISE.
- 3. STORMWATER PIPES SHALL BE INSTALLED WITH MIN. 1.0% GRADE FOR PIPE SIZES Ø150 AND BELOW UNLESS NOTED / SCHEDULED OTHERWISE.
- 4. SEWER PIPES SHALL BE INSTALLED WITH MIN. 1.0% GRADE FOR PIPE SIZES Ø150 AND ABOVE UNLESS NOTED / SCHEDULED OTHERWISE.
- 5. SEWER PIPES SHALL BE INSTALLED WITH MIN. 1.65% GRADE FOR PIPE SIZES Ø100 AND BELOW UNLESS NOTED / SCHEDULED OTHERWISE.
- 6. ALL 'DN' SIZES SCHEDULED OR NOTED INDICATE INTERNAL DIAMETER.
- 7. REFER SECTIONS AND DETAILS FOR PIPE TRENCHING SPECS.
- 8. WATER LINES SHALL GENERALLY BE LAID ABOVE SEWER PIPES WHEREVER POSSIBLE.
- 9. ALL PIPES SHALL BE INSTALLED WITH MIN. 750mm COVER (U.N.O.)

INFRASTRUCTURE LEGEND:

CL	COVER LEVEL
DN	NOMINAL PIPE DIAMETER - INTERNAL DIAMETER (U.N.O.)
DP	DOWNPIPE - AS SCHEDULED
e / EXTG	EXISTING ITEM / ELEMENT
FH	FIRE HYDRANT - REFER SECTIONS AND DETAILS
FM	FIRE WATER SERVICE LINE / MAIN
FP	FIRE PLUG
GD	GRADED DRAIN - AS SCHEDULED / REFER SECTIONS AND DETAILS
GP	GRADED / GULLY PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS
GVP	GRADED VEE PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS
HBC	HOSE BIB COCK
IL	INVERT LEVEL

IO

M	METER
MH	MANHOLE - AS SCHEDULED / REFER SECTIONS AND DETAILS
ORG	OVERFLOW RELIEF GULLY
OSDW	ONSITE STORMWATER UNDERGROUND DETENTION SYSTEM
RL	REDUCED LEVEL
S	SEWER
SEP	SIDE ENTRY PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS
SM	SUB-METER
SV	STOP / SWITCH VALVE
SW	STORMWATER
VD	VEE DRAIN - AS SCHEDULED / REFER SECTIONS AND DETAILS
W	WATER

INSPECTION OPENING - FINISHED TO SURFACE LEVEL

METER	METER
MANHOLE - AS SCHEDULED / REFER SECTIONS AND DETAILS	MANHOLE - AS SCHEDULED / REFER SECTIONS AND DETAILS
OVERFLOW RELIEF GULLY	OVERFLOW RELIEF GULLY
ONSITE STORMWATER UNDERGROUND DETENTION SYSTEM	ONSITE STORMWATER UNDERGROUND DETENTION SYSTEM
REDUCED LEVEL	REDUCED LEVEL
SEWER	SEWER
SIDE ENTRY PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS	SIDE ENTRY PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS
SUB-METER	SUB-METER
STOP / SWITCH VALVE	STOP / SWITCH VALVE
STORMWATER	STORMWATER
VEE DRAIN - AS SCHEDULED / REFER SECTIONS AND DETAILS	VEE DRAIN - AS SCHEDULED / REFER SECTIONS AND DETAILS
WATER	WATER

STORMWATER PIPE SCHEDULE

MARK	PIPE SIZE	TYPE	CLASS	GRADE
SW-100	DN100	PVC	SN8	MIN 1%
SW-150	DN150	PVC	SN8	MIN 1%
SW-225	DN225	BLACKMAX	SN8	MIN 1%
SW-225 RCP	DN225	REINFORCED CONC	CLASS 4	MIN 1%
SW-300	DN300	BLACKMAX	SN8	MIN 1%

STORMWATER DRAIN / PIT / MANHOLE SCHEDULE

MARK	SIZE	TYPE	ACCESSORIES
GP1-SW	600 x 300	PRECAST CONC.	GULLY PIT INTEGRAL WITH KERB
GP2-SW	300 x 300	BLACK PLASTIC	S/S GRATED LID
GP3-SW	600 x 600	PRECAST CONC.	CLASS 'B' GALV. GRATE
MH1-SW	Ø1050	PRECAST CONC.	CLASS 'D' GATIC TRAFFICABLE LID
IO1-SW	DN100	PVC	PLASTIC NON-TRAFFICABLE LID
HW1-SW	MATCH PIPE	PRECAST CONC.	

EXISTING SEWER PIPE SCHEDULE

MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eS-150	DN150	PVC

SEWER PIPE SCHEDULE

MARK	PIPE SIZE	TYPE	CLASS	GRADE
S-63	DN63	RIISING MAIN	PEX 100	N/A
S-100	DN100	PVC	SN8	MIN 1.67%

SEWER PIT / MANHOLE SCHEDULE

MARK	SIZE	TYPE	ACCESSORIES
MH1-S	Ø1050	PRECAST CONC.	CLASS 'D' GATIC TRAFFICABLE LID
PUMP-S	Ø1500	PRECAST CONC	SEWER PUMP
IO1-S	DN100	PVC	PLASTIC NON-TRAFFICABLE LID

EXISTING WATER MAIN SCHEDULE

MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eW-100	DN100	DUCTILE IRON CEMENT LINED
eW-150	DN150	CAST IRON

WATER MAIN SCHEDULE

MARK	PIPE SIZE	TYPE
W-20	ID 20 (OD 32)	PEX 100
W-32	ID 32 (OD 40)	HDPE SDR11 PN16
W-40	ID 40 (OD 50)	HDPE SDR11 PN16

F	REVISED DEVELOPMENT APPLICATION	SCP	29-05-25
E	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25
D	REVIEW / INFORMATION	OWM	07-02-25
C	REVISED DEVELOPMENT APPLICATION	OWM	07-11-24
B	DEVELOPMENT APPLICATION	OWM	27-09-24
A	REVIEW / INFORMATION	OWM	26-09-24
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:

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CLIENT / ARCHITECT:

CUNIC HOMES



PROJECT DETAILS:

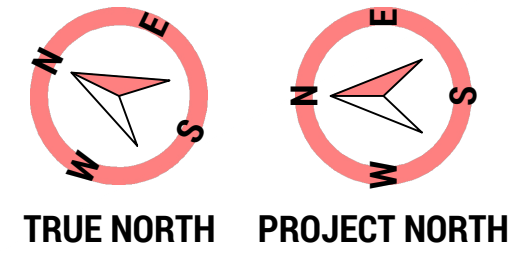
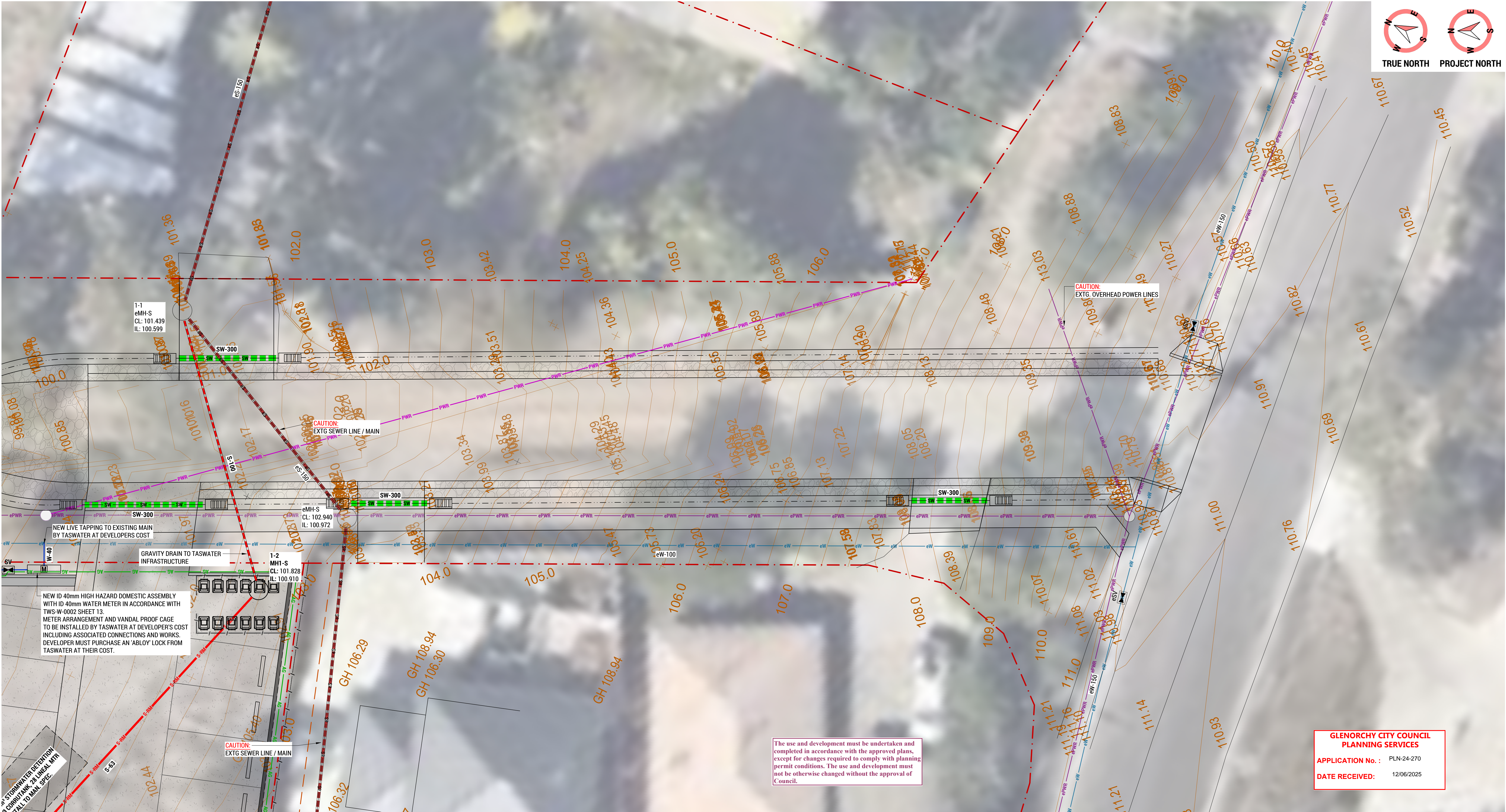
168a ABBOTSFIELD ROAD, CLAREMONT
UNITS DEVELOPMENT

DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE:

INFRASTRUCTURE PLAN

SCALE:	PROJECT No:	DRAWING No:	REVISION:
1:100 @ A1 1:200 @ A3	241043	C401	F



- INFRASTRUCTURE NOTES:**
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 - STORMWATER PIPES SHALL BE INSTALLED WITH MIN. 1.0% GRADE FOR PIPE SIZES Ø150 AND BELOW UNLESS NOTED / SCHEDULED OTHERWISE.
 - SEWER PIPES SHALL BE INSTALLED WITH MIN. 1.0% GRADE FOR PIPE SIZES Ø150 AND ABOVE UNLESS NOTED / SCHEDULED OTHERWISE.
 - SEWER PIPES SHALL BE INSTALLED WITH MIN. 1.65% GRADE FOR PIPE SIZES Ø100 AND BELOW UNLESS NOTED / SCHEDULED OTHERWISE.
 - ALL 'DN' SIZES SCHEDULED OR NOTED INDICATE INTERNAL DIAMETER.
 - REFER SECTIONS AND DETAILS FOR PIPE TRENCHING SPEC'S.
 - WATER LINES SHALL GENERALLY BE LAID ABOVE SEWER PIPES WHEREVER POSSIBLE.
 - ALL PIPES SHALL BE INSTALLED WITH MIN. 750mm COVER (U.N.O.)

- INFRASTRUCTURE LEGEND:**
- | | |
|----------|--|
| CL | COVER LEVEL |
| DN | NOMINAL PIPE DIAMETER - INTERNAL DIAMETER (U.N.O.) |
| DP | DOWNPIPE - AS SCHEDULED |
| e / EXTG | EXISTING ITEM / ELEMENT |
| FL | FIRE HYDRANT - REFER SECTIONS AND DETAILS |
| FM | FIRE WATER SERVICE LINE / MAIN |
| FP | FIRE PLUG |
| GD | GRATED DRAIN - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| GP | GRATED / GULLY PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| GVP | GRATED VEE PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| HBC | HOSE BIB COCK |
| IL | INVERT LEVEL |

- | | |
|------|--|
| IO | INSPECTION OPENING - FINISHED TO SURFACE LEVEL |
| M | METER |
| MH | MANHOLE - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| ORG | OVERFLOW RELIEF GULLY |
| OSDW | ONSITE STORMWATER UNDERGROUND DETENTION SYSTEM |
| RL | REDUCED LEVEL |
| S | SEWER |
| SEP | SIDE ENTRY PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| SM | SUB-METER |
| SV | STOP / SWITCH VALVE |
| SW | STORMWATER |
| VD | VEE DRAIN - AS SCHEDULED / REFER SECTIONS AND DETAILS |
| W | WATER |

STORMWATER PIPE SCHEDULE				
MARK	PIPE SIZE	TYPE	CLASS	GRADE
SW-100	DN100	PVC	SN8	MIN 1%
SW-150	DN150	PVC	SN8	MIN 1%
SW-225	DN225	BLACKMAX	SN8	MIN 1%
SW-225 RCP	DN225	REINFORCED CONC	CLASS 4	MIN 1%
SW-300	DN300	BLACKMAX	SN8	MIN 1%

STORMWATER DRAIN / PIT / MANHOLE SCHEDULE			
MARK	SIZE	TYPE	ACCESSORIES
GP1-SW	600 x 300	PRECAST CONC.	GULLY PIT INTEGRAL WITH KERB
GP2-SW	300 x 300	BLACK PLASTIC	S/S GRATED LID
GP3-SW	600 x 600	PRECAST CONC.	CLASS 'B' GALV. GRATE
MH1-SW	Ø1050	PRECAST CONC.	CLASS 'D' GATIC TRAFFICABLE LID
IO1-SW	DN100	PVC	PLASTIC NON-TRAFFICABLE LID
HW1-SW	MATCH PIPE	PRECAST CONC.	-

EXISTING SEWER PIPE SCHEDULE		
MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eS-150	DN150	PVC

SEWER PIPE SCHEDULE				
MARK	PIPE SIZE	TYPE	CLASS	GRADE
S-63	DN63	RIISING MAIN	PEX 100	N/A
S-100	DN100	PVC	SN8	MIN 1.67%

SEWER PIT / MANHOLE SCHEDULE			
MARK	SIZE	TYPE	ACCESSORIES
MH1-S	Ø1050	PRECAST CONC.	CLASS 'D' GATIC TRAFFICABLE LID
PUMP-S	Ø1500	PRECAST CONC	SEWER PUMP
IO1-S	DN100	PVC	PLASTIC NON-TRAFFICABLE LID

EXISTING WATER MAIN SCHEDULE		
MARK	EXISTING PIPE SIZE	EXISTING PIPE TYPE
eW-100	DN100	DUCTILE IRON CEMENT LINED
eW-150	DN150	CAST IRON

WATER MAIN SCHEDULE		
MARK	PIPE SIZE	TYPE
W-20	ID 20 (OD 32)	PEX 100
W-32	ID 32 (OD 40)	HDPE SDR11 PN16
W-40	ID 40 (OD 50)	HDPE SDR11 PN16

E	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25
D	REVIEW / INFORMATION	OWM	07-02-25
C	REVISED DEVELOPMENT APPLICATION	OWM	07-11-24
B	DEVELOPMENT APPLICATION	OWM	27-09-24
A	REVIEW / INFORMATION	OWM	26-09-24
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:

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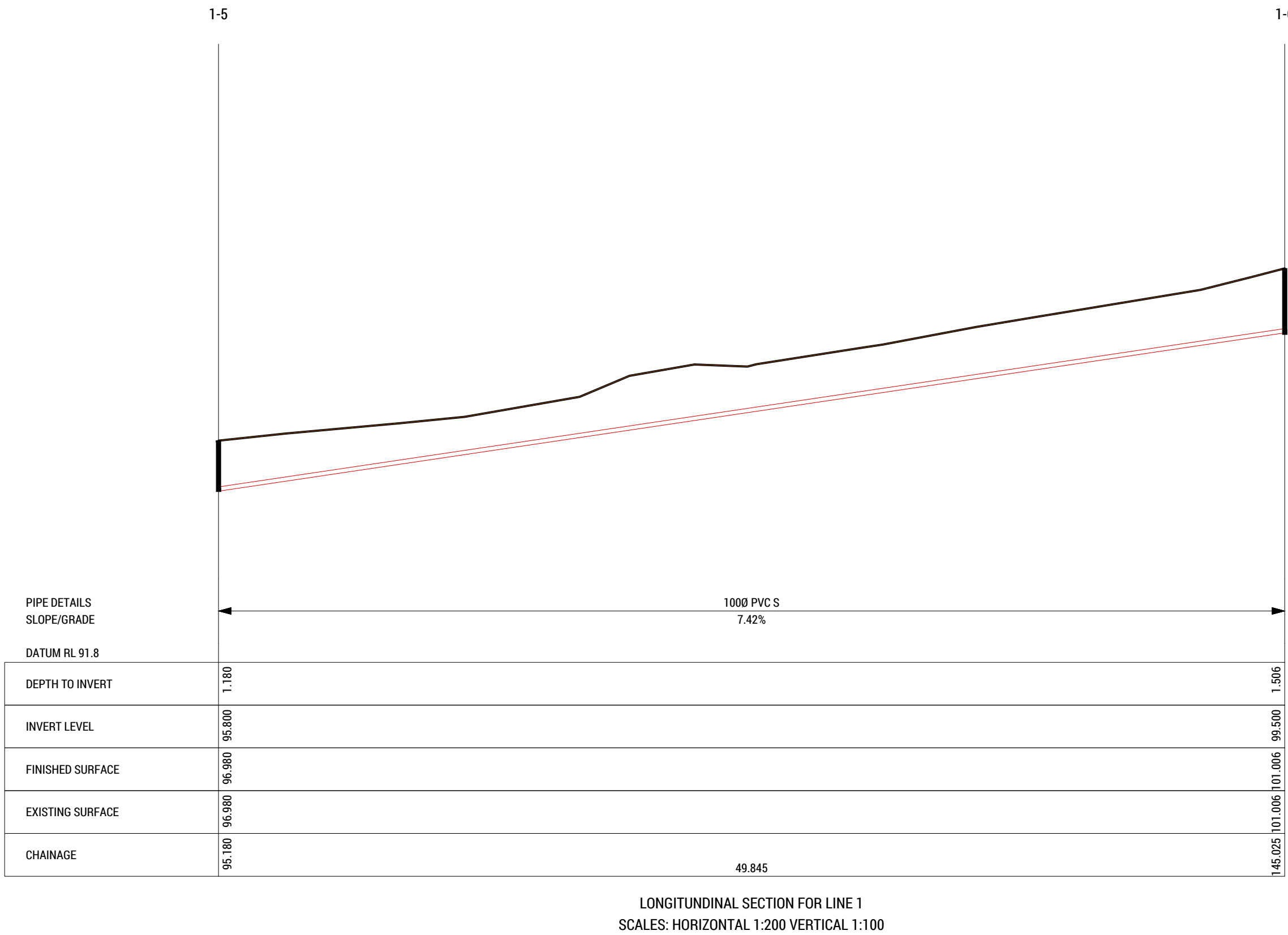
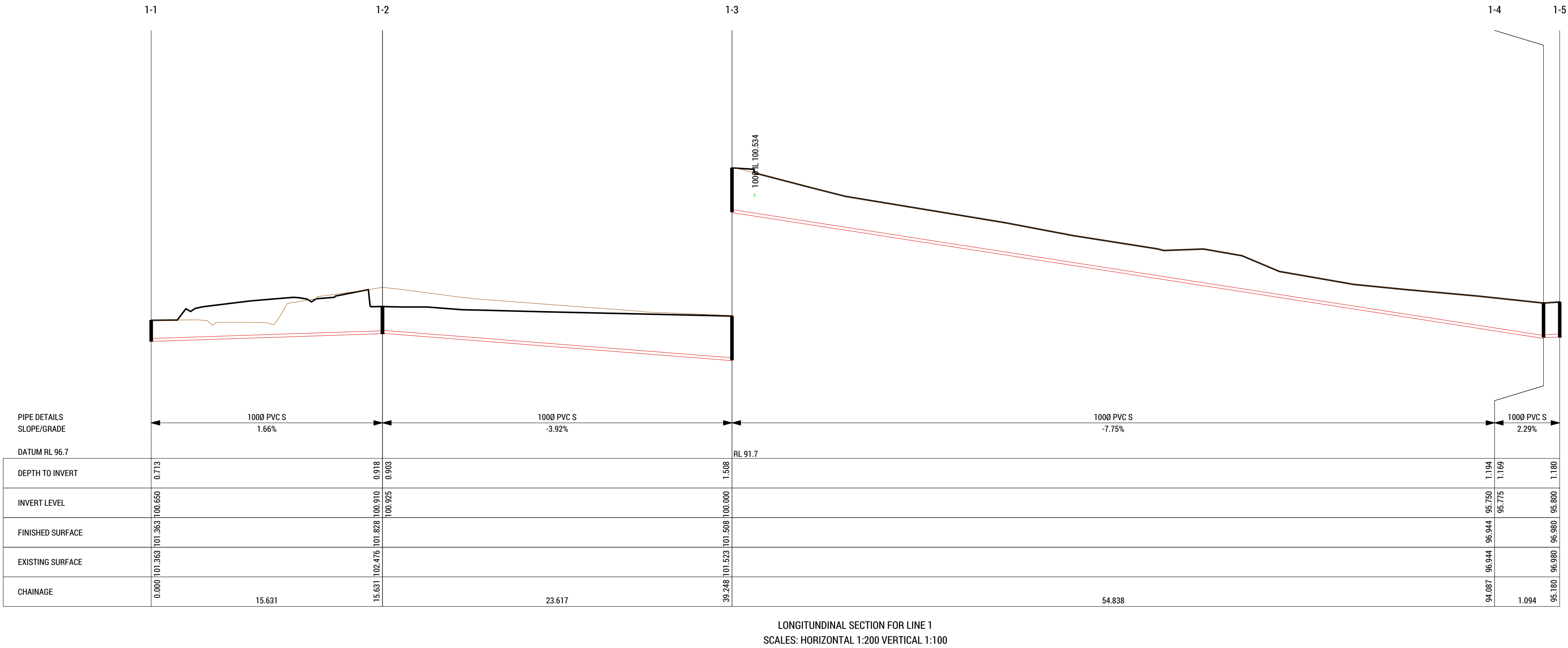
CLIENT / ARCHITECT:
CUNIC HOMES

PROJECT DETAILS:
**168a ABBOTSFIELD ROAD, CLAREMONT
UNITS DEVELOPMENT**

DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE:
INFRASTRUCTURE PLAN

SCALE: 1:100 @ A1 (1:200 @ A3)	PROJECT No: 241043	DRAWING No: C402	REVISION: E
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The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-270
DATE RECEIVED: 12/06/2025

B	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25
A	REVIEW / INFORMATION	OWM	07-02-25
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:

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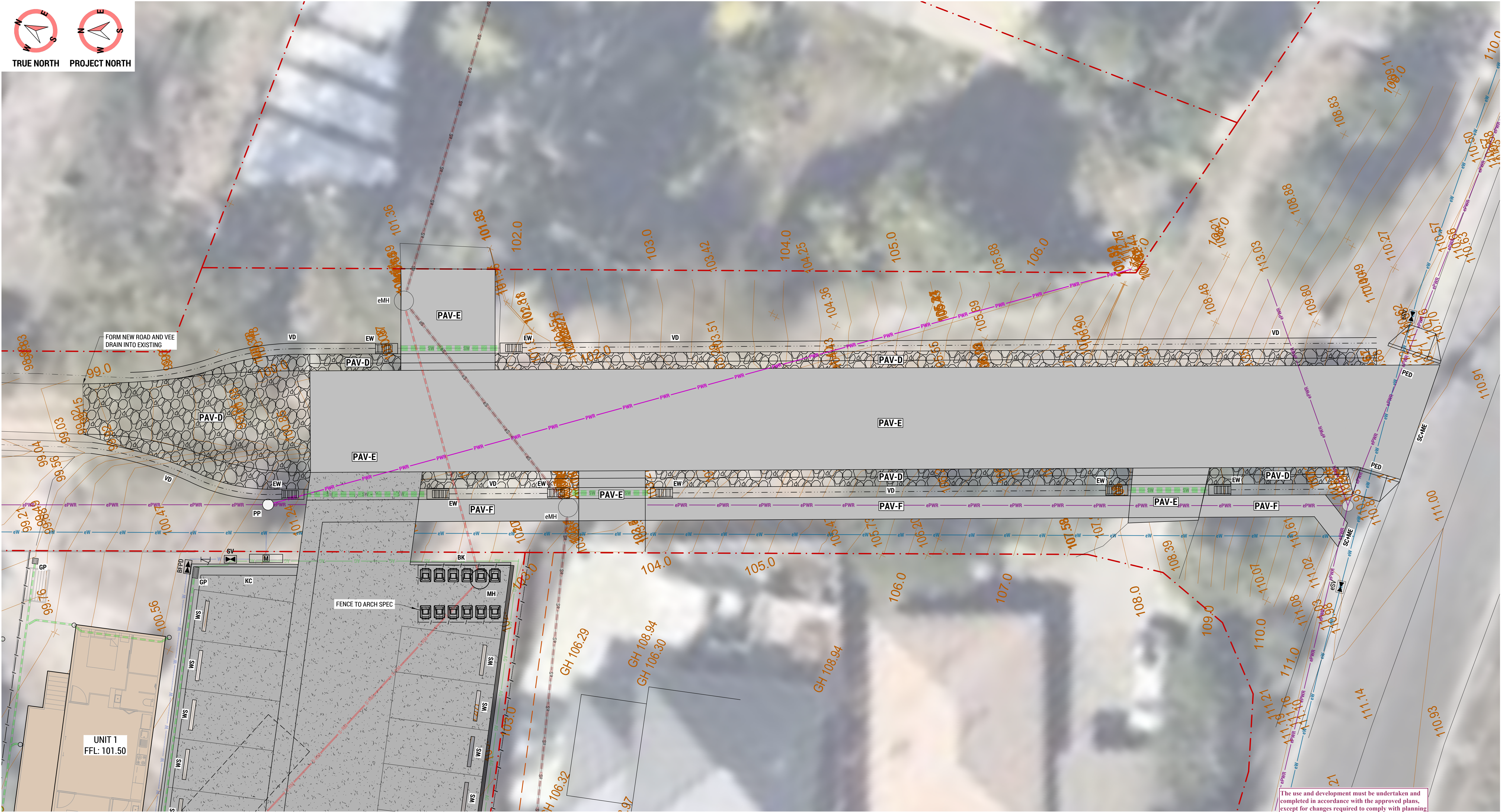
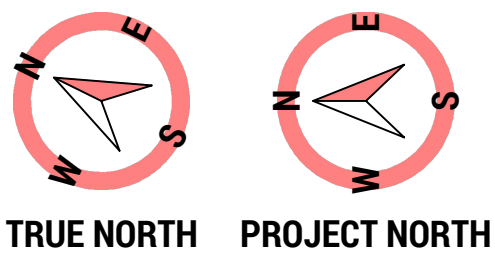
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collectiveconsulting.com.au

CLIENT / ARCHITECT:
CUNIC HOMES


PROJECT DETAILS: 168a ABBOTSFIELD ROAD, CLAREMONT UNITS DEVELOPMENT				
DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE: SEWER LONGITUDINAL SECTIONS			
SCALE:	PROJECT No:	DRAWING No:	REVISION:
VARIES	241043	C411	B



The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.

CIVIL WORKS NOTES:

1. THE FOLLOWING IS TO BE READ IN CONJUNCTION WITH NOTES ON DRAWING C001.

PAV-A	PAV-A - CONCRETE HARDSTAND - TRAFFICABLE REFER SECTIONS AND DETAILS
PAV-B	PAV-B - CONCRETE HARDSTAND - NON-TRAFFICABLE REFER SECTIONS AND DETAILS
PAV-C	PAV-C - GRAVEL HARDSTAND - NON-TRAFFICABLE REFER SECTIONS AND DETAILS

PAV-D	PAV-D - GRAVEL HARDSTAND - TRAFFICABLE REFER SECTIONS AND DETAILS
PAV-E	PAV-E - TWO COAT SEAL - TRAFFICABLE REFER SECTIONS AND DETAILS
PAV-F	PAV-F - TWO COAT SEAL - NON-TRAFFICABLE REFER SECTIONS AND DETAILS
SURF-A	SURF-A - LANDSCAPING / SOFT AREAS 200mm MINIMUM GOOD QUALITY TOPSOIL (UNLESS SPECIFIED OTHERWISE BY ARCHITECT / PRINCIPAL)

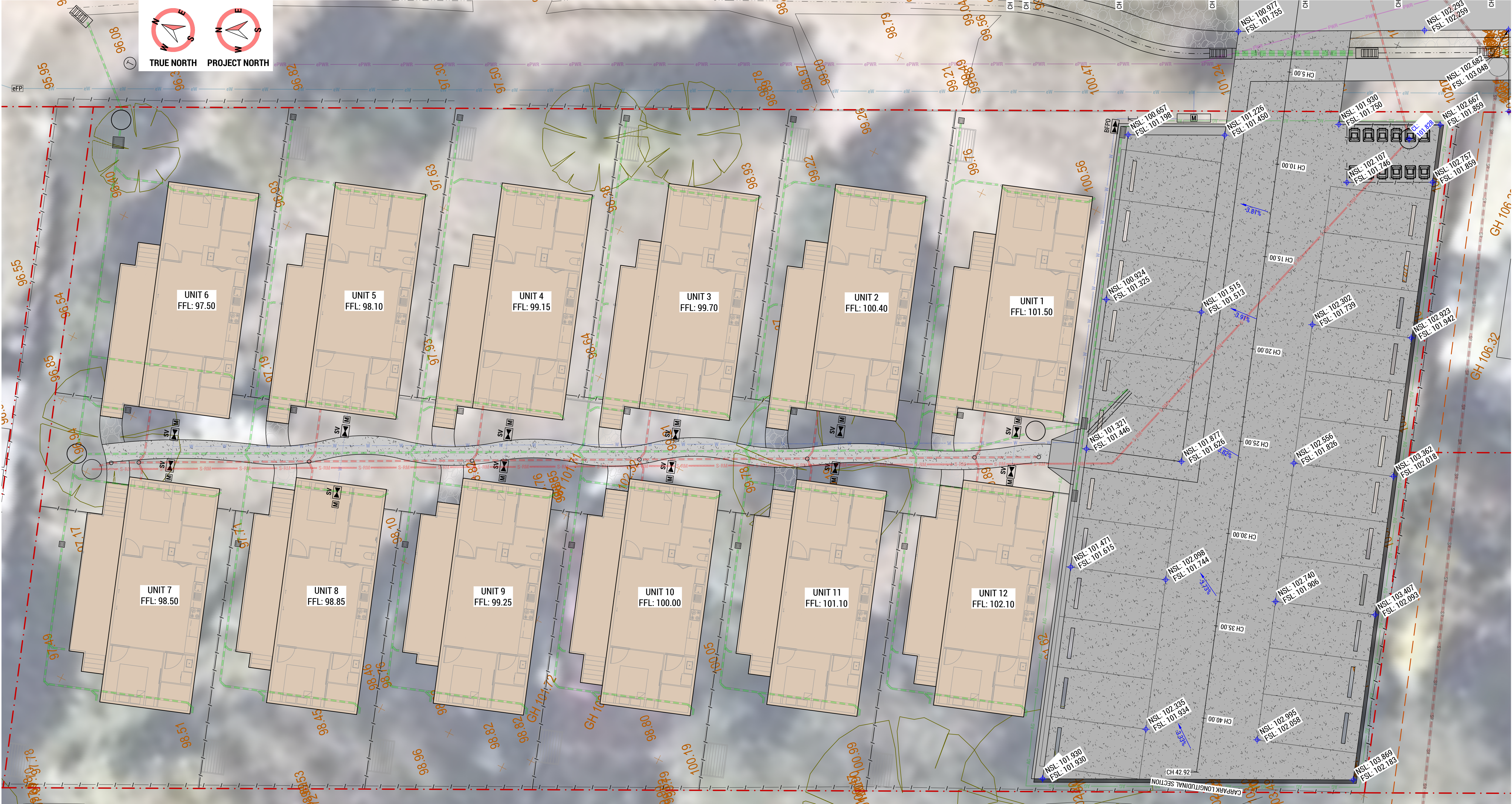
BK	BARRIER KERB - REFER SECTIONS AND DETAILS
Bol	BOLLARD - REFER SECTIONS AND DETAILS
CL	COVER LEVEL
DN	NOMINAL PIPE DIAMETER - INTERNAL DIAMETER (U.N.O.)
DP	DOWNPIPE - AS SCHEDULED
e / EXTG	EXISTING ITEM / ELEMENT
EW	DRIVEABLE CULVERT ENDWALL
FFL	FINISHED FLOOR LEVEL
FH	FIRE HYDRANT - AS SCHEDULED / REFER SECTIONS AND DETAILS
FK	FLUSH KERB - REFER SECTIONS AND DETAILS
FM	FIRE MAIN SERVICE LINE
FP	FIRE PLUG

FSL	FINISHED SURFACE LEVEL
GP	GRATED / GULLY PIT - AS SCHEDULED / REFER SECTIONS AND DETAILS
HBC	HOSE BIB COCK
HW	HEADWALL - AS SCHEDULED / REFER SECTIONS AND DETAILS
IL	INVERT LEVEL
IO	INSPECTION OPENING
KC	KERB AND CHANNEL - REFER SECTIONS AND DETAILS
KCV	KERB AND CHANNEL - VEHICULAR - REFER SECTIONS AND DETAILS
M	WATER METER - AS SCHEDULED / REFER SECTIONS AND DETAILS
ME	MATCH EXISTING / MAKE GOOD TO PRINCIPAL SATISFACTION
MH	MANHOLE - AS SCHEDULED / REFER SECTIONS AND DETAILS



NSL	NATURAL SURFACE LEVEL
PED	PEDESTRIAN ACCESS RAMP - REFER SECTIONS AND DETAILS
RW	RETAINING WALL - AS SCHEDULED / REFER SECTIONS AND DETAILS
S	SEWER
SC	WORKS TO A SAWCUT EDGE - MAKE GOOD TO PRINCIPAL SATISFACTION
SCJ	SLAB SAWCUT JOINT - AS SCHEDULED / REFER SECTIONS AND DETAILS
SL	SURFACE LEVEL
SV	STOP / SWITCH VALVE
SW	STORMWATER
VD	VEE DRAIN - AS SCHEDULED / REFER SECTIONS AND DETAILS
W	WATER
WS	WHEEL STOP - IN ACCORDANCE WITH AS2890.1 - REFER SECTIONS AND DETAILS

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-270
DATE RECEIVED: 12/06/2025

E		REVISED DEVELOPMENT APPLICATION		OWM	18-02-25	COLLECTIVE CONSULTING DISCLAIMER: 1. THIS DRAWING HAS BEEN PRODUCED FOR THE NAMED CLIENT AND FOR USE OF THIS PROJECT ONLY, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. 2. THESE DRAWINGS MUST BE APPROVED BY COUNCIL, TASWATER AND ANY OTHER REQUIRED AUTHORITIES PRIOR TO COMMENCING CONSTRUCTION. 3. THE RECIPIENT IS RESPONSIBLE FOR ENSURING THAT THEY REVIEW THE STATUS OF THIS DRAWING, AND IN RECEIPT OF THE CURRENT REVISION PRIOR TO USE. 4. INFORMATION PROVIDED WITHIN THIS DOCUMENT HAS BEEN PROVIDED UNDER COLLECTIVE CONSULTING'S TERMS OF ENGAGEMENT. BY ACCEPTING OR USING THE INFORMATION WITHIN THIS DOCUMENT YOU HAVE ACCEPTED THE TERMS OF ENGAGEMENT. TERMS CAN BE VIEWED AT: WWW.COLLECTIVECONSULTING.COM.AU/TERMSOFENGAGEMENT . 5. DO NOT SCALE DRAWINGS. COLLECTIVE CONSULTING IS NOT RESPONSIBLE FOR THE DIMENSIONING AND SETTING OUT OF COMPONENTS WITHIN THESE PROJECT DOCUMENTS.	 E admin@collectiveconsulting.com.au Level 1, 10-14 Paterson Street Launceston TAS 7250 P (03) 6334 0854 collectiveconsulting.com.au	CLIENT / ARCHITECT: CUNIC HOMES  Build for life	PROJECT DETAILS: 168a ABBOTSFIELD ROAD, CLAREMONT UNITS DEVELOPMENT					DRAWING TITLE: CIVIL WORKS PLAN			
D	REVIEW / INFORMATION		OWM	07-02-25	DESIGN BY:				DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:	SCALE: 1:100 @ A1 (1:200 @ A3)	PROJECT No: 241043	DRAWING No: C502	REVISION: E	
C	REVISED DEVELOPMENT APPLICATION		OWM	07-11-24	AJL				JTA	OWM	JTA						
B	DEVELOPMENT APPLICATION		OWM	27-09-24													
A	REVIEW / INFORMATION		OWM	26-09-24													
REV:	ISSUED FOR / DESCRIPTION:		BY:	DATE:													



CIVIL LEVELS NOTES:
1. THE FOLLOWING IS TO BE READ IN CONJUNCTION WITH NOTES ON DRAWING C001.

CIVIL LEVELS LEGEND:	
CL	COVER LEVEL
e / EXTG	EXISTING ITEM / ELEMENT
FFL	FINISHED FLOOR LEVEL
FSL	FINISHED SURFACE LEVEL
IL	INVERT LEVEL
NSL	NATURAL SURFACE LEVEL
SL	SURFACE LEVEL
TOK	TOP OF KERB
TOW	TOP OF WALL
 FSL 100.0	EXISTING SURFACE LEVEL MARKER AND HEIGHT / RL
 SL 100.0	PROPOSED SURFACE LEVEL MARKER AND HEIGHT / RL

REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:
C	REVISED DEVELOPMENT APPLICATION	SCP	29-05-25
B	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25
A	REVIEW / INFORMATION	OWM	07-02-25

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CLIENT / ARCHITECT:
CUNIC HOMES

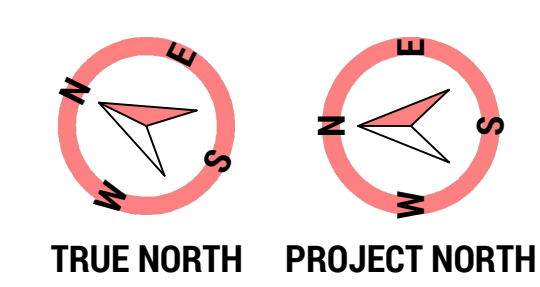


PROJECT DETAILS: 168a ABBOTSFIELD ROAD, CLAREMONT UNITS DEVELOPMENT				
DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE: CIVIL LEVELS PLAN			
SCALE: 1:100 @ A1 (1:200 @ A3)	PROJECT No: 241043	DRAWING No: C511	REVISION: C

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-270
DATE RECEIVED: 12/06/2025



CIVIL LEVELS NOTES:
1. THE FOLLOWING IS TO BE READ IN CONJUNCTION WITH NOTES ON DRAWING C001.

CIVIL LEVELS LEGEND:	
CL	COVER LEVEL
e / EXTG	EXISTING ITEM / ELEMENT
FFL	FINISHED FLOOR LEVEL
FSL	FINISHED SURFACE LEVEL
IL	INVERT LEVEL
NSL	NATURAL SURFACE LEVEL
SL	SURFACE LEVEL
TOK	TOP OF KERB
TOW	TOP OF WALL
	EXISTING SURFACE LEVEL MARKER AND HEIGHT / RL
	PROPOSED SURFACE LEVEL MARKER AND HEIGHT / RL

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REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:
C	REVISED DEVELOPMENT APPLICATION	SCP	29-05-25
B	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25
A	REVIEW / INFORMATION	OWM	07-02-25

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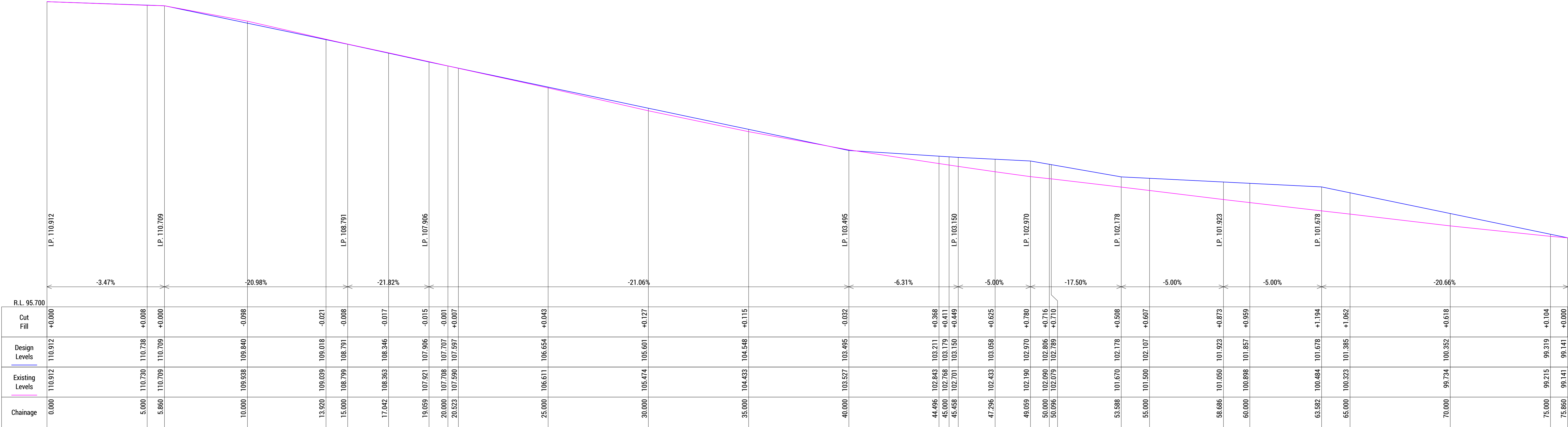
CLIENT / ARCHITECT:
CUNIC HOMES

PROJECT DETAILS:
**168a ABBOTSFIELD ROAD, CLAREMONT
UNITS DEVELOPMENT**

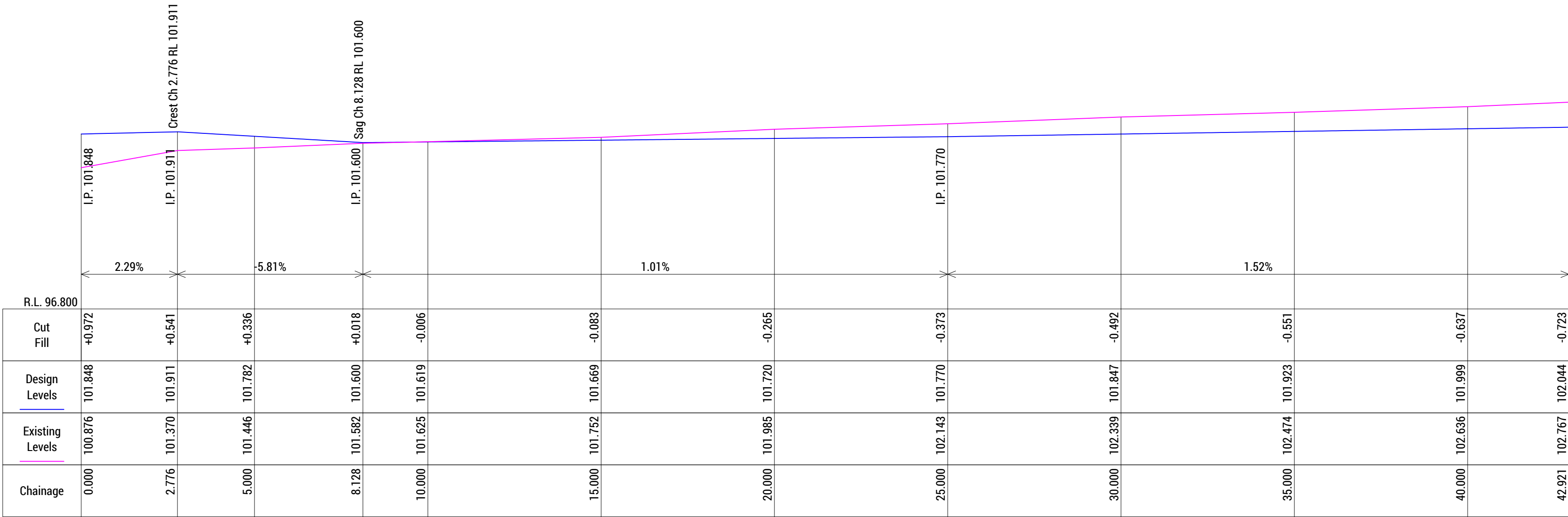
DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE:
CIVIL LEVELS PLAN

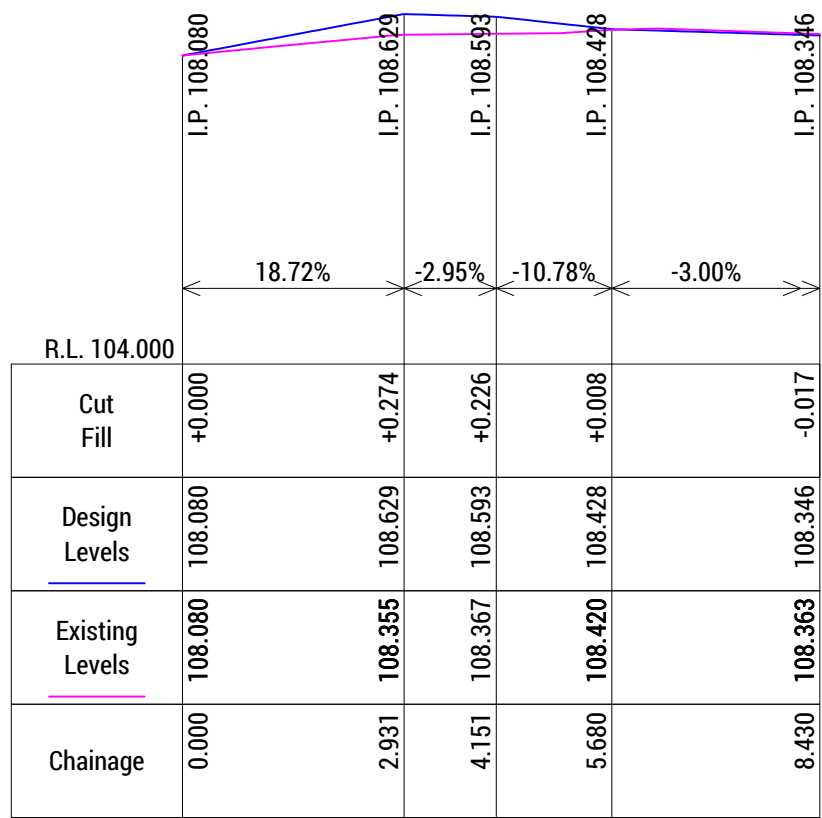
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1:100 @ A1 (1:200 @ A3)	241043	C512	C



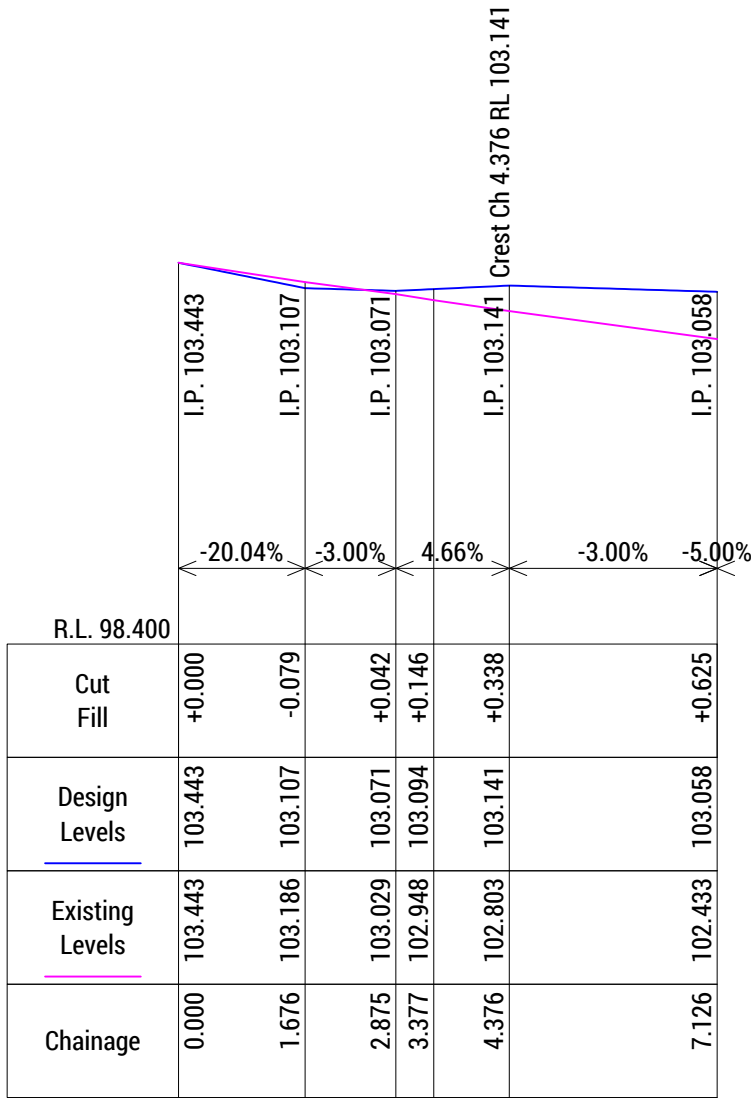
LONGITUDINAL SECTION
Scales: H 1:100 V 1:100
ROAD 1



LONGITUDINAL SECTION
Scales: H 1:100 V 1:100
CARPARK LONGITUDINAL SECTION



LONGITUDINAL SECTION
Scales: H 1:100 V 1:100
DRIVE 1



LONGITUDINAL SECTION
Scales: H 1:100 V 1:100
DRIVE 2

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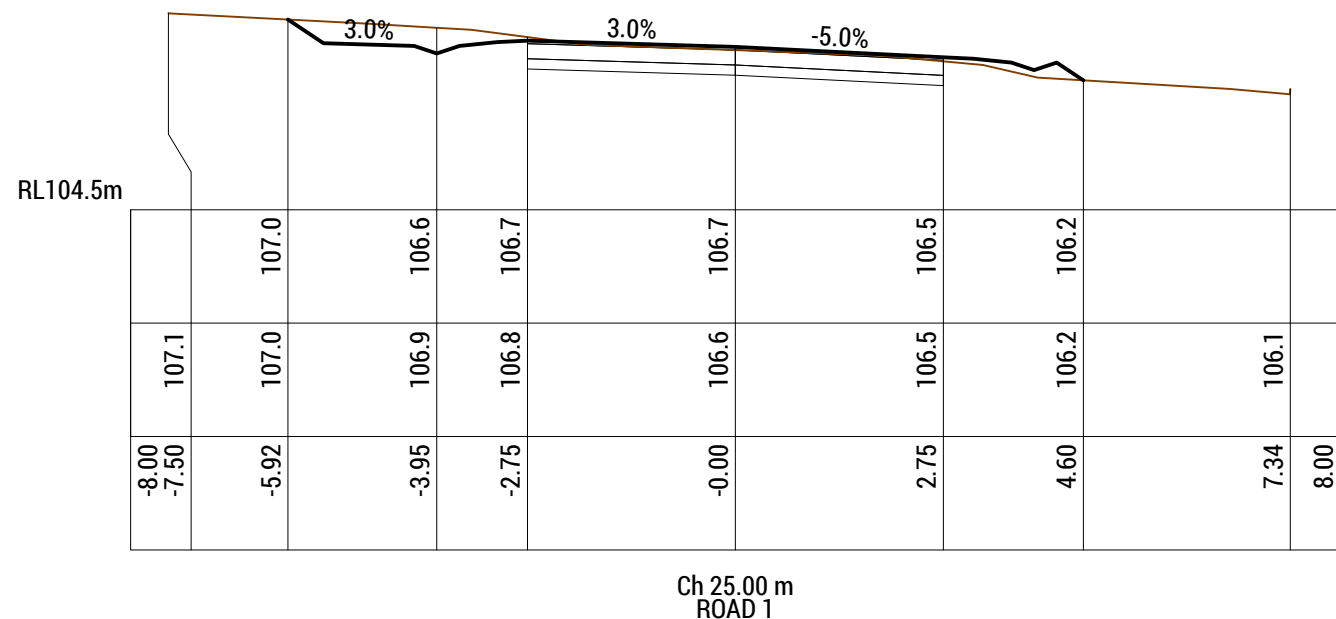
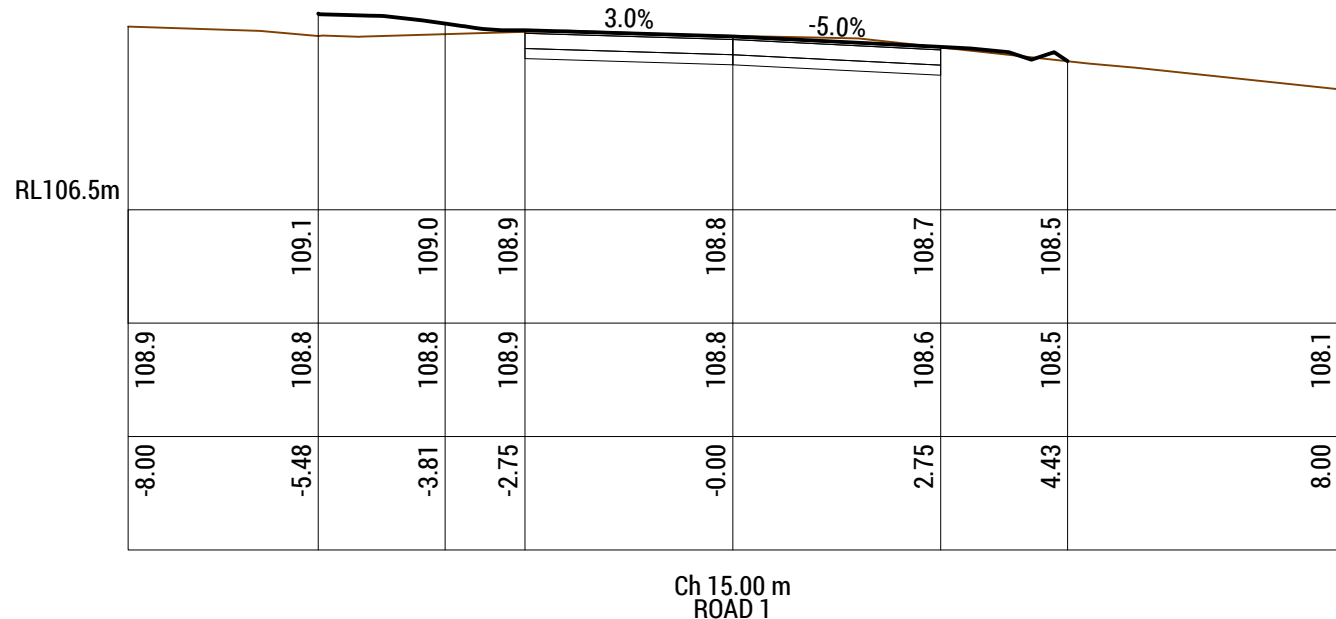
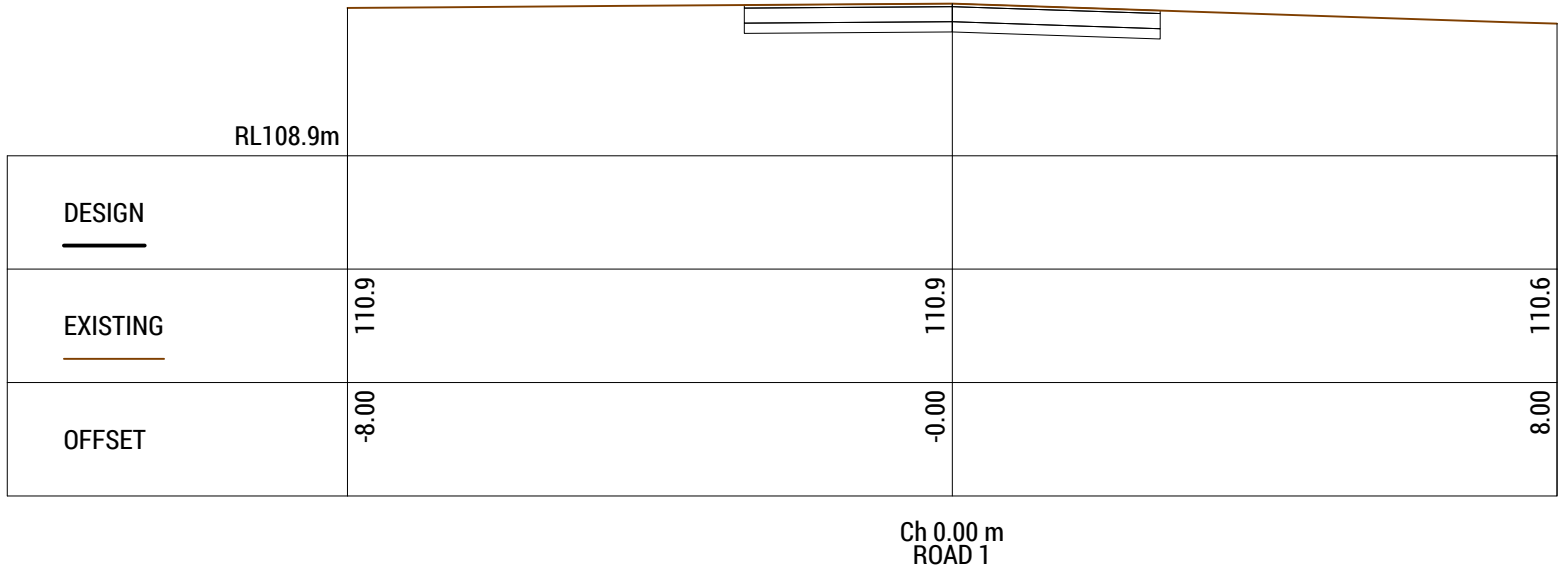
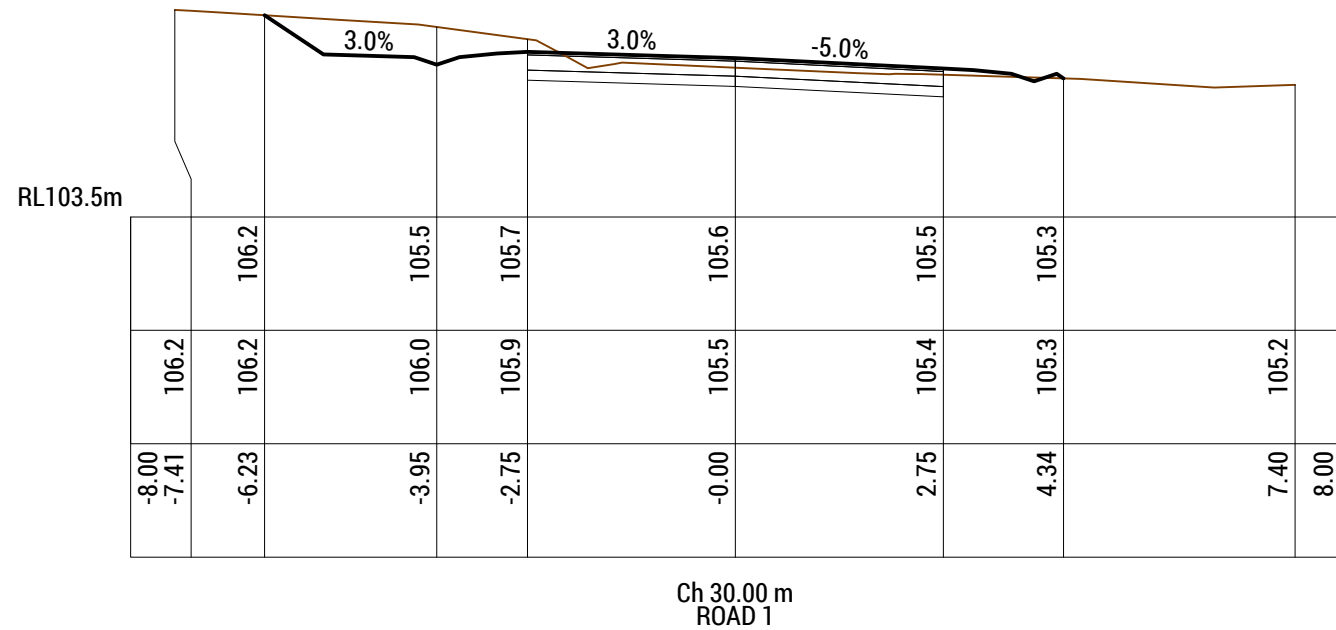
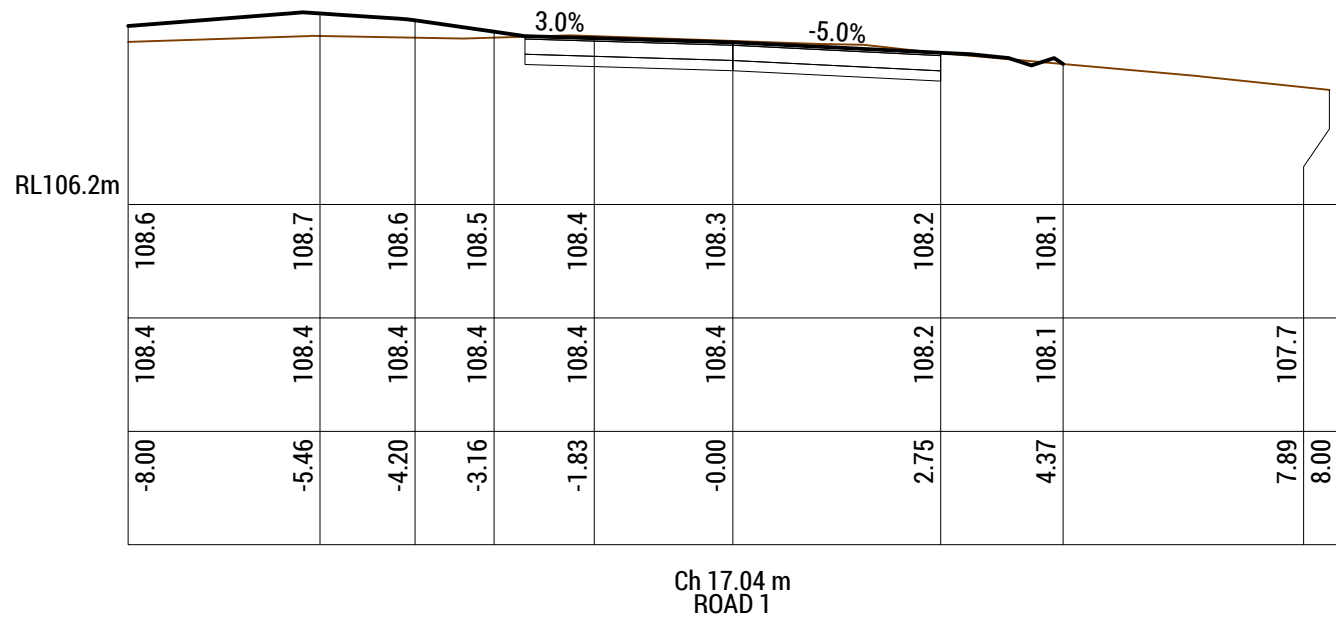
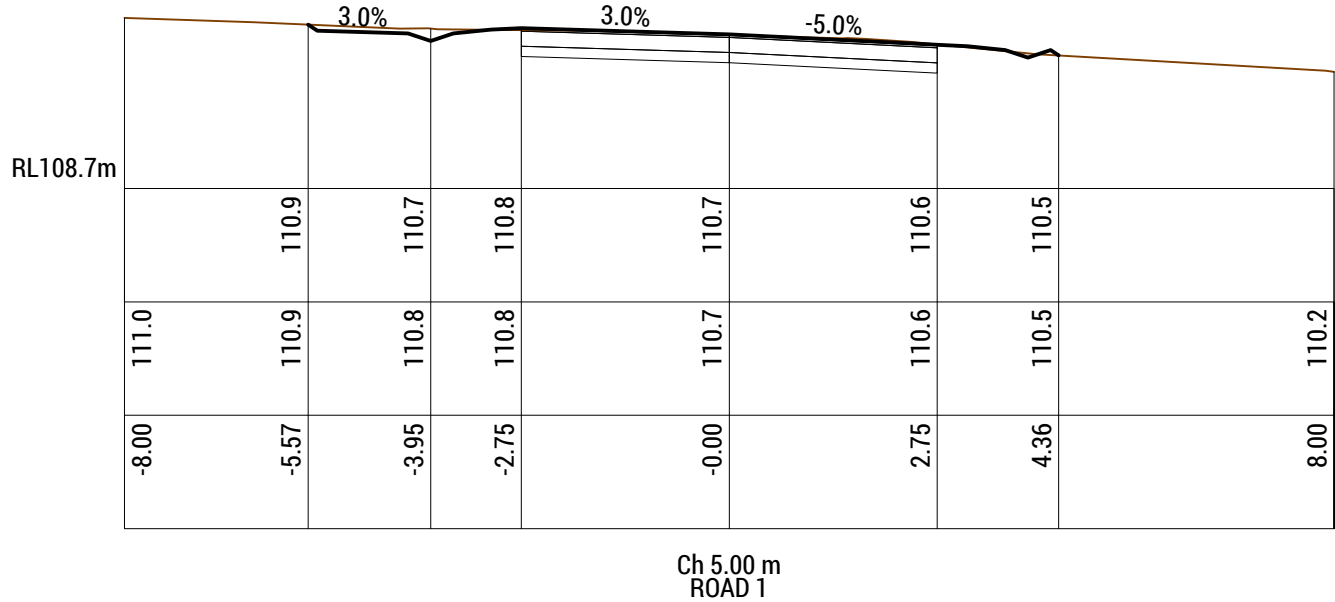
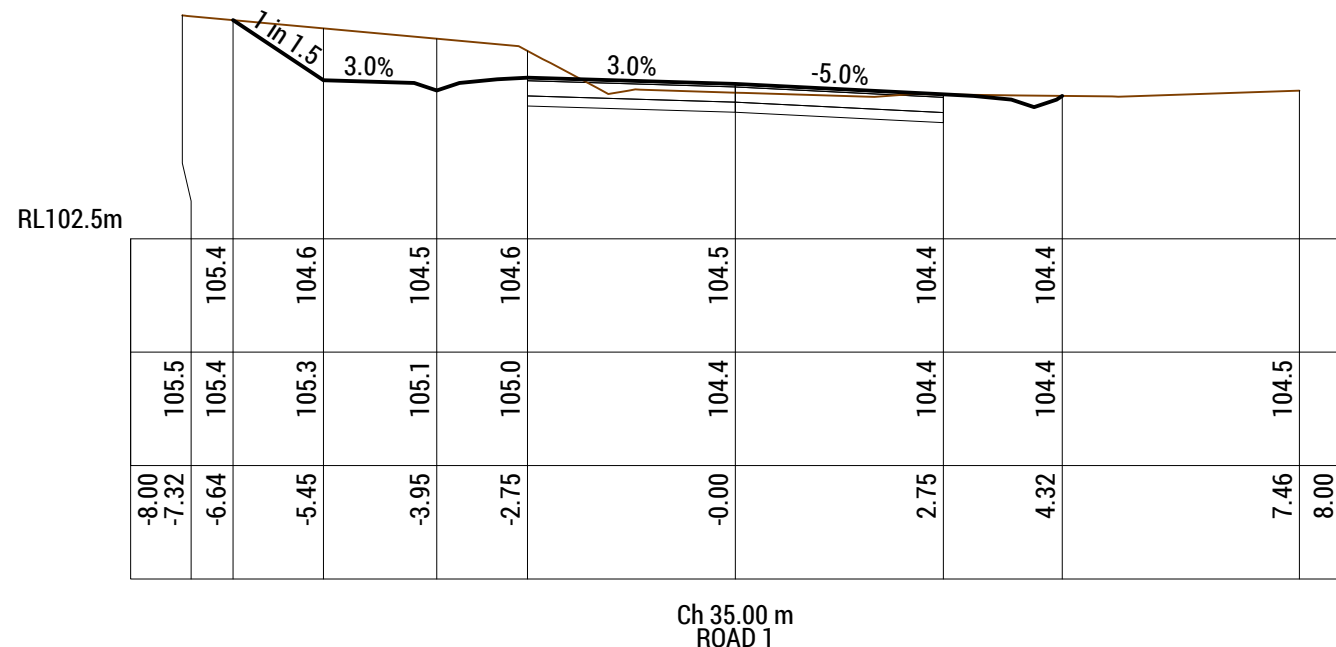
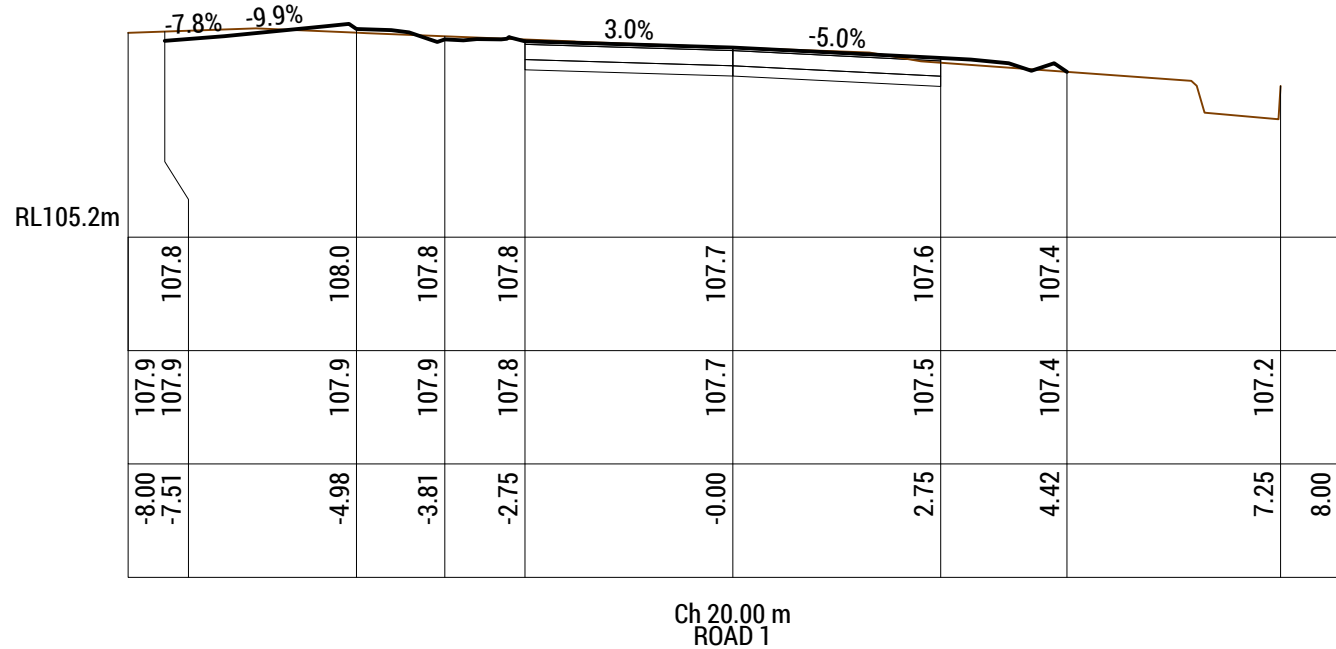
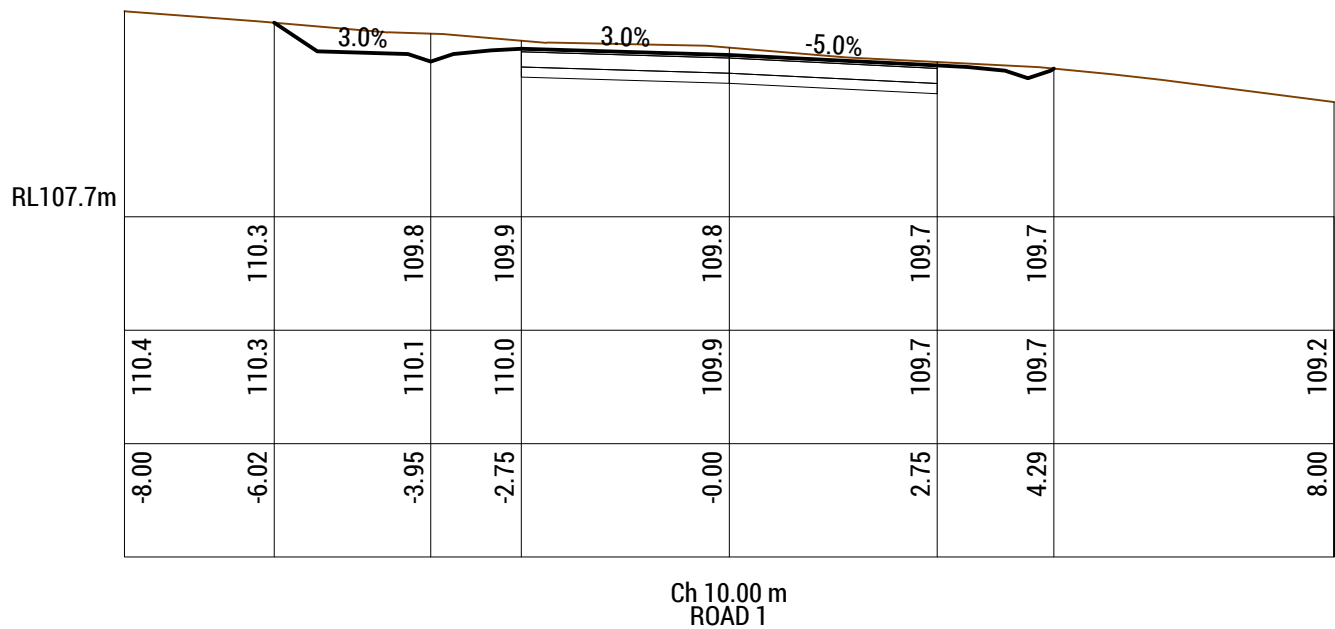
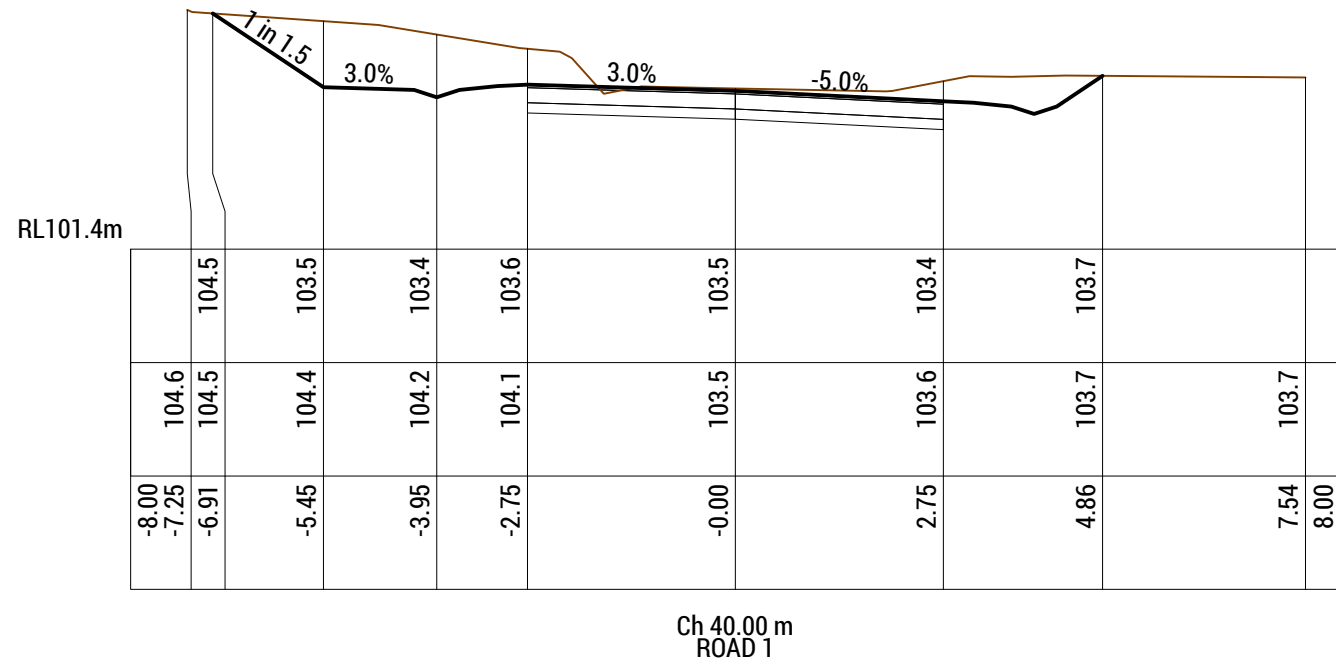
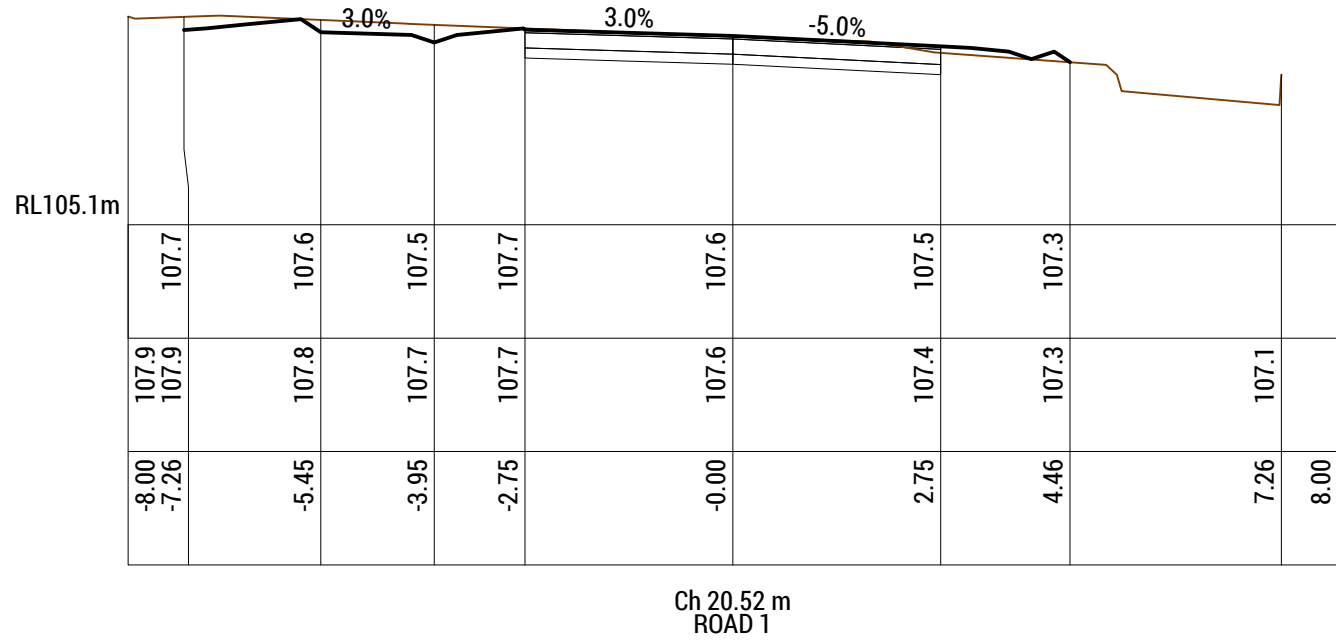
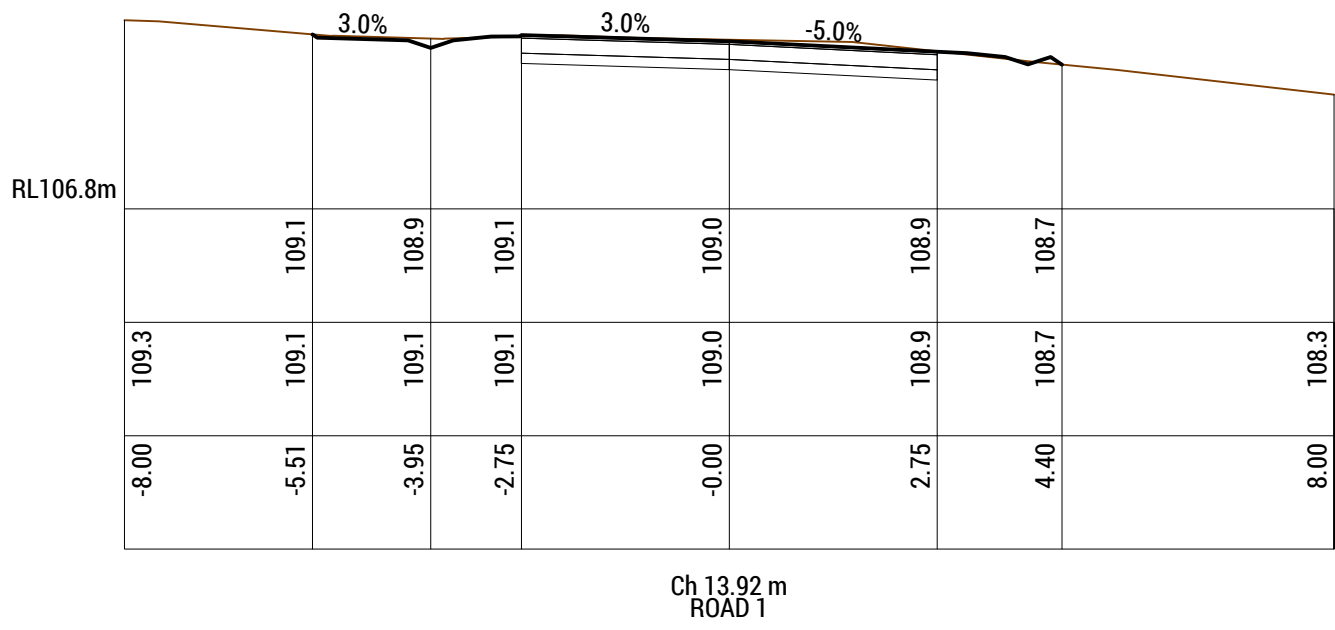
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CLIENT / ARCHITECT:
CUNIC HOMES



PROJECT DETAILS: 168a ABBOTSFIELD ROAD, CLAREMONT UNITS DEVELOPMENT				
DESIGN BY: AJL	DESIGN CHECK: JTA	DRAWN BY: OWM	DRAFT CHECK: JTA	CERTIFIER:

DRAWING TITLE: LONGITUDINAL & CROSS SECTIONS - SHEET 1			
SCALE: VARIES	PROJECT No: 241043	DRAWING No: C521	REVISION: C



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GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-270

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PROJECT DETAILS:

168a ABBOTSFIELD ROAD, CLAREMONT
UNITS DEVELOPMENT

DESIGN BY:
AJL

DESIGN CHECK:
JTA

DRAWN BY:
OWM

DRAFT CHECK:
JTA

CERTIFIER:

DRAWING TITLE:

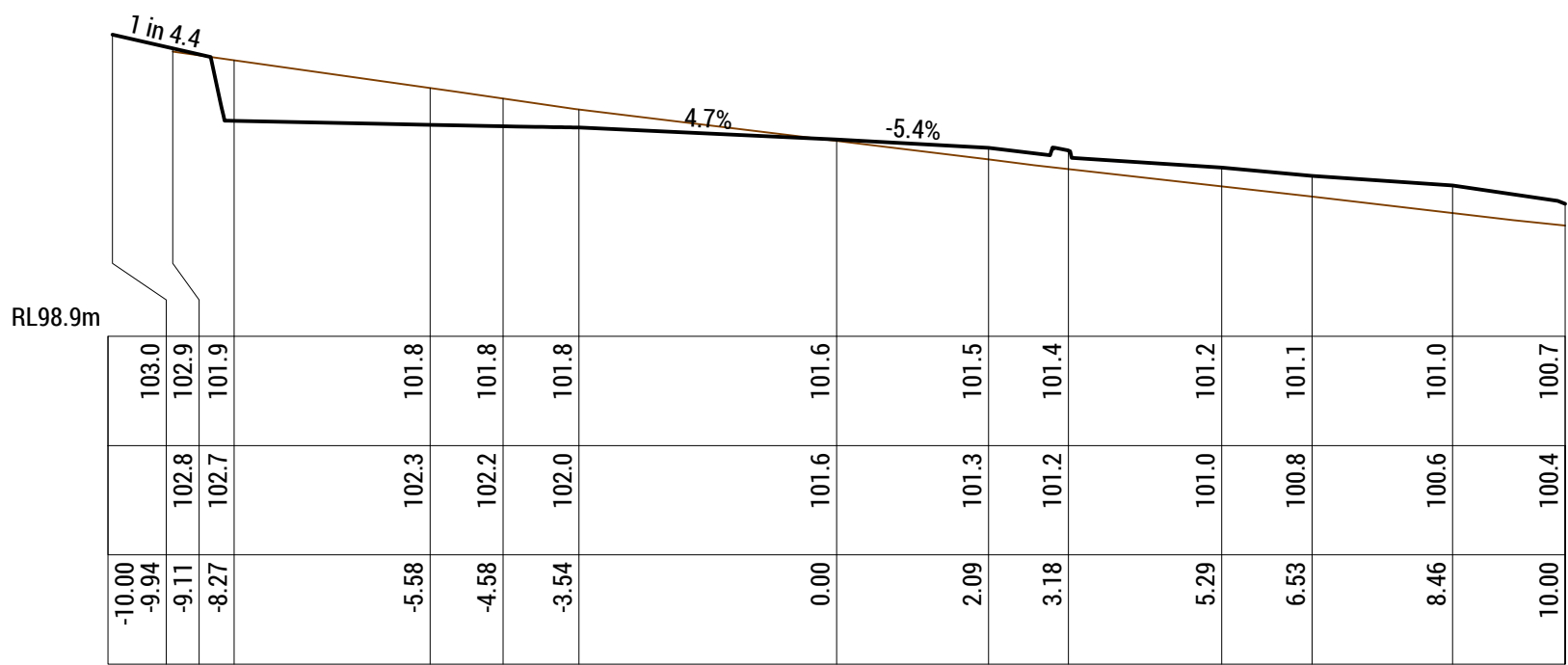
LONGITUDINAL & CROSS SECTIONS - SHEET 2

SCALE:
VARIES

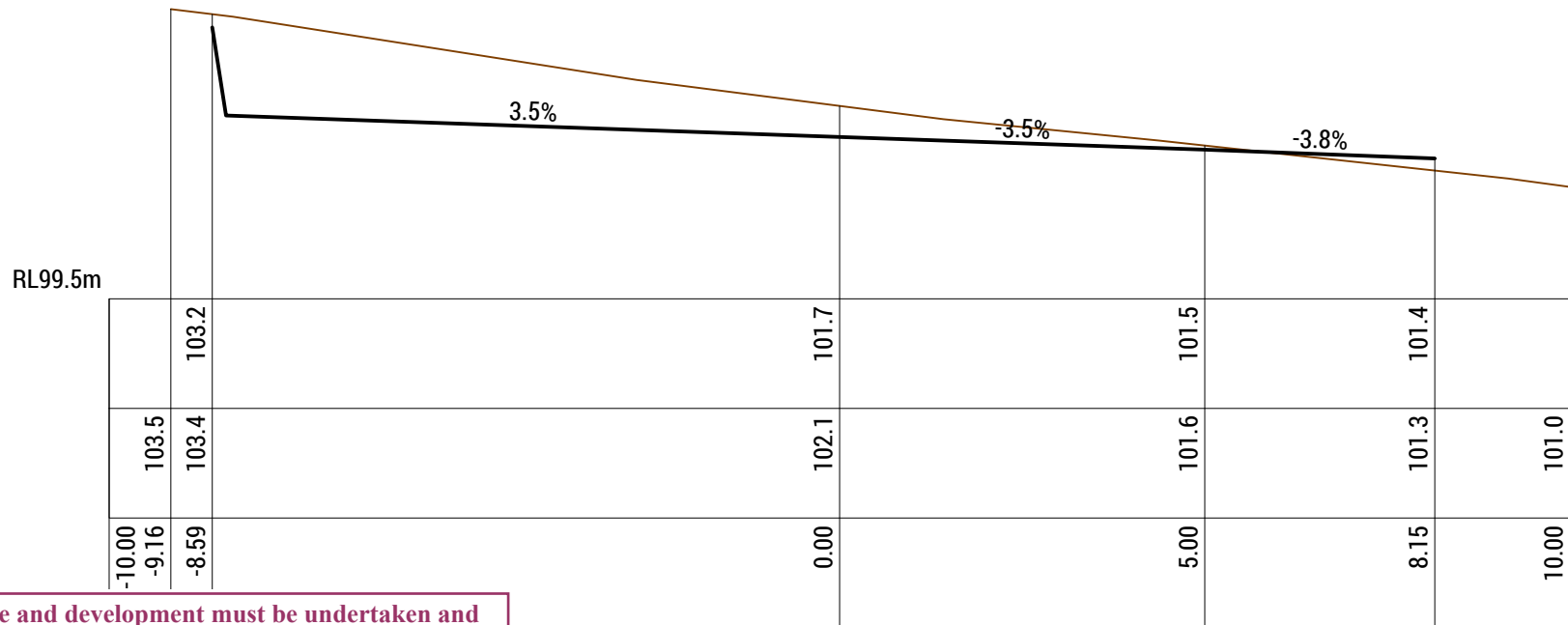
PROJECT No:
241043

DRAWING No:
C522

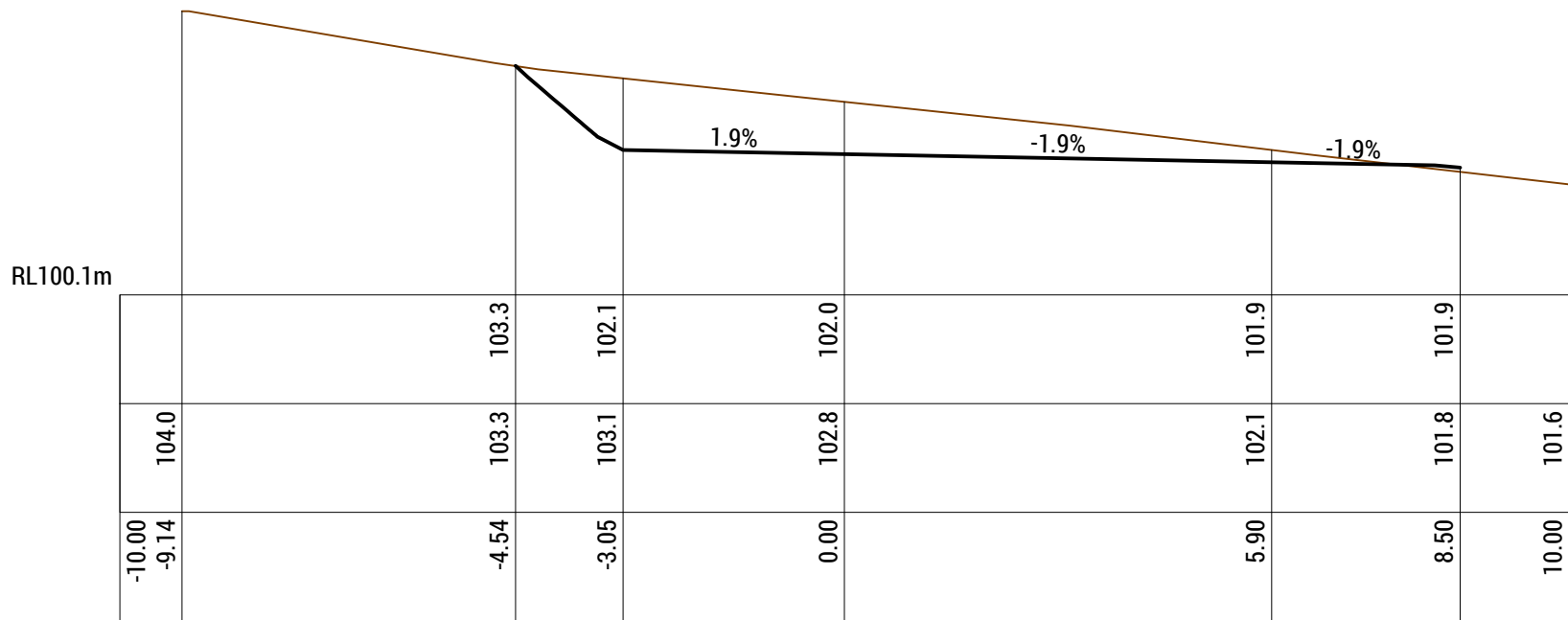
REVISION:
C



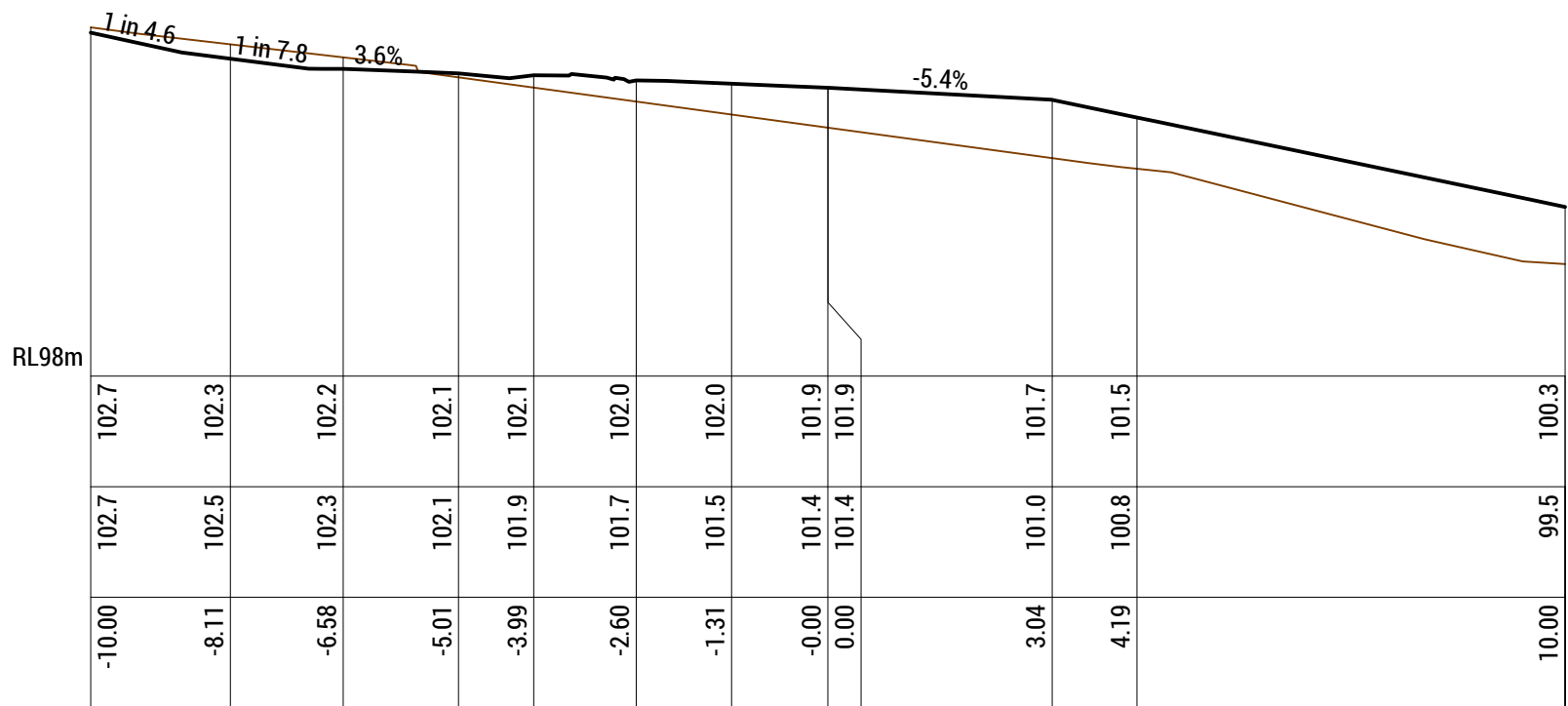
Ch 8.13 m
CARPARK LONGITUDINAL SECTION



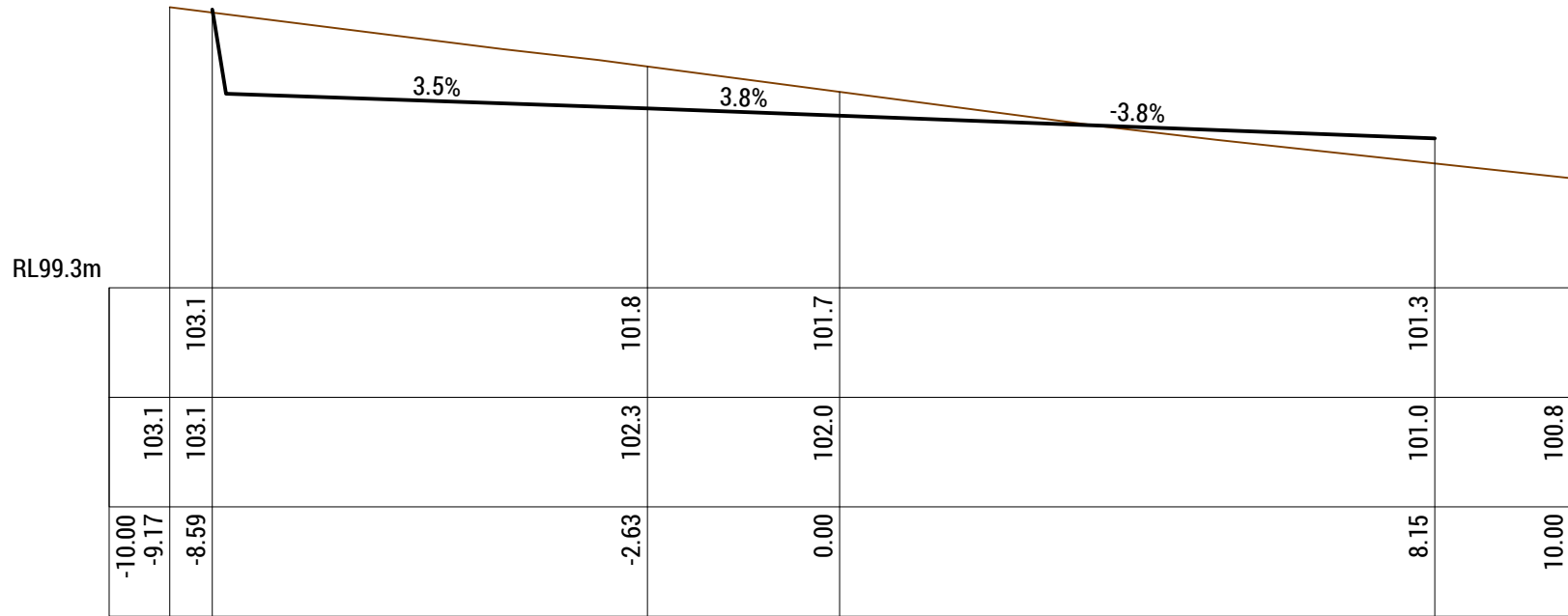
Ch 25.00 m
CARPARK LONGITUDINAL SECTION



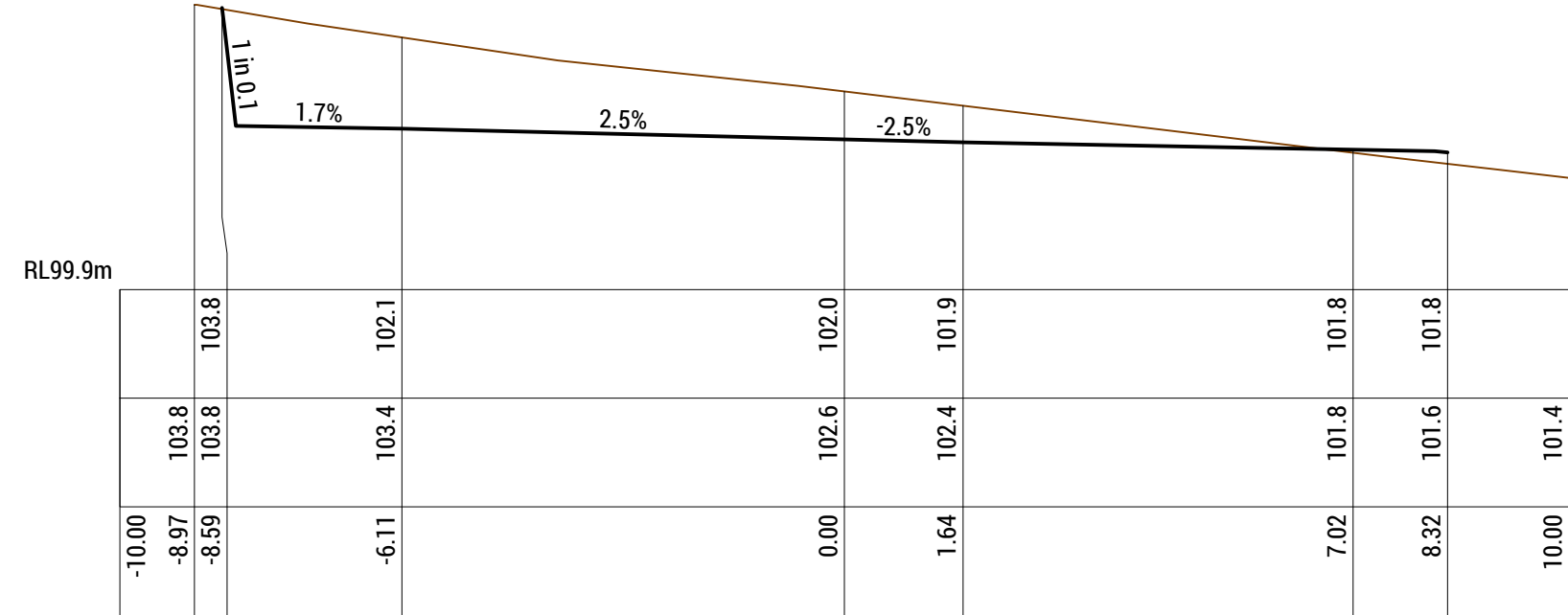
Ch 42.92 m
CARPARK LONGITUDINAL SECTION



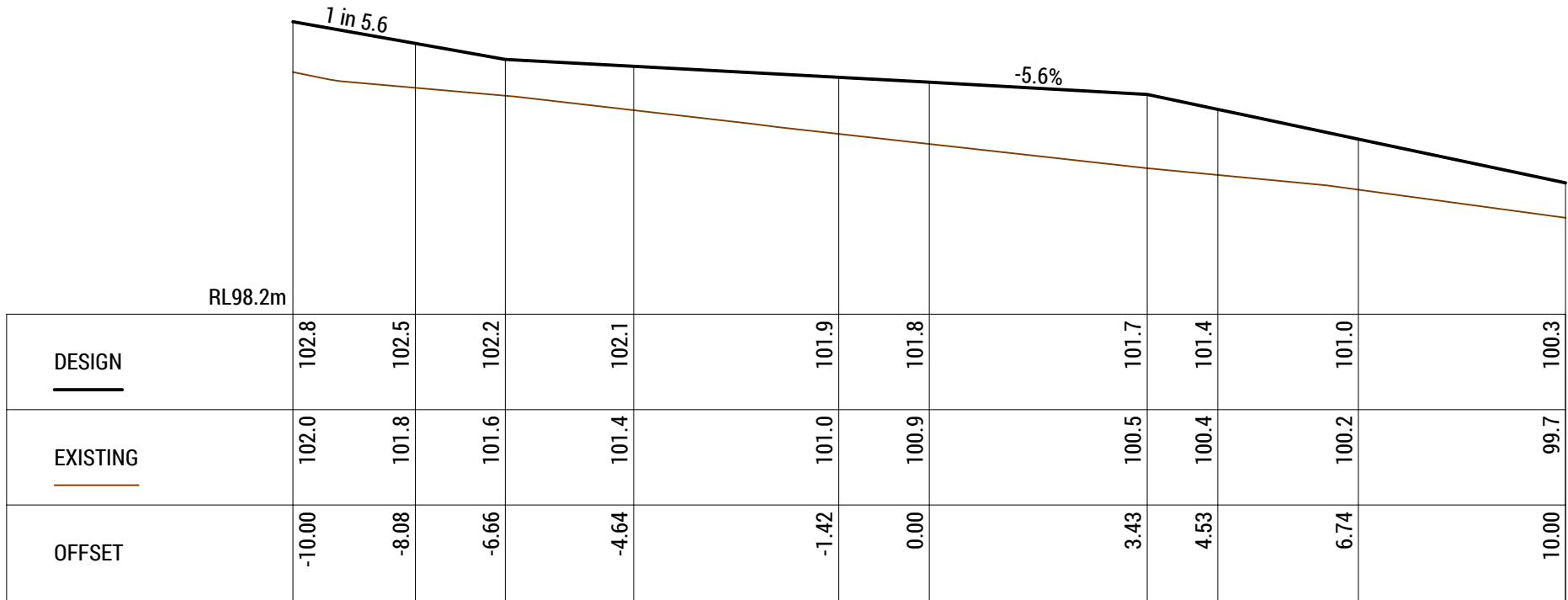
Ch 2.78 m
CARPARK LONGITUDINAL SECTION



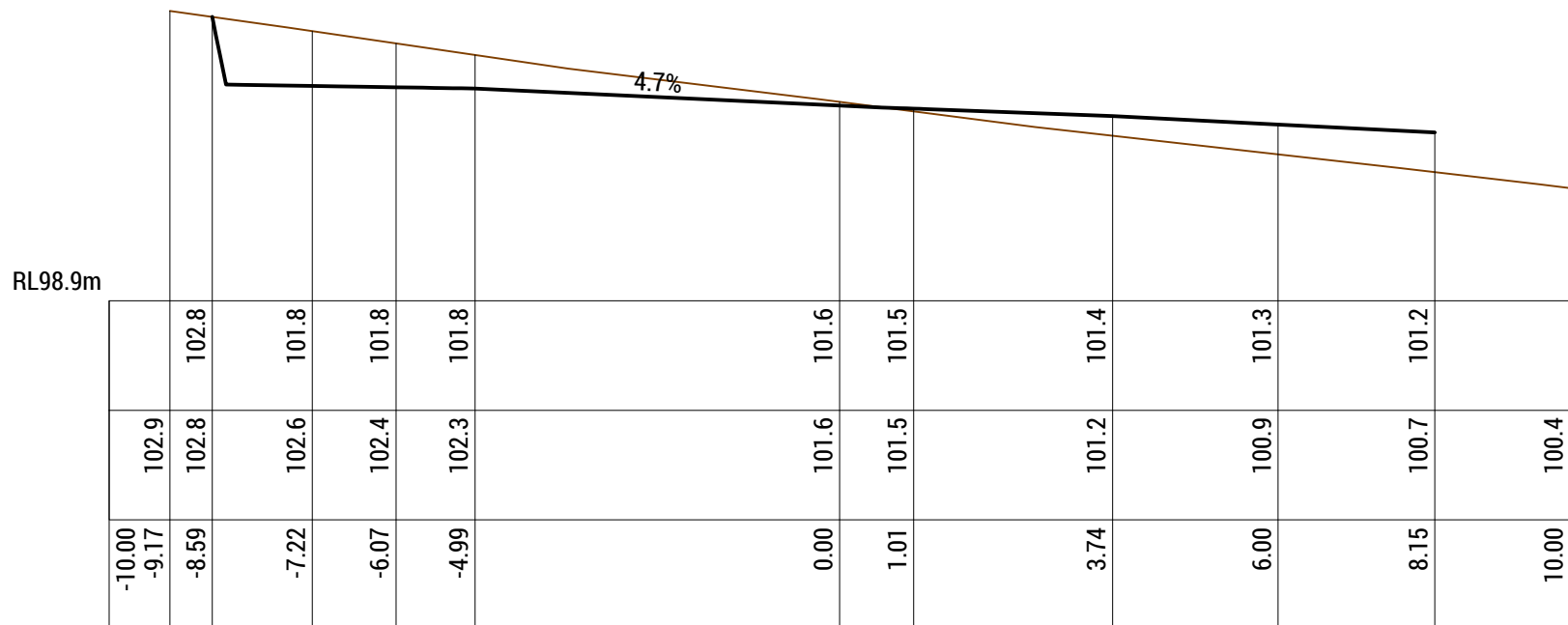
Ch 20.00 m
CARPARK LONGITUDINAL SECTION



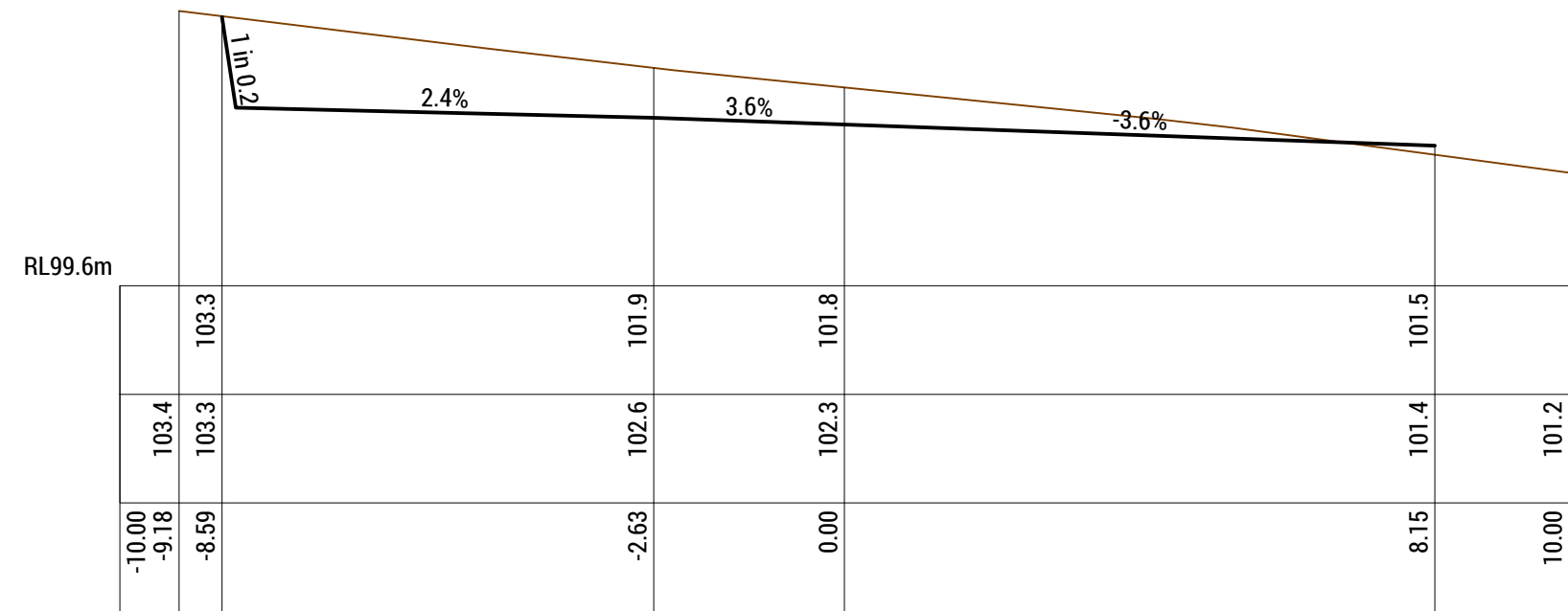
Ch 40.00 m
CARPARK LONGITUDINAL SECTION



Ch 0.00 m
CARPARK LONGITUDINAL SECTION



Ch 10.00 m
CARPARK LONGITUDINAL SECTION



Ch 30.00 m
CARPARK LONGITUDINAL SECTION

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PLANNING SERVICES
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CLIENT / ARCHITECT:

CUNIC HOMES



PROJECT DETAILS:

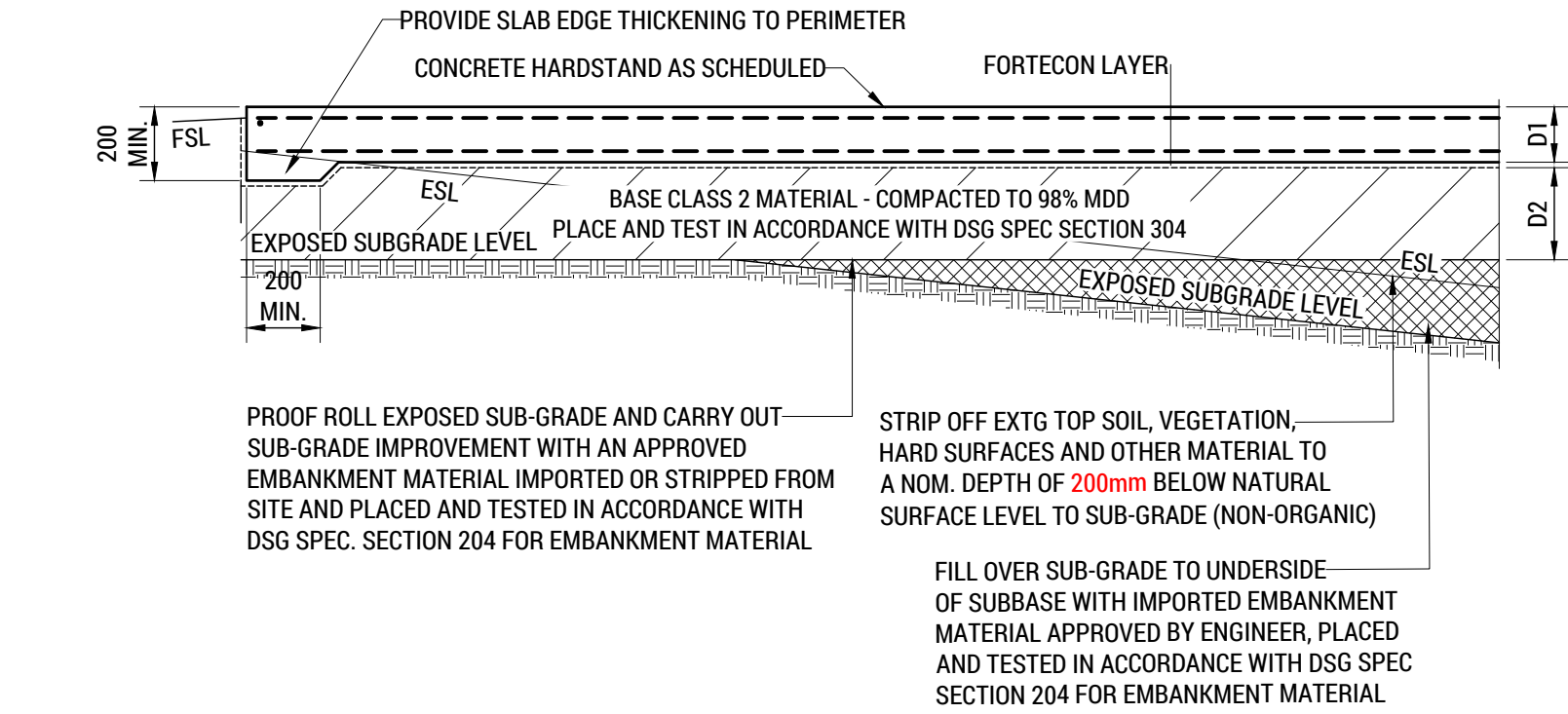
168a ABBOTSFIELD ROAD, CLAREMONT
UNITS DEVELOPMENT

DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
AJL	JTA	OWM	JTA	

DRAWING TITLE:

LONGITUDINAL & CROSS SECTIONS - SHEET 4

SCALE:	PROJECT No:	DRAWING No:	REVISION:
VARIES	241043	C524	C

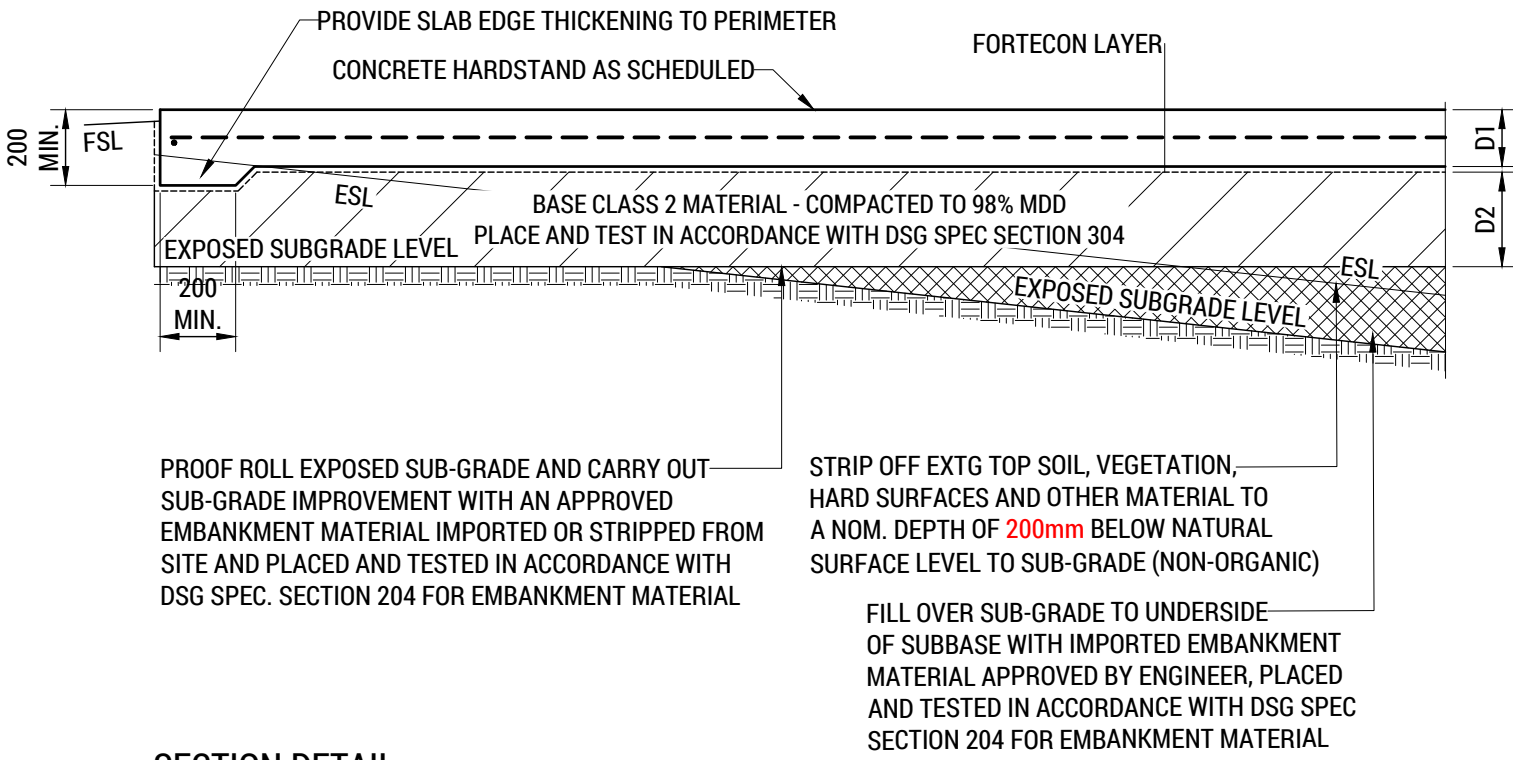


SECTION DETAIL

PAVEMENT - 'PAV-A' - CONCRETE HARDSTAND - TRAFFICABLE (TYP.)

SCALE 1:20

NOTE: REFER CIVIL WORKS PAVEMENT / SURFACE SCHEDULE FOR DEPTHS
REFER LGAT STANDARD DRAWING TSD-R09-v3 FOR ADDITIONAL DRIVEWAY DETAILS

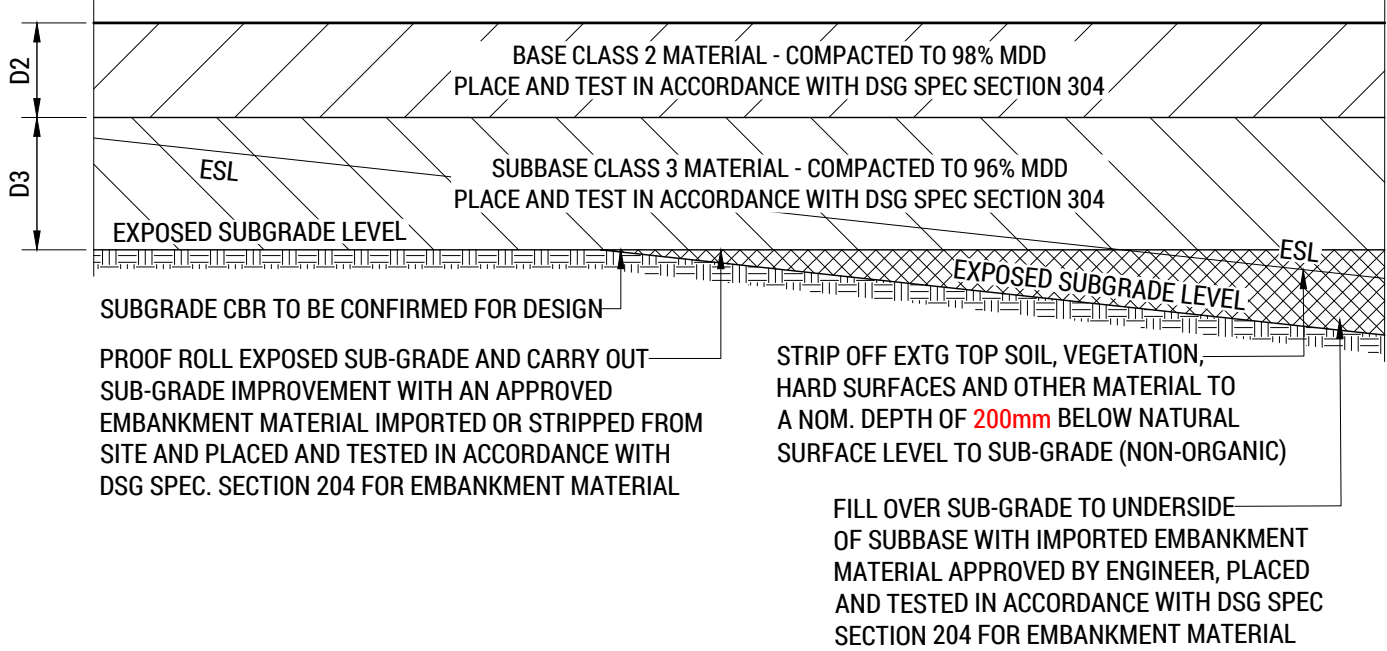


SECTION DETAIL

PAVEMENT - 'PAV-B' - CONCRETE HARDSTAND - NON-TRAFFICABLE (TYP.)

SCALE 1:20

NOTE: REFER CIVIL WORKS PAVEMENT / SURFACE SCHEDULE FOR DEPTHS
REFER LGAT STANDARD DRAWING TSD-R09-v3 FOR ADDITIONAL DRIVEWAY DETAILS

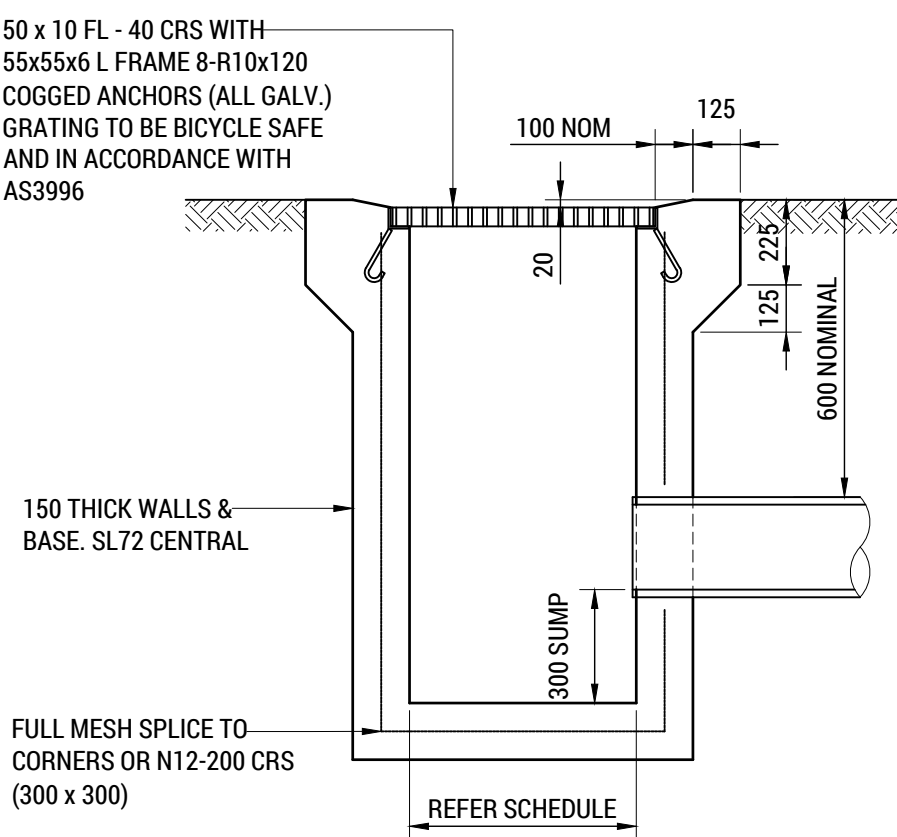


SECTION DETAIL

PAVEMENT - 'PAV-C' - COMPACTED GRAVEL - NON-TRAFFICABLE (TYP.)

SCALE 1:20

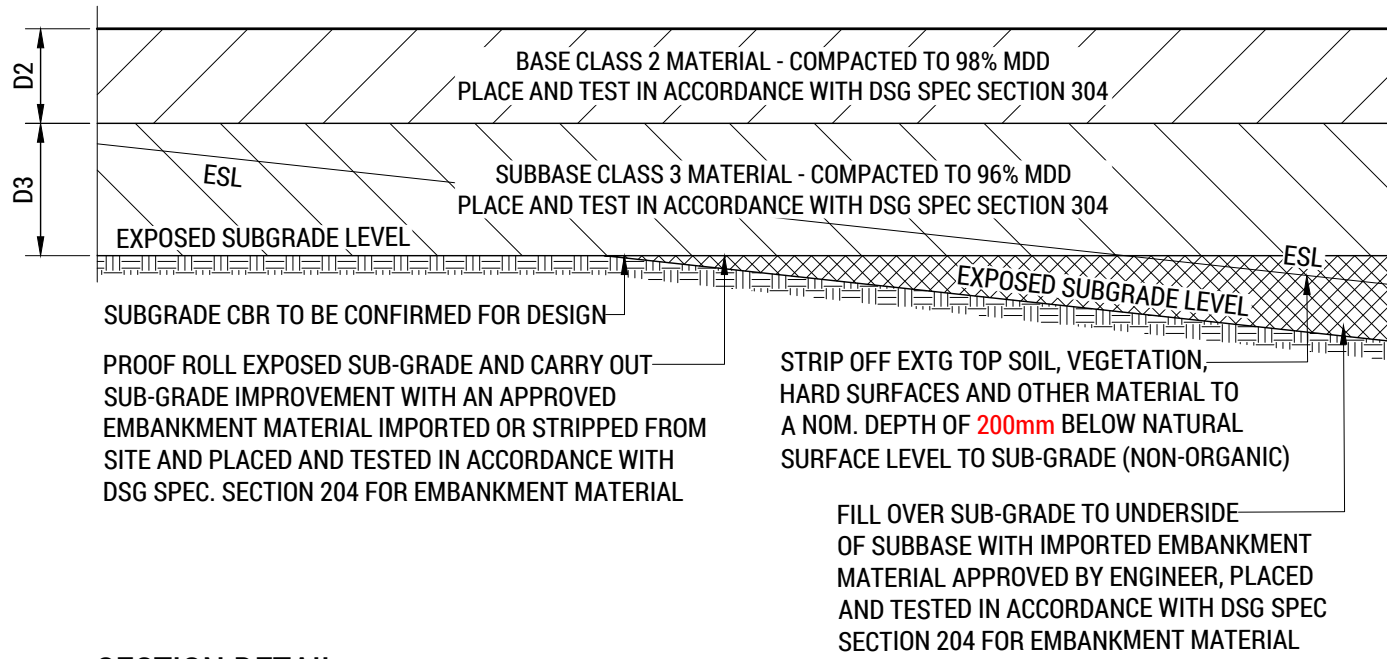
NOTE: REFER CIVIL WORKS PAVEMENT / SURFACE SCHEDULE FOR DEPTHS



GRADED PIT - TRAFFICABLE

SCALE 1:20

REFER IPWEA STANDARD DRAWINGS FOR ALTERNATE PIT CONSTRUCTION DETAILS.
APPROVED PRECAST UNIT MAYBE SUBSTITUTED.

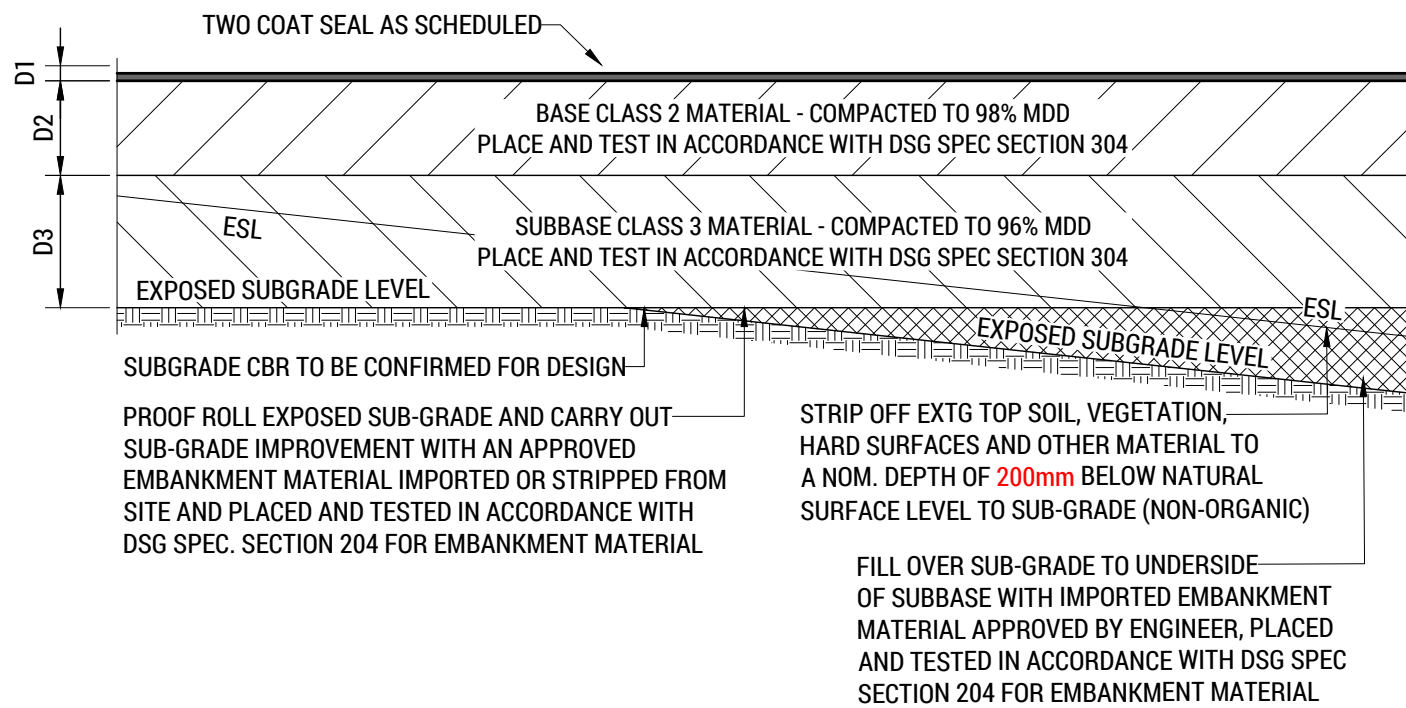


SECTION DETAIL

PAVEMENT - 'PAV-D' - COMPACTED GRAVEL - TRAFFICABLE (TYP.)

SCALE 1:20

NOTE: REFER CIVIL WORKS PAVEMENT / SURFACE SCHEDULE FOR DEPTHS

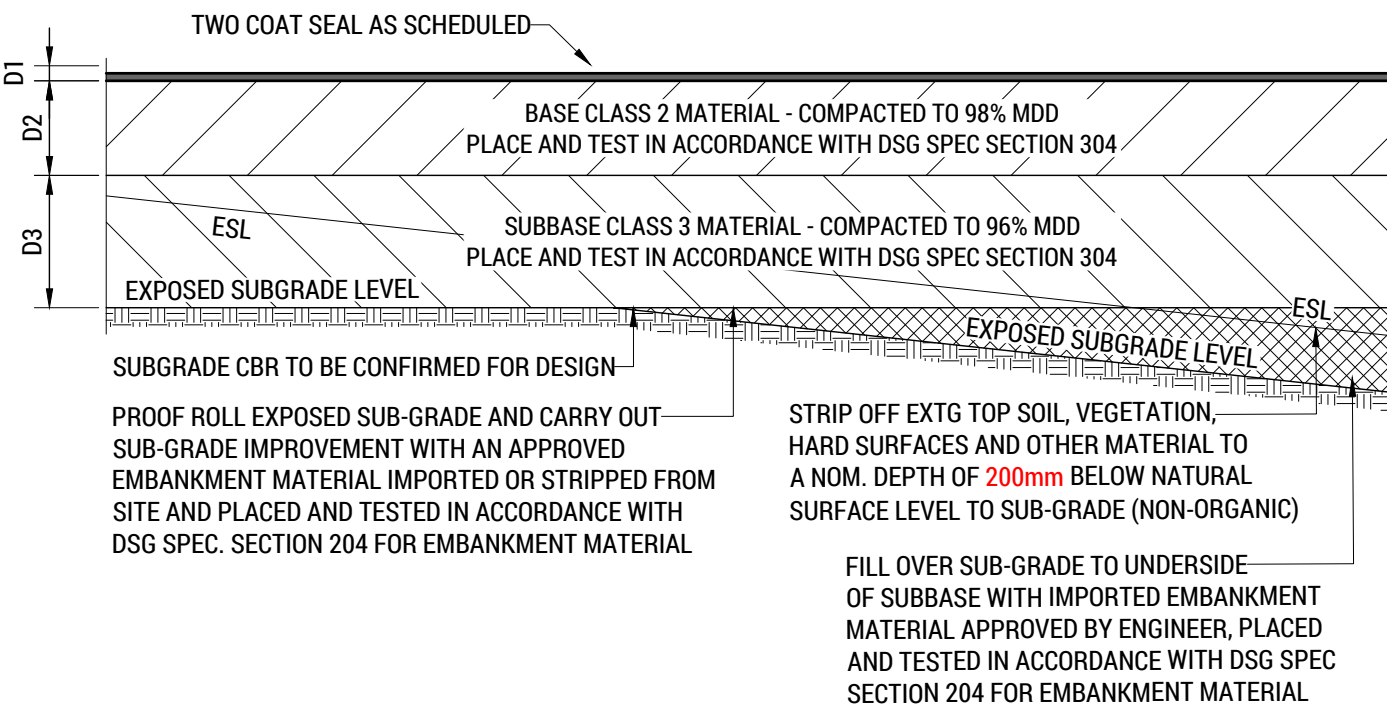


SECTION DETAIL

PAVEMENT - 'PAV-E' - TWO COAT SEAL - TRAFFICABLE (TYP.)

SCALE 1:20

NOTE: REFER CIVIL WORKS PAVEMENT / SURFACE SCHEDULE FOR DEPTHS

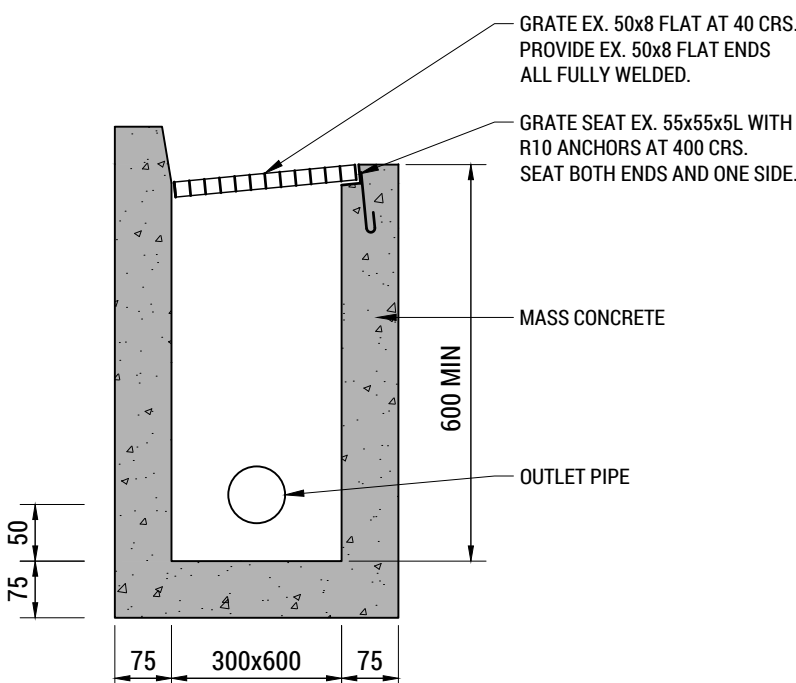


SECTION DETAIL

PAVEMENT - 'PAV-F' - TWO COAT SEAL - TRAFFICABLE (TYP.)

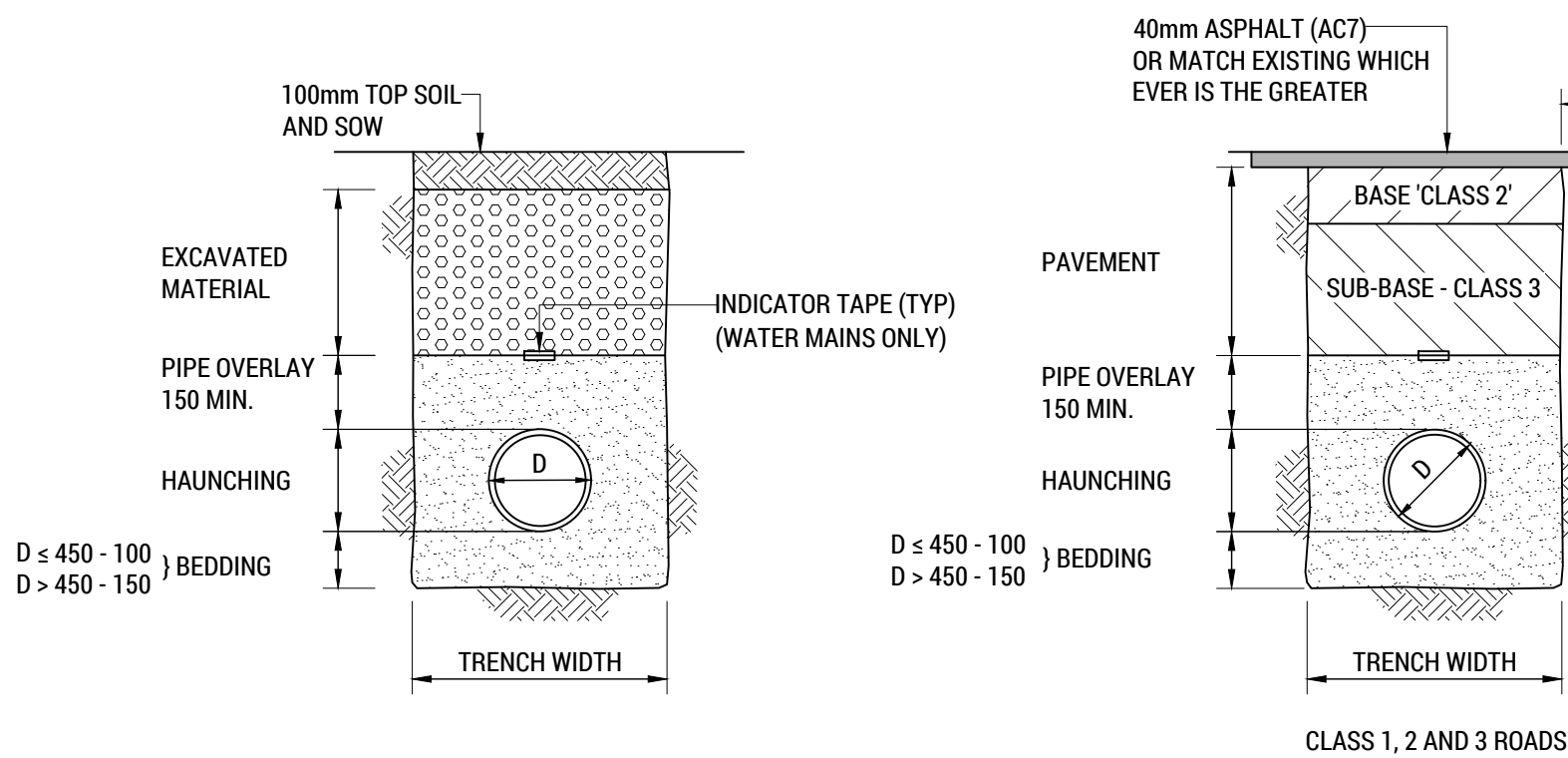
SCALE 1:20

NOTE: REFER CIVIL WORKS PAVEMENT / SURFACE SCHEDULE FOR DEPTHS



GRADED GULLY PIT - TRAFFICABLE - GP1

SCALE 1:10

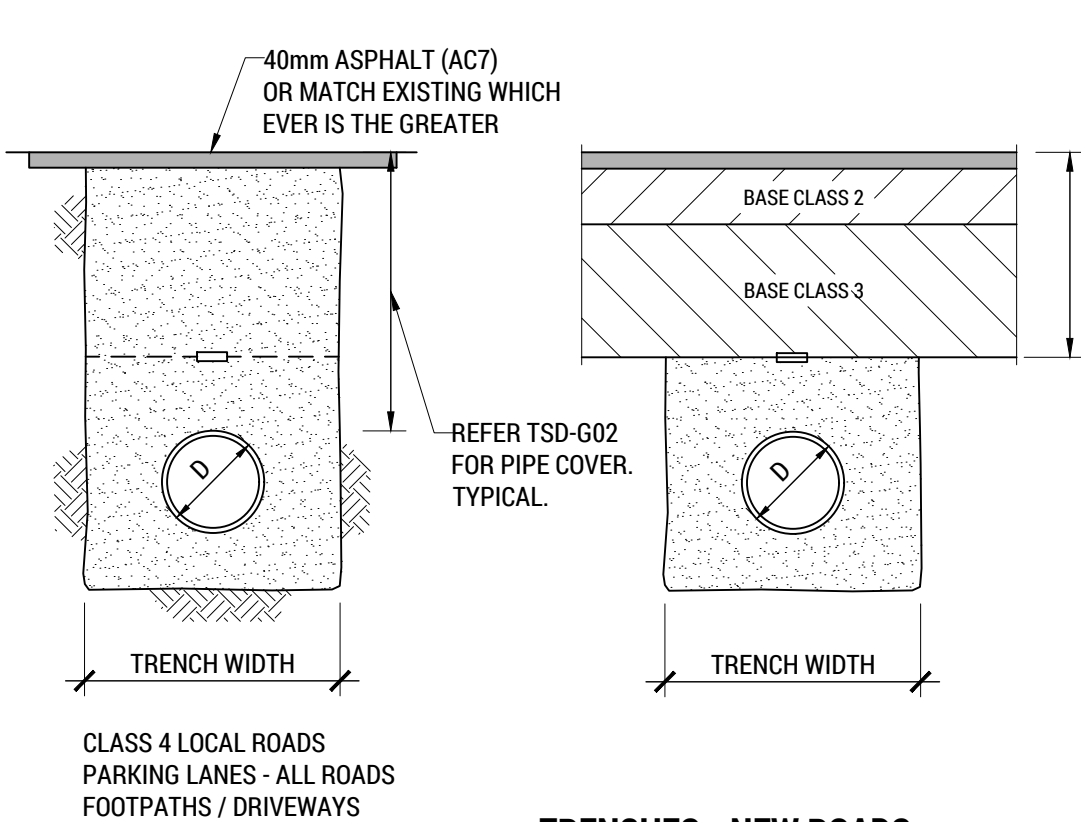


TRENCHES - NON-TRAFFICABLE

SCALE 1:20

TRENCHES - EXISTING ROADS

SCALE 1:20



TRENCHES - NEW ROADS

SCALE 1:20

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TRENCH WIDTH		
PIPE TYPE	NOM. DIA (D)	TRENCH WIDTH
CONCRETE	≤ 1500	D + 300
	> 1500	DESIGN REQ.
OTHER PIPES	100	300
	150	450
	225-300	600
	450	750
	450-1500	D + 600
	> 1500	DESIGN REQ.

MINIMUM TRENCH WIDTHS MAY BE VARIED ABOVE THE PIPE OVERLAY ZONES TO MEET 'WORKPLACE STANDARDS' REQUIREMENTS.

ie EXCAVATIONS OVER 1.5m MAY REQUIRE RISK ASSESSMENT.

COMPACTION OF BEDDING, HAUNCHING & OVERLAY

REFER TO AS 1289-5.5

CONCRETE PIPES = MIN. DENSITY INDEX = 60% (85% STD. COMPACTION)

uPVC PIPES = DENSITY INDEX = 65% (90% STD. COMPACTION)

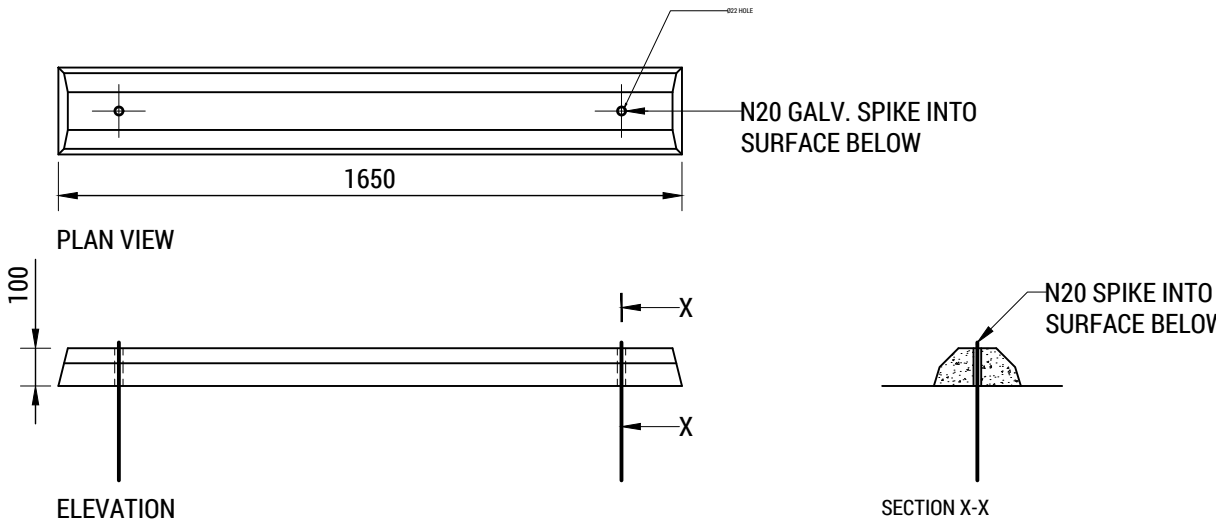
DICL PIPES = DENSITY INDEX = 65% (90% STD. COMPACTION)

BEDDING, HAUNCHING AND OVERLAY MATERIAL
BEDDING, HAUNCHING AND PIPE OVERLAY MATERIAL SHALL CONTAIN NO DELETERIOUS MATERIAL OR CLAY LUMPS AND SHALL COMPLY WITH THE FOLLOWING GRADINGS:

FOR uPVC AND DUCTILE IRON PIPES SAND OR CRUSHED ROCK (STONE DUST)	
SIEVE APERTURE (mm)	% PASSING (BY MASS)
TO AS1152	
6.7	100
2.36	70-100
0.6	20-90
0.3	8-50
0.15	0-20
0.075	0-10

FOR CONCRETE PIPES CRUSHED ROCK	
SIEVE APERTER (mm)	% PASSING (BY MASS)
TO AS1152	
9	100
2.36	50-100
0.6	20-90
0.3	10-60
0.15	0-25
0.075	0-10

ALL MATERIAL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH AS3725 AND TO THE SATISFACTION OF THE SUPERINTENDENT.



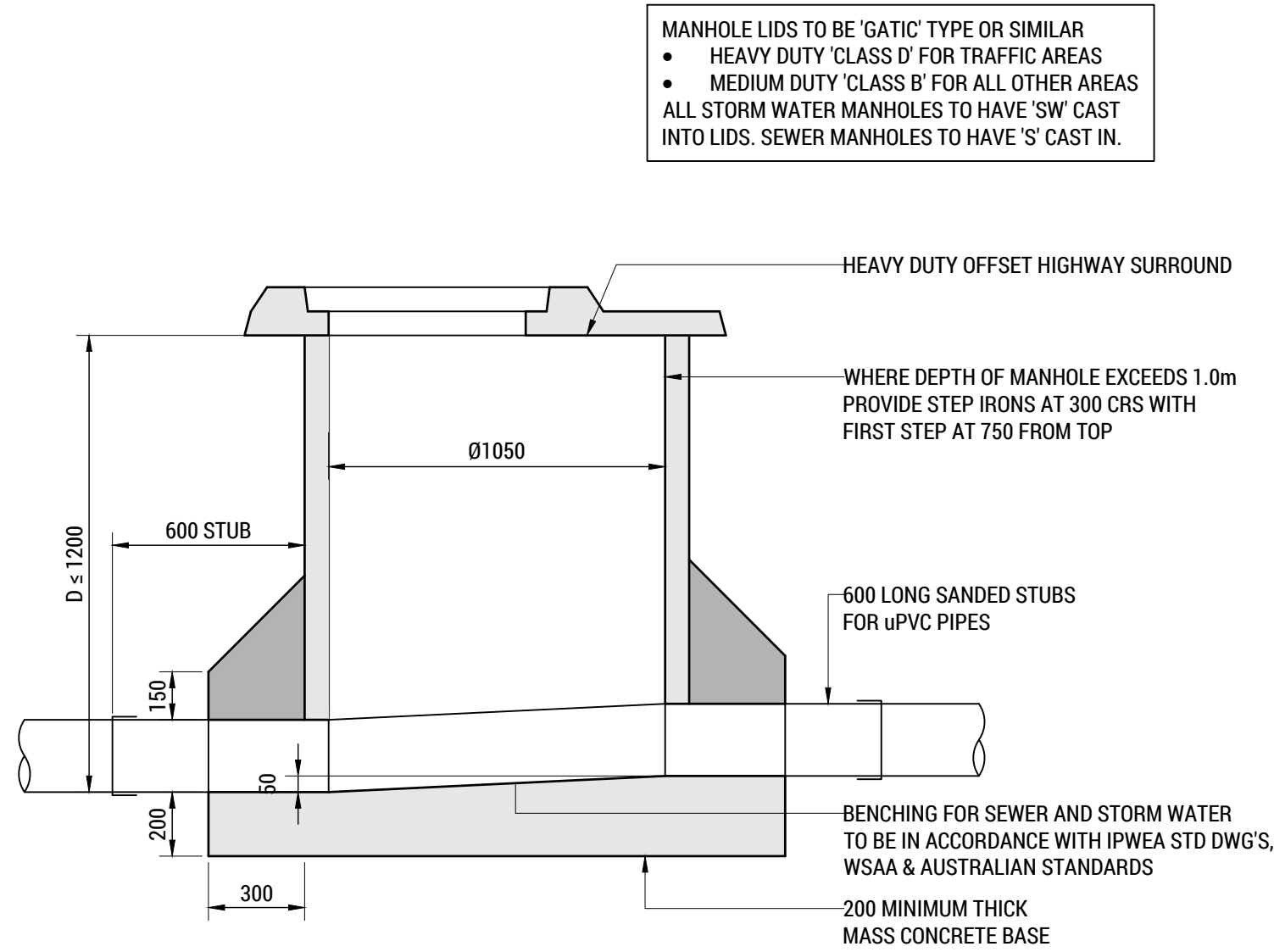
WHEEL STOP DETAIL (TYP.)

SCALE 1:20

NOTE:
HUDSON CIVIL PRODUCT WHEEL STOP (1650 LONG x 100 HIGH)
INSTALLED TO MANUFACTURERS SPECIFICATION

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-24-270
DATE RECEIVED: 12/06/2025

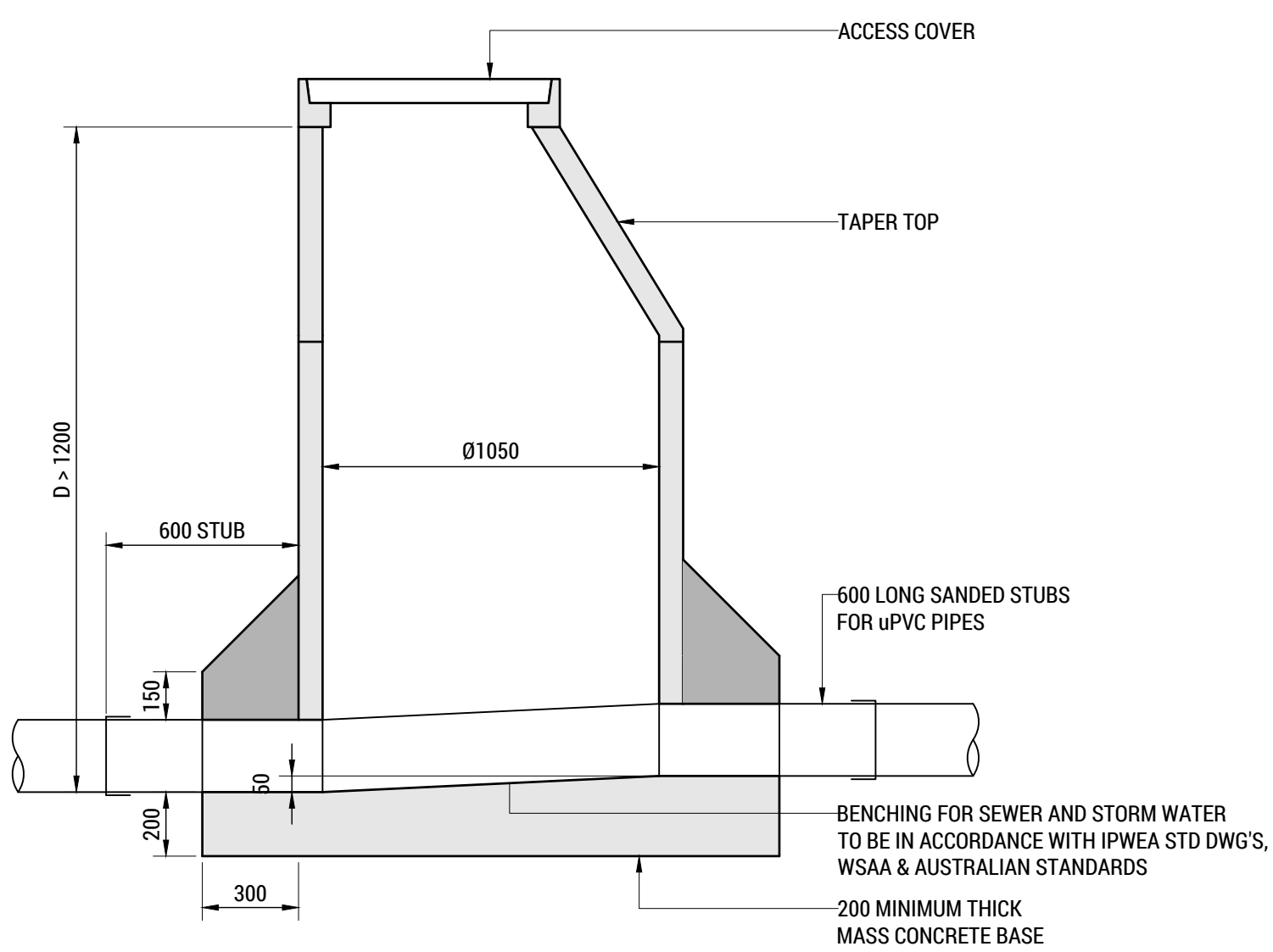
				COLLECTIVE CONSULTING DISCLAIMER:				CLIENT / ARCHITECT:		PROJECT DETAILS:		DRAWING TITLE:	
E	REVISED DEVELOPMENT APPLICATION	OWM	18-02-25	1. THIS DRAWING HAS BEEN PRODUCED FOR THE NAMED CLIENT AND FOR USE OF THIS PROJECT ONLY, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.		  E admin@collectiveconsulting.com.au Level 1, 10-14 Paterson Street Launceston TAS 7250 P (03) 6334 0834 collectiveconsulting.com.au		 CUNIC homes Built for you		168a ABBOTSFIELD ROAD, CLAREMONT UNITS DEVELOPMENT		SECTIONS & DETAILS - SHEET 1	
D	REVIEW / INFORMATION	OWM	07-02-25	2. THESE DRAWINGS MUST BE APPROVED BY COUNCIL, TWSWATER AND ANY OTHER REQUIRED AUTHORITIES PRIOR TO COMMENCING CONSTRUCTION.									
C	REVISED DEVELOPMENT APPLICATION	OWM	07-11-24	3. THE RECIPIENT IS RESPONSIBLE FOR ENSURING THAT THEY REVIEW THE STATUS OF THIS DRAWING, AND IN RECEIPT OF THE CURRENT REVISION PRIOR TO USE.									
B	DEVELOPMENT APPLICATION	OWM	27-09-24	4. INFORMATION PROVIDED WITHIN THIS DOCUMENT HAS BEEN PROVIDED UNDER COLLECTIVE CONSULTING'S TERMS OF ENGAGEMENT. BY ACCEPTING OR USING THE INFORMATION WITHIN THIS DOCUMENT YOU HAVE ACCEPTED THE TERMS OF ENGAGEMENT. TERMS CAN BE VIEWED AT: WWW.COLLECTIVECONSULTING.COM.AU/TERMSOFENGAGEMENT.									
A	REVIEW / INFORMATION	OWM	26-09-24	5. DO NOT SCALE DRAWINGS. COLLECTIVE CONSULTING IS NOT RESPONSIBLE FOR THE DIMENSIONING AND SETTING OUT OF COMPONENTS WITHIN THESE PROJECT DOCUMENTS.									
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:					DESIGN BY:		DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:
								AJL		JTA	OWM	JTA	
								1:20, 1:10 @ A1 1:40, 1:20 @ A3		241043			
											C801		E



MANHOLE DETAIL - D < 1200

SCALE 1:20

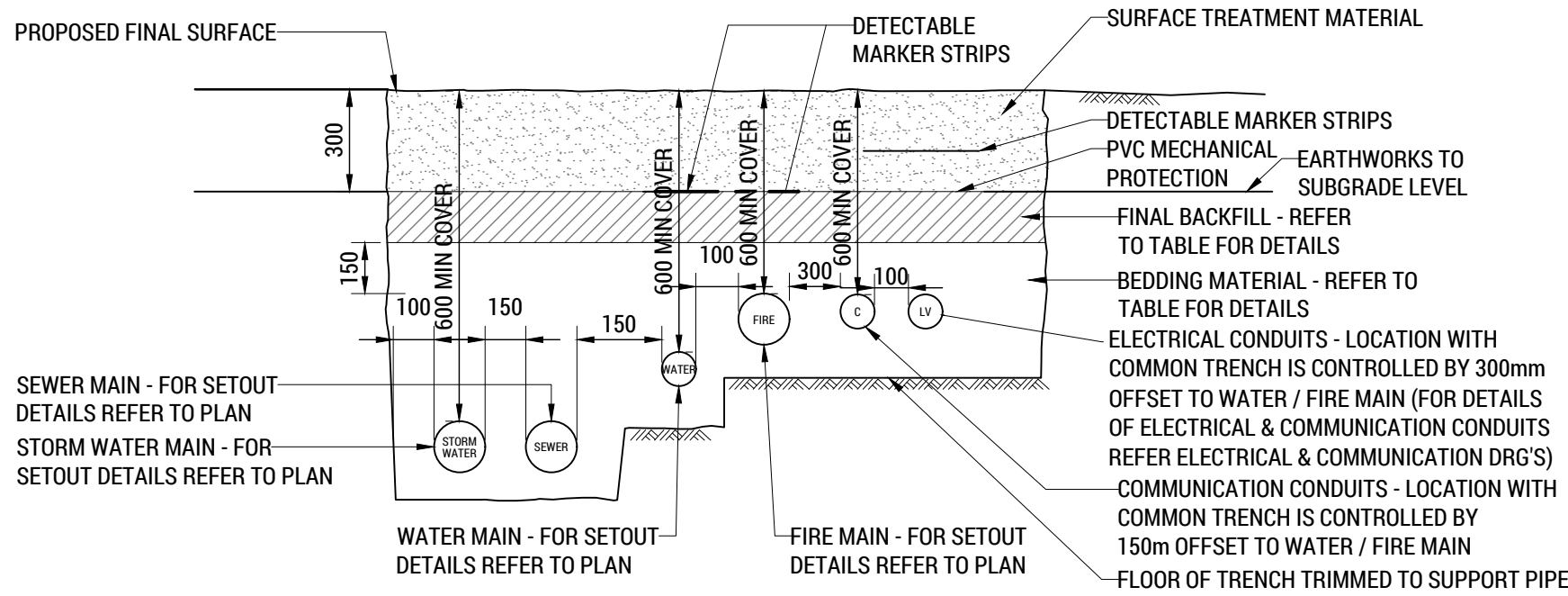
REFER IPWEA STD DWG TSD-SW02-v3
FOR STORMWATER MANHOLE DETAILS
REFER WSAA STD DWG'S FOR SEWER
MANHOLE DETAILS



MANHOLE DETAIL - D > 1200

SCALE 1:20

REFER IPWEA STD DWG TSD-SW02-v3
FOR STORMWATER MANHOLE DETAILS
REFER WSAA STD DWG'S FOR SEWER
MANHOLE DETAILS

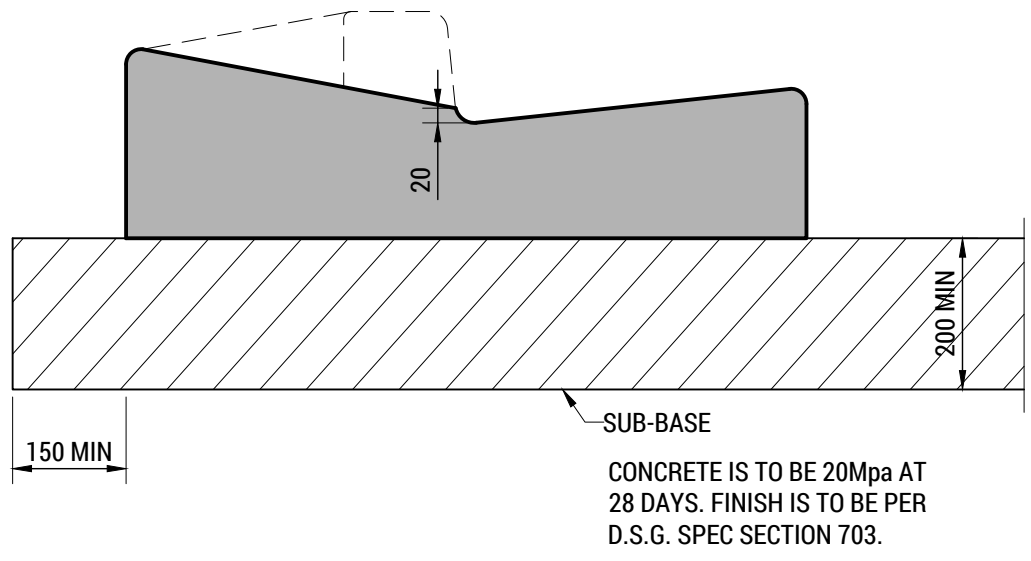


COMPACTION DETAILS		
EXPRESSED AS MMDD		
MATERIAL	GENERAL	UNDER ROADS*
BEDDING MATERIAL	90%	90%
INITIAL BACKFILL	90%	95%
FINAL BACKFILL	SAME AS SURROUNDING SOIL	95%

* OR AS DIRECTED BY SUPERINTENDENT

TYPICAL COMBINED TRENCH DETAIL

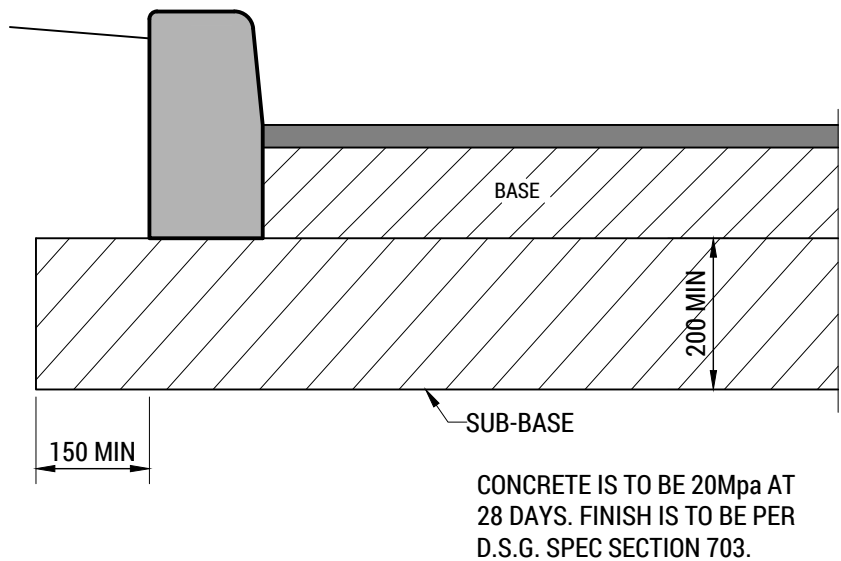
SCALE 1:10



KERB AND CHANNEL VEHICULAR CROSSING 'KC' (TYP.)

SCALE 1:10

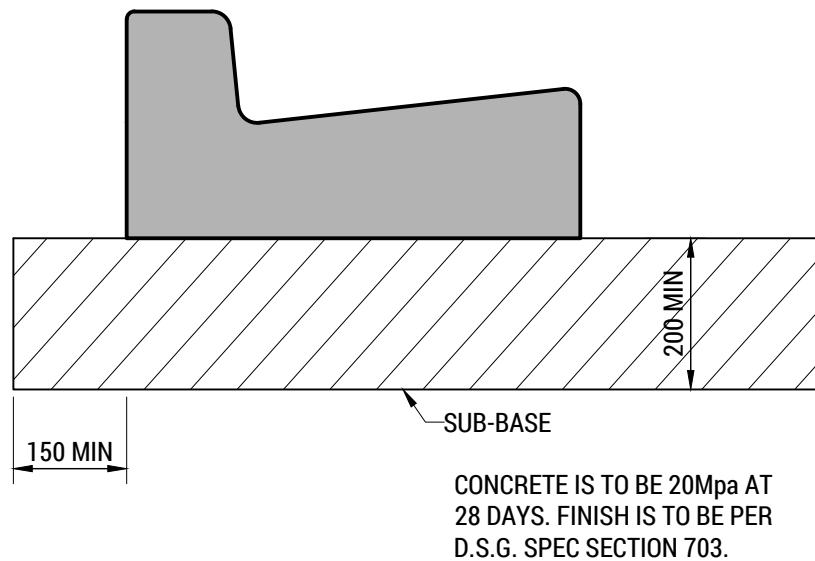
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FOR APPROVED KERB & CHANNEL
PROFILES & DIMENSIONS



BARRIER KERB 'BK' (TYP.)

SCALE 1:10

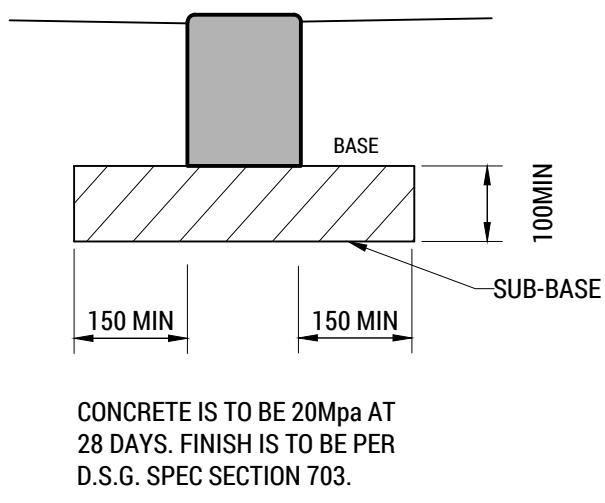
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FOR APPROVED KERB & CHANNEL
PROFILES & DIMENSIONS



KERB AND CHANNEL 'KC' (TYP.)

SCALE 1:10

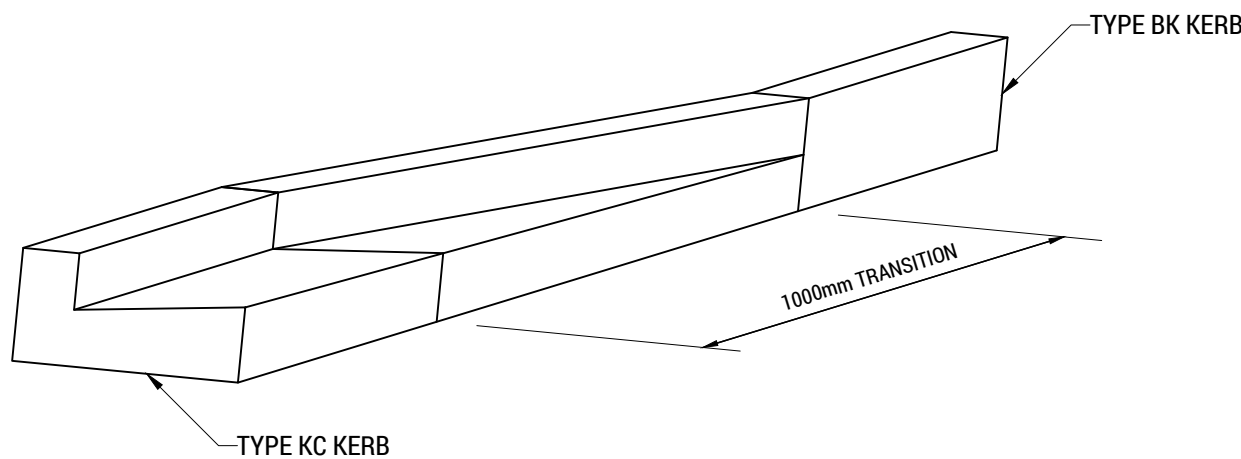
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FOR APPROVED KERB & CHANNEL
PROFILES & DIMENSIONS



FLUSH KERB 'FK' (TYP.)

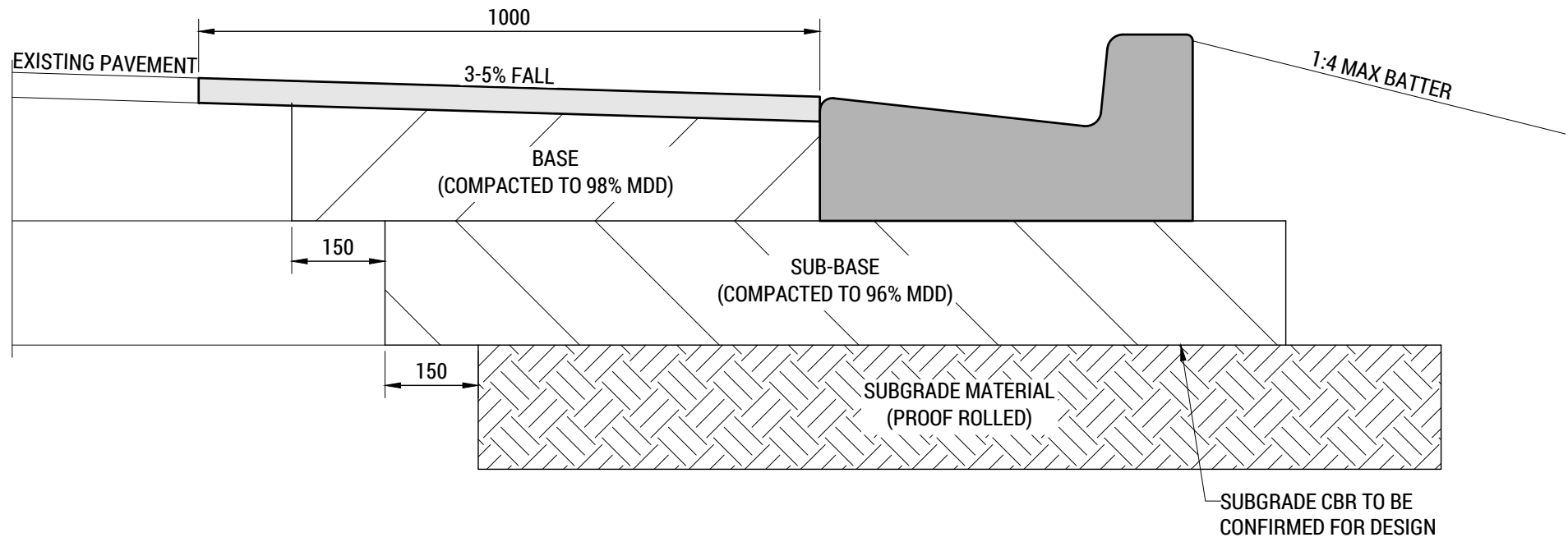
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REFER IPWEA STD DWG TSD-R14-v3
FOR APPROVED KERB & CHANNEL
PROFILES & DIMENSIONS



KC TO BK KERB TRANSITION (TYP.)

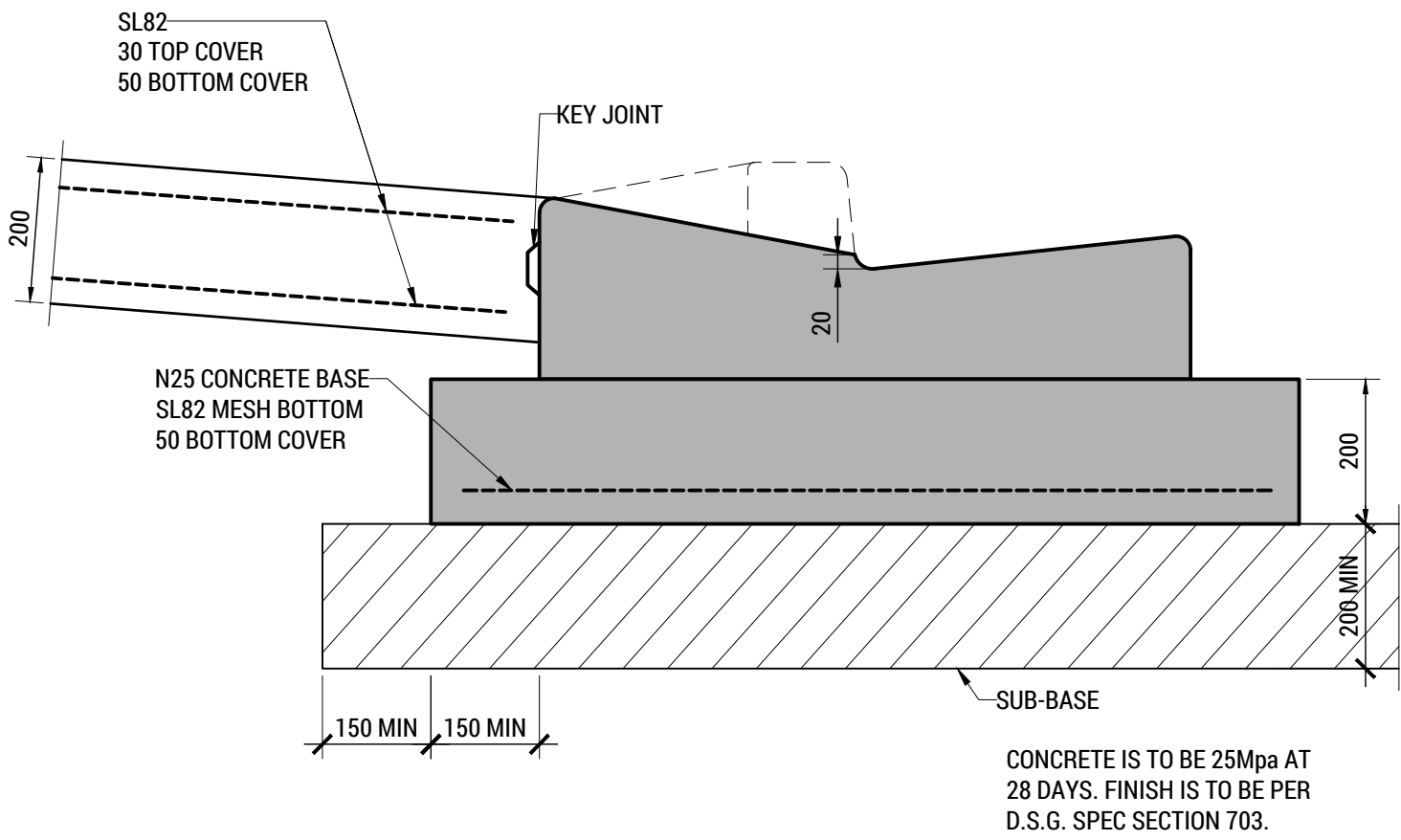
SCALE 1:20



KERB CUT IN DETAIL (TYP.)

SCALE 1:10

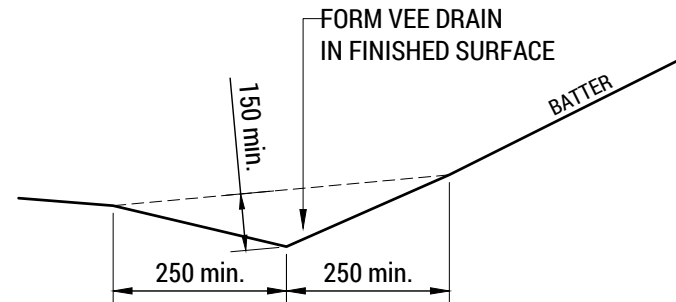
NOTE - HOTMIX PAVEMENT - ROADWAYS FOR BASE MATERIAL TYPES & DEPTHS



VEHICULAR CROSSING HEAVY DUTY BASE 'KCRB' (TYP.)

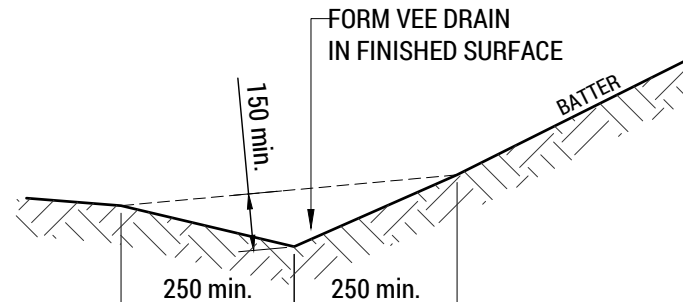
SCALE 1:10

REFER IPWEA STD DWG TSD-R16-v3
FOR APPROVED KERB & CHANNEL
PROFILES & DIMENSIONS



VEE DRAIN DETAIL

SCALE 1:20



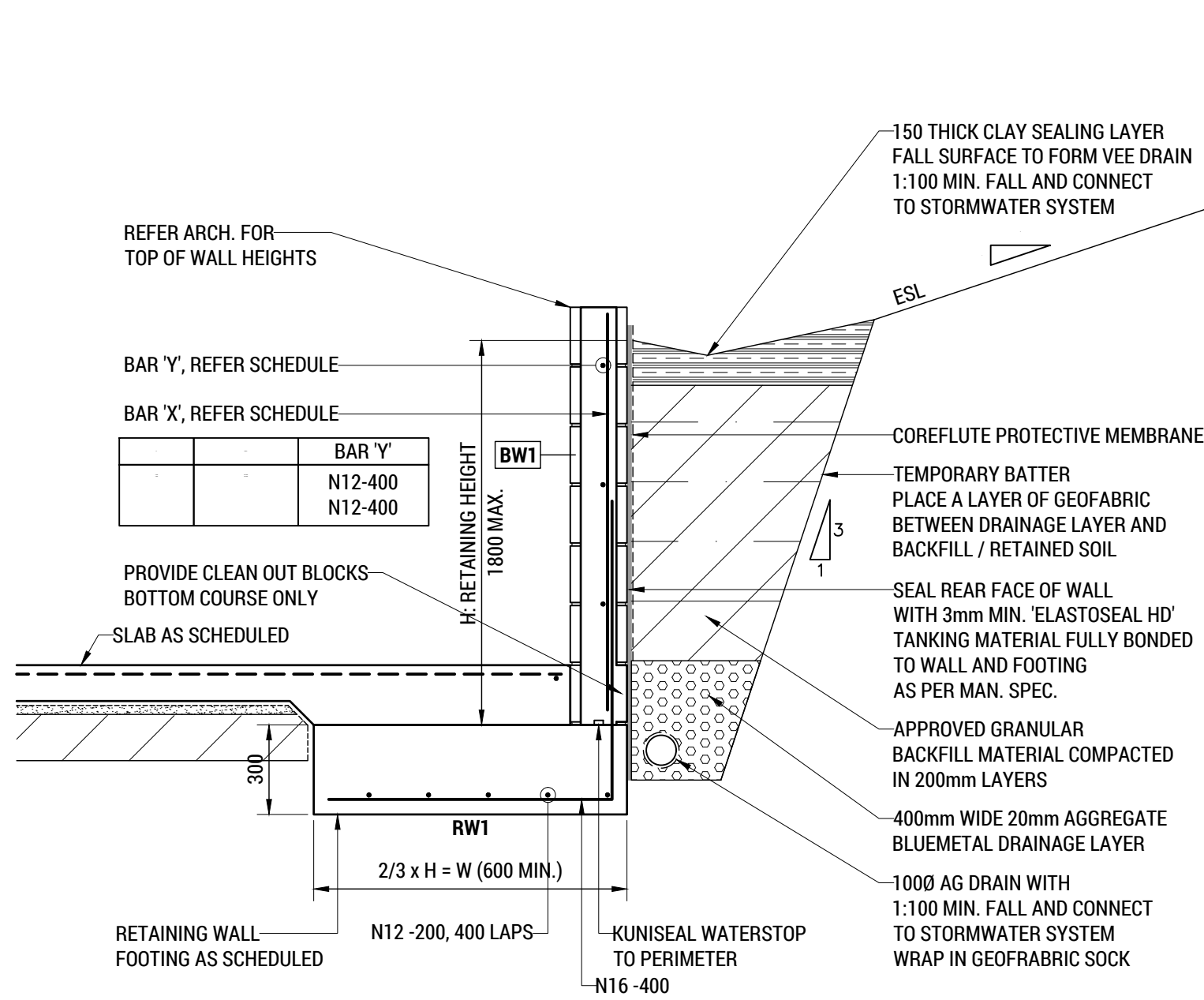
VEE DRAIN DETAIL

SCALE 1:20

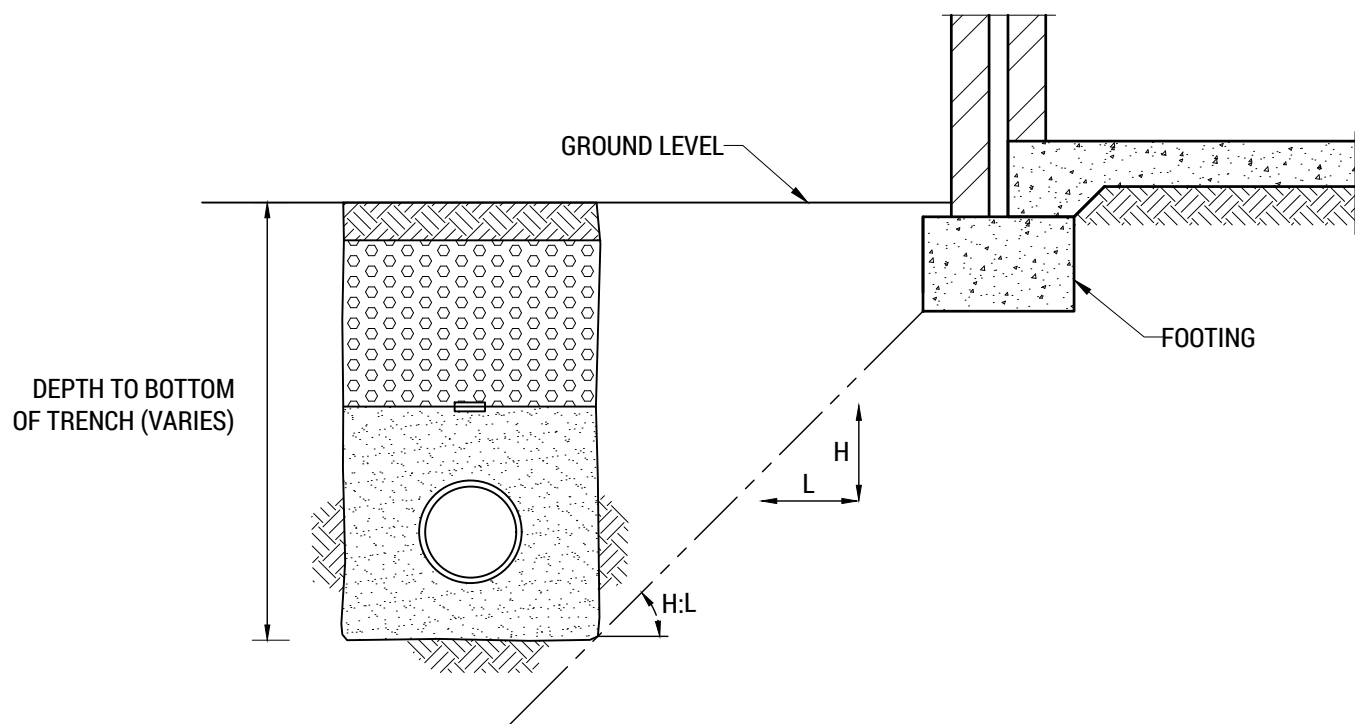
The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No.: PLN-24-270
DATE RECEIVED: 12/06/2025

E REVISED DEVELOPMENT APPLICATION		OWM	18-02-25	COLLECTIVE CONSULTING DISCLAIMER: 1. THIS DRAWING HAS BEEN PRODUCED FOR THE NAMED CLIENT AND FOR USE OF THIS PROJECT ONLY, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. 2. THESE DRAWINGS MUST BE APPROVED BY COUNCIL, TASWATER AND ANY OTHER REQUIRED AUTHORITIES PRIOR TO COMMENCING CONSTRUCTION. 3. THE RECIPIENT IS RESPONSIBLE FOR ENSURING THAT THEY REVIEW THE STATUS OF THIS DRAWING, AND IN RECEIPT OF THE CURRENT REVISION PRIOR TO USE. 4. INFORMATION PROVIDED WITHIN THIS DOCUMENT HAS BEEN PROVIDED UNDER COLLECTIVE CONSULTING'S TERMS OF ENGAGEMENT. BY ACCEPTING OR USING THE INFORMATION WITHIN THIS DOCUMENT YOU HAVE ACCEPTED THE TERMS OF ENGAGEMENT. TERMS CAN BE VIEWED AT: WWW.COLLECTIVECONSULTING.COM.AU/TERMSOFENGAGEMENT . 5. DO NOT SCALE DRAWINGS. COLLECTIVE CONSULTING IS NOT RESPONSIBLE FOR THE DIMENSIONING AND SETTING OUT OF COMPONENTS WITHIN THESE PROJECT DOCUMENTS.	 E admin@collectiveconsulting.com.au Level 1, 10-14 Paterson Street Launceston TAS 7250 P (03) 6334 0834 collectiveconsulting.com.au	CLIENT / ARCHITECT: CUNIC HOMES 	PROJECT DETAILS: 168a ABBOTSFIELD ROAD, CLAREMONT UNITS DEVELOPMENT				DRAWING TITLE: SECTIONS & DETAILS - SHEET 2							
D REVIEW / INFORMATION	OWM	07-02-25																
C REVISED DEVELOPMENT APPLICATION	OWM	07-11-24																
B DEVELOPMENT APPLICATION	OWM	27-09-24																
A REVIEW / INFORMATION	OWM	26-09-24																
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:					DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:	SCALE:	PROJECT No:	DRAWING No:	REVISION:		
								AJL	JTA	OWM	JTA		1:20, 1:10 @ A1 1:40, 1:20 @ A3	241043	C802	E		



SECTION DETAIL - RETAINING WALL 'RW1' (TYP.)
SCALE 1:20

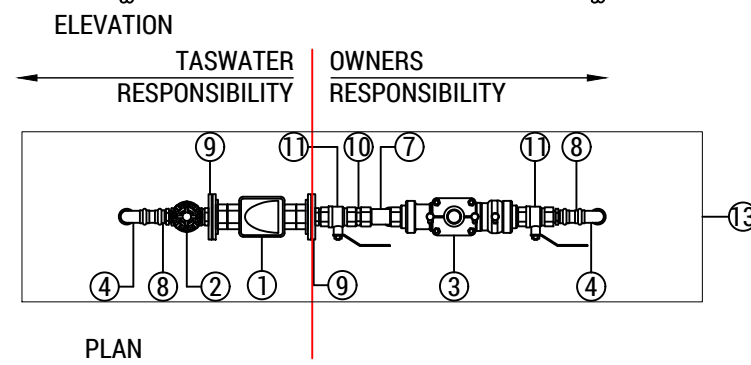
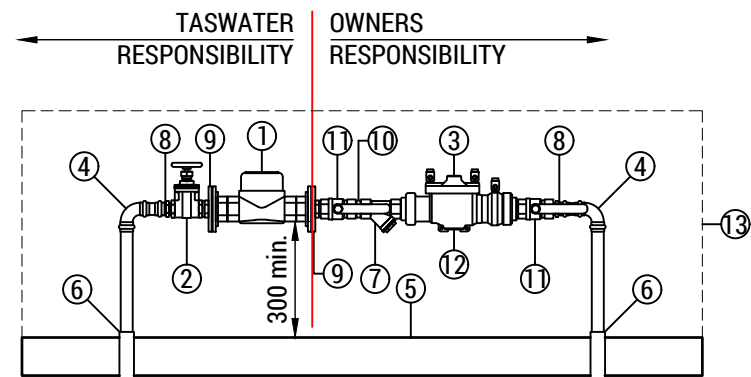


SOIL TYPE	SLOPE H:L	
	COMPACTED FILL	UNDISTURBED GROUND
STABLE ROCK	2:3	8:1
SAND	1:2	1:2
SILT	1:4	1:4
FIRM CLAY	1:2	1:1
SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS	NOT SUITABLE	NOT SUITABLE

(TABLE ADAPTED FROM NCC 2016 BCA - VOLUME TWO)

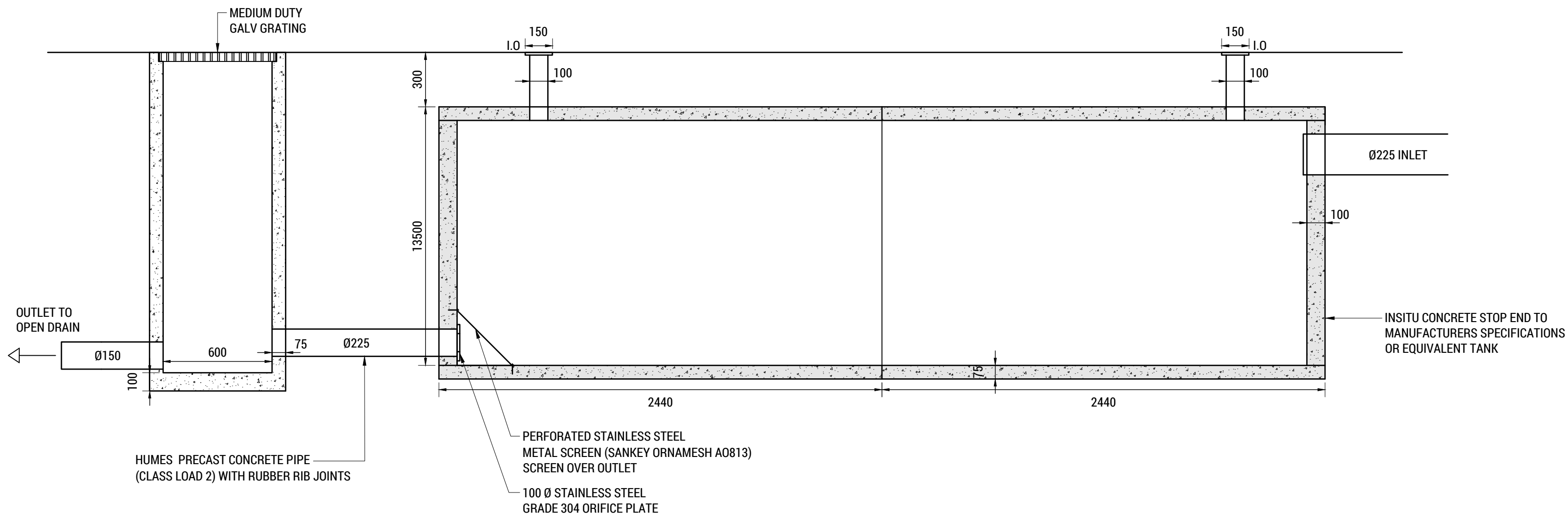
TYPICAL 'ZONE OF INFLUENCE' DETAIL

SCALE 1:20



EQUIPMENT SCHEDULE (PER UNIT)	
ITEM	DESCRIPTION
1	40mm 'SENSUS' IPERL WATER METER WITH DUAL CHECK VALVE - SUPPLIED BY TASWATER
2	40mm GATE VALVE - AVK OR SIMILAR - SUPPLIED BY TASWATER
3	40mm HIGH HAZARD 'VALVCHQ' RPZD RP03 VALVE ONLY
4	40mm TYPE 'A' COPPER PIPE WORK
5	100 THICK N24 CONCRETE SLAB, SL72 CENTRAL
6	DENSO WRAP PIPE THROUGH SLAB PENETRATION
7	40mm STRAINER
8	6 PRESS FITTINGS OR SIMILAR
9	40mm BSP TO TABLE E FLANGE ADAPTOR
10	40mm NIPPLE
11	40mm BALL VALVE - LOCKABLE QUARTER TURN BRASS DZR WITH BRASS HANDLE, RESILIENT SEATED
12	VENT
13	GALV. METAL CAGE - REFER TWS-W-0003 SERIES DRAWINGS FOR DETAILS

D01 40mm HIGH HAZARD METER DETAIL
SCALE 1:20



ALTERNATE ONSITE STORMWATER UNDERGROUND DETENTION
SCALE 1:20

The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-24-270
DATE RECEIVED: 12/06/2025

E REVISD DEVELOPMENT APPLICATION		OWM	18-02-25	COLLECTIVE CONSULTING DISCLAIMER: 1. THIS DRAWING HAS BEEN PRODUCED FOR THE NAMED CLIENT AND FOR USE OF THIS PROJECT ONLY, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. 2. THESE DRAWINGS MUST BE APPROVED BY COUNCIL, TASWATER AND ANY OTHER REQUIRED AUTHORITIES PRIOR TO COMMENCING CONSTRUCTION. 3. THE RECIPIENT IS RESPONSIBLE FOR ENSURING THAT THEY REVIEW THE STATUS OF THIS DRAWING, AND IN RECEIPT OF THE CURRENT REVISION PRIOR TO USE. 4. INFORMATION PROVIDED WITHIN THIS DOCUMENT HAS BEEN PROVIDED UNDER COLLECTIVE CONSULTING'S TERMS OF ENGAGEMENT. BY ACCEPTING OR USING THE INFORMATION WITHIN THIS DOCUMENT YOU HAVE ACCEPTED THE TERMS OF ENGAGEMENT. TERMS CAN BE VIEWED AT: WWW.COLLECTIVECONSULTING.COM.AU/TERMSOFENGAGEMENT . 5. DO NOT SCALE DRAWINGS. COLLECTIVE CONSULTING IS NOT RESPONSIBLE FOR THE DIMENSIONING AND SETTING OUT OF COMPONENTS WITHIN THESE PROJECT DOCUMENTS.	 E admin@collectiveconsulting.com.au Level 1, 10-14 Paterson Street Launceston TAS 7250 P (03) 6334 0854 collectiveconsulting.com.au	CLIENT / ARCHITECT: CUNIC HOMES 	PROJECT DETAILS: 168a ABBOTSFIELD ROAD, CLAREMONT UNITS DEVELOPMENT					DRAWING TITLE: SECTIONS & DETAILS - SHEET 3			
D REVIEW / INFORMATION	OWM	07-02-25					DESIGN BY:	DESIGN CHECK:	DRAWN BY:	DRAFT CHECK:	CERTIFIER:	SCALE:	PROJECT No:	DRAWING No:	REVISION:
C REVISED DEVELOPMENT APPLICATION	OWM	07-11-24					AJL	JTA	OWM	JTA		1:20, 1:10 @ A1 1:40, 1:20 @ A3	241043	C803	E
B DEVELOPMENT APPLICATION	OWM	27-09-24													
A REVIEW / INFORMATION	OWM	26-09-24													
REV:	ISSUED FOR / DESCRIPTION:		BY:	DATE:											



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-24-270

DATE RECEIVED: 12/06/2025

Submission to Planning Authority Notice

Application details

Council Planning Permit No.	PLN-24-270
Council notice date	15/11/2024
TasWater Reference No.	TWDA 2024/01331-GCC
Date of response	05/03/2025
TasWater Contact	Huong Pham
Phone No.	0427 471 748

Response issued to

Council name	GLENORCHY CITY COUNCIL
Contact details	gccmail@gcc.tas.gov.au

Development details

Address	168A ABBOTSFIELD RD, CLAREMONT
Property ID (PID)	9550943
Description of development	Multiple Dwellings x 12

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
Collective Consulting	241043 sheet C201	A	18/02/2025
	241043 sheets C401	E	18/02/2025
Cunic homes	U249 sheets 01	D	19/12/2024

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008 (TAS)* Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections and sewerage system and connections to development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.

Advice: *The sewer property connection servicing 12 units will need to be DN150mm.*

2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

DEVELOPER CHARGES

4. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$10,893.40 to TasWater for water infrastructure for 6.20 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
5. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$14,056.00 to TasWater for sewerage infrastructure for 8.00 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

DEVELOPMENT ASSESSMENT FEES

6. The applicant or landowner as the case may be, must pay a development assessment fee of \$775.39 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

Developer Charges

For information on Developer Charges please visit the following webpage –

<https://www.taswater.com.au/building-and-development/developer-charges>

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be

located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 – SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and
- (b) installing a meter.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

GPA - Attachment 2
168A Abbotsfield Road Claremont
Referral Officer Reports

DEVELOPMENT ENGINEER REFERRAL

DA No.	PLN-24-270	Date Referred	15/11/2024
Planner	Sylvia Jeffreys	To Be Returned By	22/11/2024
Development Engineer	Arete Engineering	Date Returned	Select
Property File No.	9550943	Discretionary Permitted	Discretionary
Details of Application:	Applicant's Name: Cunic Homes Business Contact Name: Domonee Van Heerden Contact Email: dom@cunic.com.au Address of Development: 168A Abbotsfield Road Claremont Proposal in Detail: Twelve Multiple Dwellings and works in the road reserve (Residential)		

The applicant proposes the construction of 12 standalone two-bedroom dwellings, the provision of 24 car parking spaces, and upgrades to existing roads and accessways. The proposal exceeds the recommended density for the site by four dwellings, with eight being the preferable maximum for appropriate site function and livability.

While the proposal has been supported in principle, it has raised serious concerns regarding design quality, regulatory compliance, and applicant cooperation, which necessitate significant conditions on approval.

Key Issues Identified:

1. Design Standards:

The proposed car parking layout fails to meet AS 2890.1 standards and only marginally satisfies performance criteria relating to design layout. There is no consideration for accessible parking or pathways, and no disability access has been included from parking areas to dwelling entrances. While not strictly required under the current planning scheme, this is a critical oversight given the proportion of people with disabilities in social housing.

2. Access and Infrastructure Upgrades:

The proposed upgrading of accessways and the existing road must be carefully designed to prevent adverse impacts on adjacent property entrances. To date, the

applicant has not adequately addressed concerns raised by neighboring properties or demonstrated a commitment to mitigating these impacts.

3. Public Representations:

Council has received four formal representations from neighboring property owners, expressing valid concerns regarding:

- Changes to their property access arrangements. (Conditions have been recommended to preserve existing access design functionality);
- Impacts of road upgrades. (The TIA did not address the increase in capacity of the parking and access due to the increase in density and hence car parking by 50%)
- Incomplete or absent responses from the applicant.
- Inadequate stormwater management design. (stormwater management has been heavily condition and will be to the satisfaction of the development engineer).

4. Applicant Conduct:

The applicant has demonstrated a reluctance to respond fully to requests for additional information. Unauthorized **site disturbance** has already occurred, labeled as “land clearing,” raising concerns over **non-compliance** with the planning process.

Conclusion and Recommendation

The application is supported conceptually only, contingent upon full compliance with stringent design and construction conditions. No construction work is to commence until all relevant conditions have been met and certified by council.

Council holds significant concerns regarding the quality and durability of the proposed development, which appears to prioritize cost minimization over long-term livability and sustainability. Without strict oversight and adherence to conditions, the development is likely to fall short of the expected 50-year design life and impose ongoing maintenance and amenity burdens on both future residents and adjacent property owners.

Should the applicant fail to meet the imposed conditions, they will be required to submit amendments to the application for further assessment.

From a design standpoint, the site is currently overdeveloped, placing undue pressure on its infrastructure, functionality, and the surrounding properties. A reduction in the number of dwellings would alleviate this strain, enhancing the overall performance, sustainability, and integration of the development within its context.

Note: While not a requirement of the planning scheme, Council notes there is no disability parking or access. Disability access to the dwellings from the car park to the front door of the dwelling is not provided. Easily accessible evidence points to a large proportion of people in Australia in social housing have a disability of some form. It is unclear how suitable

residents will be selected based on their physical and mental condition to be suitable for one of these dwellings.

David Morley

Development Engineer

TRANSPORT ENGINEER REFERRAL

DA No.:	PLN-24-270	Date Referred:	15/11/2024
Development Engineer:	Arete Engineering – David Morley	Date Returned:	22/11/2024
Traffic Engineer:	Emily Burch	Property File No:	9550943
Standard:		Discretionary Permitted	Discretionary
Details of Application:	<p>Applicant's Name: Cunic Homes</p> <p>Business Contact Name: Domonee Van Heerden</p> <p>Contact Email: dom@cunic.com.au</p> <p>Address of Development: 168A Abbotsfield Road Claremont</p> <p>Proposal in Detail: Twelve Multiple Dwellings and works in the road reserve (Residential)</p>		

Introduction

The developer proposes to construct 12 two-bedroom units with 24 car parking spaces at an internal lot off Abbotsfield Road.

The assessment below is based on the Traffic Impact Assessment (TIA) undertaken by Midson Traffic dated January 2025 and plans by Collective Consulting. The TIA addresses the performance criteria C2.5.1 P1.2 car parking numbers for dwellings; C2.6.5 P1 pedestrian access and C3.5.1 P1 traffic generation at a vehicle crossing, level crossing or new junction.

Parking Supply

The planning scheme requires 28 car parking spaces. The development is proposing 24 spaces for the 12 two-bedroom units. This means that the performance criteria is addressed in the TIA under C2.5.1 P1.2.

The TIA has calculated the parking required under the NSW Guide to Traffic Generation Development for medium density housing to be 17 parking spaces. However, I have calculated this to be 23 parking spaces. The difference might be due to assessing the application for social and affordable housing. Regardless, the development is providing 24 parking spaces which is adequate parking for the development. Thus, the performance criteria C2.5.1 P1.2 is met.

Pedestrians Access

Within the car park area there is not a dedicated pedestrian path, thus the performance criteria is addressed in the TIA under C2.6.5 P1. The TIA outlines that the site is a small residential unit development with low vehicle speeds and volumes, via a single entrance/exit point to the 90-degree parking spaces.

The low speeds and volumes, results in an acceptable safety environment for shared use between pedestrians and vehicles. Additionally, there is a path from the centre of the car park to each unit. Thus, the performance criteria C2.6.5 P1 is met.

Traffic Generation

The traffic generated by the development is expected to be 60 daily trips with 6 trips in peak hour as per the NSW Guide to Traffic Generation Development. As the development is creating a new junction with Abbotsfield Road, the performance criteria C3.5.1 is required to be addressed.

The increase in traffic by the development onto Abbotsfield Road is not expected to have a significant impact on the safety or efficiency of the road network. Additionally, sight line onto Abbotsfield Road were assessed in the TIA and met the requirements under AS2890.1 and the Austroads Guides.

The design of the access road from the new junction with Abbotsfield Road to the site's car park, is considered under the performance criteria C3.5.1 and is detailed below.

Access Road Design

The access road is within the road reserve and extends from Abbotsfield Road to site's car park. The access road is proposed to be designed to the satisfaction of the Road Authority being Council.

The Road Authority has required that within the road reserve that the access road is undertaken in accordance with Road to Rural Road Sealed TSD-R20-V3 with a minimum sealed traffic width of 5.5m and a footpath to urban roads footpath TSD-R11-V3 with no kerb but separation to the road. This information is shown on the plans, and a condition will be placed on the permit for further detailed engineering plans by the development engineer.

Conclusion

Based on the TIA, the proposed development is not expected to have any significant detrimental impacts on the surrounding road network in terms of traffic efficiency, parking or road safety, I have no objection to the development on traffic engineering or road safety grounds.

HYDRAULICS DEPARTMENT REFERRAL

DA No.:	PLN-24-270	Date Referred:	21/11/2024
Development Engineer:	Arete Engineering – David Morley	Date Returned:	28/11/2024
Hydraulics Engineer:	Dan Egodawatte	Property File No:	9550943
Standard:		Discretionary Permitted	Discretionary
Details of Application:	Applicant's Name: Cunic Homes Business Contact Name: Domonee Van Heerden Contact Email: dom@cunic.com.au Address of Development: 168A Abbotsfield Road Claremont Proposal in Detail: Twelve Multiple Dwellings and works in the road reserve (Residential)		

Comments

This development includes construction of 12 x 2 bedroom multi dwellings, fully impervious carpark and associated infrastructure. Site is subjected to the Flood Prone Area Code overlay and this assessment includes a flood hazard assessment to address the C12.0 Flood Prone Areas Hazard Code.

Referred documents

1. Flood Hazard Report by Flussig Engineers Reference FE24055 Revision 00 dated 12/08/2024 (referred to as 'Flood Hazard Report' in the assessment)
2. Infrastructure Services Reports by Collective Consulting, issue 02 dated F18/02/2025 (referred to as 'Services Report' in the assessment)
3. Concept Civil Engineering plans by Collective Consulting, reference 241043, revision E, dated 18/02/2025 (referred to as 'Concept Engineering Plans' in the assessment)

C12.0 Flood-Prone Areas Hazard Code

Flood Hazard Report has been prepared by Flussig Engineers to address the performance criteria under C12.5.1 Uses within a flood prone area and C12.6.1. Building and works within a flood prone area. Objectives of the above two criteria is to demonstrate whether the proposed development and the use can achieve and maintain a tolerable risk during a 1% AEP flood event with provision for the climate change scenario.

Flood hazard is generally categorised based on the combined impacts of expected flood depths and velocities as per Australian Disaster and Resilient Handbook. Below graphical representation indicates the 6 categories from H1 to H6.

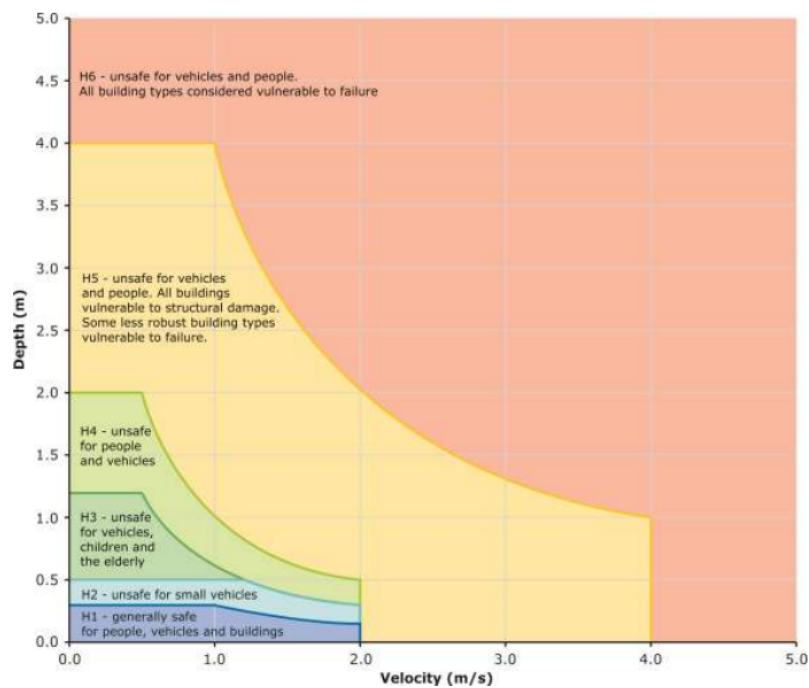


Figure 1: General flood hazard vulnerability curves

Flussig report has identified that a portion of proposed multi dwellings to the north-western side at the site is exposed to H1- low hazard risk during a 1 % AEP + climate change event. This is mostly due to existing minor overland flow paths down the hill. Also, the report concludes that the flood hazard impacts to the neighbouring properties are not increased post development, provided the recommendations made in the report are complied with. A pre and post flood hazard comparison maps listed below for comparison.

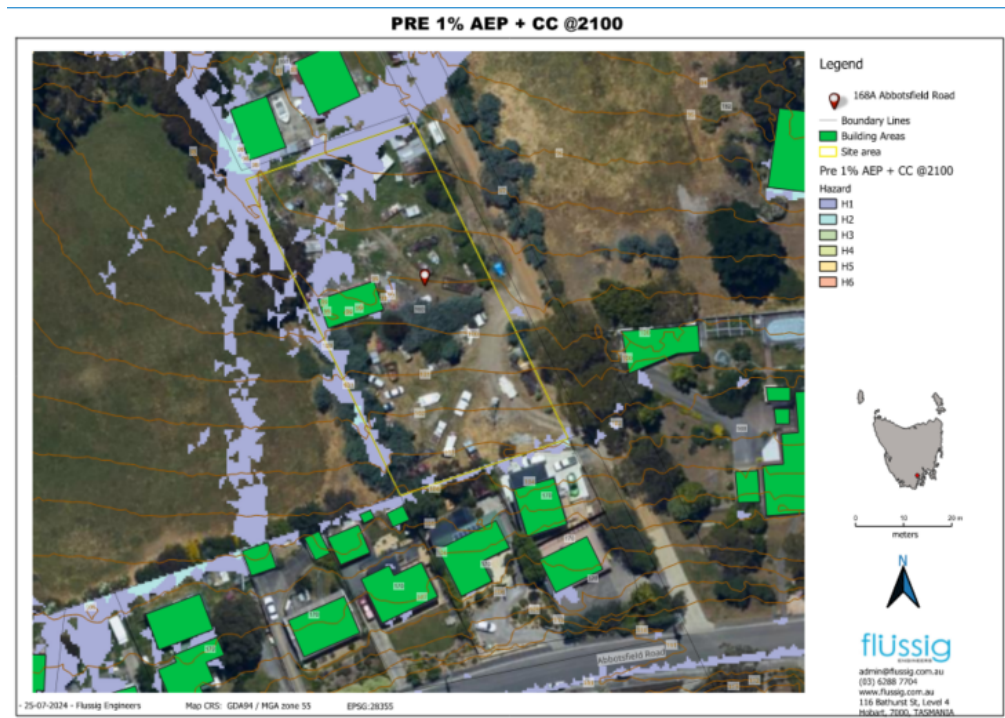


Figure 8: Pre-development Flood Hazard Extents

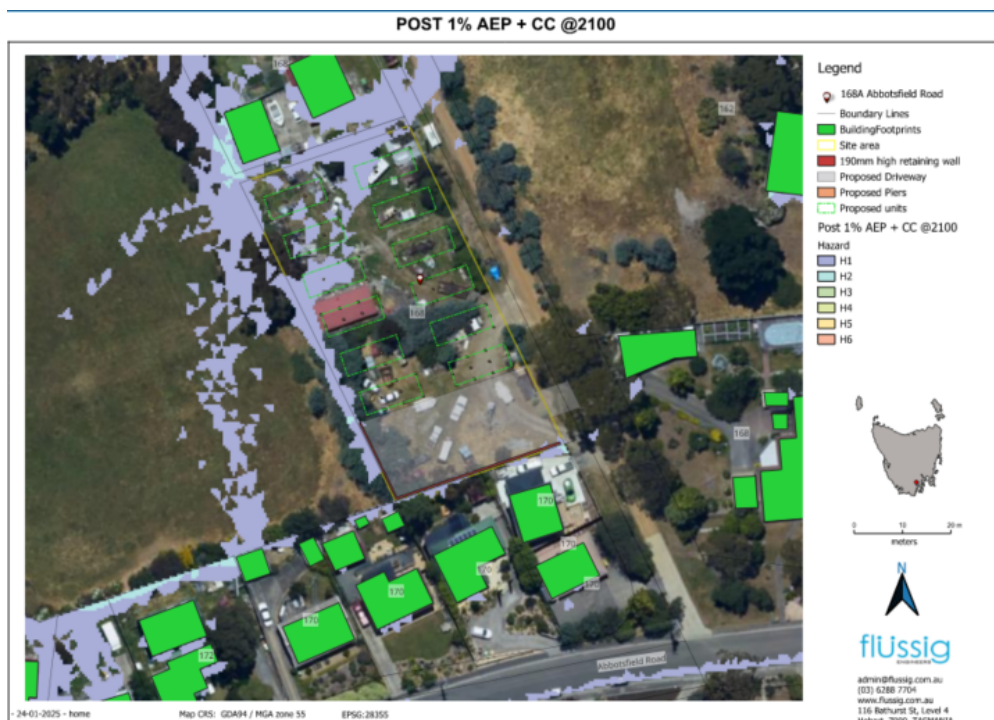


Figure 9: Post Development Flood Hazard Extents

Flood Hazard Report by Flussig has provided a range of recommendations to ensure achieve and maintain a tolerable risk including:

1. The proposed unit dwellings must be constructed on piers to prevent direct contact with floodwaters and to allow for the unobstructed passage of overland

flow beneath the structure. This design reduces the risk of water damage and maintains the natural flow path.

2. Piling fences on the western lot boundary to have a minimum clearance of 150 mm to allow the natural overland flow path through.
3. Proposed structures, located in the inundation area, are to be designed to resist flood forces including debris.
4. No additional solid structures be constructed around the property without further flood assessment.
5. Future use of lot areas to be limited to areas deemed safe under the ARR Disaster manual categories.
6. All future proposed structures within the flood extent not shown within this report will require a separate report addressing their impacts.

Stormwater infrastructure design under Section 14 of Urban Drainage Act and Council's Stormwater Management Policy

a. Stormwater Disposal Method Requirements:

All stormwater generated from the development will drain to stormwater systems by gravity. Therefore, 4 (a) is met.

b. Stormwater Quality Management Requirements:

The stormwater system will incorporate water sensitive urban design principles for the treatment and disposal of stormwater given the new impervious area is greater than 500m². This will include four proprietary treatment device installed as an 'end of line' treatment, subjected to requirements stipulated by Council.

Therefore, 5 (b) is met.

c. Stormwater Quantity Management Requirements:

The development includes an underground on-site detention tank to manage post developed runoff to pre-developed levels for 5% AEP (1 in 20-year event)

Therefore, 6(a) is met.

d. Stormwater System Design Requirements:

The major stormwater system and the minor stormwater system have been demonstrated in Services report by Collective Consulting and flood report by Flussig Engineers.

Therefore 3 (a) and (b) are met.

Conclusion

In summary, I have no objections with the proposal from a hydraulics perspective, provided the recommended conditions are met.

WASTE MANAGEMENT REFERRAL

DA No:.	PLN-24-270	Date Referred:	15/11/2024
Planner:	Sylvia Jeffreys	To Be Returned By:	22/11/2024
Waste Management Rep:	Gaye Hunt	Date Returned:	28/11/2024
Property File No:	9550943	Discretionary Permitted	Discretionary

Details of Application:	Applicant's Name: Cunic Homes
	Business Contact Name: Domonee Van Heerden
	Contact Email: dom@cunic.com.au
	Address of Development: 168A Abbotsfield Road Claremont
	Proposal In Detail: Twelve Multiple Dwellings and works in the road reserve (Residential)

Waste Management Officer

Waste Services to the proposed twelve (12) multiple dwelling development at 168A Abbotsfield Rd Claremont would be Councils shared bin service, collected weekly. There will be a total number of twelve (12) x 240L Shared Wheelie Bins.

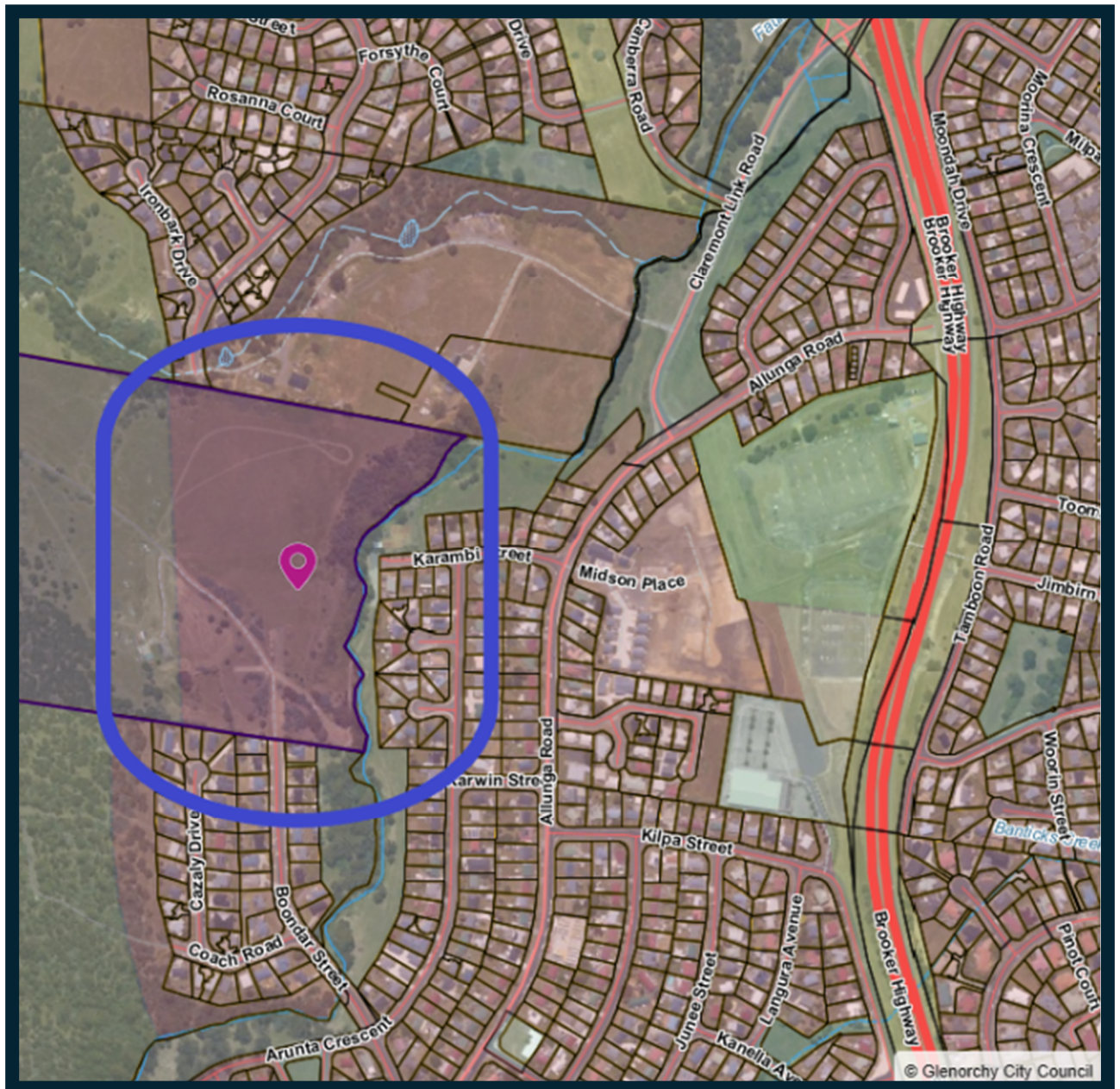
The wheelie bins should be stored in a bin enclosure within the property boundary and are not to be taken to individual units. All shared wheelie bins should be placed on the kerbside for collection. This will be on Abbotsfield Road.

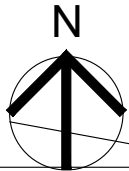
GPA - Attachment 1
15 Karambi Street Chigwell

Site Plan, Advertised Plans and TasWater Referral

Subject site: 15 Karambi Street, Chigwell

(Plan indicates portion of the subject site within a General Residential Zone)





DRAWING CONTENTS

- 1J
- Locality plan / planning overlay
- 2J
- Plan of Subdivision
- 3J
- Plan of Subdivision -Aerial
- 4J
- Stage Plan
- 5J
- Slope Section
- 6J
- Proposed Driveway Realignment

PLAN OF SUBDIVISION
Sheet 1 of 6

Owners
Glenn Leigh Jay

Title References
FR 116276/1

Address
15 Karambi Street, Chigwell

Council
Glenorchy Council

Local Provisions Schedule
Glenorchy Local Provisions Schedule

Zone
8 General Residential
22 Landscape Conservation

Code Overlay
7 Natural Assets Code
(Priority vegetation area)
(Waterway and coastal protection area)
8 Scenic Protection Code
12 Flood-prone areas
13 Bushfire-prone Areas Code
15 Landslip Hazard Code

Map reference
'New Norfolk 55' 502655

PID
5297675

Point of interest GDA2020 MGA55
519700E, 52608606N

Schedule of Easements
Existing Right of Way 10.06 Wide
Proposed Rights of Way, Drainage and
Pipeline and Service Easements where
required.

NOTES

1.
- This plan has been prepared only
for the purpose of obtaining
preliminary subdivision approval
from the Council and the
information shown hereon should
be used for no other purpose. All
measurements and areas are
subject to final survey.
2.
- Entire site is subject to the
Bushfire-prone Areas Code.
This isn't shown for plan clarity

KEY

- Bushfire-prone area
- Landslip hazard band
- Priority vegetation area
- Scenic protection area
- Waterway and Coastal Protection Area
- Flood Prone Area

1 LOCALITY PLAN / PLANNING OVERLAY
1:10,000

J	SHOW DRIVEWAY/DRAIN REALIGNMENT FOR 15 KARAMBI STREET	MK	30.04.25	CMT
H	INCREASE LOT 105 TO FIT ACCEPTABLE ACCESS STRIP, SHOW SLOPE SECTION AND OTHER ITEMS	MK	13.03.25	CMT
G	ADD STAGE PLAN TO PLANNING DOCUMENTATION	MK	21.05.24	CMT
F	REVISED LOT LAYOUT TO AVOID SIGNIFICANT TREES ON THE SOUTH.	MK	15.08.23	CMT
E	REVISED LOT LAYOUT TO AVOID PRIORITY VEGETATION AREA.	MK	10.07.23	CMT
REV	AMENDMENTS	DRAWN	DATE	APPR.

NOTES:

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025

SURVEYOR	GEOCIVIL
DRAWN	CHECKED
MK	CMT
DATE	30 APRIL 2025

PLAN OF SUBDIVISION
15 KARAMBI STREET, CHIGWELL
for GLENN JAY



127 Bathurst Street
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Launceston & Burnie

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1:10,000	(A3)
JOB NUMBER	DRAWING
44035CT-1J	

KEY PROPOSED EASEMENTS

- PIPELINE AND SERVICES & DRAINAGE EASEMENT
- DRAINAGE EASEMENT
- PIPELINE AND SERVICES EASEMENT
- EMBANKMENT EASEMENT

PROPOSED DRAINAGE
EASEMENT 4.00m WIDE
(To cover Cut-off drain
in favour of Council)

Balance of
FR 116276/1
140.1ha

CURRENT OVERLAND
FLOW PATH OVERLAY
FROM LIST WEBSITE
(TO BE RE-ROUTED)

PLAN OF SUBDIVISION

Sheet 2 of 5

Owners
Glenn Leigh Jay

Title References
FR 116276/1

Address
15 Karambi Street, Chigwell

Council
Glenorchy Council

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- Entire site is subject to the Bushfire-prone Areas Code. This isn't shown for plan clarity
- Combined access strips shall be a minimum of 3.6m wide each to be shared with Proposed Reciprocal Rights of Way.
- Lot numbers w/ suffix shown* denote an area not including access strip.

STAGE 1
Lot 100 (Comprises Lots 1-61 & P.O.S.)
Balance Lot
Proposed Right of way 18.00m wide

STAGE 2
Lots 1-13 & Lots 55-61 & Lot 105

STAGE 3
Lots 14-35, 41 & 42

STAGE 4
Lots 36-40, 43-54

KEY

- Waterway and Coastal Protection Area
- Priority vegetation area
- Significant tree canopy shown (approximate only)
- Flood Prone Area
- Landslip hazard band (Low & Med shown)

LEGEND

- TITLE/PROPOSED BOUNDARY
- SURROUNDING CADASTRE
- CONTOURS 5M INTERVAL
- RECTANGLE 10 X 15M
- DESIGN OPEN DRAIN

DRAWING CONTENTS

- 1J Locality plan / planning overlay
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2

PLAN OF SUBDIVISION

1:1500

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PLAN OF SUBDIVISION
15 KARAMBI STREET, CHIGWELL
for GLENN JAY

PDA
SURVEYORS, ENGINEERS & PLANNERS

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JOB NUMBER	DRAWING
44035CT-2J	

KEY PROPOSED EASEMENTS

- PIPELINE AND SERVICES & DRAINAGE EASEMENT
- DRAINAGE EASEMENT
- PIPELINE AND SERVICES EASEMENT
- EMBANKMENT EASEMENT

PROPOSED DRAINAGE
EASEMENT 4.00m WIDE
(To cover Cut-off drain
in favour of Council)

Balance of
FR 116276/1
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FLOW PATH OVERLAY
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Sheet 3 of 6

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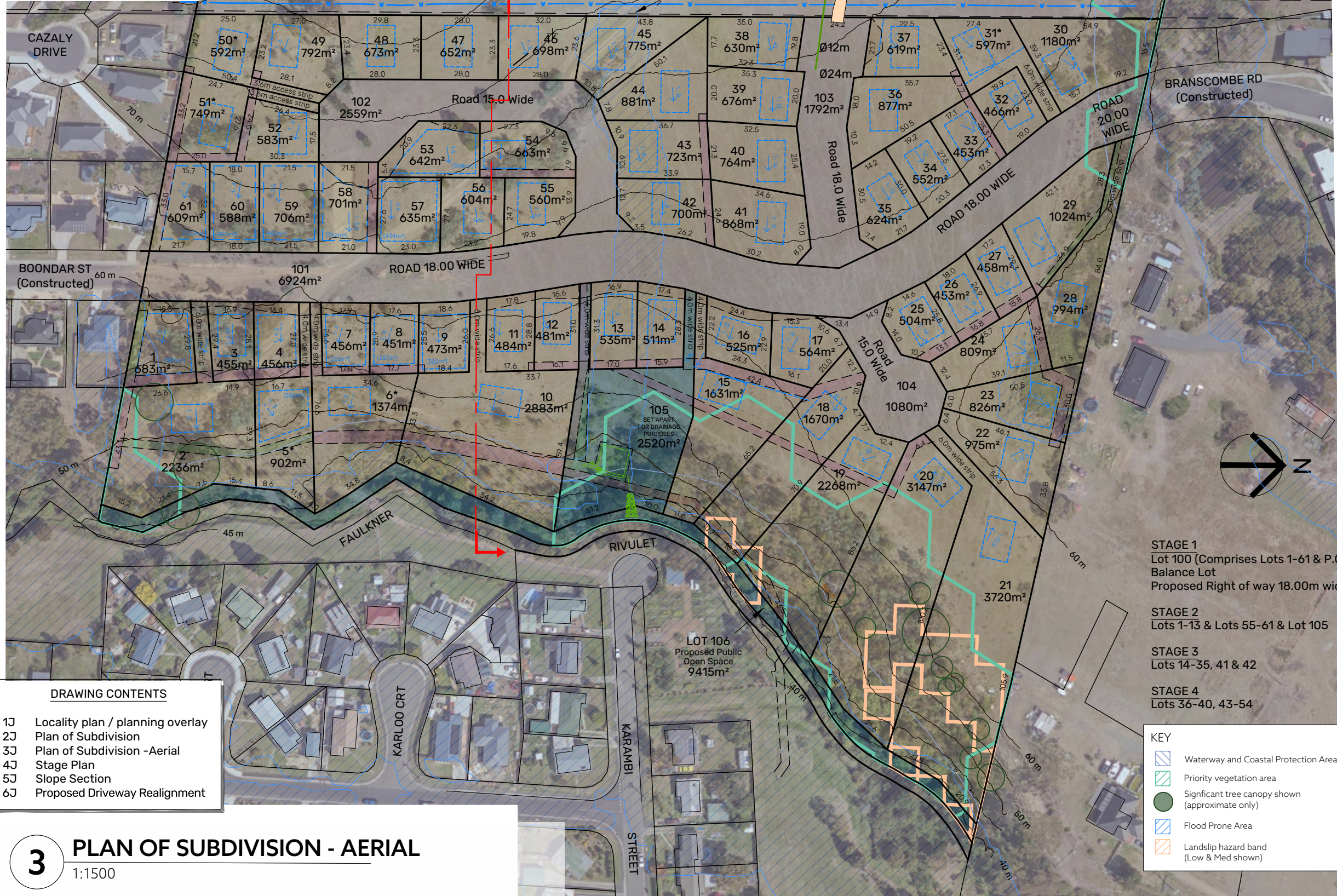
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PLAN OF SUBDIVISION - AERIAL

1:1500

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PLAN OF SUBDIVISION - AERIAL
15 KARAMBI STREET, CHIGWELL
for GLENN JAY



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JOB NUMBER	DRAWING
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PLAN OF SUBDIVISION

Sheet 4 of 6

STAGE 1

Lot 100 (Comprises Lots 1-61 & P.O.S.)
Balance Lot
Proposed Right of way 18.00m wide

STAGE 2

Lots 1-13 & Lots 55-61 & Lot 105

STAGE 3

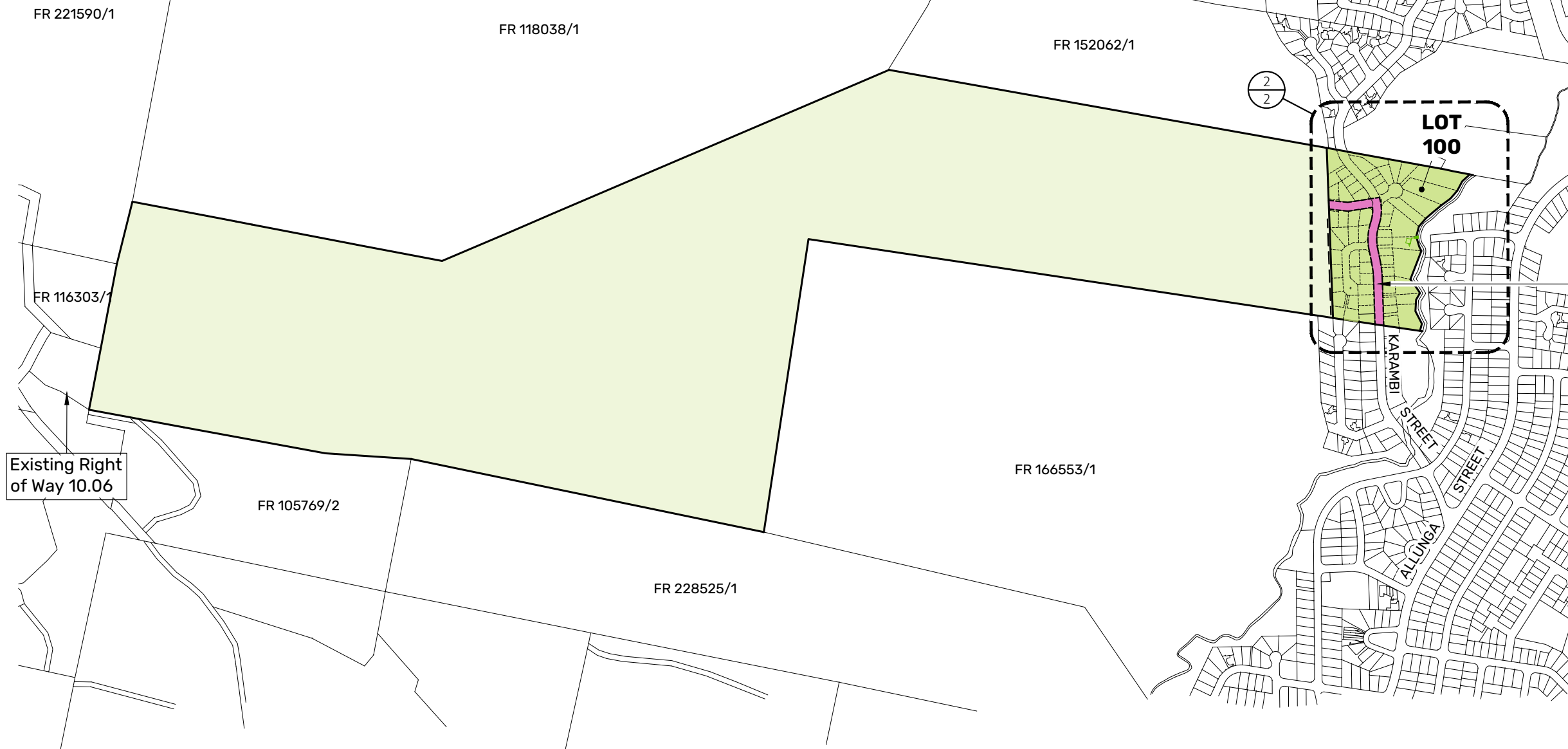
Lots 14-35, 41 & 42

STAGE 4

Lots 36-40, 43-54

STAGE 1

Proposed Right of way 18.00m wide
(in favour of Balance Lot.)



4

STAGE PLAN

1:10,000

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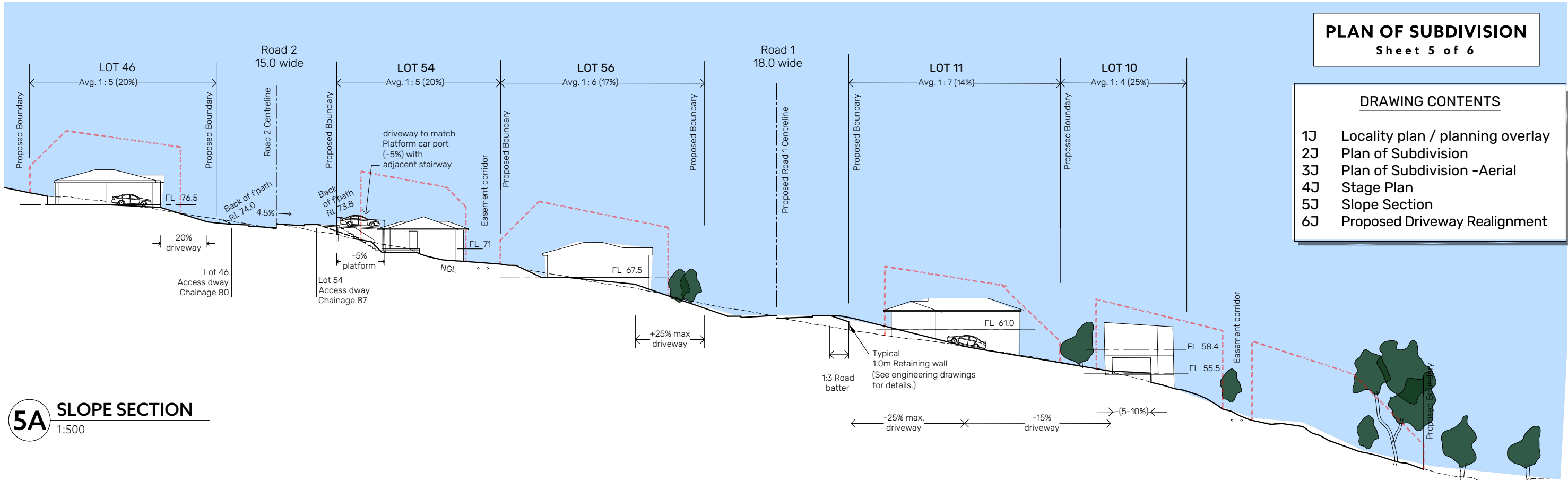
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**STAGING - PLAN OF SUBDIVISION
15 KARAMBI STREET, CHIGWELL
for GLENN JAY**

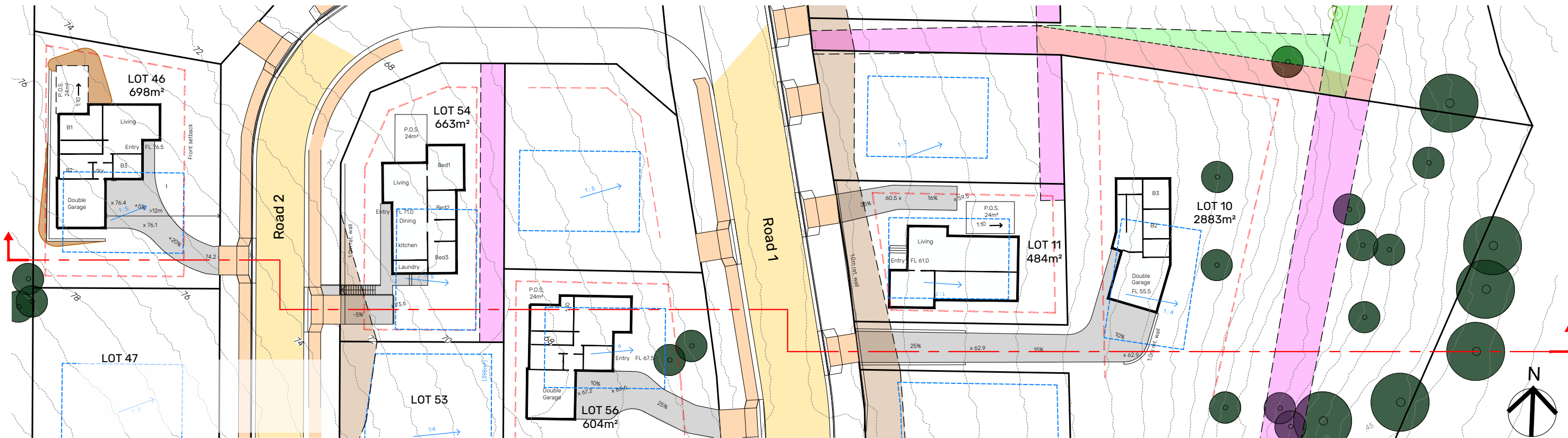


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44035CT-4J	



5A **SLOPE SECTION**
1:500



5B **INDICATIVE DEVELOPMENT**
1:500

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-129
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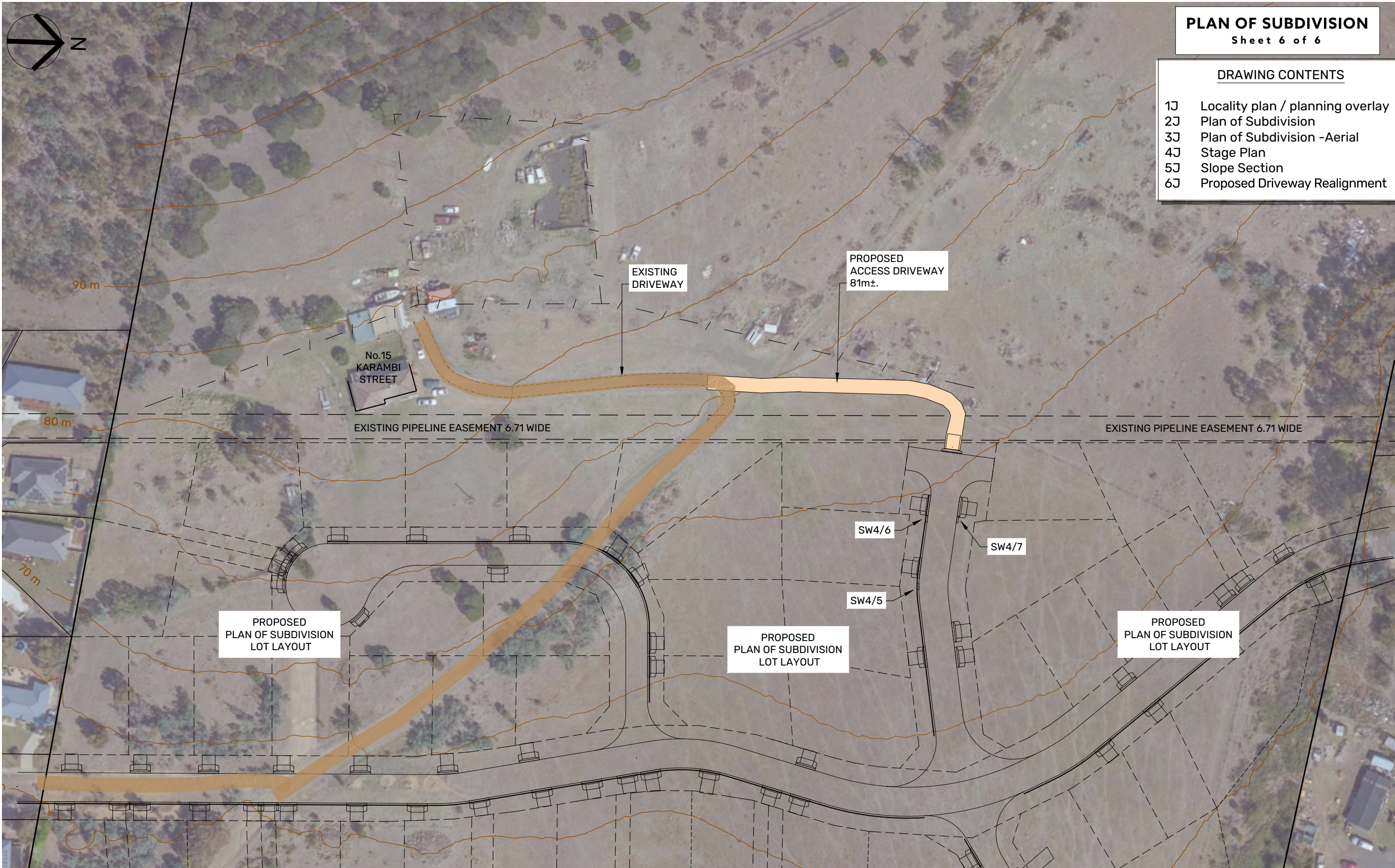
SLOPE SECTION - PLAN OF SUBDIVISION
15 KARAMBI STREET, CHIGWELL
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44035CT-5J	



PLAN OF SUBDIVISION
Sheet 6 of 6

DRAWING CONTENTS

- 1J Locality plan / planning overlay
- 2J Plan of Subdivision
- 3J Plan of Subdivision -Aerial
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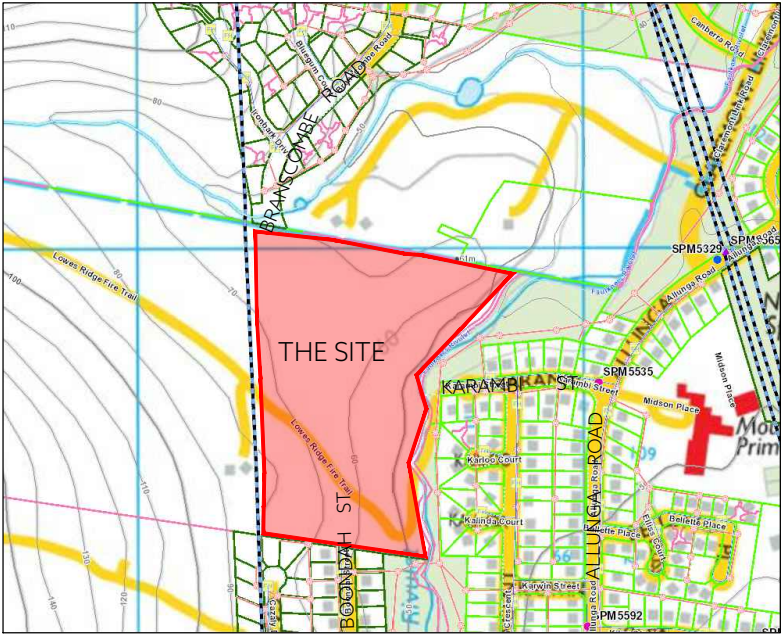
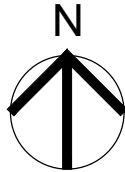
**DRIVEWAY REALIGNMENT - PLAN OF SUBDIVISION
15 KARAMBI STREET, CHIGWELL
for GLENN JAY**



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44035CT-6J	

DRAWING LIST	
DRAWING NUMBER	DRAWING TITLE
001	COVER SHEET
002	GENERAL NOTES
005	STAGING PLAN
010	OVERALL SITE PLAN
020	TYPICAL CROSS SECTIONS
100-107	ROAD & SERVICES PLANS
200-205	LONG SECTIONS ROADS 1-4
300-303	CROSS SECTIONS ROAD 1
310-312	CROSS SECTIONS ROAD 2
320-322	CROSS SECTIONS ROAD 4
410-425	STORMWATER LONG SECTIONS
510-524	SEWER LONG SECTIONS
600-603	WATER LONG SECTIONS
700	DETAILS
800-803	LIST WEBSITE OVERLAYS
1000	VEHICLE PATHS



GLENN JAY
61 LOT SUBDIVISION
15 KARAMBI STREET
CHIGWELL, TAS, 7011

LOCALITY PLAN
NTS

GLENORCHY CITY COUNCIL		
REV	DATE ISSUED	DESCRIPTION
P1	24/01/2024	FOR DEVELOPMENT APPLICATION
P2	24/05/2024	FOR DEVELOPMENT APPLICATION
P3	07/03/2024	FOR DEVELOPMENT APPLICATION
P4	30/05/2025	FOR DEVELOPMENT APPLICATION

TASWATER SUBMISSIONS		
REV	DATE ISSUED	DESCRIPTION
P1	-	FOR DEVELOPMENT APPLICATION
P3	07/03/2025	FOR DEVELOPMENT APPLICATION

PROJECT STATUS							
REV	DATE ISSUED	DRAWN BY	AMENDED BY	CHECKED BY	CLIENT SUBMISSION	COUNCIL SUBMISSION	TASWATER SUBMISSION
P1	24-01-2024	S.C.	-	M.S.	24-01-2024	24-01-2024	-
P2	24-05-2024	S.C.	-	C.T.	24-05-2024	24-05-2024	
P3	07-03-2025	SC	-	C.T.	-	07-03-2025	
P4	30-05-2025	SC	-	C.T.		30-05-2025	

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025

Document Set ID: 3517077
Version: 1, Version Date: 30/07/2025

GENERAL NOTES:

1. NO ATTEMPT HAS BEEN MADE TO LOCATE ALL SERVICES. ONLY THOSE SERVICES CONSPICUOUS DURING FIELD SURVEYS ARE SHOWN. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY(S) SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICE AND DETAILED LOCATIONS OF ALL SERVICES.
2. ALL DIMENSIONS AND LOT SIZES SUBJECT TO FINAL SURVEY.
3. REFER IPWEA - LGAT SPECIFICATIONS, TASMANIAN STANDARD DRAWINGS ISSUED - 03 DECEMBER 2020

TSD-G01.v3 - TRENCH REINSTATEMENT FLEXIBLE PAVEMENTS
TSD-G02.v3 - URBAN ROADS - TYPICAL SERVICE LOCATIONS
TSD-R01.v3 - RURAL ROADS UNSEALED
TSD-R02.v3 - RURAL ROADS SEALED
TSD-R03.v3 - RURAL ROADS - TYPICAL DRIVEWAY ACCESS
TSD-R04.v3 - RURAL ROADS - TYPICAL DRIVEWAY PROFILE
TSD-R05.v3 - TRUCK ACCESS TO RURAL PROPERTIES 'TYPE A'
TSD-R06.v3 - URBAN ROADS - TYPICAL SECTIONS & PAVEMENT WIDTHS
TSD-R09.v3 - URBAN ROADS - DRIVEWAYS
TSD-R11.v3 - URBAN ROADS - FOOTPATHS
TSD-R12.v3 - SUB SOIL DRAINS - CONSTRUCTION DETAILS
TSD-R13.v3 - SUBSOIL DRAINS PIT CONNECTION - TYPE FD
TSD-R14.v3 - CONCRETE KERBS & CHANNELS DIMENSIONS
TSD-R15.v3 - CONCRETE KERBS & CHANNELS CONSTRUCTION DETAILS
TSD-R16.v3 - CONCRETE KERBS & CHANNELS VEHICULAR CROSSINGS
TSD-R18.v3 - CONCRETE KERBS & CHANNELS ACCESS RAMPS
TSD-R26.v3 - DELINEATORS
TSD-R28.v3 - W-BEAM - INSTALLATION DETAILS
TSD-SW01.v3 - PIPE INSTALLATION ANCHOR BLOCKS
TSD-SW02.v3 - MANHOLES - 100-600 DIA. PIPES - GENERAL ARRANGEMENTS
TSD-SW03.v3 - MANHOLES - 100-600 DIA. PIPES - BENCHING DETAILS
TSD-SW09.v3 - SIDE ENTRY PITS - 'TYPE 3'
TSD-SW11.v3 - SIDE ENTRY PITS - KERB TRANSITIONS
TSD-SW15.v3 - STORMWATER - 'GP'
TSD-SW17.v3 - OUTLET HEADWALLS 300 - 600 DIA PIPES
TSD-SW25.v3 - STORMWATER PROPERTY CONNECTIONS TO MAINS
TSD-SW26.v3 - SADDLE CONNECTION TO STORMWATER DRAIN
TSD-SW27.v3 - REPAIRS/ NEW CONNECTION TO STORMWATER DRAIN
TSD-SW28.v3 - GUIDELINES FOR SEDIMENT CONTROL
TSD-RF04.v3 - NATURE STRIP DETAILS

4. CONSTRUCTION TO COMPLY WITH WSAA SEWERAGE CODE OF AUSTRALIA (MELBOURNE RETAIL WATER AGENCIES EDITION) - WSA 02-2014-3.1 v3 AND TASWATER SUPPLEMENT TO THE CODE.
5. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE TASMANIAN SUBDIVISION GUIDELINES (VERSION 1.0 , DATED OCTOBER 2013) UNLESS OTHERWISE NOTED.
6. ALL CONNECTIONS TO EXISTING SEWER AND WATER MAINS TO BE CARRIED OUT BY TASWATER OR APPROVED CONTRACTOR AT DEVELOPER'S COST UNLESS APPROVED OTHERWISE.

SURVEY NOTES:

1. CONCEPT PROJECT FOR DEVELOPMENT APPLICATION HAS BEEN DESIGNED WITH A COMBINATION OF LIDAR SURVEY AND DETAILED SURVEY
2. DETAILED SURVEY DATUM: AHD
3. PLANAR OR GRID: PLANAR
4. SITE CONTROL: GPS
5. SURVEYED BY: PDA
6. ACCURACY OF SURVEY: 0.02m
7. ACCURACY/STATUS OF EXISTING & FUTURE PROPERTY BOUNDARIES: 1.0m

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025

ROADS & STORMWATER NOTES:

1. ALL STORMWATER LOT CONNECTIONS TO BE DN150 UNLESS OTHERWISE NOTED.
2. ALL STORMWATER LINES DN300 PVC-U SN8 OR EQUIVALENT UNLESS NOTED OTHERWISE.
3. ALL FOOTPATHS TO BE N25 CONCRETE 100mm THICK, SL72 CENTRAL, 100 x 20 FCR BASE.
4. 2 x 65 DIA WEEPHOLES TO BE PLACED IN ALL STORMWATER SIDE ENTRY PITS AND MANHOLES WITH NO SUBSOIL DRAIN CONNECTIONS.
5. ALL STORMWATER BRANCHES TO TERMINATE AT PROPERTY BOUNDARIES WITH AN INSPECTION OPENING RAISED TO SURFACE WITH AN APPROVED COVER 1m INSIDE PROPERTY BOUNDARY.
6. ALL LOT CONNECTIONS TO BE CONSTRUCTED IN THE POSITION SHOWN UNLESS APPROVED BY THE SUPERINTENDENT.
7. FINAL POSITION AND WIDTH OF ALL DRAINAGE EASEMENTS IS TO BE DETERMINED FOLLOWING CONSTRUCTION.
8. EXTENT OF ROADWORKS SHOWN SHADED.
9. ALL FILL AREAS TO BE PLACED AND COMPACTED PRIOR TO TRENCH EXCAVATION.
10. PROVIDE TRAFFICABLE LIDS TO CONNECTIONS IN TRAFFICABLE AREAS INCLUDING DRIVEWAYS.
11. ALL DRIVEWAYS TO HAVE MAXIMUM GRADE 20% OUTSIDE LOT BOUNDARIES AND 25% INSIDE LOT BOUNDARIES AND CONSTRUCTED AS PER TSD-R09 V3.
12. PROVIDE MINIMUM 150mm CLEARANCE FROM TOP OF ROD EYES TO SURFACE COVER LID.

STORMWATER LONG SECTION NOTES:

1. ALL EXCAVATION OVER 1.5m IN DEPTH MUST BE CARRIED OUT IN ACCORDANCE WITH WORKPLACE SAFETY STANDARDS CODE OF PRACTICE FOR EXCAVATION WORK.
2. COMPACTED FCR BACKFILL UNDER ROADS & DRIVEWAYS.
3. ALL ANCHOR BLOCKS (CONCRETE BULKHEADS) ARE TO BE KEYED INTO UNDISTURBED, COMPETENT MATERIAL TO ENSURE THE MIGRATION OF BEDDING AND BACKFILL MATERIAL IS REDUCED AND THE INTEGRITY OF THE PIPE IS MAINTAINED.
4. TRENCHES >10% ARE TO HAVE CONTINUOUS DRAINAGE PATH INSTALLED TO ENSURE WATER THAT HAS MIGRATED INTO THE TRENCH IS CARRIED TO THE RETICULATED SYSTEM. REFER TSD-SW01.
5. ALL FILL TO BE PLACED & COMPACTED PRIOR TO TRENCH EXCAVATION.
6. FILL IN EXCESS OF 300mm DEPTH TO BE COMPACTED TO 95% STANDARD DENSITY (AS 1289E4.01) IN 150mm MAX LAYERS.
7. PROVIDE MINIMUM 150mm CLEARANCE FROM TOP OF ROD EYES TO SURFACE COVER LID.

NATURE STRIP NOTES:

1. APPLY 100mm THICK 20mm SCREENED LOAM TO NATURE STRIP & APPLY GRASS SEED AS PER TSD-RF04-v3.
2. NATURE STRIPS TO BE WATERED & MAINTAINED INCLUDING WEED REMOVAL & MOWING THROUGHOUT THE MAINTENANCE PERIOD.
3. FOR FILL BATTERS, BENCH AS SHOWN AND PLACE APPROVED FILL IN 300mm LAYERS COMPACTED TO 95% MAX DRY DENSITY. FILL TO BE PLACED & COMPACTED PRIOR TO TRENCH EXCAVATION.
4. MATERIAL TO BE PLACED AND COMPACTED UNIFORMLY IN LAYERS ACROSS THE EMBANKMENT NO GREATER THAN 300mm TO ACHIEVE 95% MDD. FOR FILL BATTERS, BENCH AS SHOWN.

ENGINEERED FILL NOTES:

1. FILL MATERIAL FOR NEW ROAD AND FILL EMBANKMENTS MUST NOT CONTAIN ORGANIC OR OTHER MATERIALS THAT DECOMPOSE OR OTHERWISE LEAD TO LONG TERM SETTLEMENT AND TO BE APPROVED BY SUPERINTENDENT BEFORE USE.
2. MATERIAL TO BE PLACED AND COMPACTED UNIFORMLY IN LAYERS UNDER NEW ROAD NO GREATER THAN 150mm TO ACHIEVE 98% MDD AND ACROSS ROAD EMBANKMENT NO GREATER THAN 300mm TO ACHIEVE 95% MDD. FOR FILL BATTERS, BENCH AS SHOWN.
3. ROAD EMBANKMENT TO BE FULLY CONSTRUCTED PRIOR TO TRENCHING FOR WATER AND SEWER SERVICES.
4. FILL TO BE PLACED & COMPACTED PRIOR TO TRENCH EXCAVATION.
5. SITE FILLING THAT EXCEEDS A DEPTH OF 300mm MUST BE PLACED IN ACCORDANCE WITH THE AS3798 GUIDELINES FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS 1996. UPON COMPLETION OF THE WORKS THE CONTRACTORS GEOTECHNICAL ENGINEER MUST CONFIRM IN WRITING THAT THE WORKS HAVE BEEN CARRIED OUT IN ACCORDANCE WITH AS3798.

SEWER NOTES:

1. ALL SEWER MAINS TO BE DN150 PVC-U 'SN8' (SWJ) U.N.O.
2. CONNECTION TO EXISTING SEWER MAIN BY TASWATER AT DEVELOPER'S COST.
3. ALL SEWER WORKS MUST BE PRESSURE TESTED AND INSPECTED BY TASWATER PRIOR TO BACKFILL OR CONSTRUCTION OF MANHOLE BASES.
4. ALL SEWER LOT CONNECTIONS TO BE DN100 WITH SEWER INSPECTION OPENINGS (PROPERTY SEWER CONNECTION POINTS) TO SURFACE LEVEL AS PER STANDARD DRAWING MRWA-S-301 OF SEWERAGE CODE OF AUSTRALIA, PER TASWATER'S SUPPLEMENT TO THE CODE.
5. CONCRETE BULKHEADS MUST BE IN ACCORDANCE WITH MRWA-S-206.
6. INTERNAL DROP MANHOLE IN ACCORDANCE WITH MRWA-S-311.
7. ALL FILL AREAS TO BE PLACED AND COMPACTED PRIOR TO TRENCH EXCAVATION.
8. ALL FILLED AREAS OVER EXISTING SEWER MAINS TO BE DISCUSSED AND DETAIL APPROVED BY TASWATER PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL NOT VARY THE POSITION OF ANY LOT CONNECTION WITHOUT PRIOR APPROVAL FROM THE SUPERINTENDENT.
10. PROVIDE MINIMUM 150mm CLEARANCE FROM TOP OF INSPECTION SHAFTS TO SURFACE COVER LID.
11. SEWER LOT CONNECTIONS TO BE A MAXIMUM OF 1.5m BELOW THE FINISHED SURFACE LEVEL OF THE LOT WHERE POSSIBLE.
12. PIPES TO BE SURVEYED PRIOR TO BACKFILLING.

SEWER LONG SECTION NOTES:

1. ALL EXCAVATION OVER 1.5m IN DEPTH MUST BE CARRIED OUT IN ACCORDANCE WITH WORKPLACE STANDARDS CODE OF PRACTICE FOR EXCAVATION WORK.
2. ALL ANCHOR BLOCKS (CONCRETE BULKHEADS) ARE TO BE KEYED INTO UNDISTURBED, COMPETENT MATERIAL TO ENSURE THE MIGRATION OF BEDDING AND BACKFILL MATERIAL IS REDUCED AND THE INTEGRITY OF THE PIPE IS MAINTAINED.
3. TRENCHES >15% ARE TO HAVE CONTINUOUS DRAINAGE PATH INSTALLED TO ENSURE WATER THAT HAS MIGRATED INTO THE TRENCH IS CARRIED TO THE RETICULATED SYSTEM. REFER SEW-1206, SEW-1207.
4. ALL FILL TO BE PLACED & COMPACTED PRIOR TO TRENCH EXCAVATION.
5. FILL IN EXCESS OF 300mm DEPTH TO BE COMPACTED TO 95% STANDARD DENSITY (AS 1289E4.01) IN 150mm MAX LAYERS.
6. PROVIDE MINIMUM 150mm CLEARANCE FROM TOP OF INSPECTION SHAFTS TO SURFACE COVER LID.
7. SEWER LOT CONNECTIONS TO BE A MAXIMUM OF 1.5m BELOW THE FINISHED SURFACE LEVEL OF THE LOT WHERE POSSIBLE.
8. TRENCHES STEEPER THAN 10% TO HAVE CEMENT STABILIZED FCR EMBEDMENT - REFER TO SEWER LONG SECTIONS.

WATER NOTES:

1. ALL WATER LOT CONNECTIONS TO BE DN25 PE100 PN16 PIPE (UNO) WITH AN INDIVIDUAL 20mm NOMINAL DIAMETER METER WITH INTEGRAL DUAL CHECK VALVE AND GATE VALVE WITHIN A PVC BOX AS PER TWS-W-0002 SERIES.
2. ALL DICL MUST HAVE A POLYETHELENE SLEEVE AS PER CITY WEST WATER APPROVED PRODUCTS CATALOGUE AND TO HAVE POLYETHYLENE WRAP PER AS3680.
3. THRUST BLOCK TO BE PROVIDED AT ALL BENDS, TEES & DEAD END AS PER MRWA-W-204.
4. ALL WATER WORKS MUST BE PRESSURE TESTED AND INSPECTED BY TASWATER PRIOR TO BACKFILL.
5. SUPPLY & INSTALL ROAD HYDRANT MARKERS IN ACCORDANCE WITH SECTION 8 OF THE INSTITUTE OF MUNICIPAL ENGINEERING AUSTRALIA'S TASMANIA DIVISION DOCUMENT TITLED "FIRE HYDRANT GUIDELINES".
6. MINIMUM COVER TO BE 600mm AND MAXIMUM 900mm UNDER TRAFFICABLE AREAS.
7. MAXIMUM ALLOWABLE JOINT DEFLECTION IS ¾ OF MANUFACTURERS MAXIMUM ALLOWABLE JOINT DEFLECTION HORIZONTALLY & VERTICALLY.
8. ALL FITTINGS TO BE COMPATIBLE WITH OPVC PN16 PIPEWORK, MINIMUM CLASS 16.
9. ALL FILL AREAS TO BE PLACED AND COMPACTED PRIOR TO TRENCH EXCAVATION.
10. FILL MATERIAL FOR NEW ROAD AND FILL EMBANKMENTS MUST NOT CONTAIN ORGANIC OR OTHER MATERIALS THAT DECOMPOSE OR OTHERWISE LEAD TO LONG TERM SETTLEMENT AND TO BE APPROVED BY SUPERINTENDENT BEFORE USE. MATERIAL TO BE PLACED AND COMPACTED UNIFORMLY IN LAYERS ACROSS THE EMBANKMENT NO GREATER THAN 300mm TO ACHIEVE 95% MDD. FOR FILL BATTERS, BENCH AS SHOWN. ROAD EMBANKMENT TO BE FULLY CONSTRUCTED PRIOR TO TRENCHING FOR WATER AND SEWER SERVICES.
11. METALLIC WARNING TAPE TO BE INSTALLED ABOVE WATER PIPES.
12. PIPES TO BE SURVEYED PRIOR TO BACKFILLING.

SWMP NOTES:

1. REFER BEST PRACTICE EROSION & SEDIMENT CONTROL BOOKLET 2022 - "EROSION AND SEDIMENT CONTROL". AVAILABLE AT www.derwentestuary.org.au/publications
2. AREAS OF GROUND DISTURBANCE ARE SHOWN. WORKS TO BE CONFINED TO WITHIN THESE AREAS. CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. (REFER PAGES 34 & 35: MINIMISE SOIL DISTURBANCE).
3. ALL EXCAVATION IS TO COMPLY WITH " BEST PRACTICE EROSION & SEDIMENT CONTROL BOOKLET 2022 - "EROSION AND SEDIMENT CONTROL'." AVAILABLE AT www.derwentestuary.org.au/publications
4. EXCAVATION TO BE CARRIED OUT OVER A MINIMUM TIME PERIOD. TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM. (REFER PAGE 47: PROTECT STOCKPILES AND SERVICE TRENCHES).
5. SEDIMENT FENCES & FIBRE ROLLS TO BE USED ON THE DOWNSTREAM SIDE OF ALL STOCKPILES AND TO EXTENTS SHOWN ON THIS DRAWING. PREVENT ENTRY OF SILT TO EXISTING STORMWATER INLETS AND WATER COURSES DURING CONSTRUCTION. (REFER PAGE 67: SEDIMENT FENCES).
6. EVERY EFFORT TO BE MADE TO MINIMIZE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES. (REFER PAGE 59: WHEEL WASH OR RUMBLE GRID).
7. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN.
8. ALL AREAS OF GROUND DISTURBANCE TO BE RE-VEGETATED
9. ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER WATER COURSES.
10. DURING WINDY CONDITIONS AND/OR HOT WEATHER, WET DOWN EXPOSED SOIL SLIGHTLY & REGULARLY TO PREVENT DUST NUISANCE. (REFER PAGE 53: CONTROL DUST AND LITTER).
11. PRIOR TO PRACTICAL COMPLETION OF EACH APPROVED CONSTRUCTION STAGE, ALL DISTRIBUTED SURFACES ON THE SITE, EXCEPT THE AREAS SET ASIDE FOR ROADWAYS & FOOTPATHS, MUST BE DRESSED TO A MINIMUM OF 50mm WITH:
 - APPROVED LOCAL STOCKPILED TOPSOIL
 - APPROVED WEED FREE IMPORTED TOPSOIL
 - RE-VEGETATED WITH LOCAL PLANTS & GRASSES AND STABILISED.

WEED MANAGEMENT NOTES:

1. ALL AREAS WITHIN COMPLETED STAGES WHERE TOPSOIL HAS BEEN SPREAD SHOULD BE MONITORED FOR SERRATED TUSSOCK AND TREATED AS REQUIRED.
2. EQUIPMENT MOVEMENT SHOULD BE RESTRICTED TO THE DEVELOPMENT FOOTPRINT. NOTE: TRACKED EQUIPMENT MOVING ACROSS WEED INFESTED COUNCIL LAND HAS HIGH RISK OF PICKING UP WEED SEED AND/OR SPREADING TO COUNCIL LAND.
3. CONTINUE TO ENSURE WASH DOWN LEDGER IS SUBMITTED TO COUNCIL TO DEMONSTRATE WHEN EQUIPMENT IS CLEANED PRIOR TO MOVING OFF SITE.
4. SEDIMENT TRAP SHOULD BE MONITORED FOR EMERGING WEEDS AND SEDIMENT DEEP BURIED AT END OF EACH STAGE PARTICULARLY IF EQUIPMENT HAS BEEN MOVED OFF SITE AND WASH DOWN WILL NOT BE USED IN MID TO LONG TERM.
5. TRUCKS AND EQUIPMENT SHOULD BE CLEAN PRIOR TO COMING TO SITE IF THEY ARE TO LEAVE THE HARDENED SURFACE WHILE ON SITE. ANY VEHICLES/EQUIPMENT THAT LEAVE FORMED ROADS MUST BE CLEANED PRIOR TO LEAVING THE SITE AND A RECORD KEPT IN THE WASH DOWN LEDGER. HYGIENE MEASURES PRIOR TO LEAVING & ENTERING THE SITE TO COMPLY WITH THE TASMANIAN WASHDOWN GUIDELINES FOR WEED & DISEASE CONTROL.
6. THE WASH DOWN LEDGER DOCUMENTING LICENCE PLATE NUMBERS OF ALL VEHICLES, TRUCKS AND EQUIPMENT SHOULD BE SUBMITTED TO COUNCIL TWICE PER YEAR (AS A MINIMUM) TO DEMONSTRATE WHEN EQUIPMENT IS CLEANED/LEAVING THE SITE. WASH DOWN LEDGER MUST BE REGULARLY SUBMITTED TO COUNCIL.
7. CONFINE DISTURBANCE OF TOPSOIL AND EARTHWORK TO A MINIMUM CORRIDOR.
8. STRIP ROAD CORRIDORS FIRST, THEN CONFINE MOVEMENTS OF WORKS VEHICLES TO THE FUTURE ROAD CORRIDORS, WHERE POSSIBLE.
9. ESTABLISH A STABILISED ENTRANCE AND WASHDOWN AREA JUST INSIDE THE WORKS BOUNDARY, IN ACCORDANCE WITH DRAWING.
10. ALL VEHICLES LEAVING THE SITE TO BE CLEANED AND WASHED DOWN PRIOR TO EXIT.
11. PRIVATE VEHICLES SHOULD NOT BE PARKED WITHIN THE SITE.
12. STOCKPILE AREAS TO BE PLACED CLOSE TO THE SITE ENTRANCE WHERE POSSIBLE.
13. WARNING SIGNAGE IS TO BE PLACED AT THE VEHICLE WASHDOWN BAY STATING THE NEED FOR ALL VEHICLES TO WASHDOWN PRIOR TO LEAVING THE SITE.
14. ANY IMPORTED FILL MATERIALS MUST BE SOURCED FROM QUARRIES ABLE TO PROVIDE DOCUMENTATION AS TO THE WEEDS PRESENT ON THE SOURCE SITE IN ORDER TO MINIMISE THE INTRODUCTION OF NEW WEEDS AND PATHOGENS TO THE AREA.

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-	----	--	-/-/-----	--	PLANAR	JOB MANAGER: CRAIG TERRY		
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED		ISSUED DATE:	30/05/2025

GLENN JAY
61 LOT RESIDENTIAL SUBDIVISION
15 KARAMBI STREET, CHIGWELL, TAS
GENERAL NOTES



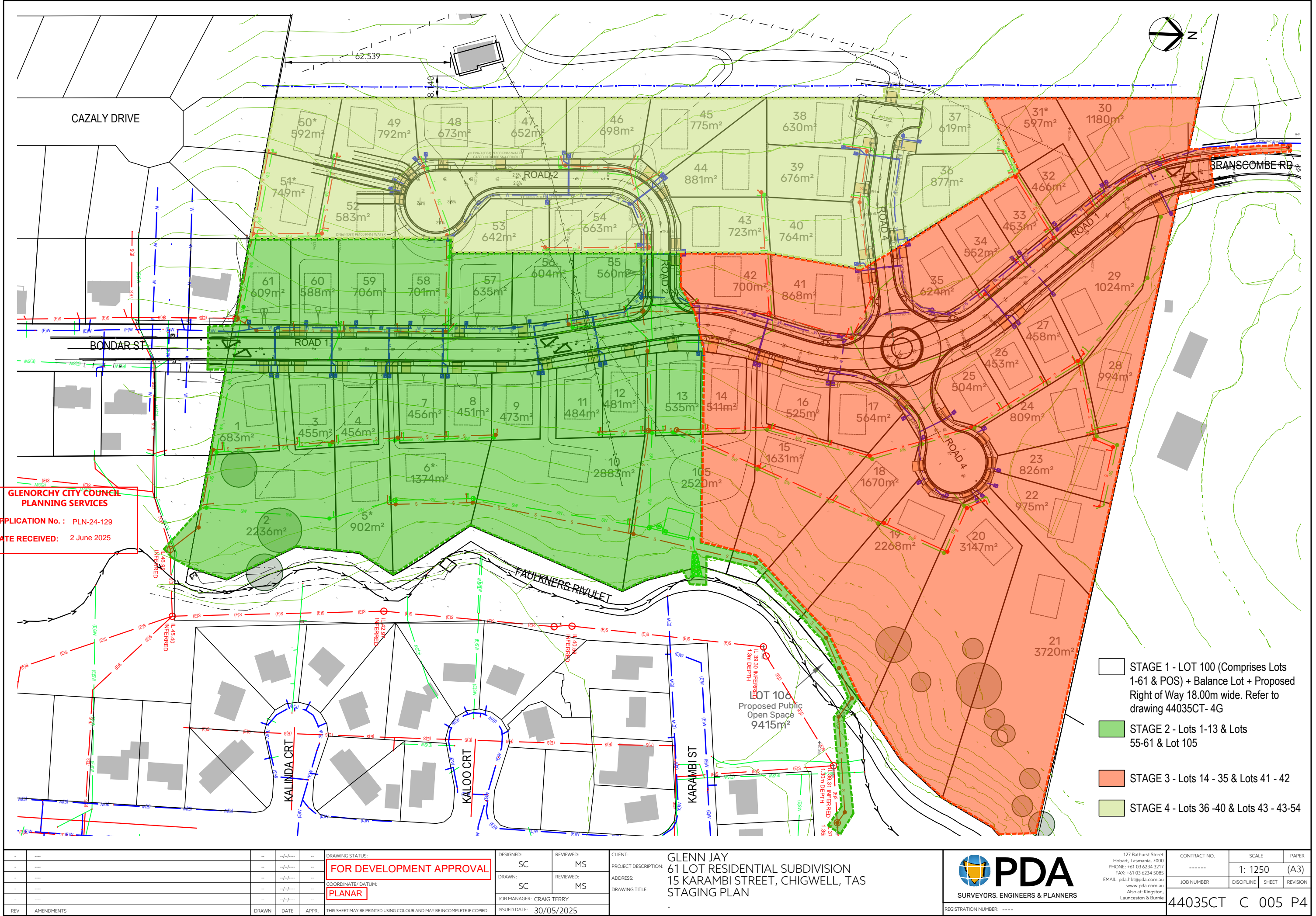
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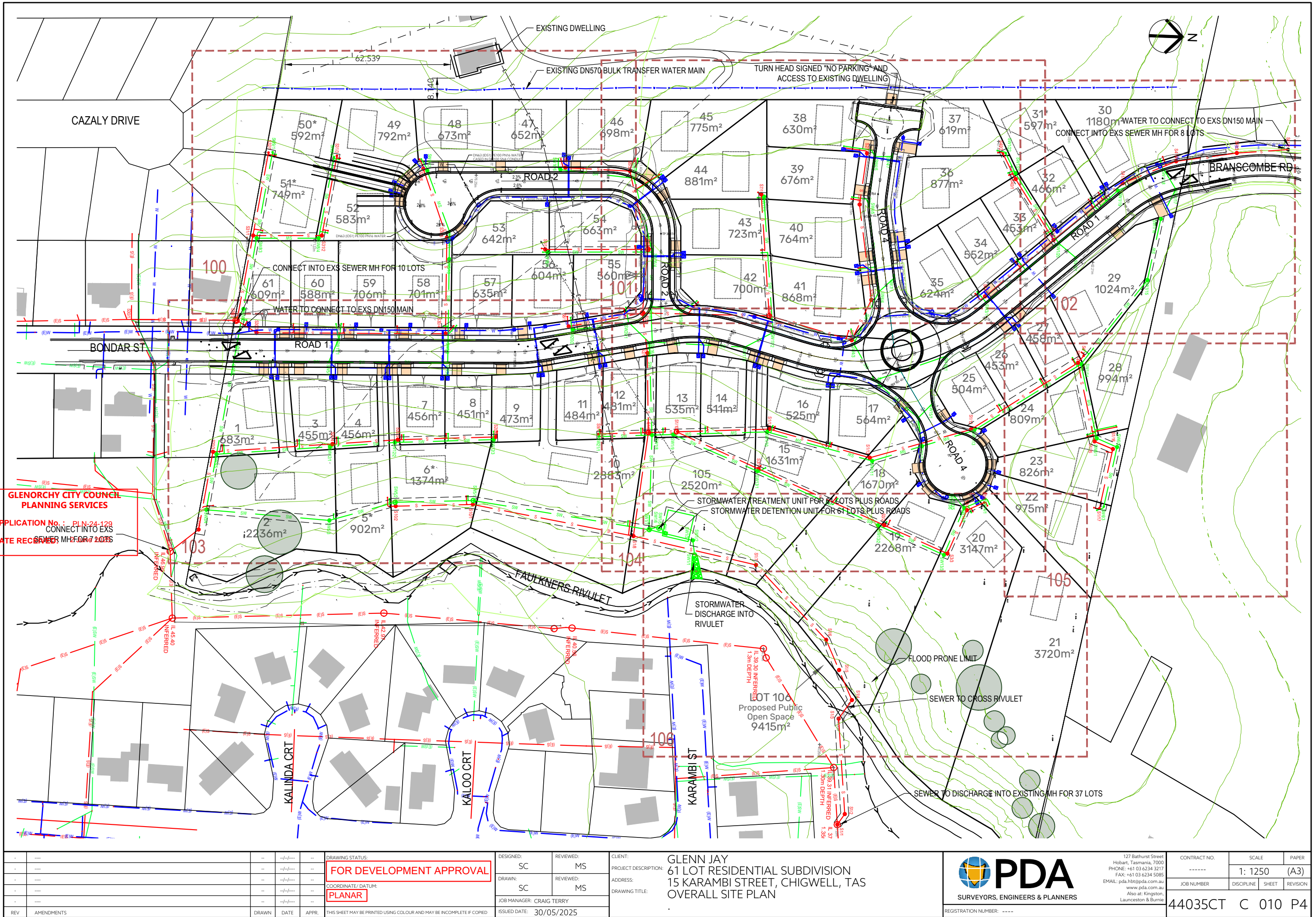
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CONTRACT NO.	SCALE	PAPER
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JOB NUMBER	DISCIPLINE	SHEET
		REVISION

44035CT C 002 P4


REGISTRATION NUMBER: ----



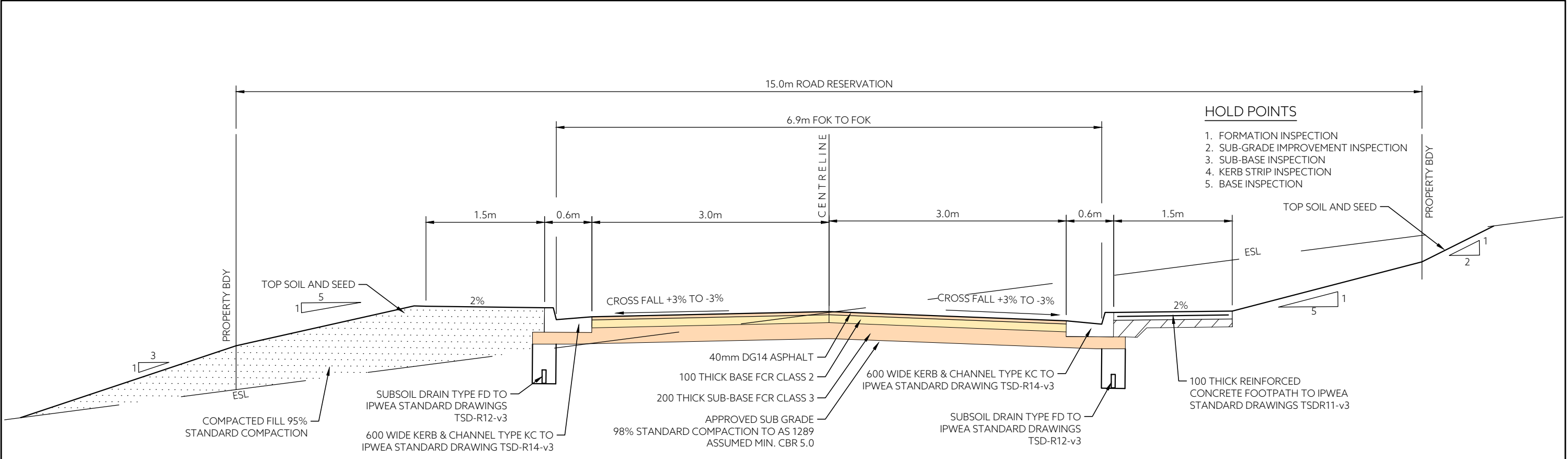


GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. PLN-24-129
CONNECT INTO EXS
SEWER MH FOR 7 LOTS
DATE RECEIVED

REV			AMENDMENTS	DRAWN	DATE	APPR.	DRAWING STATUS: FOR DEVELOPMENT APPROVAL COORDINATE/DATUM: PLANAR	DESIGNED: SC	REVIEWED: MS	CLIENT: PROJECT DESCRIPTION: ADDRESS: DRAWING TITLE:	GLENN JAY 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS OVERALL SITE PLAN	 PDA SURVEYORS, ENGINEERS & PLANNERS REGISTRATION NUMBER: ----	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	CONTRACT NO. ----- JOB NUMBER	SCALE 1: 1250 DISCIPLINE	PAPER (A3) SHEET REVISION
REV			AMENDMENTS	DRAWN	DATE	APPR.		SC	MS	ISSUED DATE: 30/05/2025						
REV			AMENDMENTS	DRAWN	DATE	APPR.		SC	MS	ISSUED DATE: 30/05/2025						
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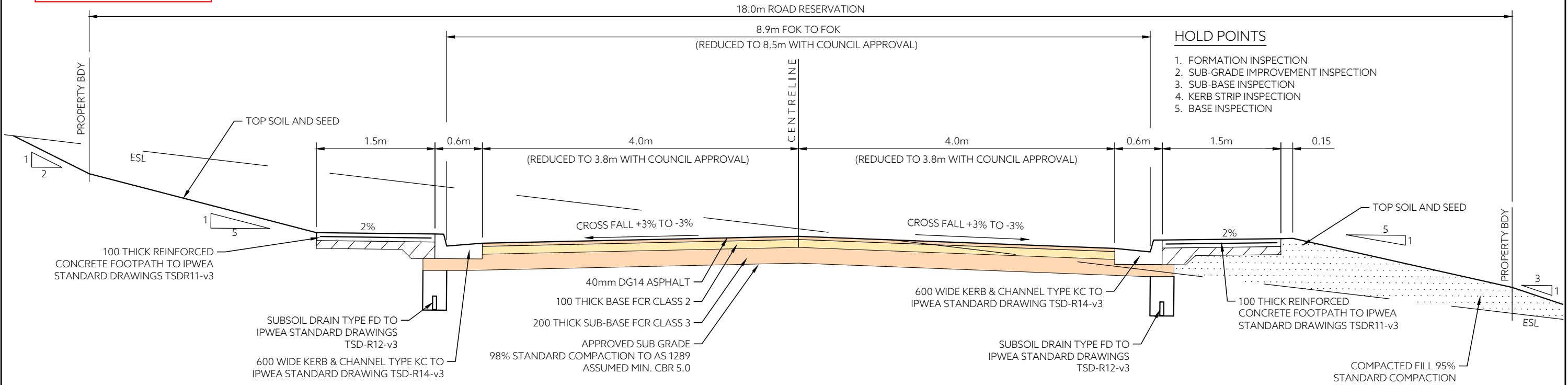
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Version: 1, Version Date: 30/07/2025



TYPICAL CROSS SECTION ROAD 2 + ROAD 4


SCALE 1:50

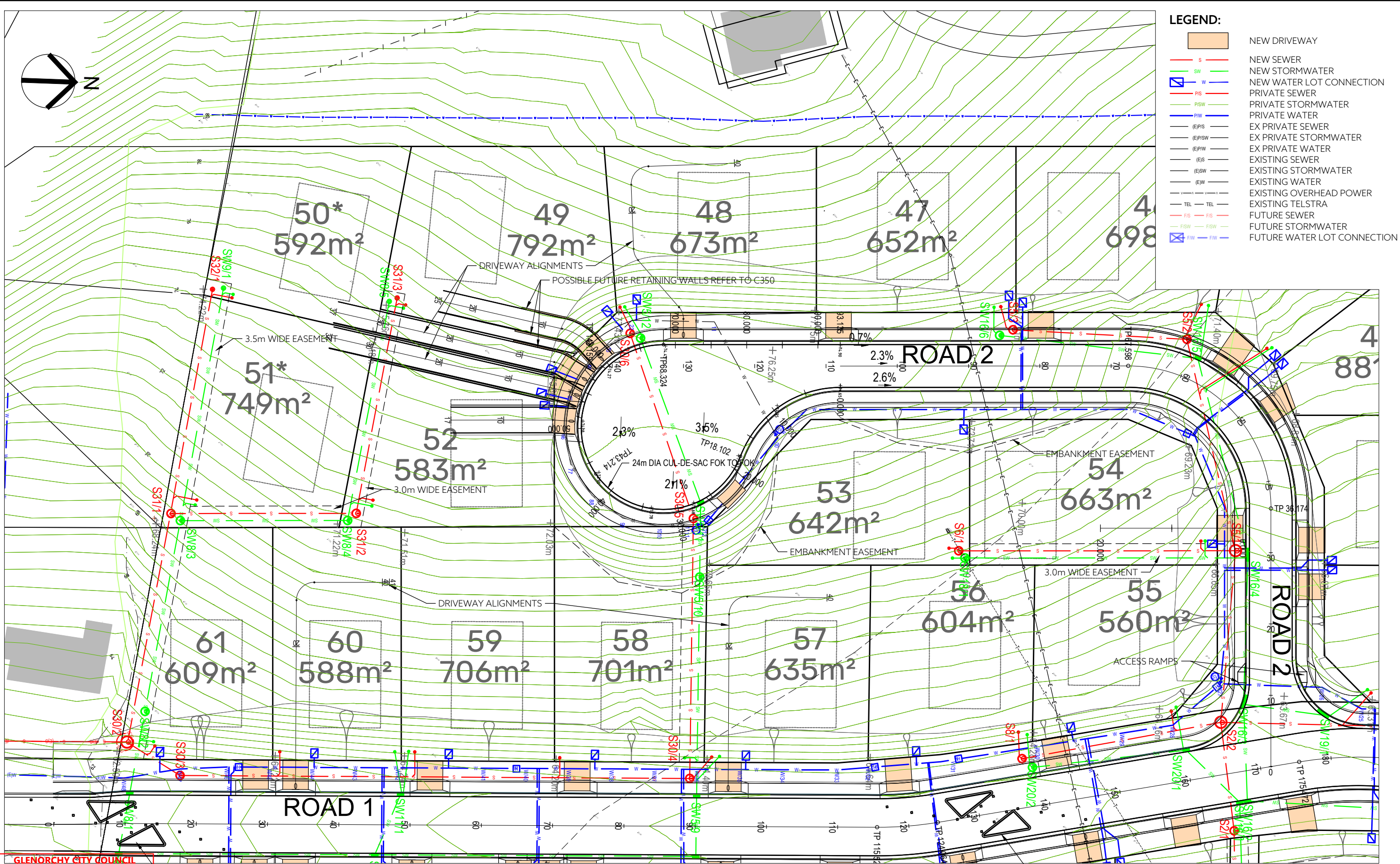
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025



TYPICAL CROSS SECTION - ROAD 1

SCALE 1:50

				DRAWING STATUS:		DESIGNED:		REVIEWED:		CLIENT: GLENN JAY PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS DRAWING TITLE: TYPICAL CROSS SECTIONS		 PDA SURVEYORS, ENGINEERS & PLANNERS 127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie		CONTRACT NO.		SCALE		PAPER			
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						JOB MANAGER: CRAIG TERRY															
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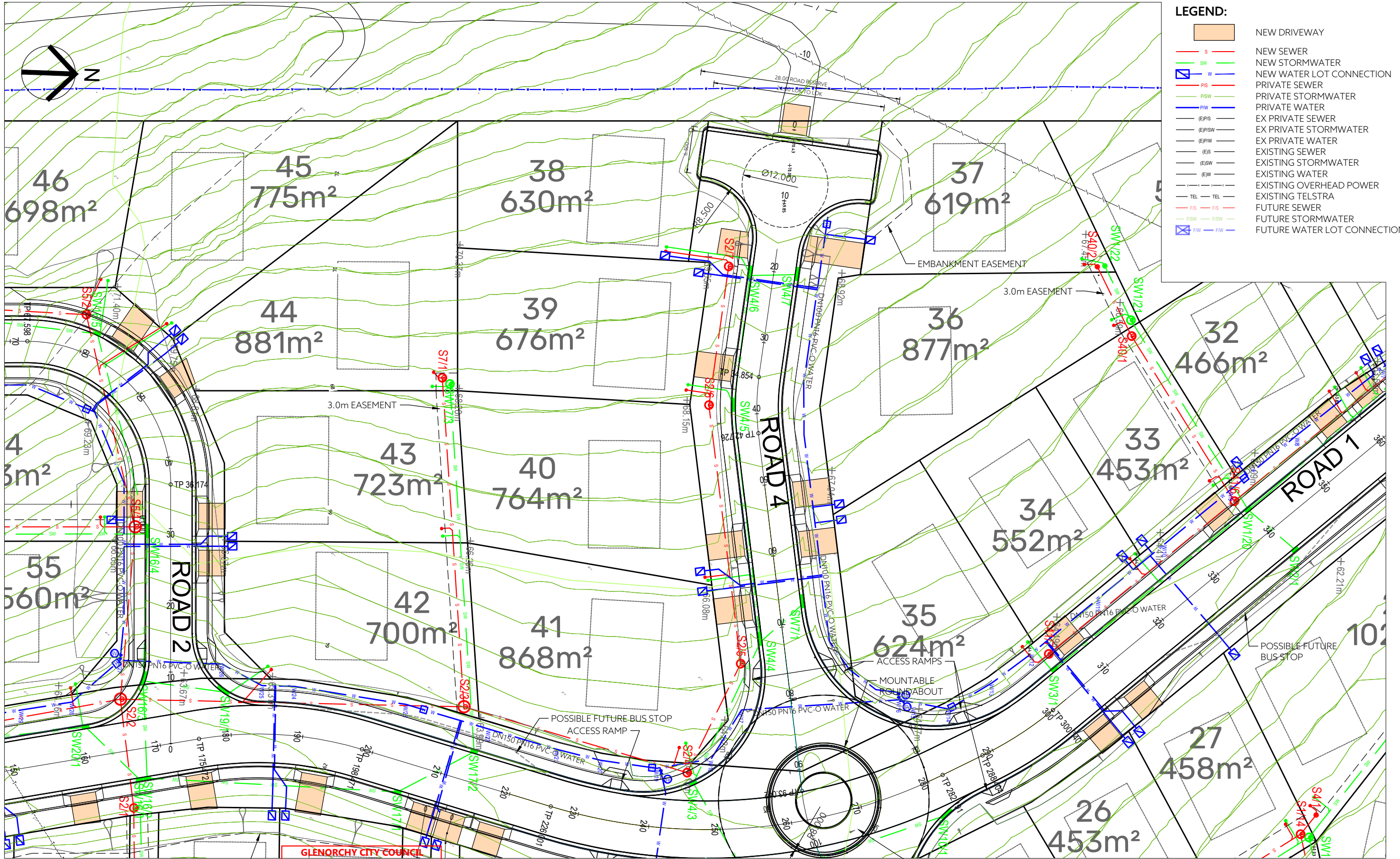
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025

SINGLE LANE ROAD "SLOW POINT" MEDIANS WITH MOUNTABLE
KERBS AS RECOMMENDED BY TRAFFIC ENGINEER

PLAN
SCALE 1:500

SINGLE LANE ROAD "SLOW POINT" MEDIANS WITH MOUNTABLE
KERBS AS RECOMMENDED BY TRAFFIC ENGINEER

										DRAWING STATUS:		DESIGNED: SC		REVIEWED: MS		CLIENT: GLENN JAY PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS DRAWING TITLE: ROAD & SERVICES PLAN SHEET 1		<div><div>127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5086 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie</div></div> <div>SURVEYORS, ENGINEERS & PLANNERS</div> <div>REGISTRATION NUMBER: ----</div>				CONTRACT NO. -----		SCALE 1: 500		PAPER (A3)	
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										COORDINATE / DATUM: PLANAR		JOB MANAGER: CRAIG TERRY															
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LEGEND:


[Orange Box]	NEW DRIVEWAY
[Red Line]	NEW SEWER
[Green Line]	NEW STORMWATER
[Blue Line]	NEW WATER LOT CONNECTION
[Red Line with S]	PRIVATE SEWER
[Green Line with SW]	PRIVATE STORMWATER
[Blue Line with W]	PRIVATE WATER
[Red Line with S]	EX PRIVATE SEWER
[Green Line with SW]	EX PRIVATE STORMWATER
[Blue Line with W]	EX PRIVATE WATER
[Red Line]	EXISTING SEWER
[Green Line]	EXISTING STORMWATER
[Blue Line]	EXISTING WATER
[Red Line]	EXISTING OVERHEAD POWER
[Red Line]	EXISTING TELSTRA
[Red Line]	FUTURE SEWER
[Green Line]	FUTURE STORMWATER
[Blue Line]	FUTURE WATER LOT CONNECTION

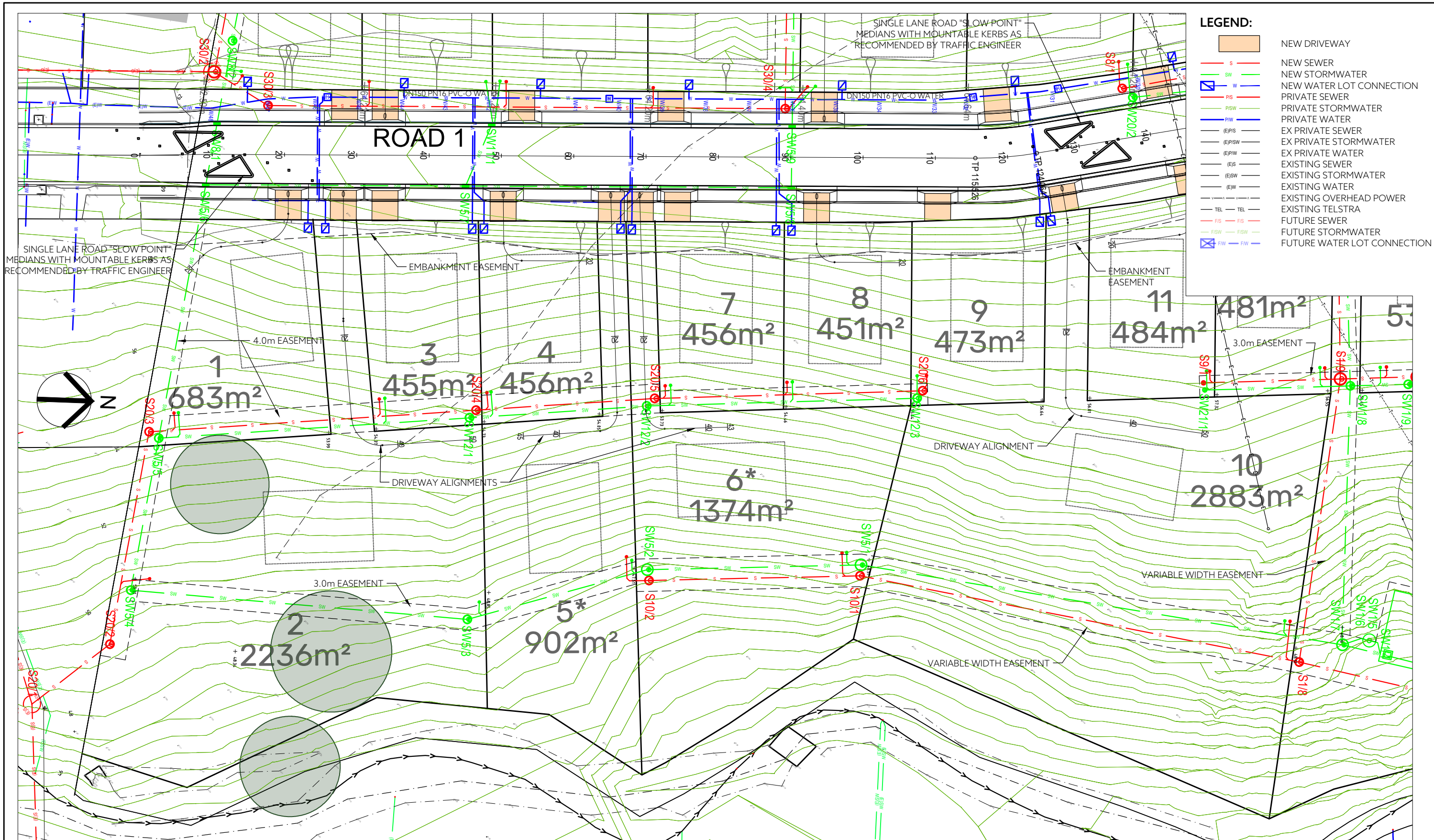
**GLENORCHY CITY COUNCIL
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PLAN

SCALE 1:500

ROUNDABOUT DESIGNED TO AUSTRROADS MINIMUM STANDARD FOR 50km/hr SPEED ENVIRONMENT (12.5m BUS DOES NOT MOUNT ENCROACHMENT AREA) AS RECOMMENDED BY TRAFFIC ENGINEER

				DRAWING STATUS:				DESIGNED: SC		REVIEWED: MS		CLIENT: GLENN JAY		 PDA SURVEYORS, ENGINEERS & PLANNERS		127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie		CONTRACT NO.:		SCALE		PAPER	
				FOR DEVELOPMENT APPROVAL								PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION				-----		1: 500		(A3)			
				COORDINATE/ DATUM: PLANAR				DRAWN: SC		REVIEWED: MS		ADDRESS:				JOB NUMBER		DISCIPLINE		SHEET		REVISION	
												DRAWING TITLE:											
REV				AMENDMENTS				DRAWN		DATE		APPR.		JOB MANAGER: CRAIG TERRY									
														ISSUED DATE: 30/05/2025									
																REGISTRATION NUMBER: ----							
																						44035CT C 101 P4	



- LEGEND:**
- NEW DRIVEWAY
 - NEW SEWER
 - NEW STORMWATER
 - NEW WATER LOT CONNECTION
 - PRIVATE SEWER
 - PRIVATE STORMWATER
 - PRIVATE WATER
 - EX PRIVATE SEWER
 - EX PRIVATE STORMWATER
 - EX PRIVATE WATER
 - EXISTING SEWER
 - EXISTING STORMWATER
 - EXISTING WATER
 - EXISTING OVERHEAD POWER
 - EXISTING TELSTRA
 - FUTURE SEWER
 - FUTURE STORMWATER
 - FUTURE WATER LOT CONNECTION


**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

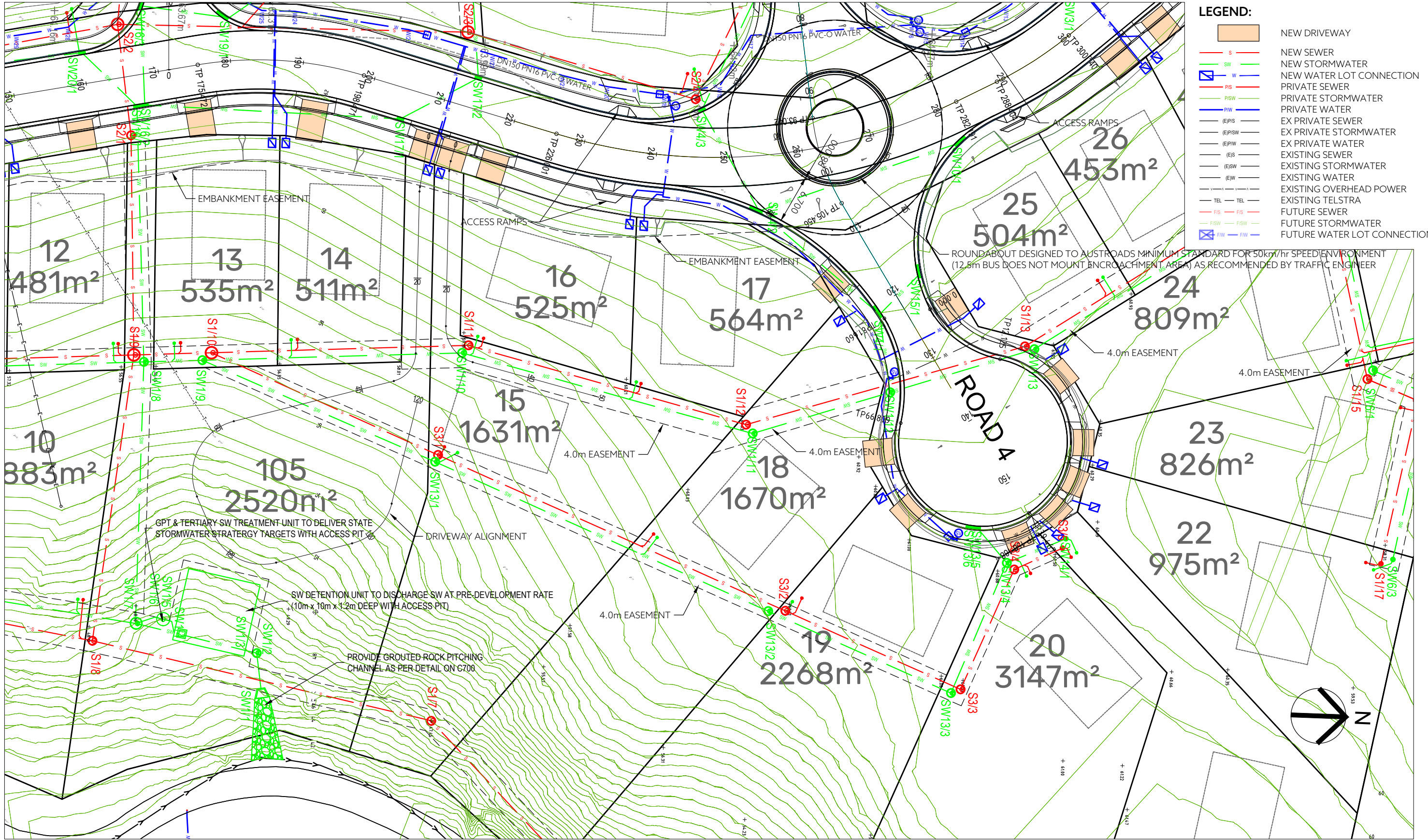
APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025

PLAN

SCALE 1:500

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				--	----	--	FOR DEVELOPMENT APPROVAL	SC	MS						
				--	----	--	COORDINATE/ DATUM: PLANAR	SC	MS						
				--	----	--	JOB MANAGER: CRAIG TERRY						ISSUED DATE: 30/05/2025		
REV	AMENDMENTS			DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED			REGISTRATION NUMBER: ----			44035CT C 103 P4		



- LEGEND:**
- NEW DRIVEWAY
 - NEW SEWER
 - NEW STORMWATER
 - NEW WATER LOT CONNECTION
 - PRIVATE SEWER
 - PRIVATE STORMWATER
 - PRIVATE WATER
 - EX PRIVATE SEWER
 - EX PRIVATE STORMWATER
 - EX PRIVATE WATER
 - EXISTING SEWER
 - EXISTING STORMWATER
 - EXISTING WATER
 - EXISTING OVERHEAD POWER
 - EXISTING TELSTRA
 - FUTURE SEWER
 - FUTURE STORMWATER
 - FUTURE WATER LOT CONNECTION


**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

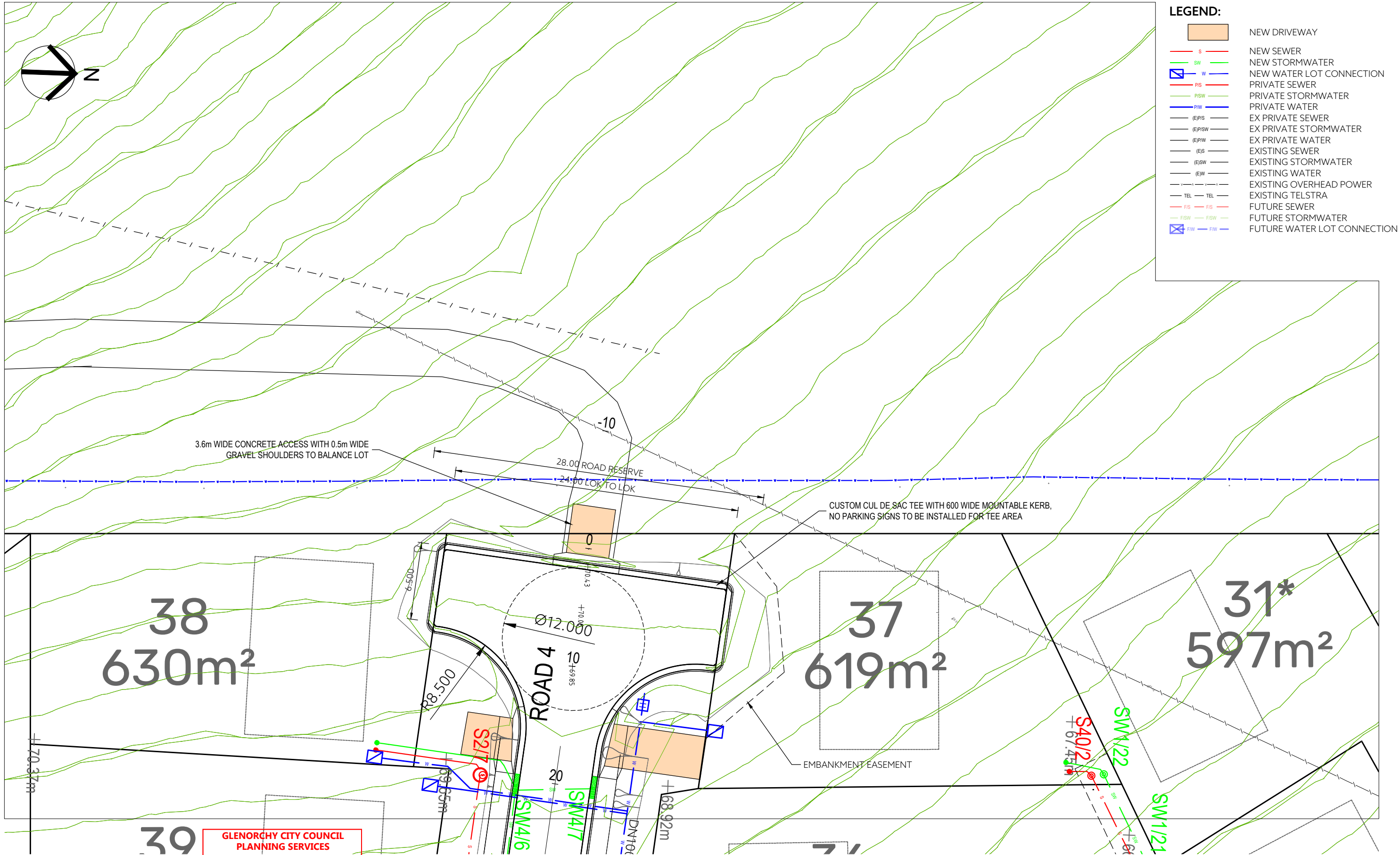
APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025

PLAN

SCALE 1:500

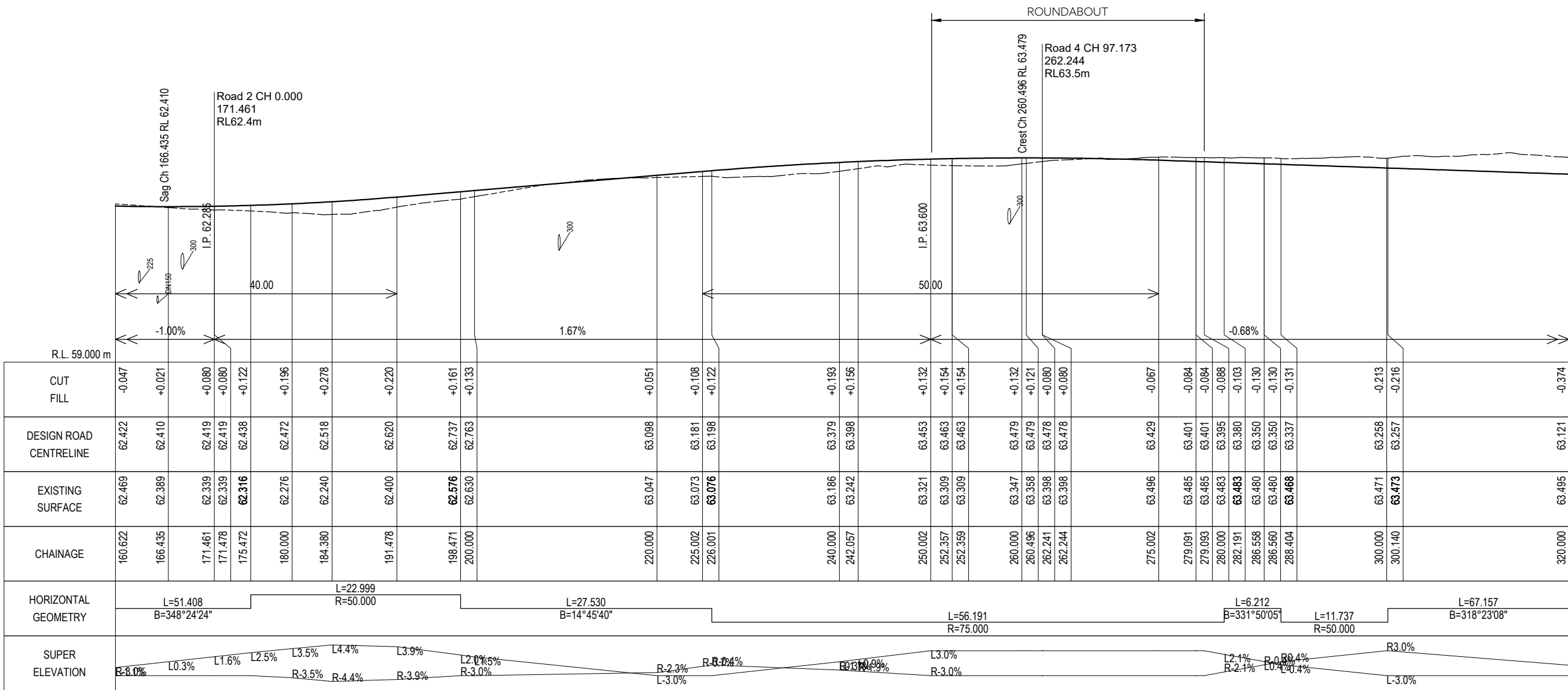
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				--	-----	--	FOR DEVELOPMENT APPROVAL	SC	MS					-----	1: 500	(A3)				
				--	-----	--	COORDINATE / DATUM:	SC	MS					JOB NUMBER	DISCIPLINE	SHEET	REVISION			
				--	-----	--	PLANAR	JOB MANAGER: CRAIG TERRY						44035CT				C	104	P4
				--	-----	--	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED		ISSUED DATE: 30/05/2025					REGISTRATION NUMBER: ----						
REV	AMENDMENTS			DRAWN	DATE	APPR.														



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025

PLAN
SCALE 1:300

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-			---	---	---	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:			-----	1: 300	(A3)	
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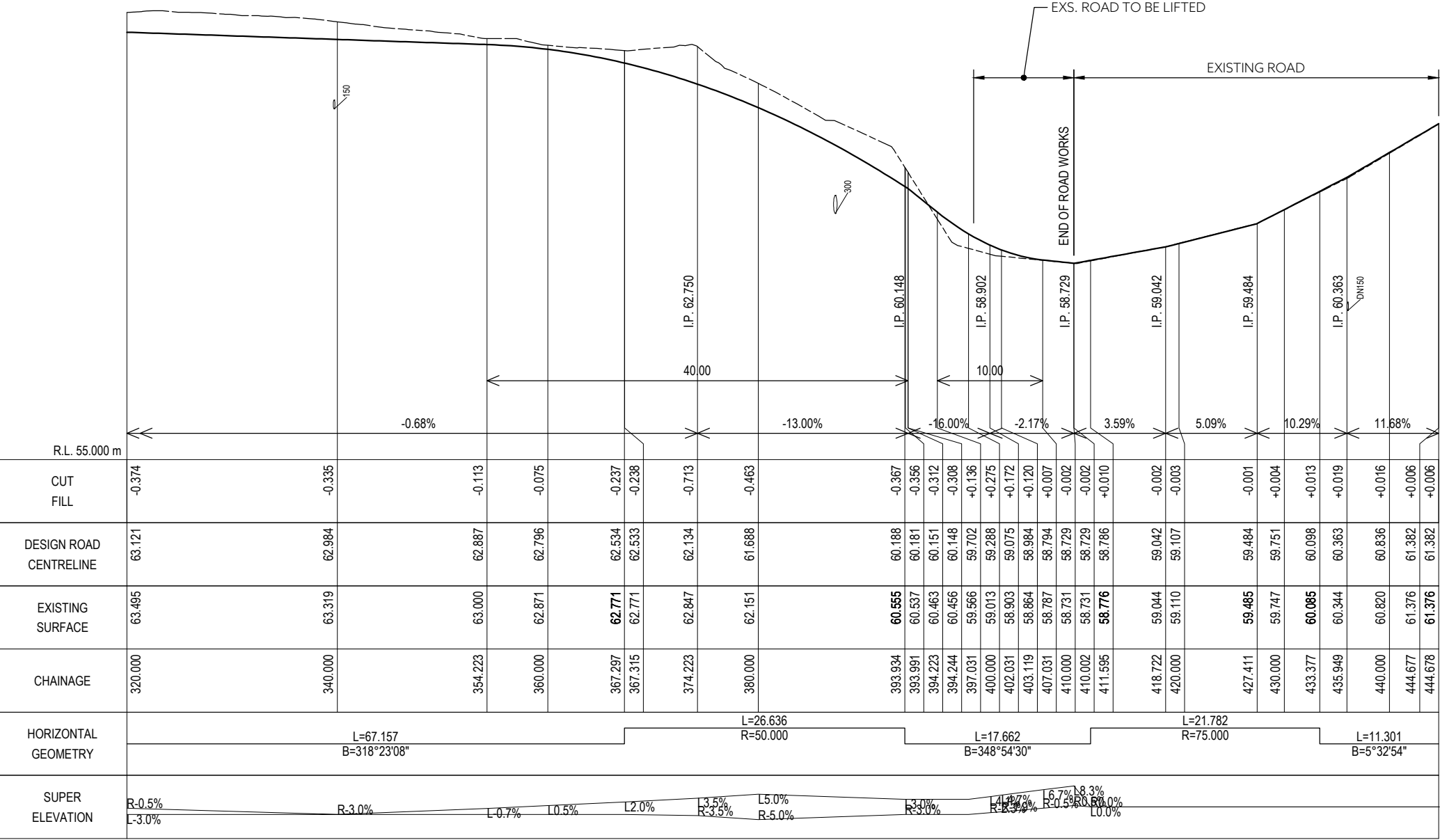


LONG SECTION - ROAD 1
SCALES: (H) 1 IN 500 (V) 1 IN 100 (A3)

ROAD 1

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025

-	----	--	-/-/-	--	DRAWING STATUS:	DESIGNED:	SC	REVIEWED:	MS	CLIENT:	GLENN JAY
-	----	--	-/-/-	--	FOR DEVELOPMENT APPROVAL	DRAWN:	SC	REVIEWED:	MS	PROJECT DESCRIPTION:	61 LOT RESIDENTIAL SUBDIVISION
-	----	--	-/-/-	--	COORDINATE/ DATUM:	JOB MANAGER: CRAIG TERRY	ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS				
-	----	--	-/-/-	--	PLANAR	ISSUED DATE: 30/05/2025	DRAWING TITLE: ROAD 1 - SHEET 2				
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	REGISTRATION NUMBER: ----					
						127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie					
						PDA SURVEYORS, ENGINEERS & PLANNERS					
						CONTRACT NO. -----					
						SCALE 1: 500					
						PAPER (A3)					
						JOB NUMBER 44035CT					
						DISCIPLINE C					
						SHEET 201					
						REVISION P4					




LONG SECTION - ROAD 1
SCALES: (H) 1 IN 500 (V) 1 IN 100 (A3)
ROAD 1

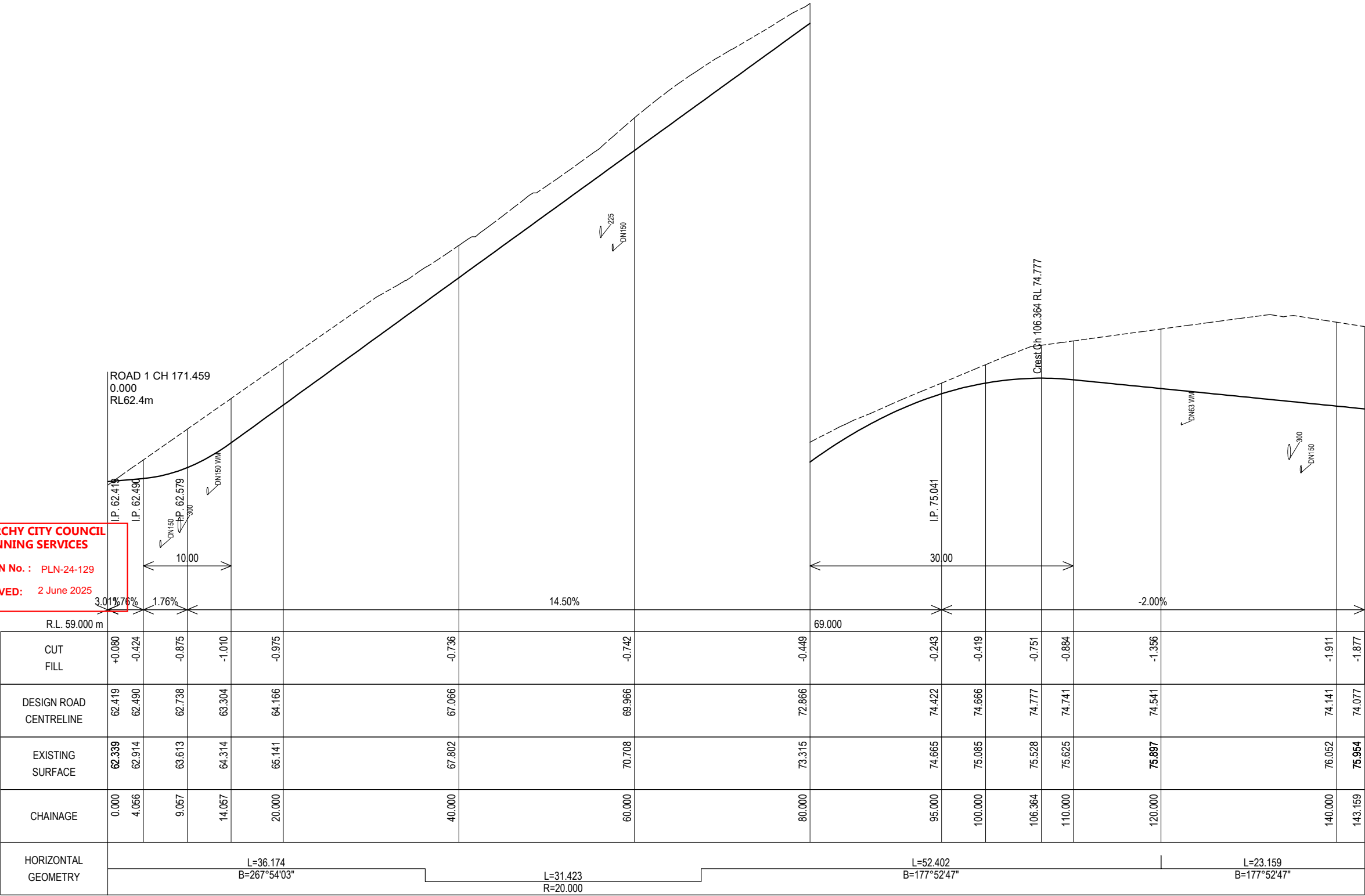
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025

-	----	--	-/-/-/-/-	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS LONG SECTION ROAD 1 - SHEET 3	 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	CONTRACT NO.	SCALE	PAPER	
-	----	--	-/-/-/-/-	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:				-----	1: 500	(A3)	
-	----	--	-/-/-/-/-	--	COORDINATE/ DATUM:	DRAWN:	REVIEWED:	ADDRESS:				JOB NUMBER	DISCIPLINE	SHEET	REVISION
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REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	JOB MANAGER: CRAIG TERRY	ISSUED DATE:	30/05/2025				REGISTRATION NUMBER:	----		

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025



LONG SECTION - Road 2
SCALES: (H) 1 IN 500 (V) 1 IN 100 (A3)

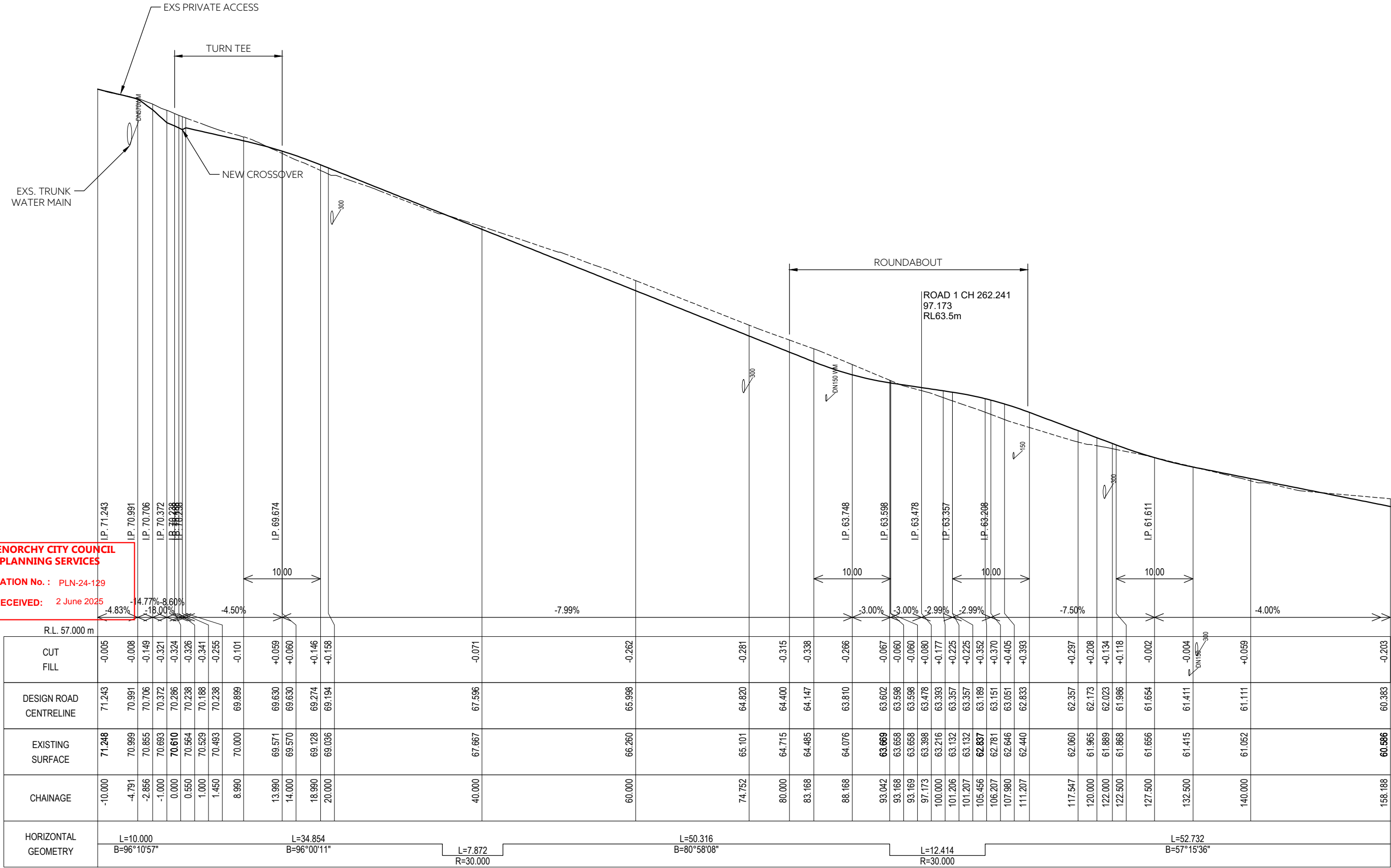
Road 2

-	----	--	-/-/-/-/-	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS LONG SECTION ROAD 2 - SHEET 1	 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	CONTRACT NO.	SCALE	PAPER	
-	----	--	-/-/-/-/-	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:				-----	1: 500	(A3)	
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REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025		REGISTRATION NUMBER: ----		44035CT C 203 P4					

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No.: PLN-24-129

DATE RECEIVED: 2 June 2025



LONG SECTION - Road 4
SCALES: (H) 1 IN 500 (V) 1 IN 100 (A3)

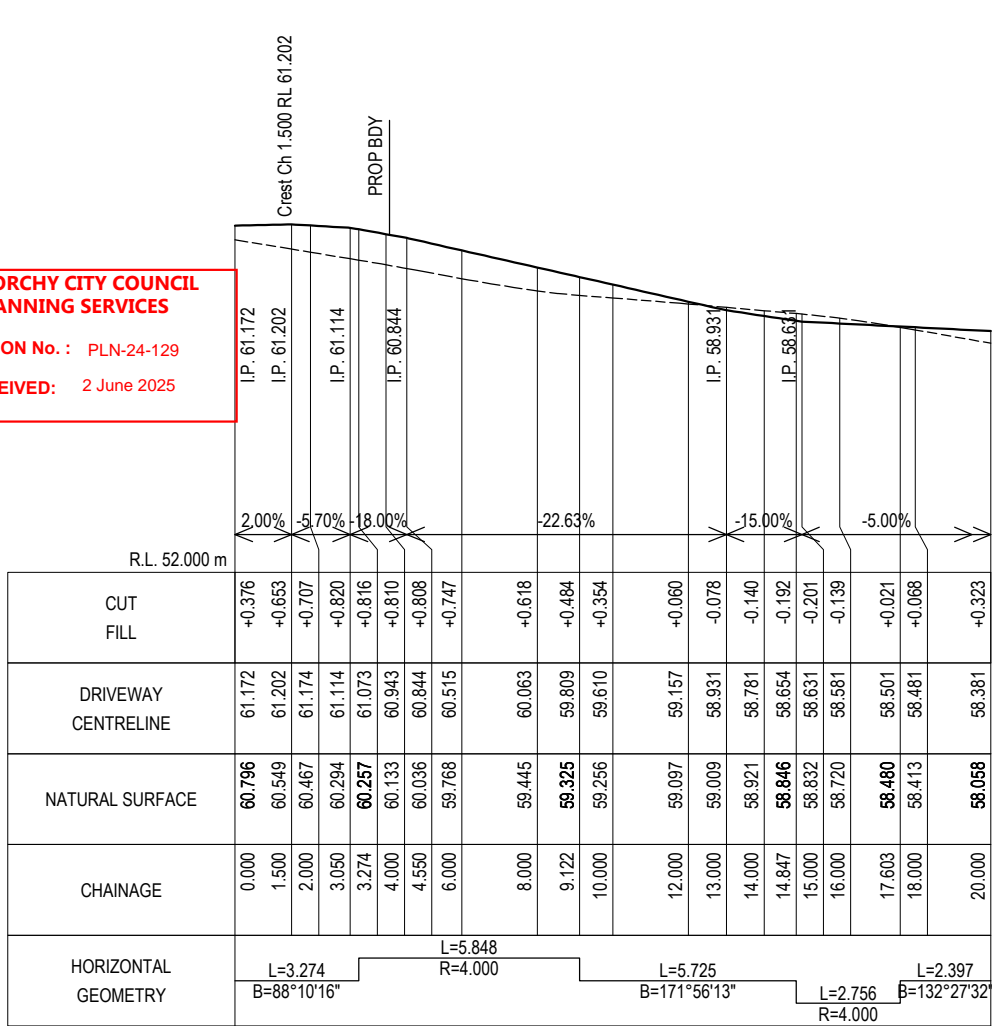
Road 4

-	----	--	-/-/----	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS LONG SECTION ROAD 4 - SHEET 1	 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	CONTRACT NO.	SCALE	PAPER	
-	----	--	-/-/----	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:				-----	1: 500	(A3)	
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REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE:	30/05/2025			REGISTRATION NUMBER: ----		44035CT	C	204	P4

GLENORCHY CITY COUNCIL
PLANNING SERVICES

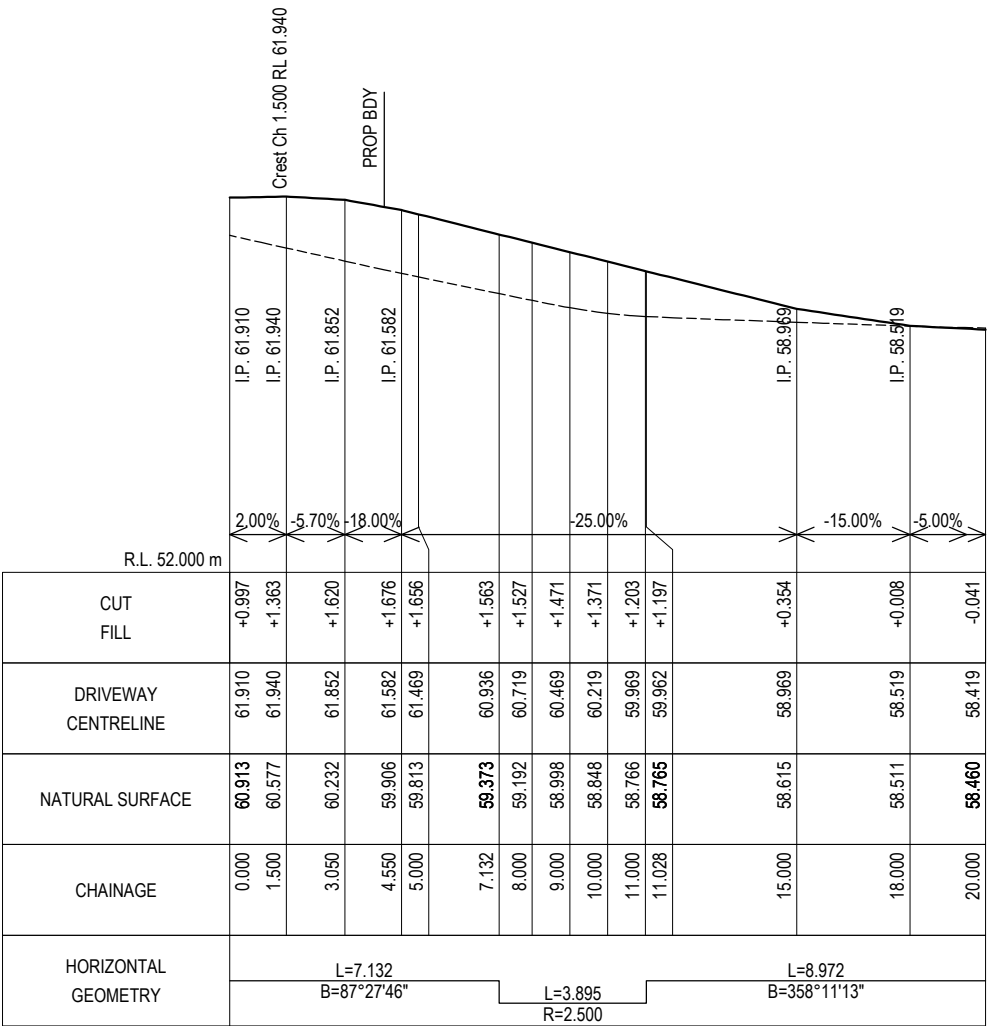
APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025




DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

LOT 1 DRIVE



DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

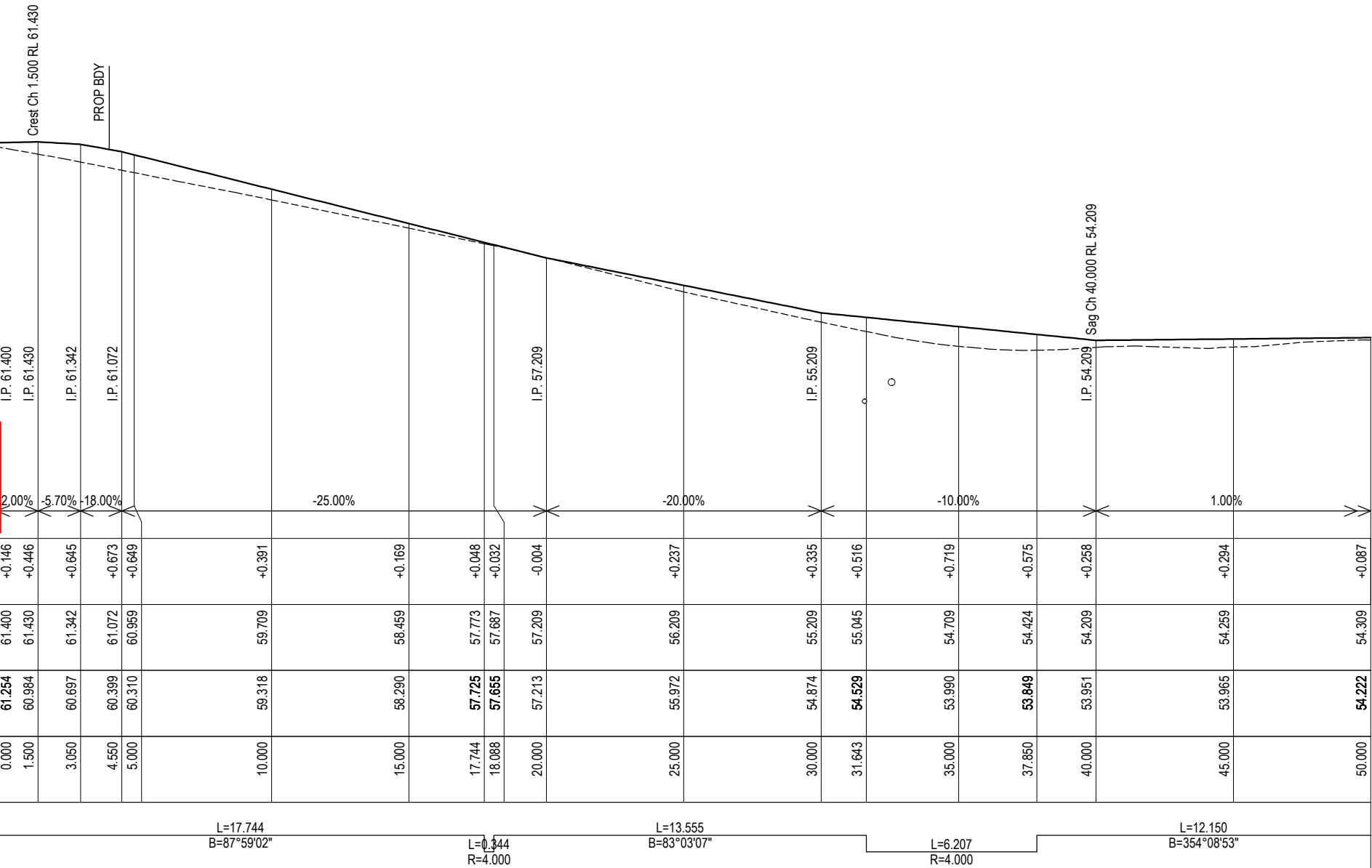
LOT 4 DRIVE

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				---	---	---	---	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:	-----				1: 500	(A3)	
				---	---	---	---	COORDINATE/ DATUM:	DRAWN:	REVIEWED:	ADDRESS:	JOB NUMBER				DISCIPLINE	SHEET	REVISION
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				---	---	---	---		JOB MANAGER: CRAIG TERRY									
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED				ISSUED DATE: 30/05/2025				REGISTRATION NUMBER: ----	44035CT C 220 P4				

GLENORCHY CITY COUNCIL
PLANNING SERVICES


APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025



DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

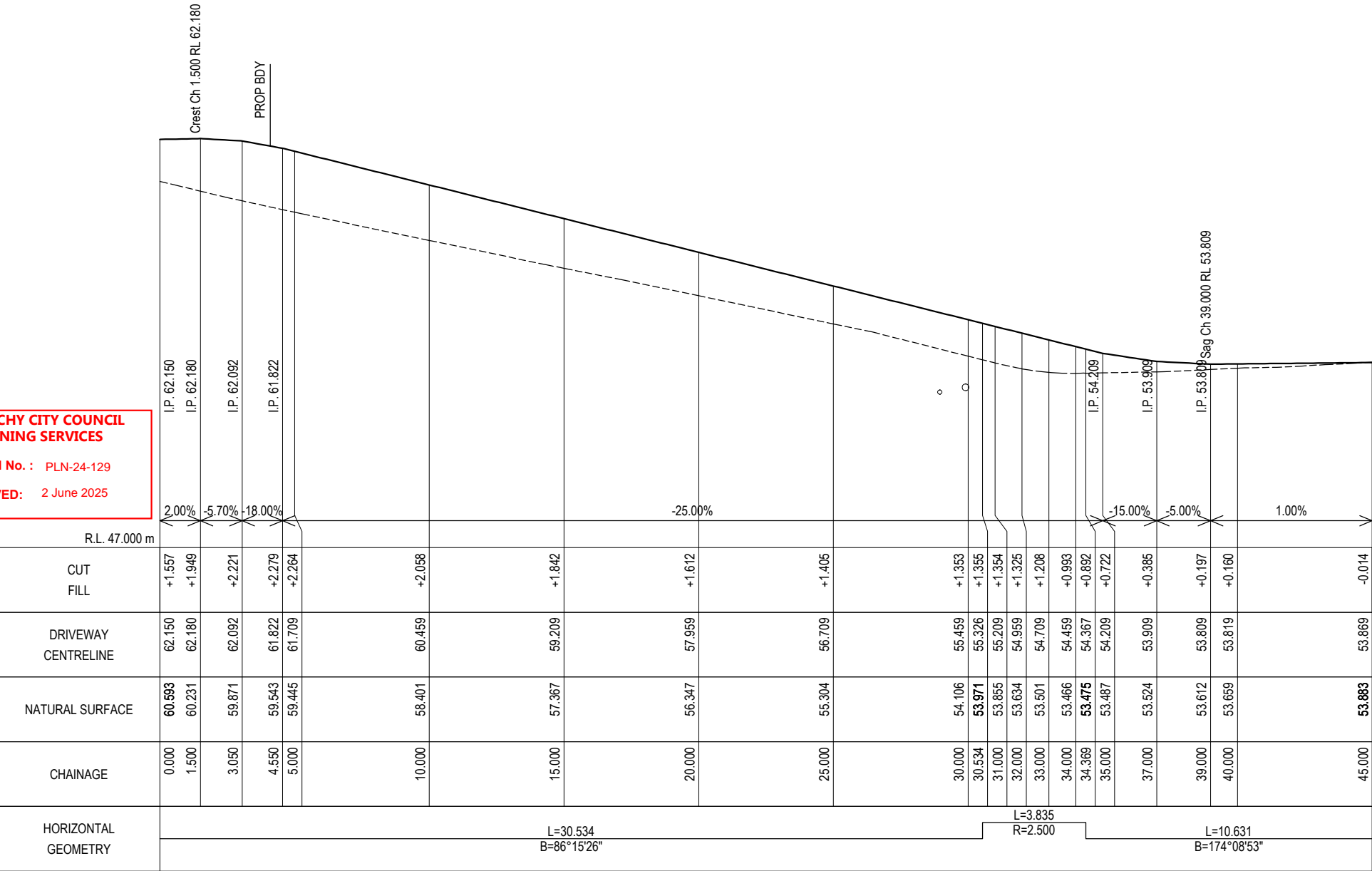
LOT 2 DRIVE

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- - - - -		- -	-/-/-/-/-	- -	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:				-----	1: 500	(A3)	
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- - - - -		- -	-/-/-/-/-	- -	PLANAR	SC	MS	DRAWING TITLE:							
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REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025		REGISTRATION NUMBER: ----					44035CT C 221 P4		

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129


DATE RECEIVED: 2 June 2025



DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

LOT 5 DRIVE

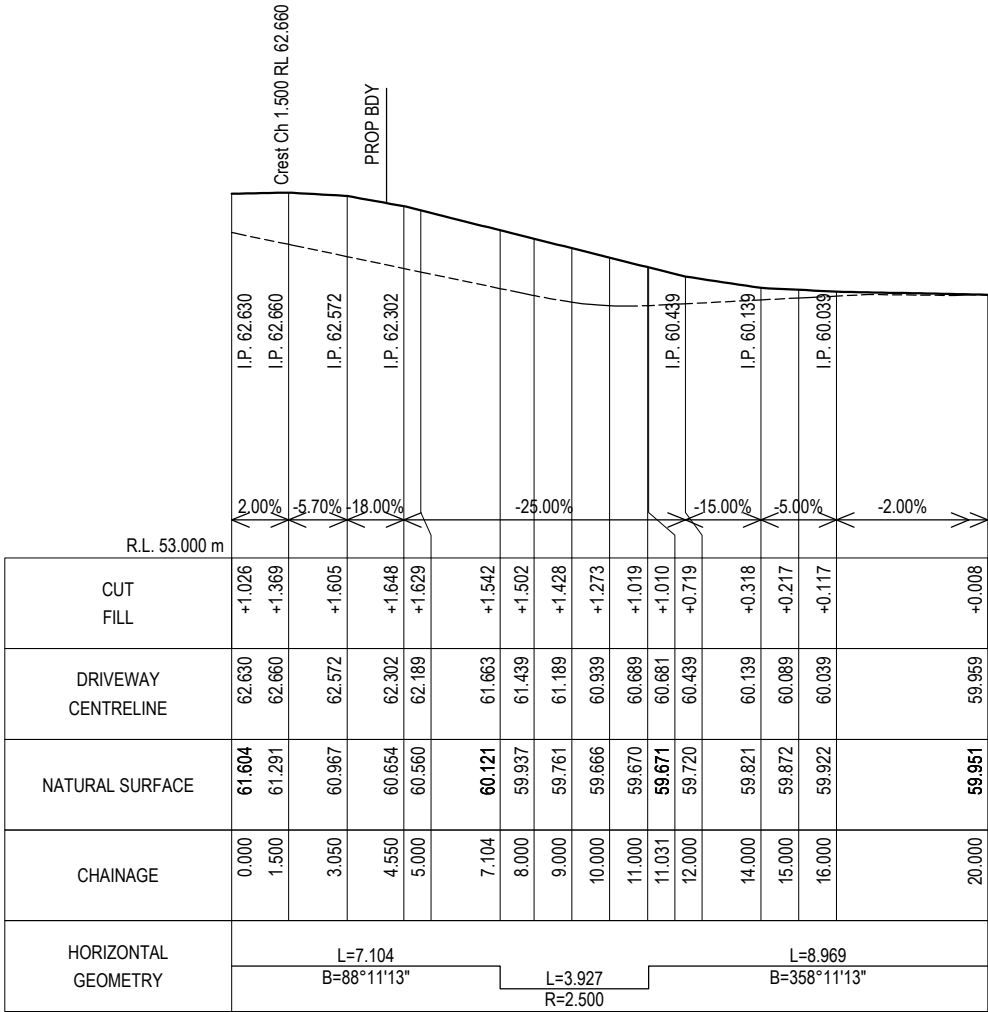
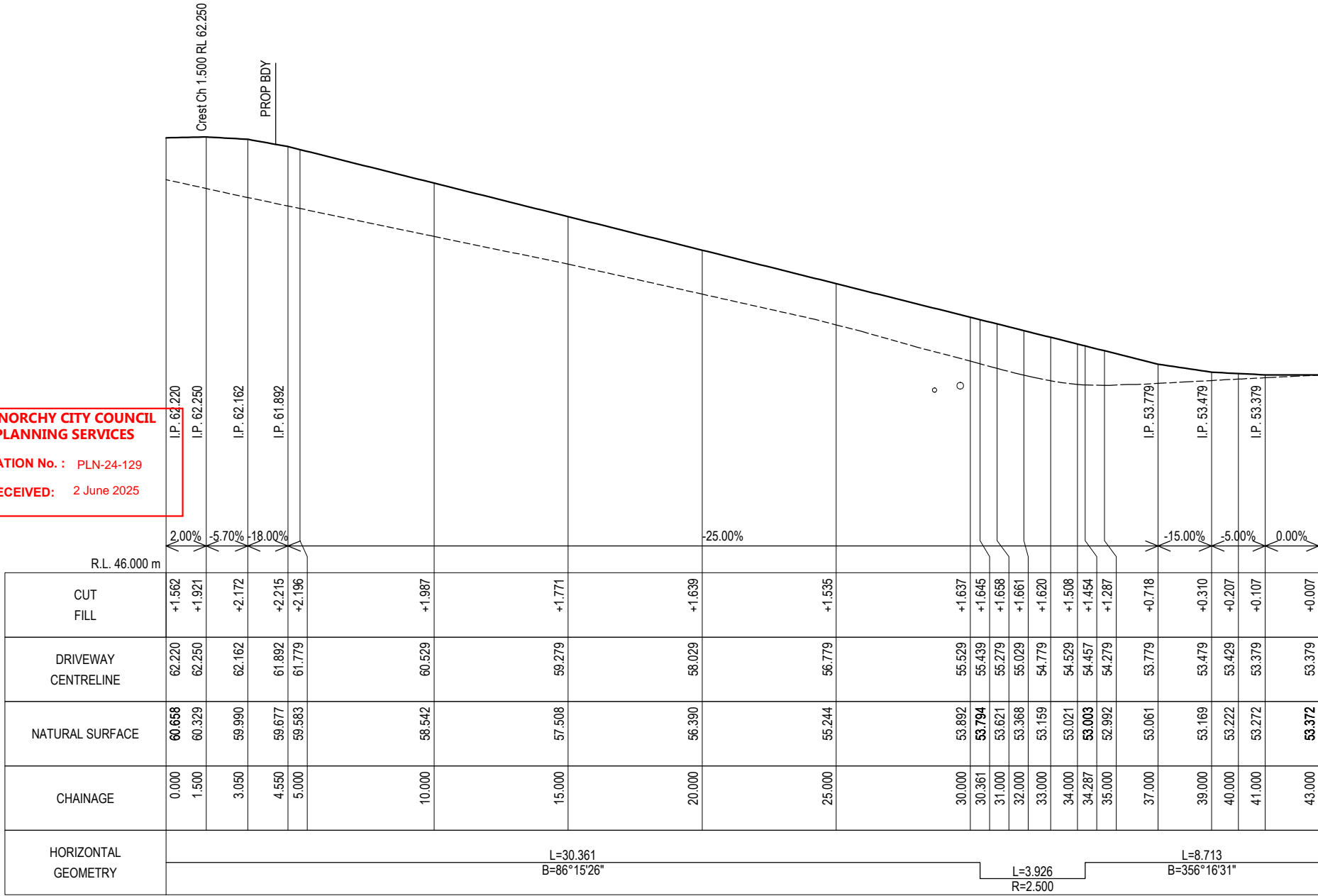
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-	----	--	-/-/----	--	PLANAR	JOB MANAGER: CRAIG TERRY			SHEET 3
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025			


 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie		CONTRACT NO.	SCALE	PAPER
	-----	1: 500	(A3)		
	JOB NUMBER	DISCIPLINE	SHEET	REVISION	
REGISTRATION NUMBER: ----			44035CT	C	222 P4

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025

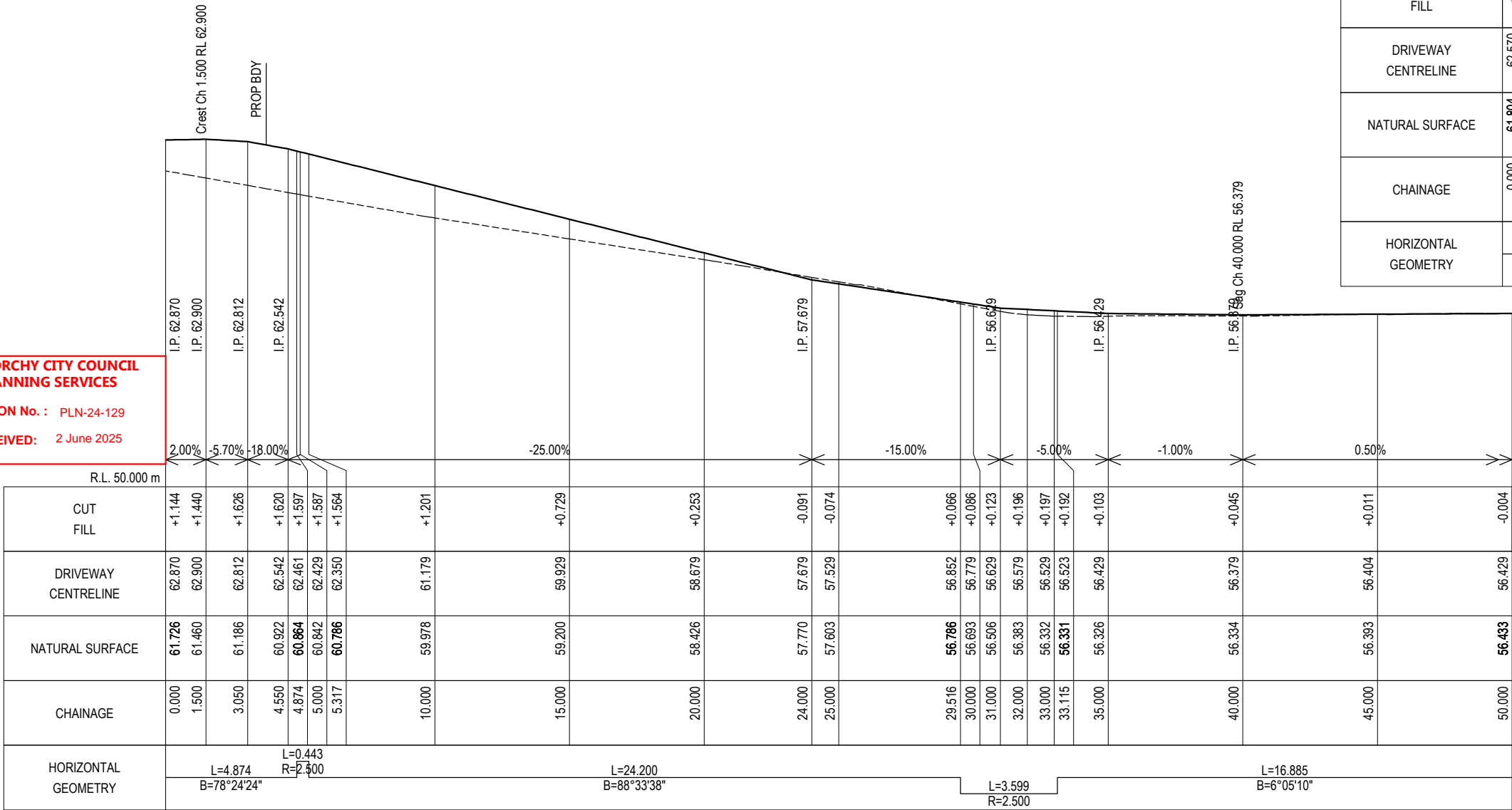


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				PLANAR																					
REV		AMENDMENTS		DRAWN		DATE		APPR.		THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED		JOB MANAGER: CRAIG TERRY		ISSUED DATE: 30/05/2025		REGISTRATION NUMBER: ----		44035CT		C		223		P4	

GLENORCHY CITY COUNCIL
PLANNING SERVICES

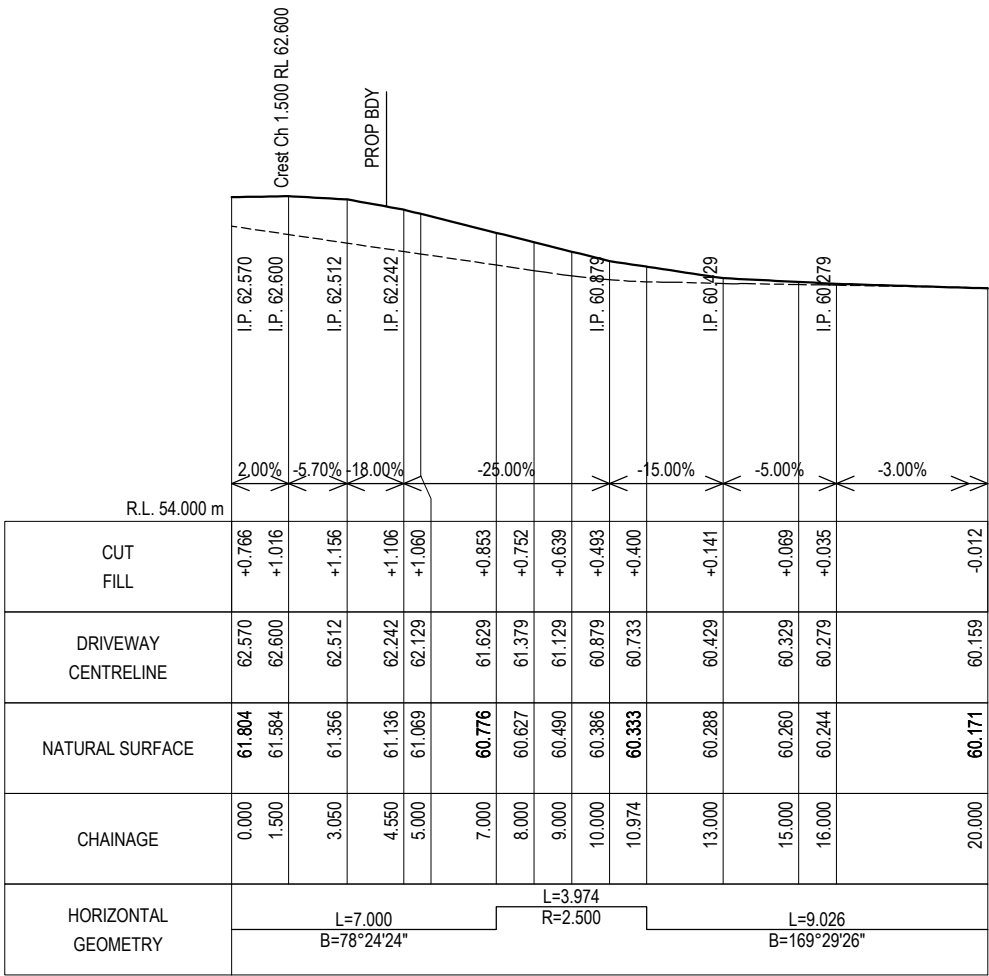
APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025



DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

LOT 10 DRIVE



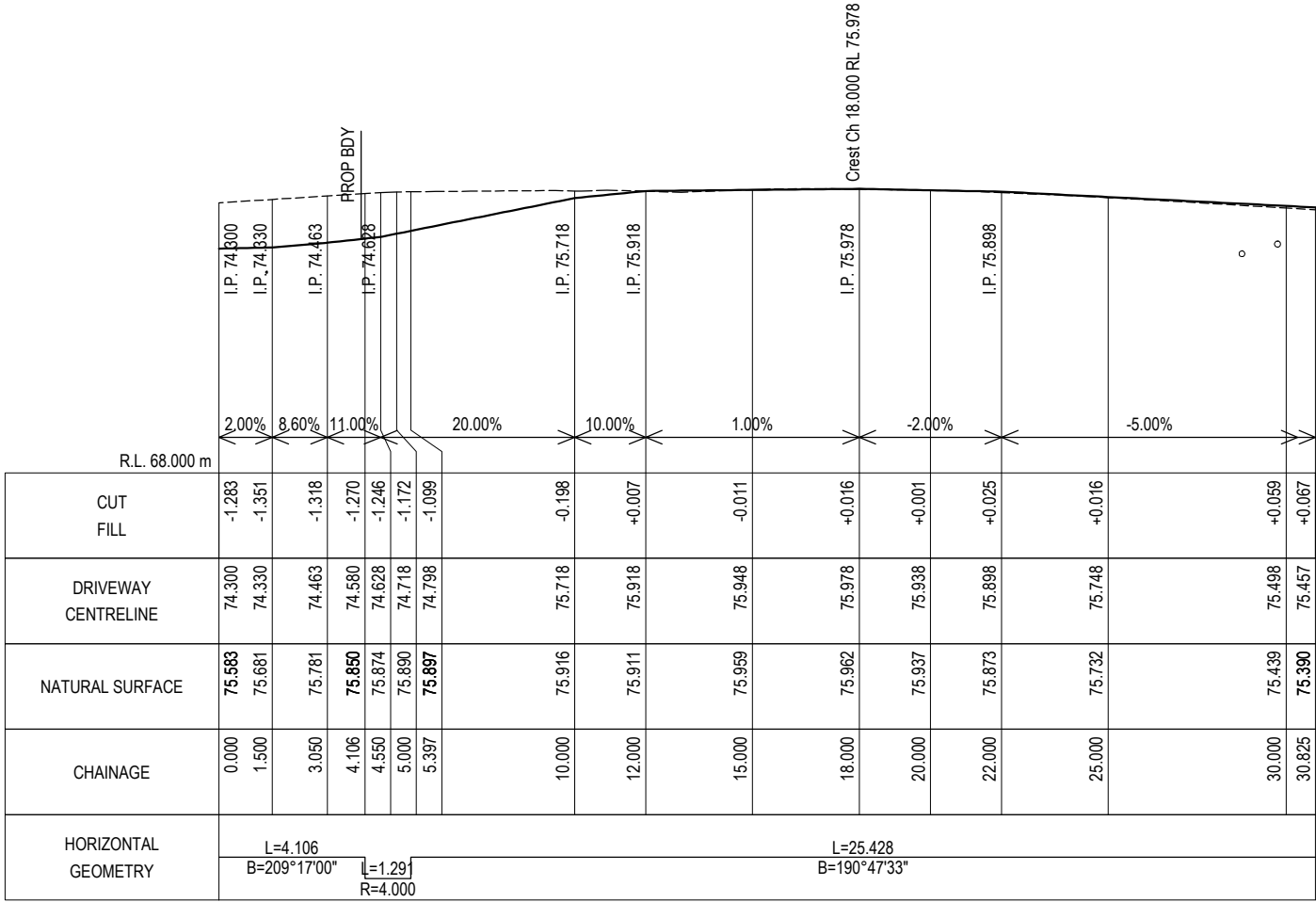
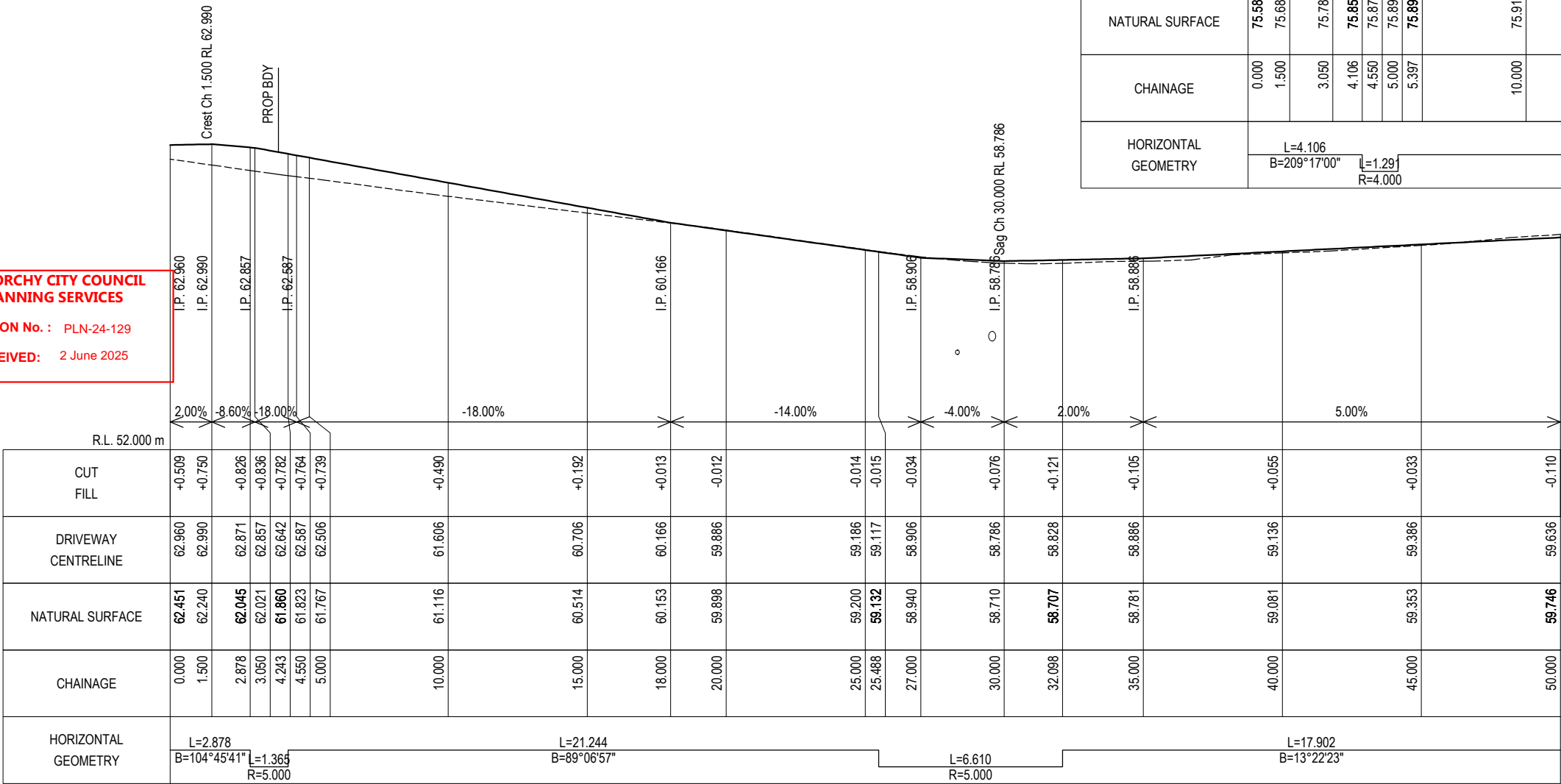
DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)


LOT 11 DRIVE

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025

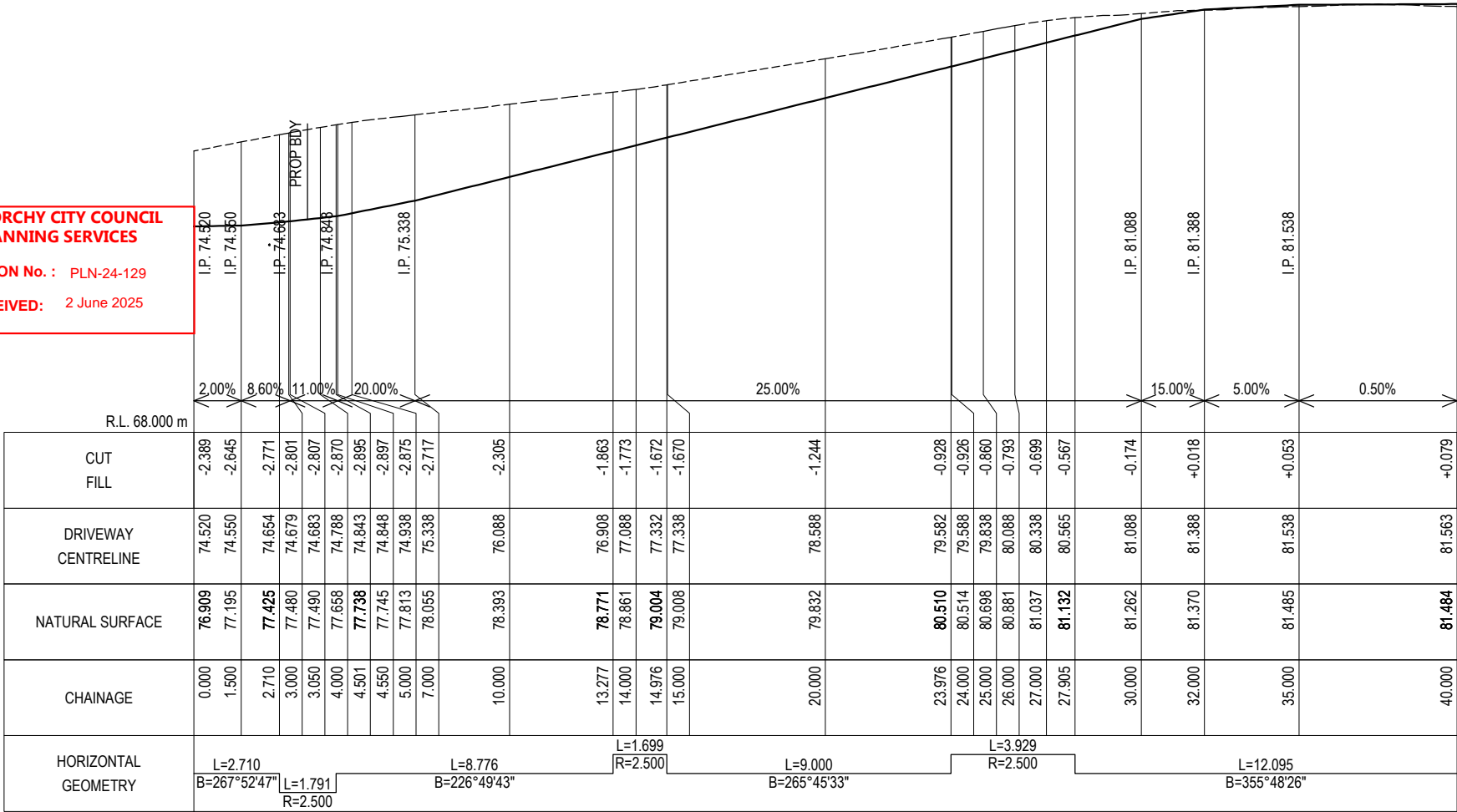


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-	----	--	-/-/-/-/-	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:				-----	1: 200	(A3)		
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-	----	--	-/-/-/-/-	--		JOB MANAGER: CRAIG TERRY										
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE:	30/05/2025			REGISTRATION NUMBER: ----			44035CT	C	225	P4

GLENORCHY CITY COUNCIL
PLANNING SERVICES

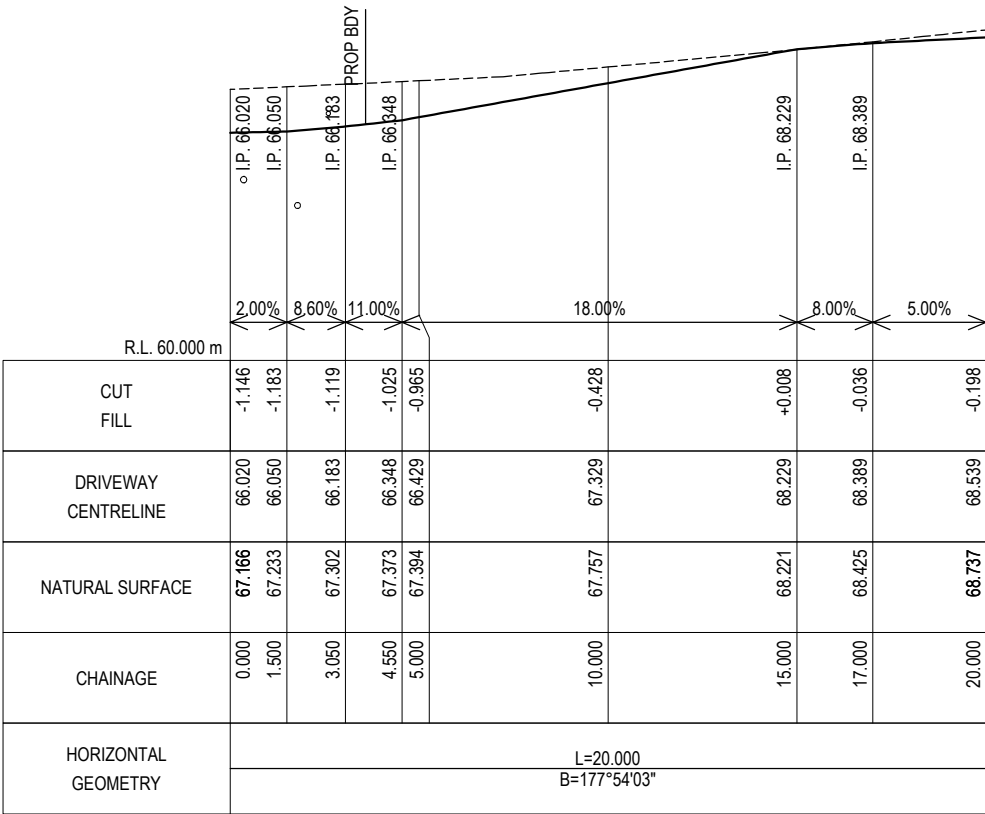
APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025



DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

LOT 48 DRIVE



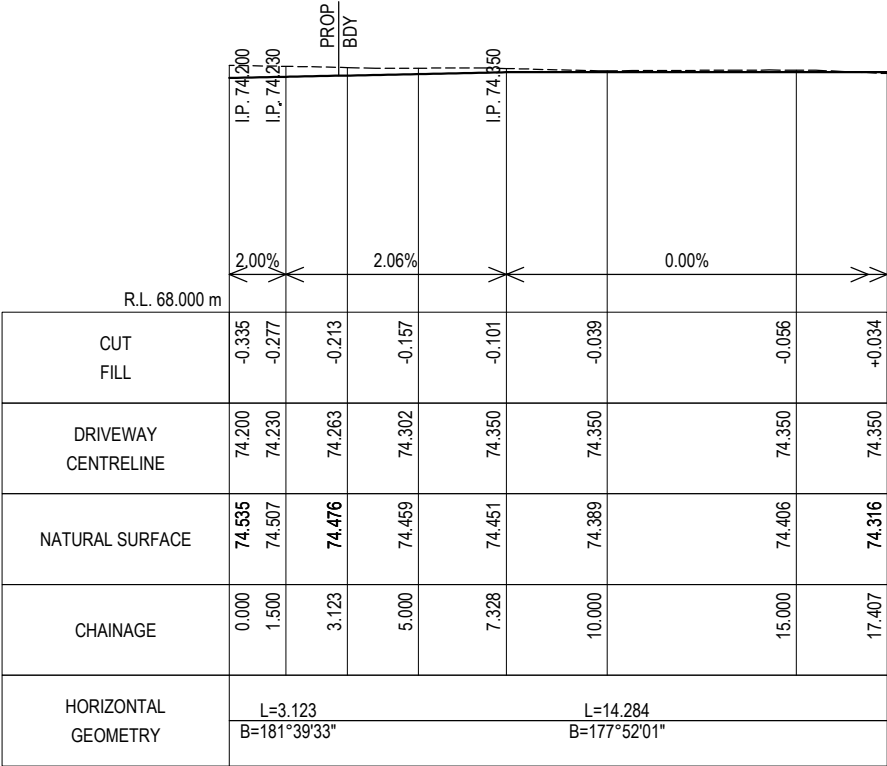
DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

LOT 54 DRIVE

GLENORCHY CITY COUNCIL
PLANNING SERVICES

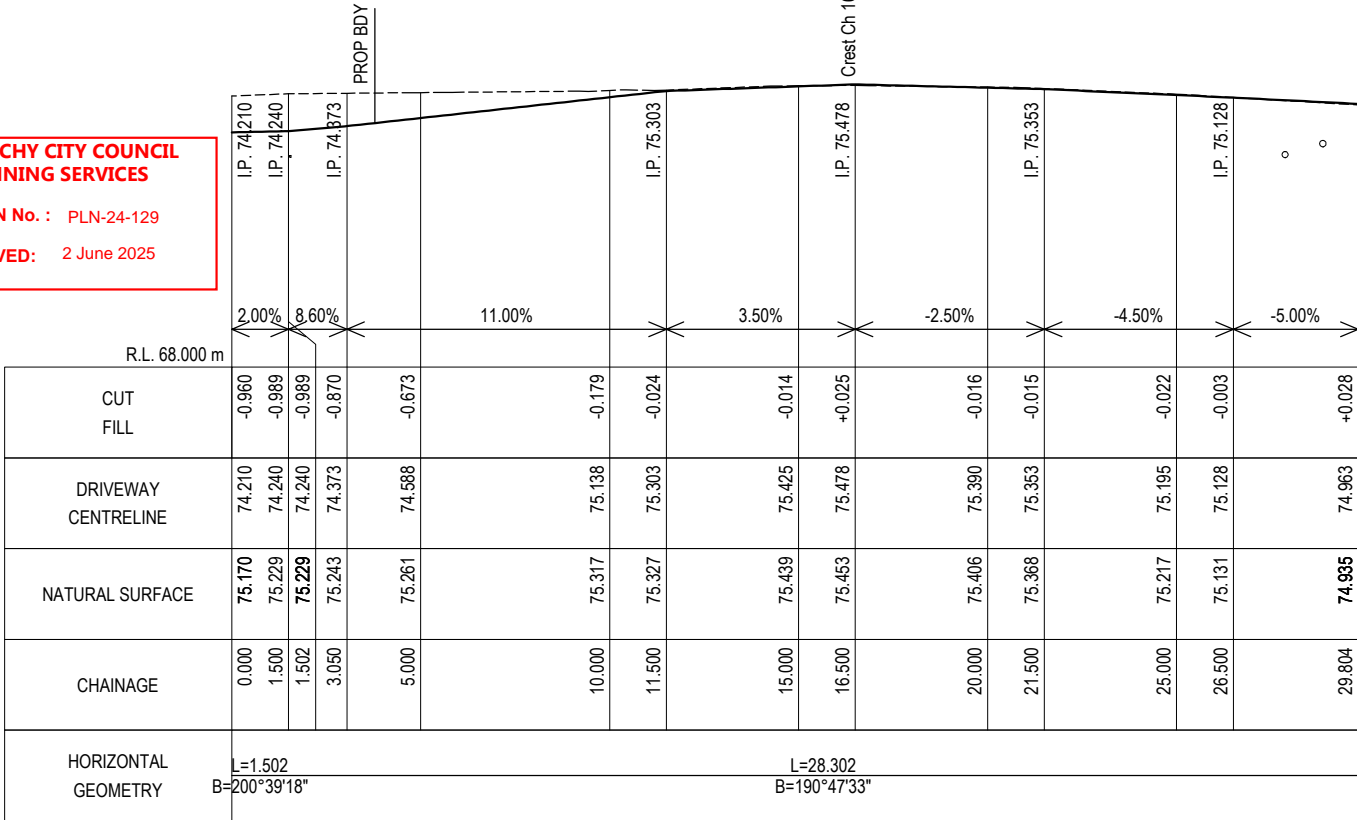
APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025



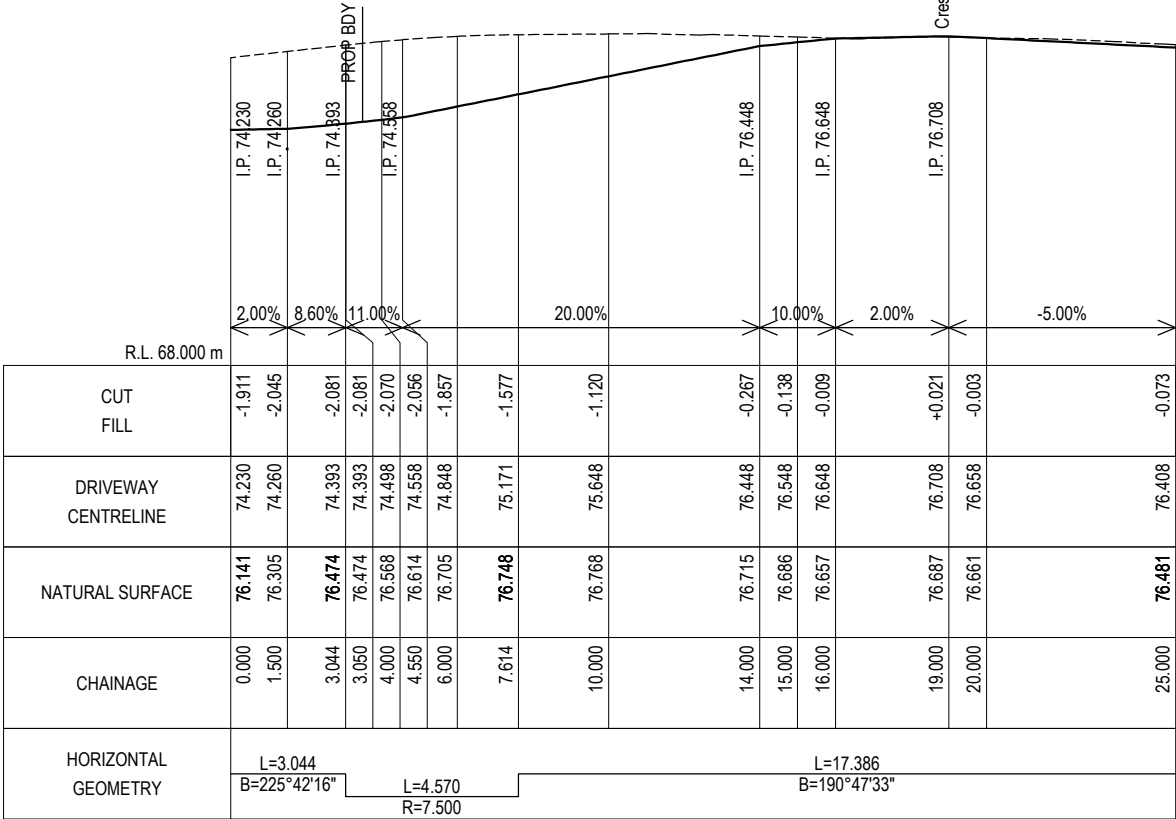
DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

LOT 52 DRIVE




DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

LOT 51 DRIVE



DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

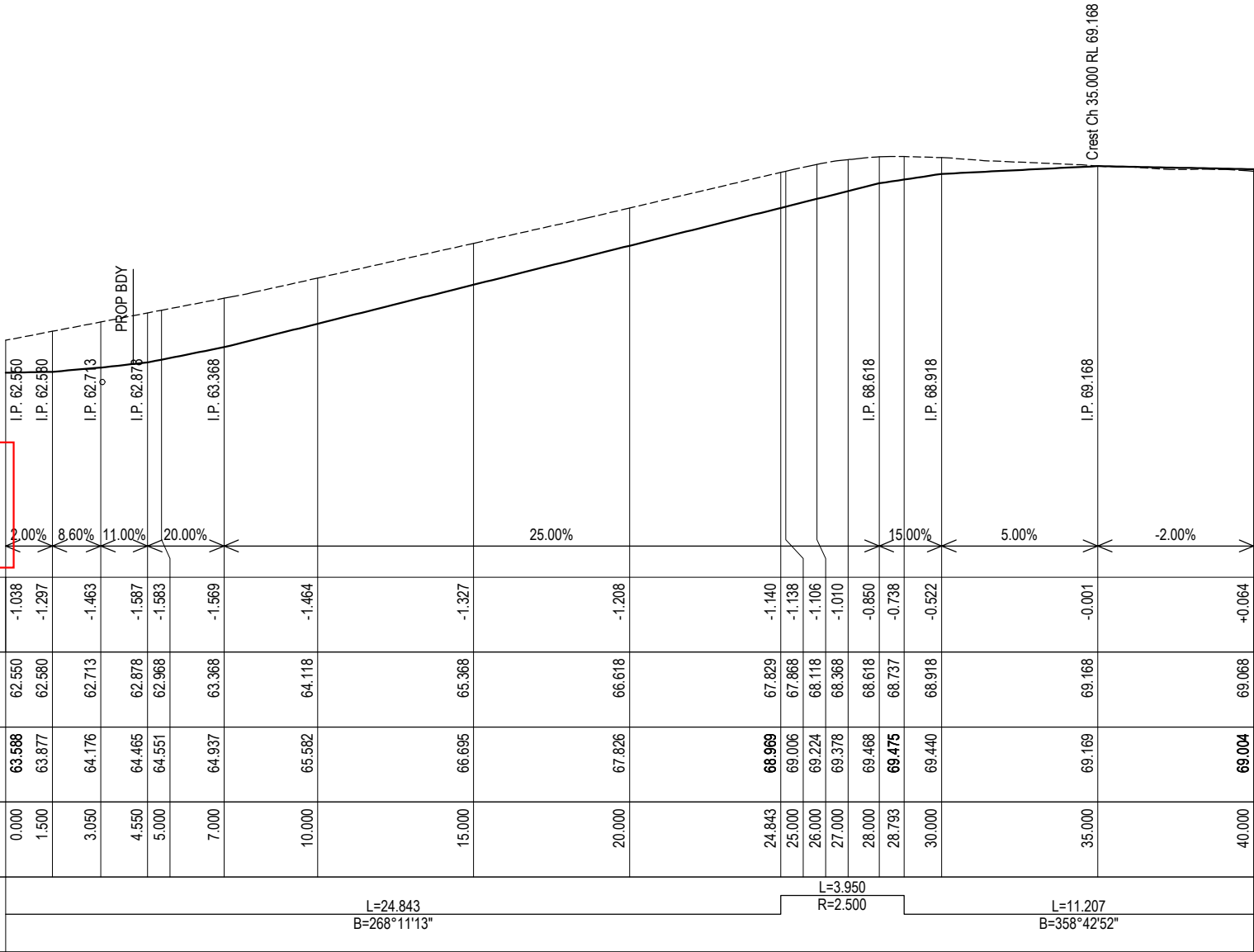
LOT 49 DRIVE

-	----	--	-/-/----	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS DRIVEWAY LONG SECTION SHEET 8	 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	CONTRACT NO.	SCALE	PAPER	
-	----	--	-/-/----	--	FOR DEVELOPMENT APPROVAL	SC	MS	-----				1: 200	(A3)		
-	----	--	-/-/----	--	COORDINATE/ DATUM:	DRAWN:	REVIEWED:	JOB NUMBER				DISCIPLINE	SHEET	REVISION	
-	----	--	-/-/----	--	PLANAR	SC	MS								
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	JOB MANAGER: CRAIG TERRY	ISSUED DATE: 30/05/2025	DRAWING TITLE:		REGISTRATION NUMBER: ----		44035CT	C	227	P4

GLENORCHY CITY COUNCIL
PLANNING SERVICES


APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025



DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

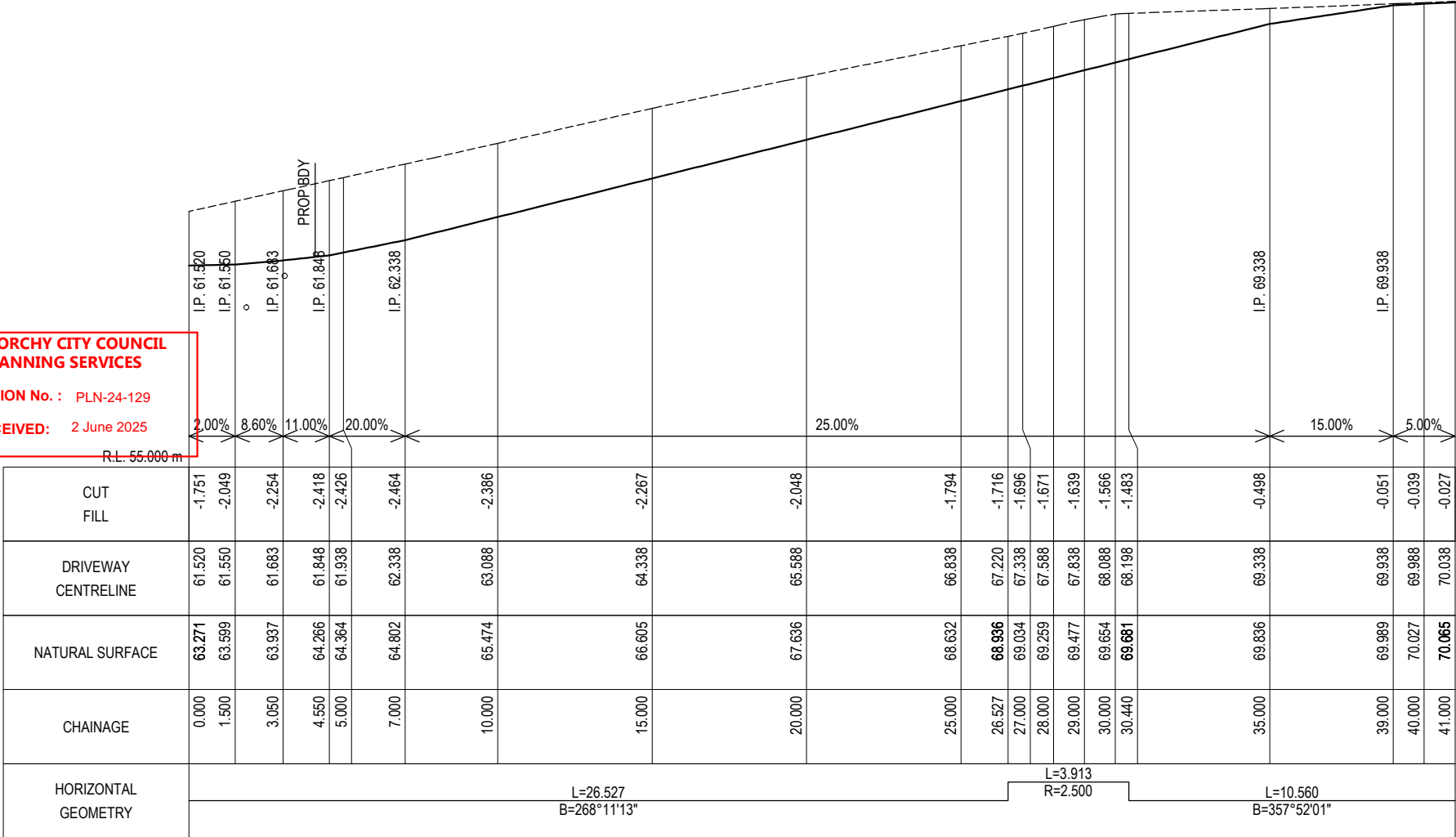
LOT 57 DRIVE

-	----	--	-/-/----	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS DRIVEWAY LONG SECTION SHEET 9	 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	CONTRACT NO.	SCALE	PAPER	
-	----	--	-/-/----	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:				-----	1: 200	(A3)	
-	----	--	-/-/----	--	COORDINATE/ DATUM:	DRAWN:	REVIEWED:	ADDRESS:				JOB NUMBER	DISCIPLINE	SHEET	REVISION
-	----	--	-/-/----	--	PLANAR	SC	MS	DRAWING TITLE:							
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	JOB MANAGER: CRAIG TERRY									
						ISSUED DATE:	30/05/2025			REGISTRATION NUMBER: ----					

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025



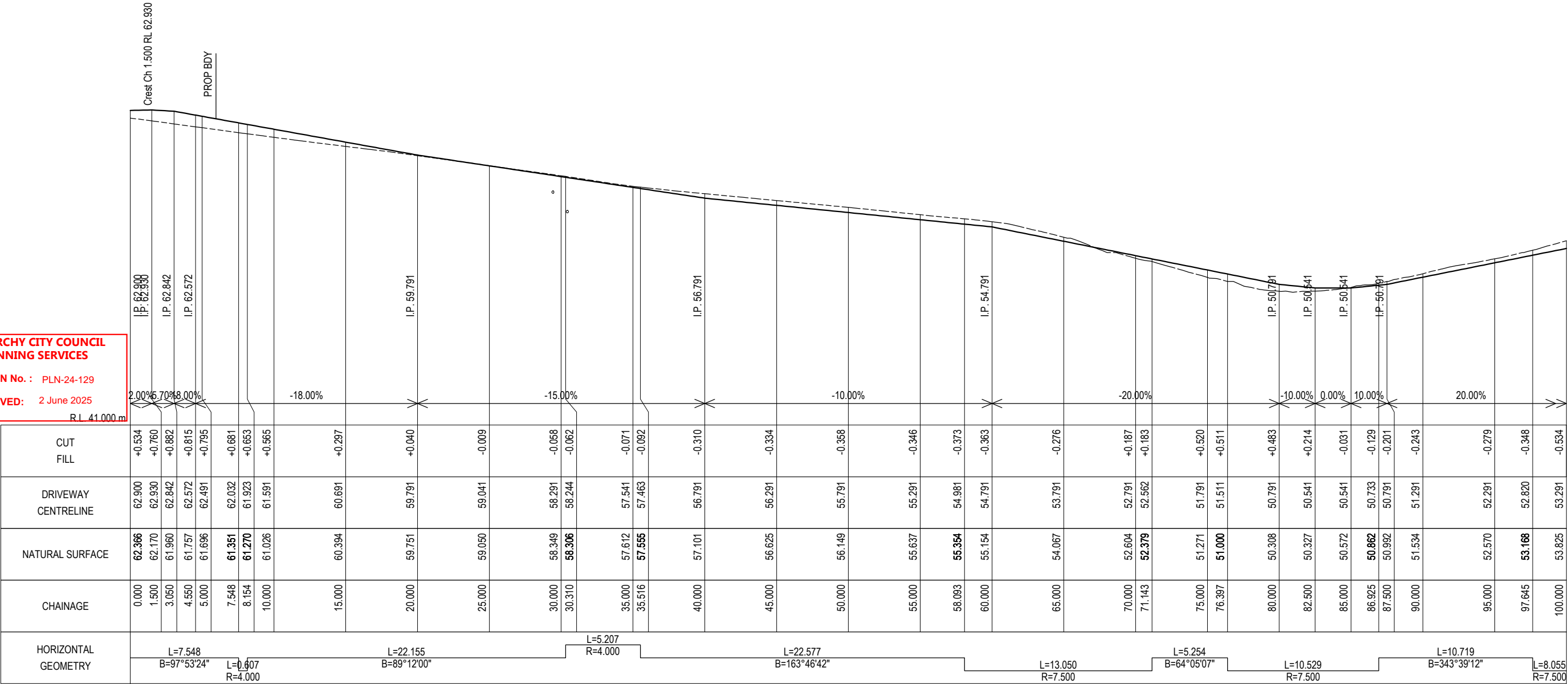
DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 200 (V) 1 IN 200 (A1)

LOT 60 DRIVE

GLENORCHY CITY COUNCIL
PLANNING SERVICES


APPLICATION No. : PLN-24-129

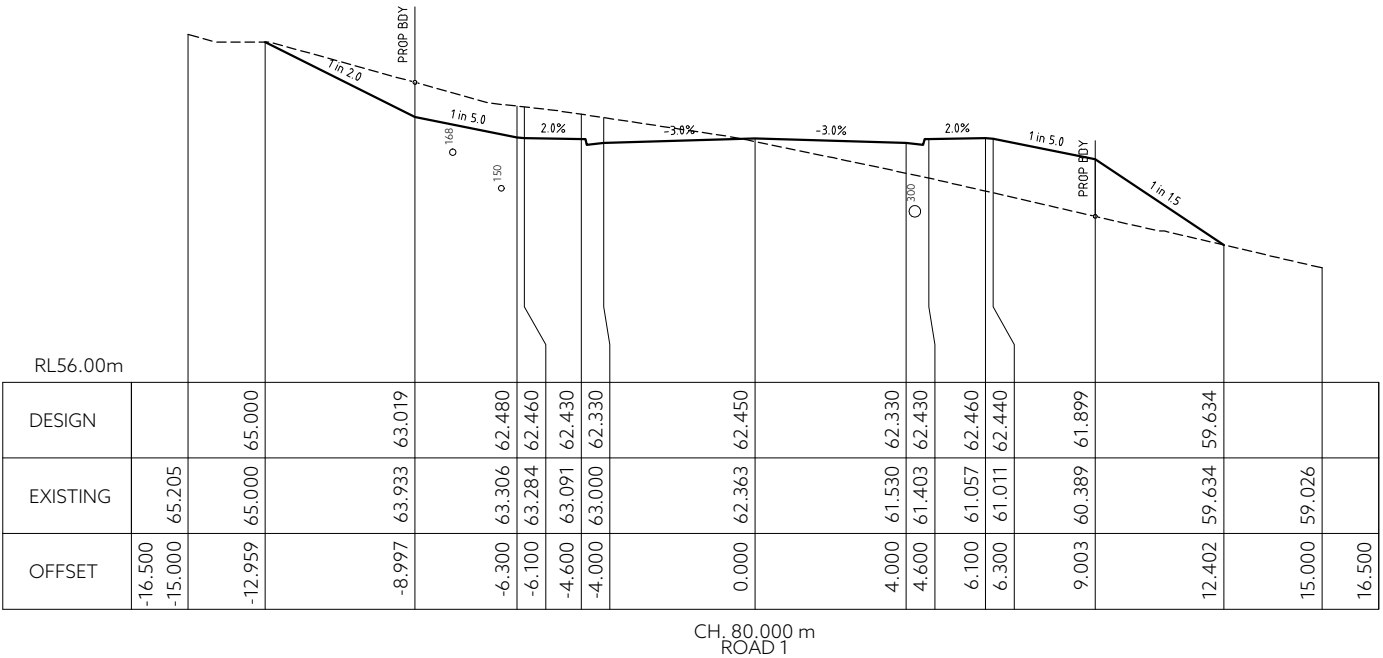
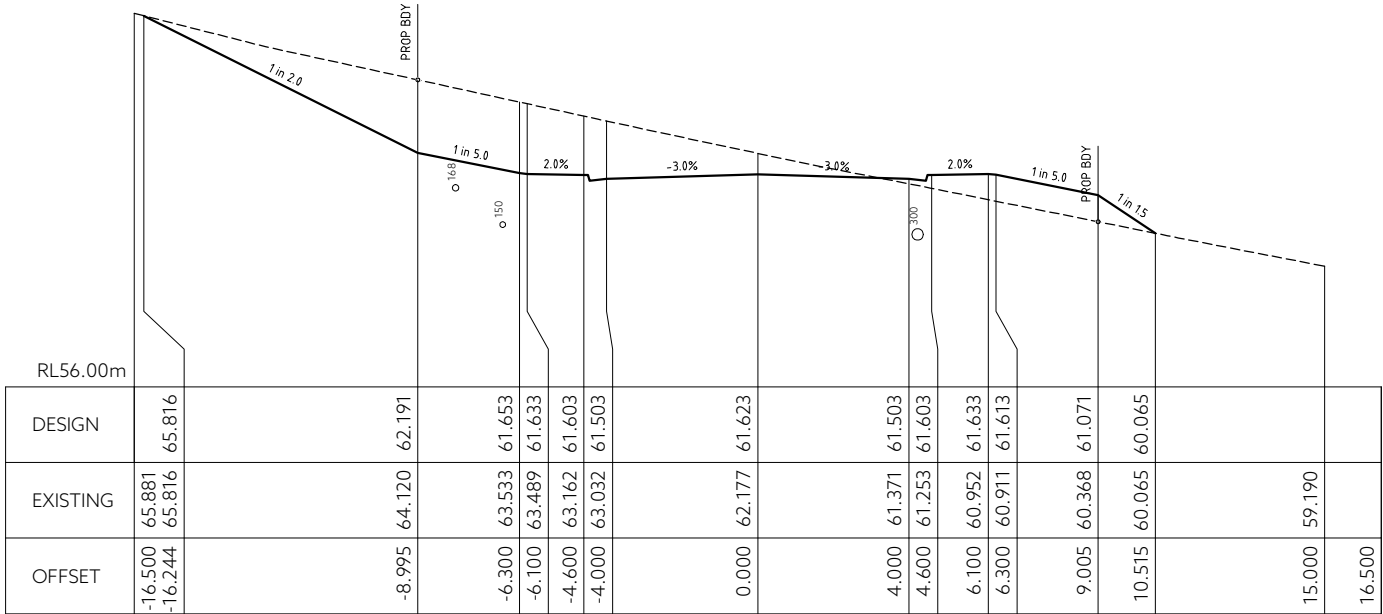
DATE RECEIVED: 2 June 2025



DRIVEWAY - LONG SECTION
SCALES: (H) 1 IN 300 (V) 1 IN 300 (A1)

LOT 105 DRIVE

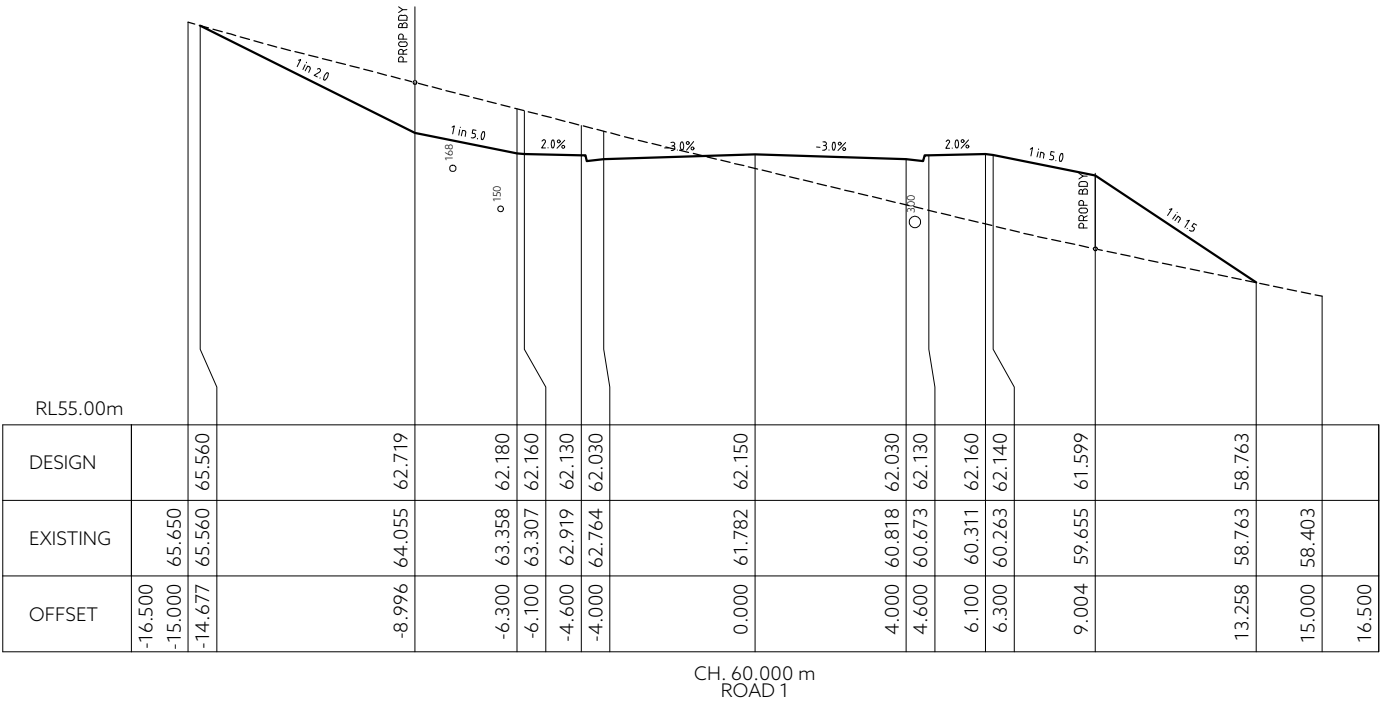
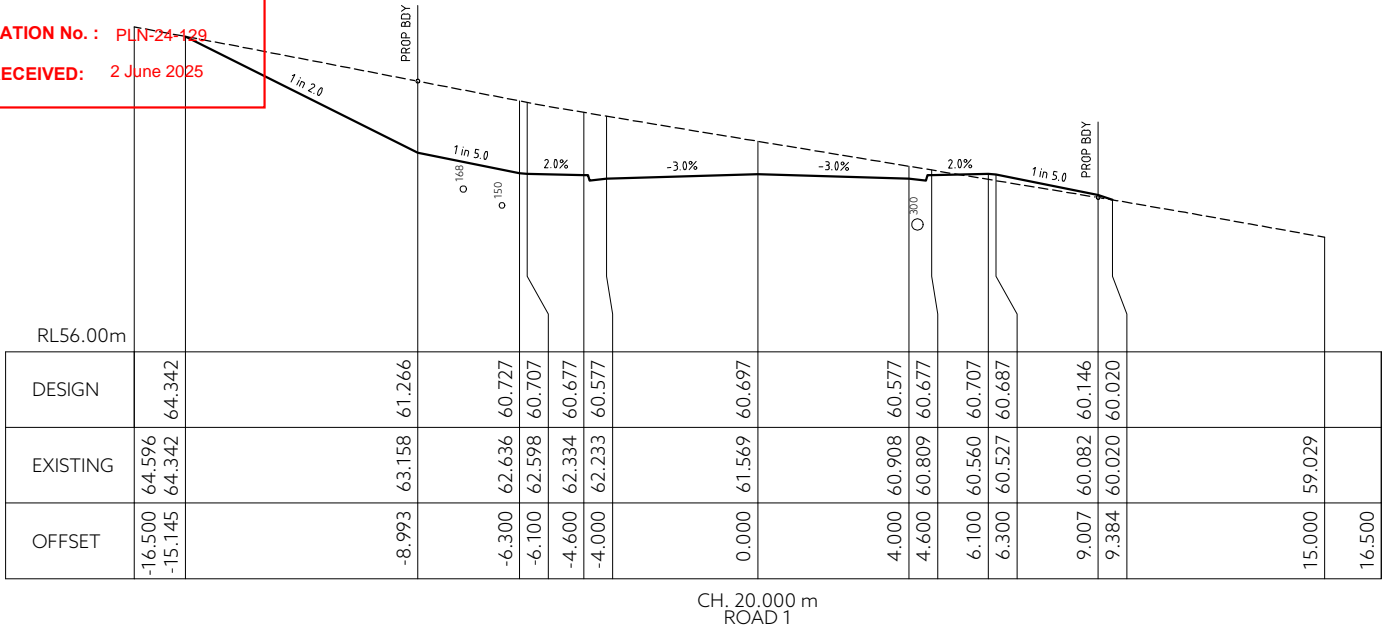
-	----	--	-/-/----	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	 SURVEYORS, ENGINEERS & PLANNERS	CONTRACT NO. -----	SCALE	PAPER		
-	----	--	-/-/----	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:				1: 200	(A3)		
-	----	--	-/-/----	--	COORDINATE/ DATUM:	DRAWN:	REVIEWED:	ADDRESS:				JOB NUMBER	DISCIPLINE	SHEET	REVISION
-	----	--	-/-/----	--	PLANAR	SC	MS	DRAWING TITLE:							
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	JOB MANAGER: CRAIG TERRY	ISSUED DATE:	30/05/2025				REGISTRATION NUMBER: ----	44035CT	C	230




**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : **PLN-24-129**

DATE RECEIVED: **2 June 2025**

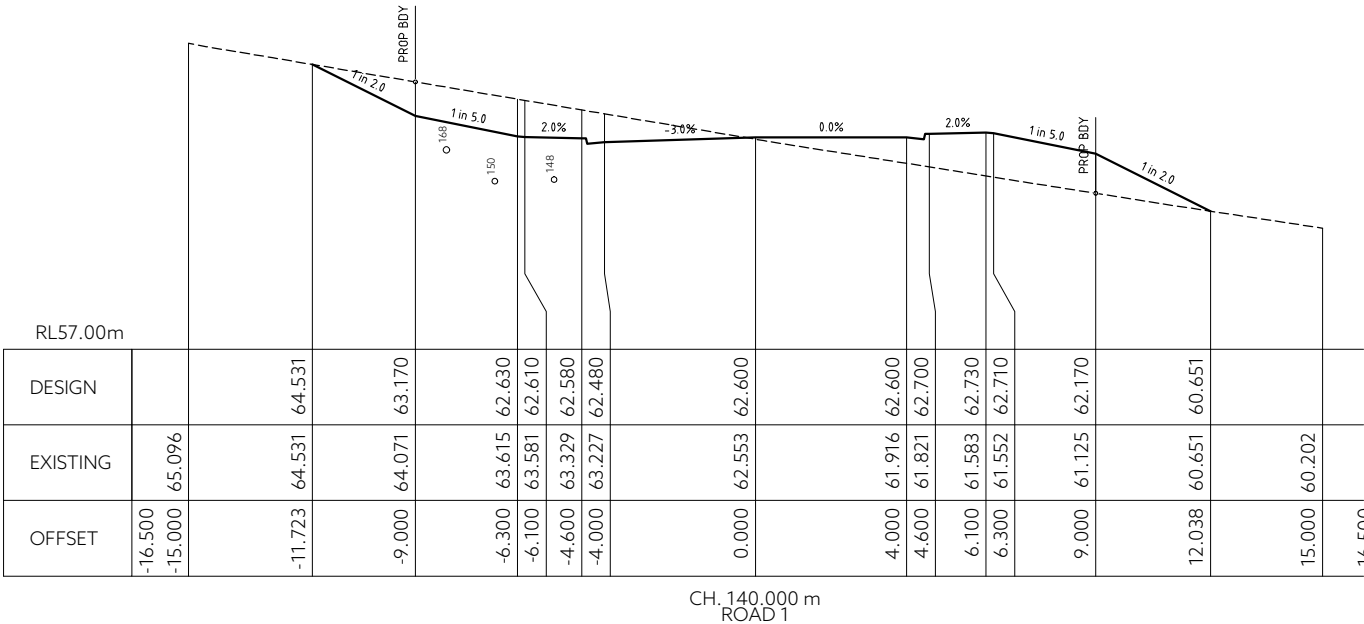
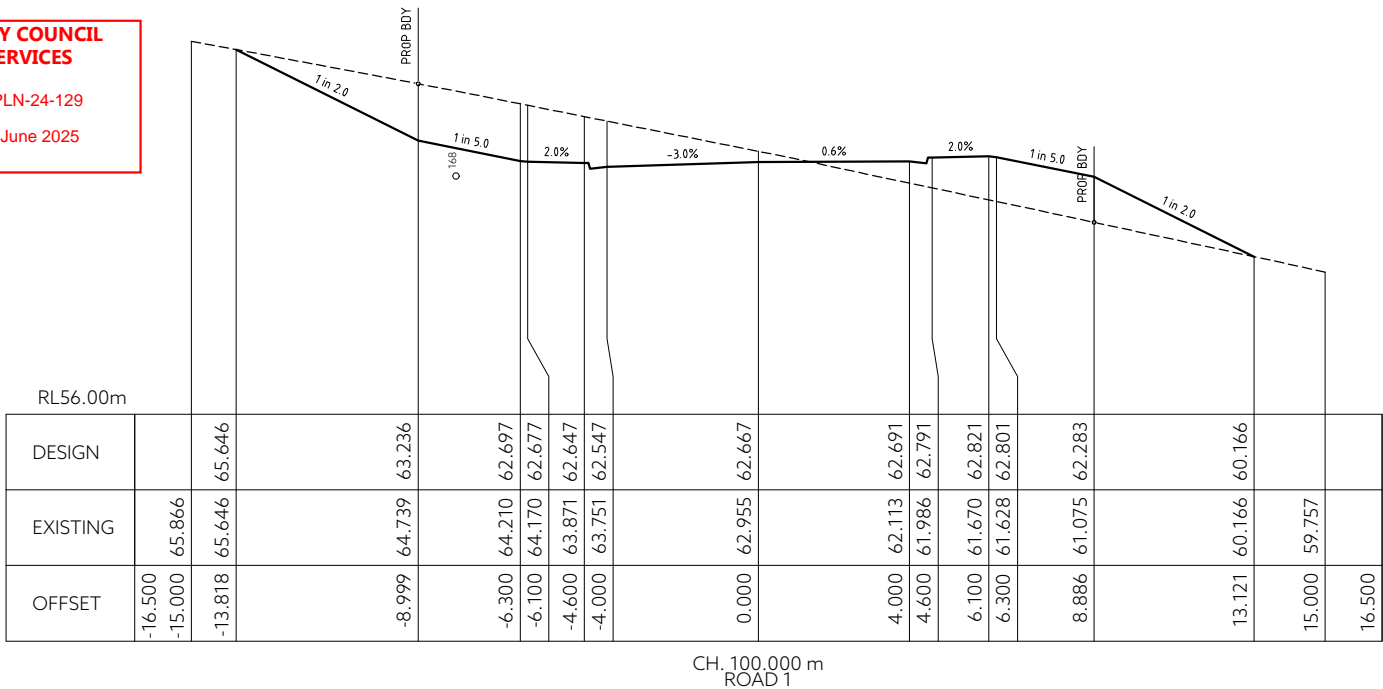
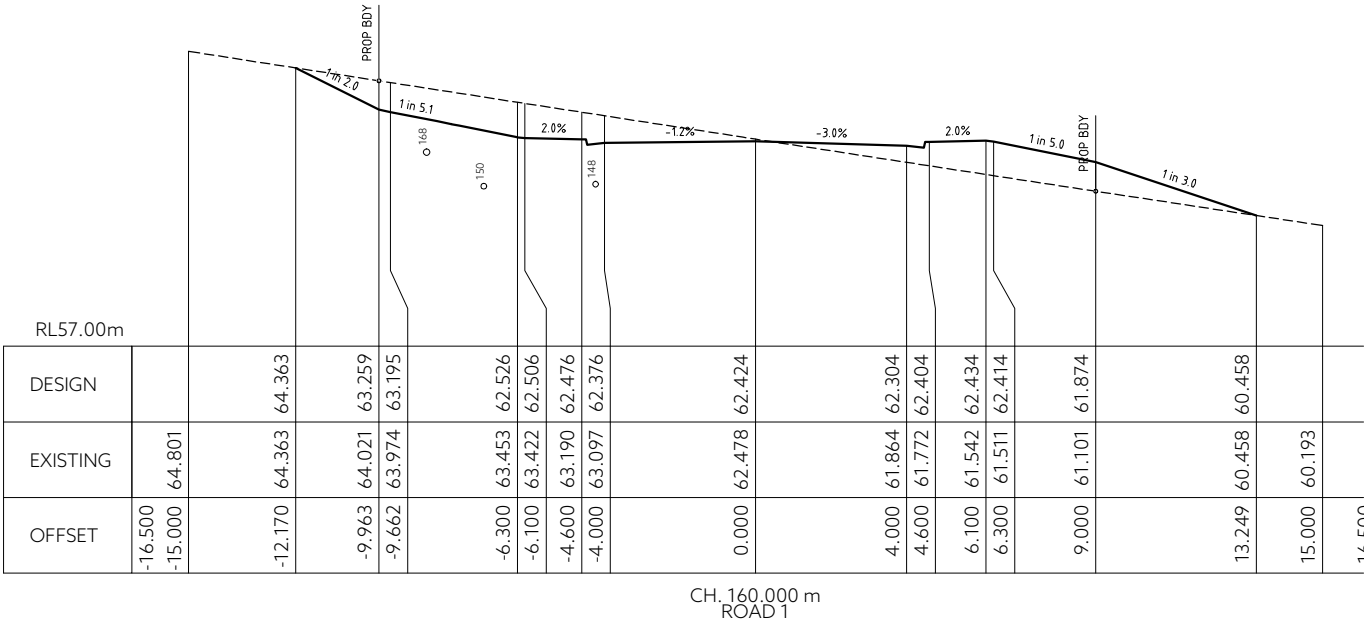
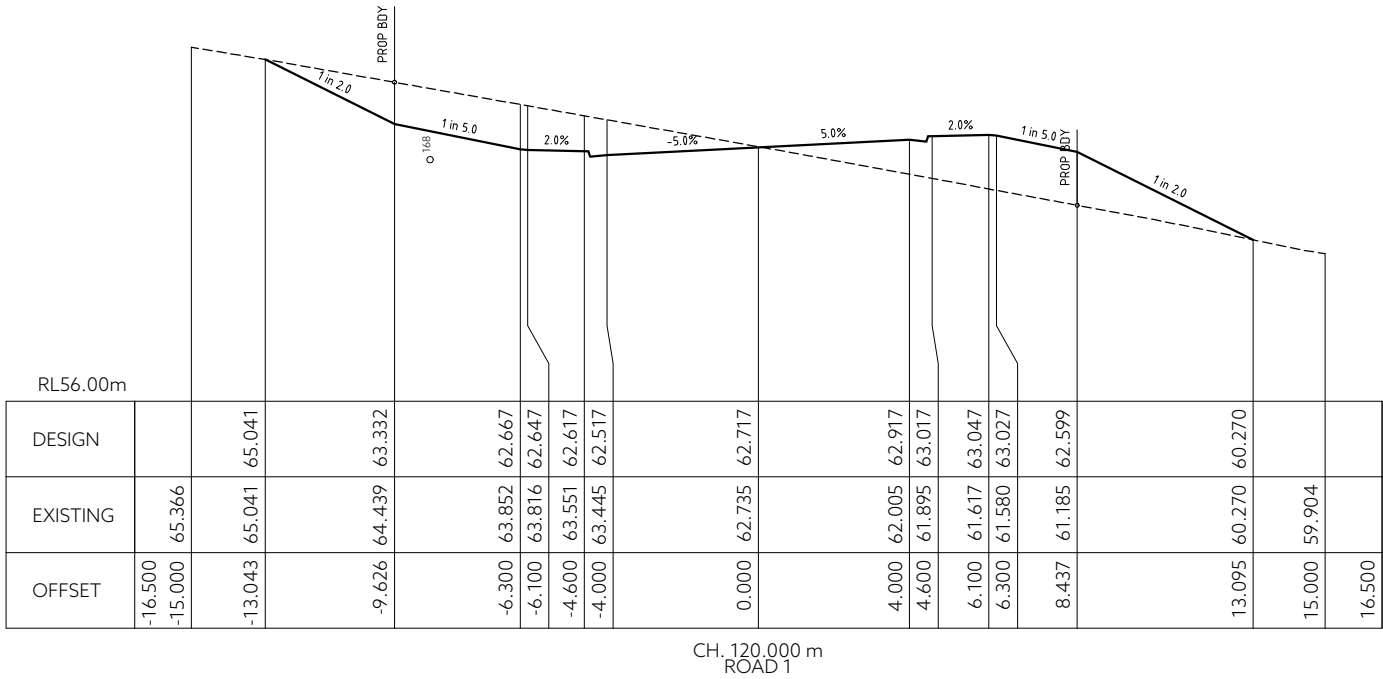



- - - -		- -	-/-/----	- -	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS CROSS SECTIONS ROAD 1 - SHEET 1	 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	CONTRACT NO.	SCALE	PAPER		
- - - -		- -	-/-/----	- -	<div>FOR DEVELOPMENT APPROVAL</div>	SC	MS	PROJECT DESCRIPTION:				-----	1: 200	(A3)		
- - - -		- -	-/-/----	- -	COORDINATE/ DATUM:	DRAWN:	REVIEWED:	ADDRESS:				JOB NUMBER	DISCIPLINE	SHEET	REVISION	
- - - -		- -	-/-/----	- -	<div>PLANAR</div>	SC	MS	DRAWING TITLE:								
- - - -		- -	-/-/----	- -		JOB MANAGER: CRAIG TERRY										
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025		REGISTRATION NUMBER: ---					44035CT	C	300	P4

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025



				--	-----	--	-----	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	 <div>SURVEYORS, ENGINEERS & PLANNERS</div>	CONTRACT NO.	SCALE	PAPER
-	----	--	-----	--	-----	--	-----	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:	-----			1: 200	(A3)	
-	----	--	-----	--	-----	--	-----		DRAWN:	REVIEWED:	ADDRESS:	JOB NUMBER			DISCIPLINE	SHEET	
-	----	--	-----	--	-----	--	-----	COORDINATE/ DATUM:	SC	MS	DRAWING TITLE:					REVISION	
-	----	--	-----	--	-----	--	-----	PLANAR	JOB MANAGER: CRAIG TERRY								
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED				ISSUED DATE: 30/05/2025			REGISTRATION NUMBER: ----			44035CT C 301 P4		



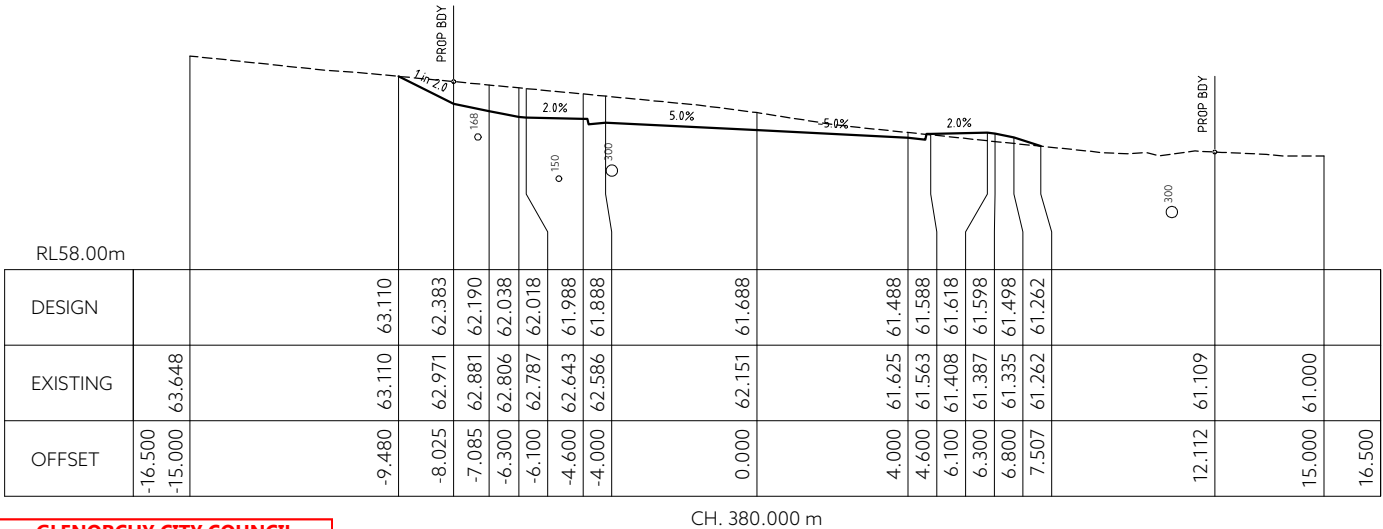
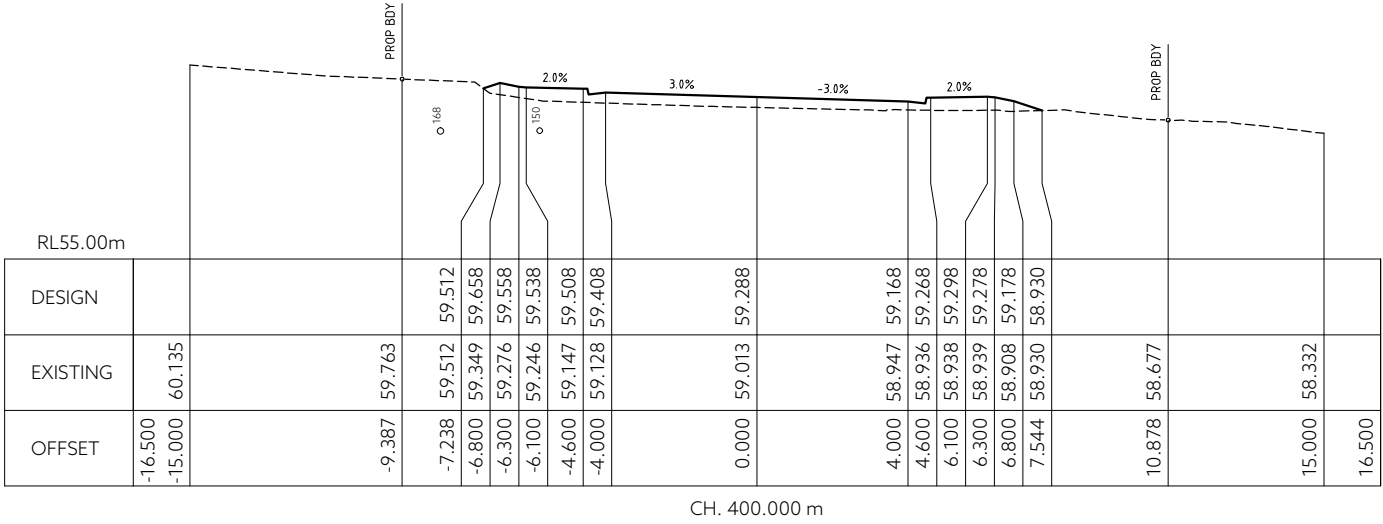
DATE RECEIVED: 2 June 2025

44035CT C 302 P4



DATE RECEIVED: 2 June 2025

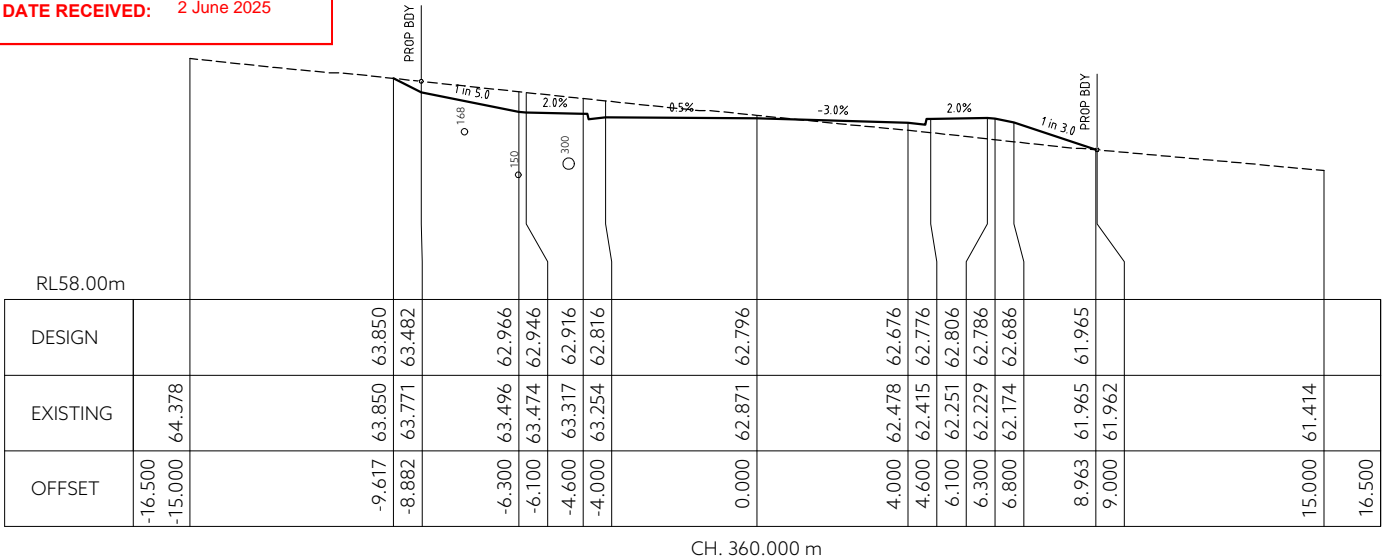


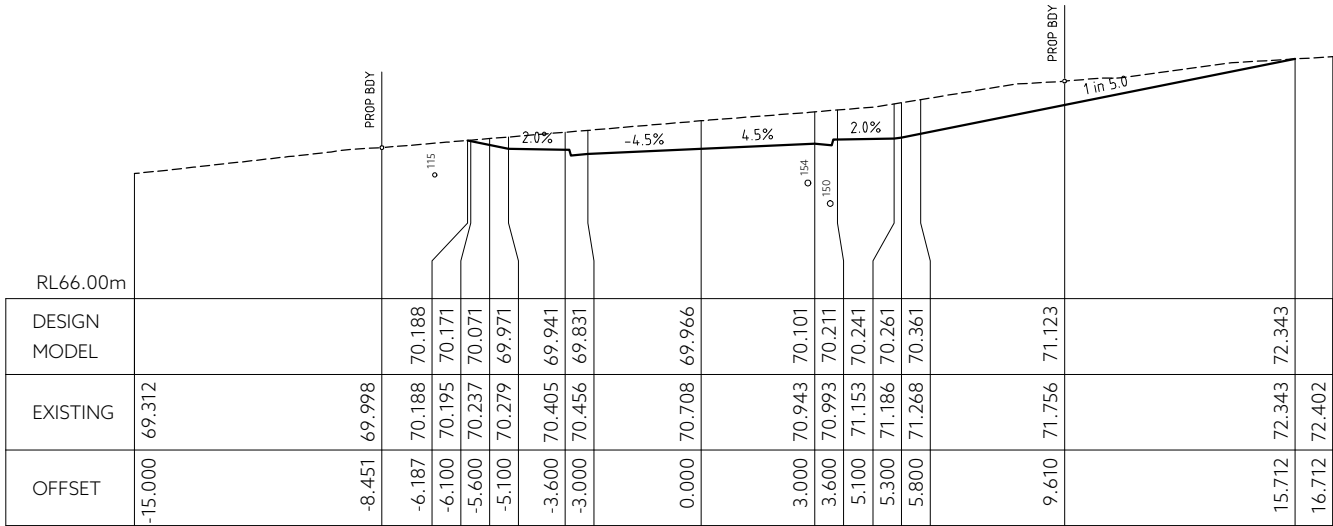


**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

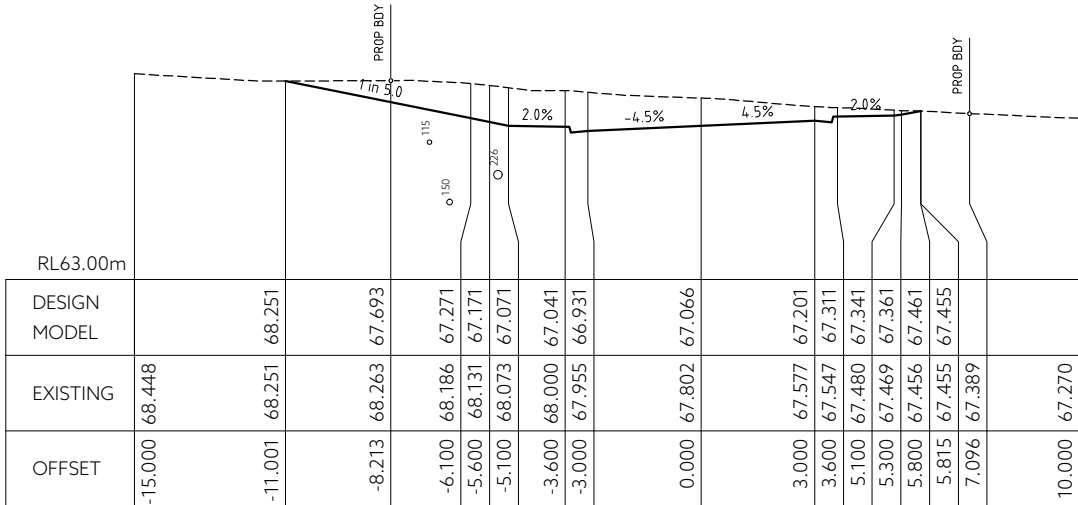
APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025

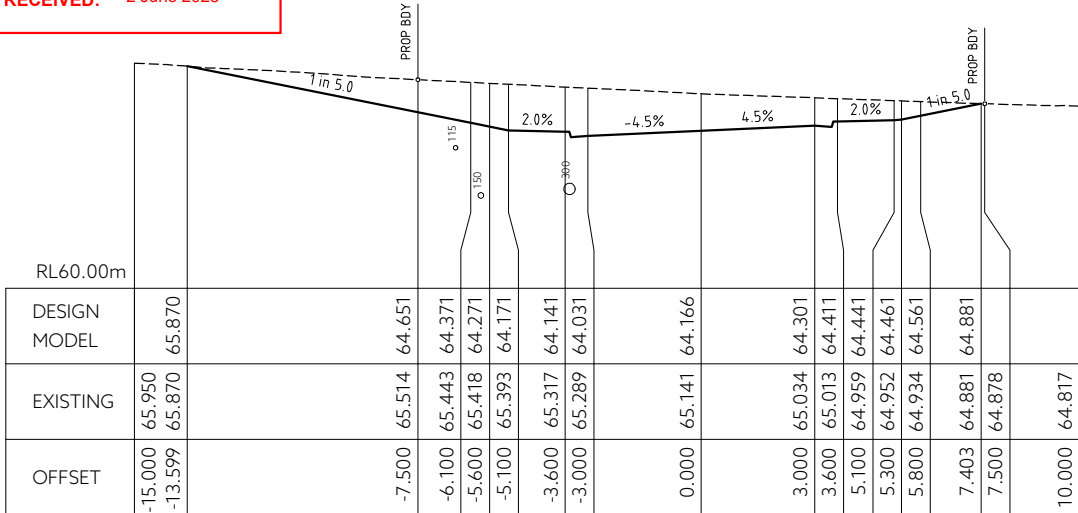




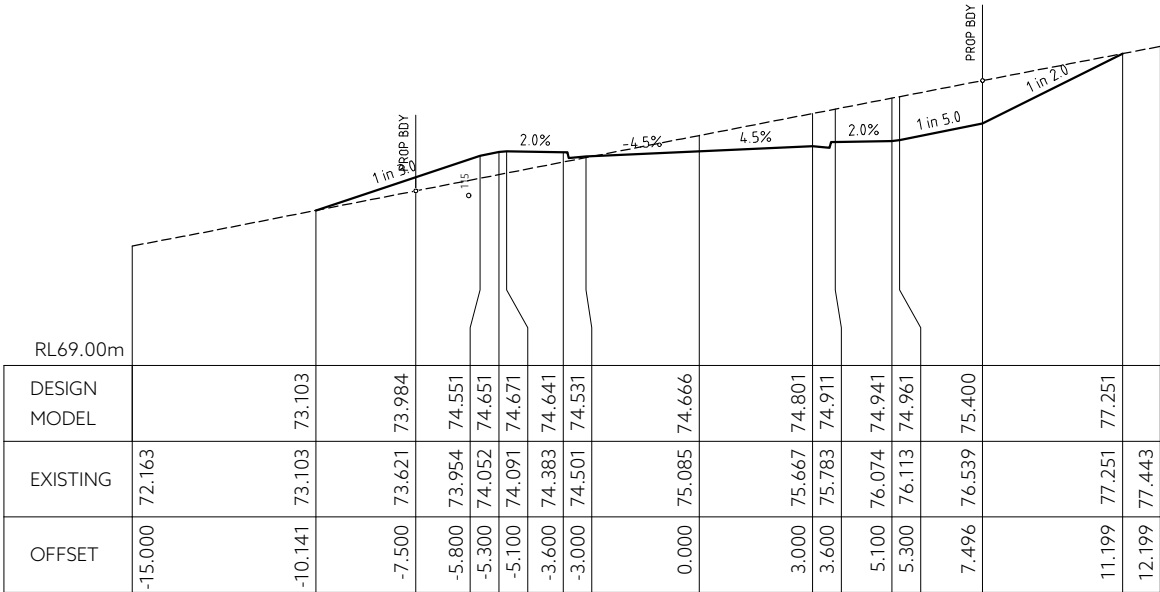
CH. 60.000 m
Road 2



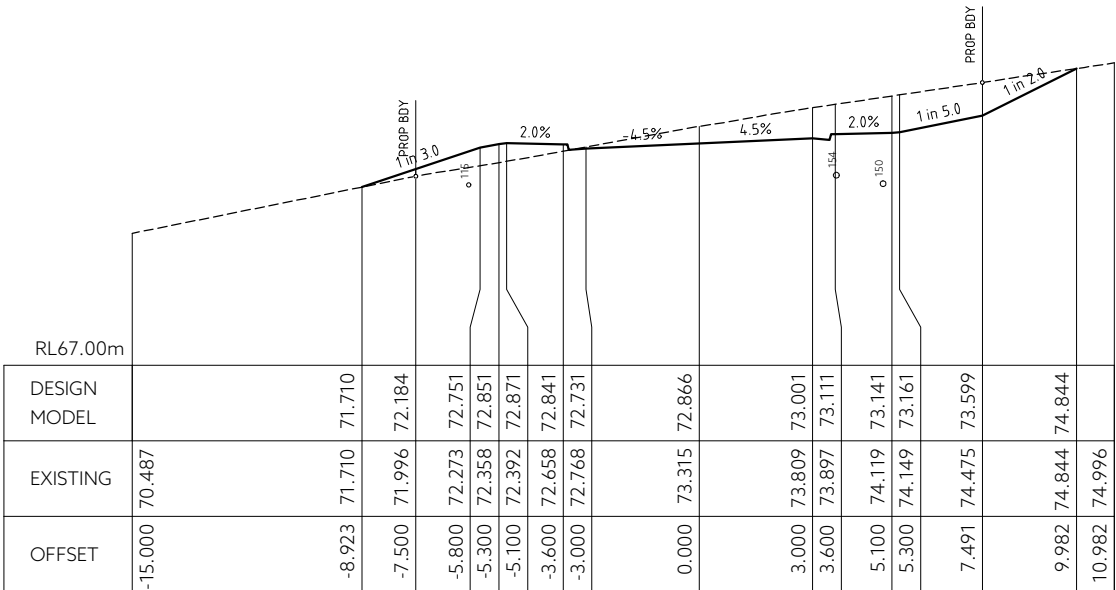
CH. 40.000 m
Road 2



CH. 20.000 m
Road 2




CH. 100.000 m
Road 2

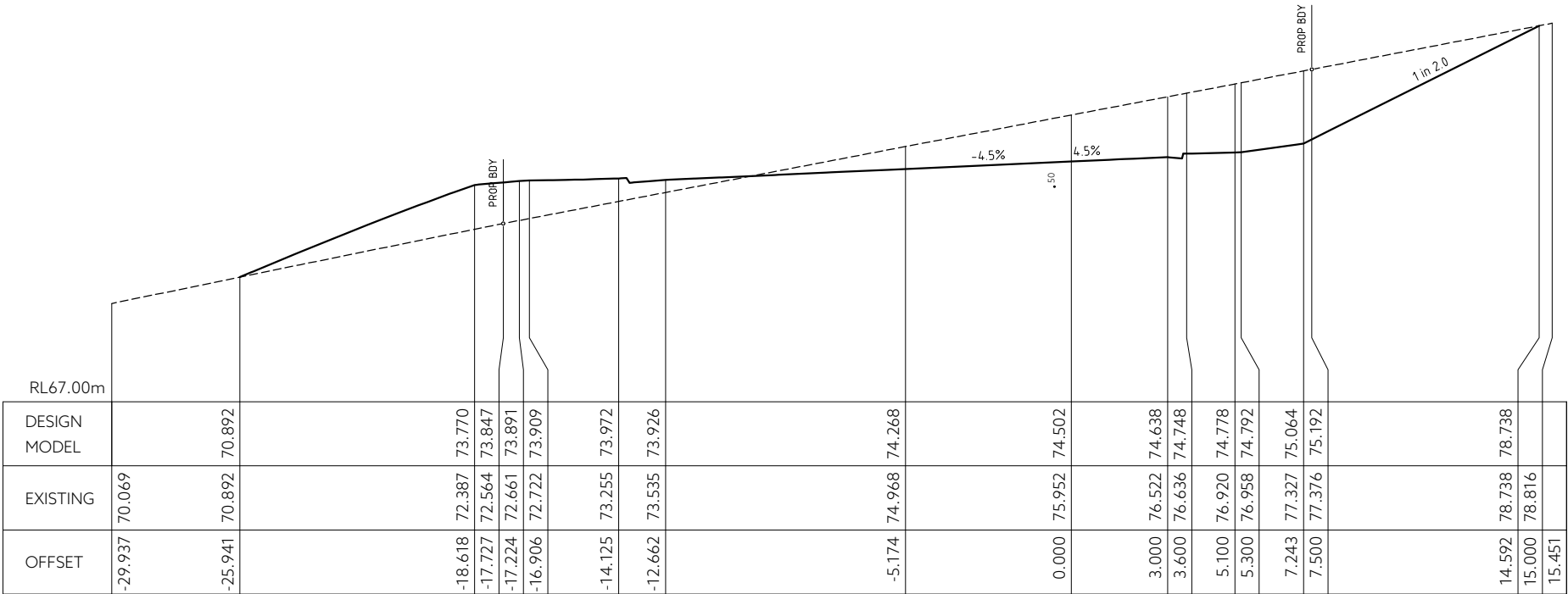


CH. 80.000 m
Road 2

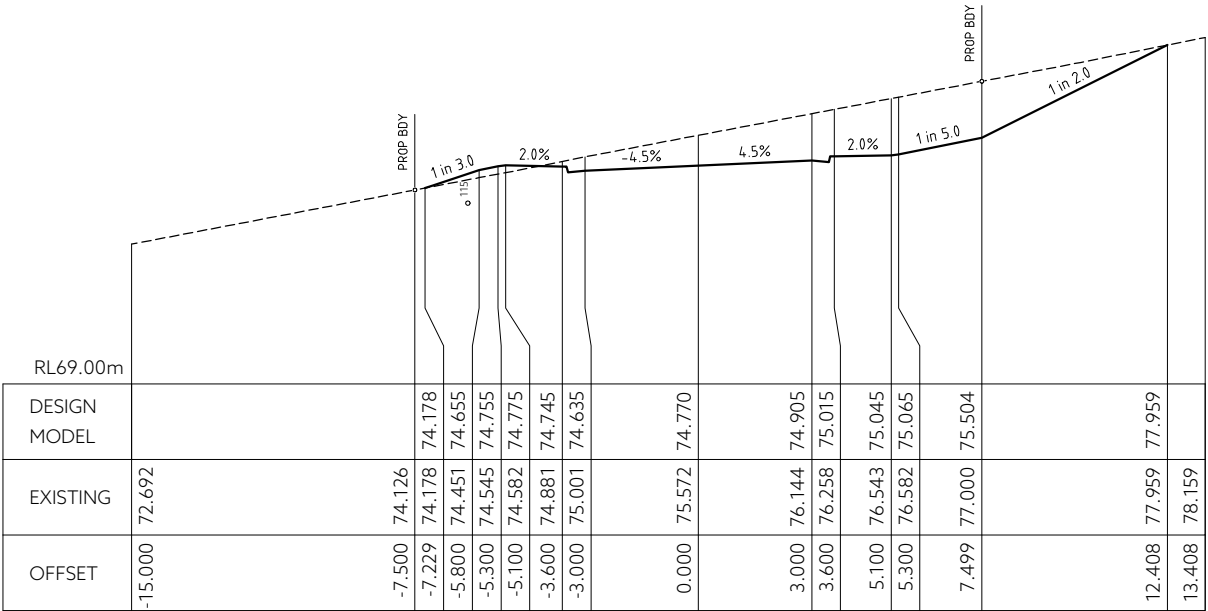
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025

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-	-----	-	-----	---	-----	---	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:			-----	1: 200	(A3)	
-	-----	-	-----	---	-----	---	COORDINATE/ DATUM:	DRAWN:	REVIEWED:	ADDRESS:			JOB NUMBER	DISCIPLINE	SHEET	REVISION
-	-----	-	-----	---	-----	---	PLANAR	SC	MS	DRAWING TITLE:			44035CT	C	311	P4
-	-----	-	-----	---	-----	---		JOB MANAGER: CRAIG TERRY								
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED			ISSUED DATE:	30/05/2025	REGISTRATION NUMBER: ----						



CH. 122.018 m
Road 2



CH. 108.000 m
Road 2

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025

-	----	--	-/-/-/-/-	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY
-	----	--	-/-/-/-/-	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:	61 LOT RESIDENTIAL SUBDIVISION
-	----	--	-/-/-/-/-	--		DRAWN:	REVIEWED:	ADDRESS:	15 KARAMBI STREET, CHIGWELL, TAS
-	----	--	-/-/-/-/-	--	COORDINATE/ DATUM:	SC	MS	DRAWING TITLE:	CROSS SECTIONS
-	----	--	-/-/-/-/-	--	PLANAR	JOB MANAGER: CRAIG TERRY			ROAD 2 - SHEET 2
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025			

REGISTRATION NUMBER: ----		CONTRACT NO.	SCALE	PAPER
		-----	1: 200	(A3)
		JOB NUMBER	DISCIPLINE	SHEET
		44035CT	C	312 P4



PDA
SURVEYORS, ENGINEERS & PLANNERS

127 Bathurst Street
Hobart, Tasmania, 7000
PHONE: +61 03 6234 3217
FAX: +61 03 6234 5085
EMAIL: pda.hbt@pda.com.au
www.pda.com.au
Also at: Kingston,
Launceston & Burnie

CONTRACT NO.

SCALE

PAPER

1: 200

(A3)

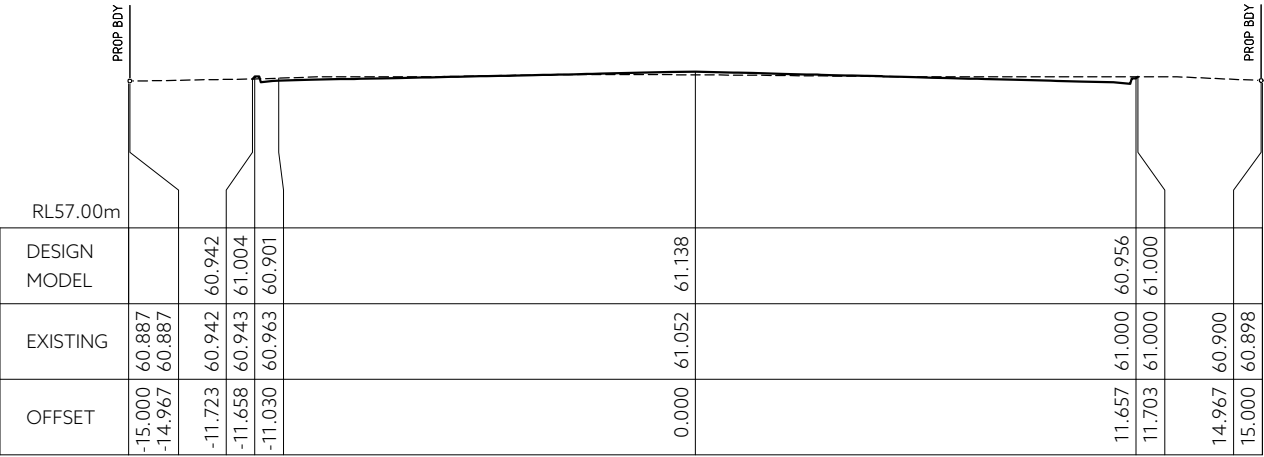
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DISCIPLINE

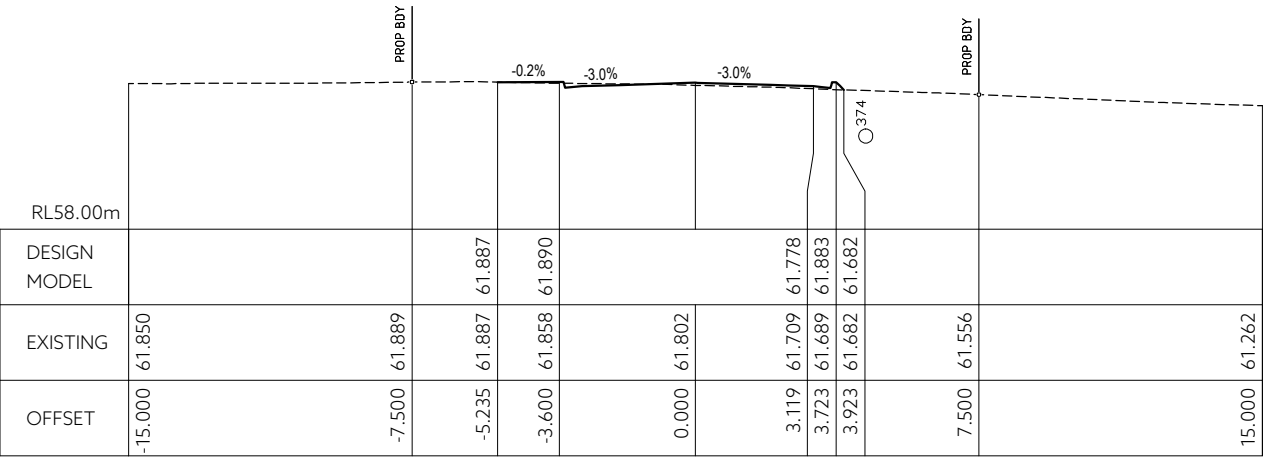
SHEET

REVISION

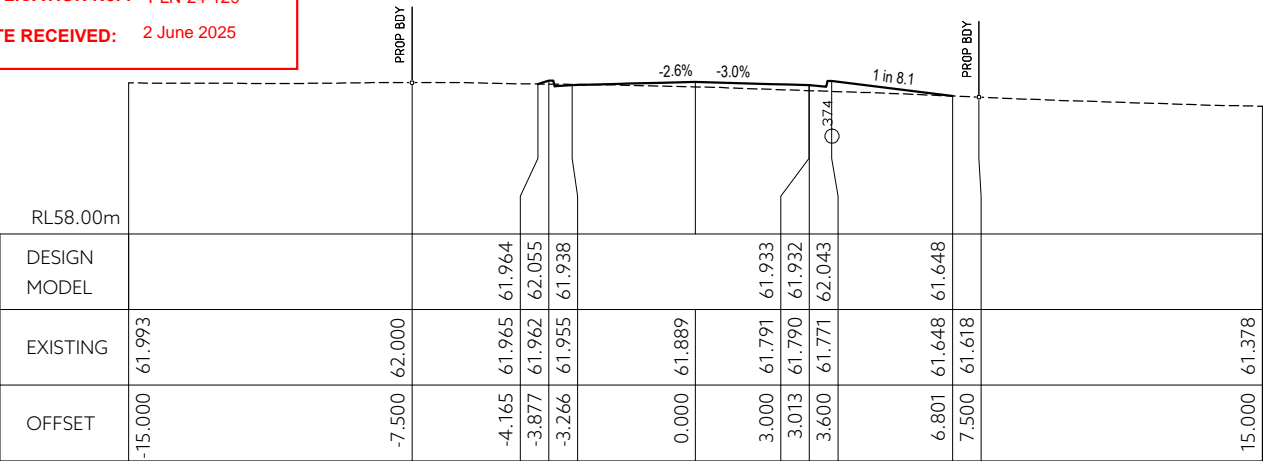
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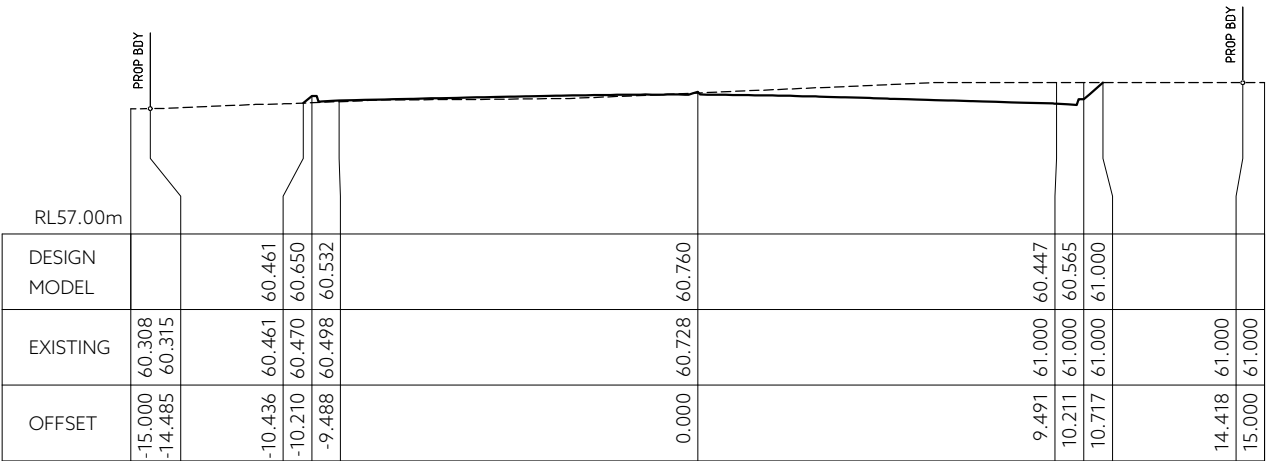
CH. 140.000 m
Road 4



CH. 124.100 m
Road 4



CH. 122.001 m
Road 4




CH. 150.000 m
Road 4

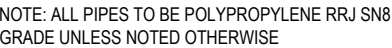
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025


-	----	--	-/-/----	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie	CONTRACT NO.	SCALE	PAPER	
-	----	--	-/-/----	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:		-----	1: 200	(A3)	
-	----	--	-/-/----	--		DRAWN:	REVIEWED:	ADDRESS:		JOB NUMBER	DISCIPLINE	SHEET	REVISION
-	----	--	-/-/----	--	COORDINATE/ DATUM:	SC	MS	DRAWING TITLE:					
-	----	--	-/-/----	--	PLANAR	JOB MANAGER: CRAIG TERRY							
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025				44035CT C 321 P4			

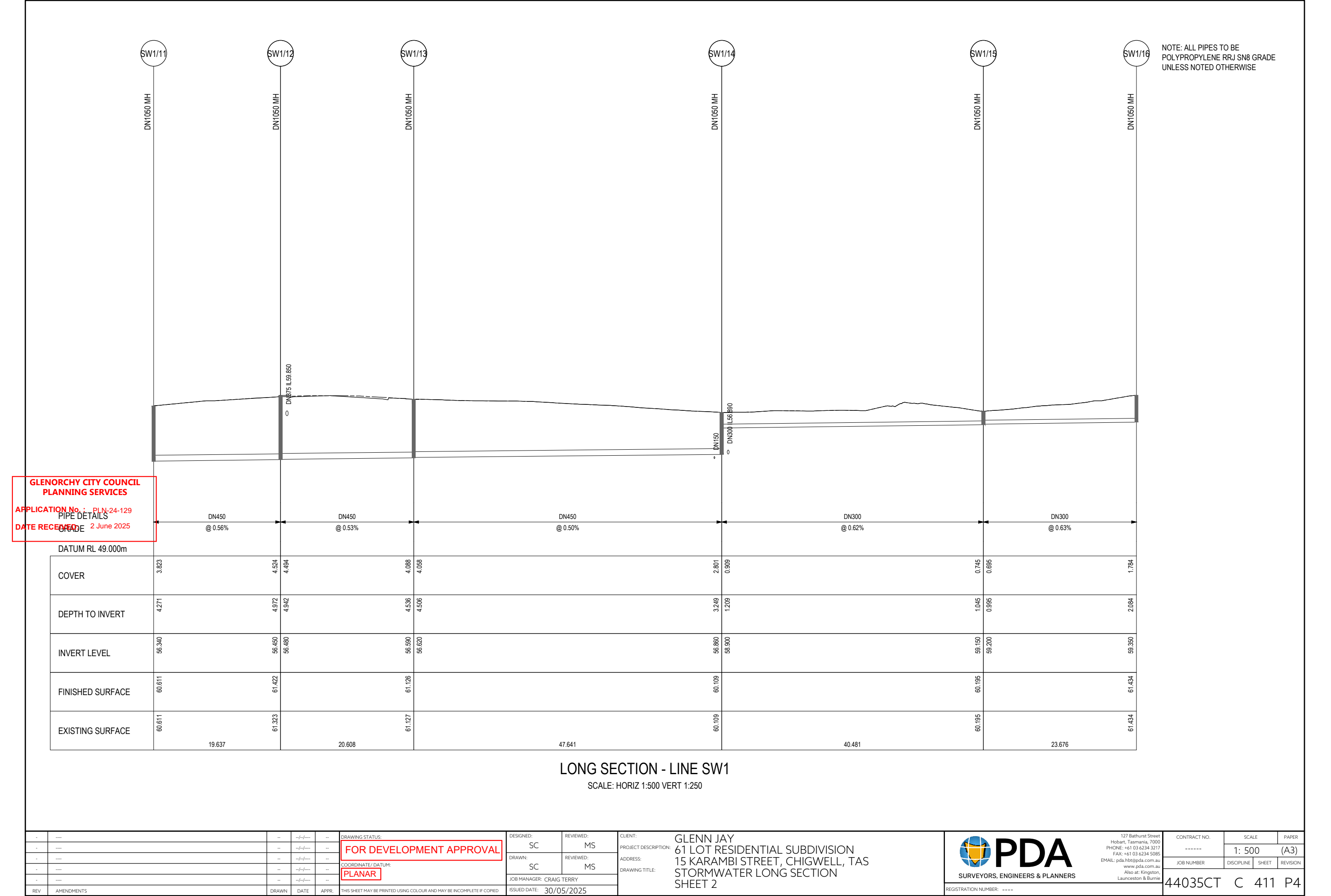
 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie
	REGISTRATION NUMBER: ----



PIPE DETAILS	DN450		DN450		DN1200		DN750		DN1200		DN750		DN450		DN450		DN450			
GRADE	@ 0.60%		@ 1.23%		@ 0.00%		@ 6.17%		@ 0.00%		@ 6.28%		@ 26.31%		@ 0.62%		@ 1.88%		@ 0.51%	
DATUM RL 38.000m																				
COVER	-0.039	1.545	1.495	1.234	0.532	0.799	0.818	0.940	0.671	1.016	1.155	1.174	1.427	1.119	1.069	0.951	0.771	2.386	2.236	3.953
DEPTH TO INVERT	0.409	1.993	1.943	1.662	1.732	1.999	1.549	1.671	1.871	2.216	1.886	1.905	1.875	1.567	1.517	1.399	1.219	2.834	2.684	4.301
INVERT LEVEL	44.560	44.680	44.730	44.750	44.700	44.700	45.150	45.250	45.050	45.050	45.380	45.550	45.380	55.000	55.050	55.100	55.280	55.950	56.100	56.310
FINISHED SURFACE	45.059	46.673		46.432		46.699		46.921		47.266		47.455		56.567		56.499		58.784		60.611
EXISTING SURFACE	45.059	46.673		46.432		46.699		46.921		47.266		47.455		56.567		56.499		58.784		60.611
	4.991		1.624		10.002		1.621		2.382		2.708		35.807		8.008		35.553		41.274	

LONG SECTION - LINE SW1
SCALE: HORIZ 1:500 VERT 1:250

				DRAWING STATUS:		DESIGNED: SC		REVIEWED: MS		CLIENT: GLENN JAY		<div>PDA 127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie</div> <div>REGISTRATION NUMBER: ----</div>	CONTRACT NO.		SCALE		PAPER				
				FOR DEVELOPMENT APPROVAL		DRAWN: SC		REVIEWED: MS		PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION			-----		1: 500		(A3)				
				COORDINATE / DATUM: PLANAR						ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS			JOB NUMBER		DISCIPLINE		SHEET		REVISION		
										DRAWING TITLE: 15 KARAMBI STREET, CHIGWELL, TAS											
REV AMENDMENTS				DRAWN DATE APPR.		THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED		JOB MANAGER: CRAIG TERRY		ISSUED DATE: 30/05/2025				44035CT		C		410		P4	



Application No. : PLN-24-129

DATE RECEIVED: 2 June 2025

GLENORCHY CITY COUNCIL

PLANNING SERVICES

PIPE DETAILS

GRADE

DATE/TIME: 30/07/2025

PROJECT: 3517077

FILE LOCATION: -----

REV

AMENDMENTS

DRAWN

DATE

APPR.

DRAWING STATUS:

FOR DEVELOPMENT APPROVAL

COORDINATE/ DATUM:

PLANAR

THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED

DESIGNED:

SC

REVIEWED:

MS

DRAWN:

SC

REVIEWED:

MS

JOB MANAGER: CRAIG TERRY

ISSUED DATE: 30/05/2025

CLIENT:

PROJECT DESCRIPTION:

ADDRESS:

DRAWING TITLE:

GLENN JAY

61 LOT RESIDENTIAL SUBDIVISION

15 KARAMBI STREET, CHIGWELL, TAS

STORMWATER LONG SECTION

SHEET 2

PDA

SURVEYORS, ENGINEERS & PLANNERS

REGISTRATION NUMBER: ----

127 Bathurst Street

Hobart, Tasmania, 7000

PHONE: +61 03 6234 3217

FAX: +61 03 6234 5085

EMAIL: pda.hbt@pda.com.au

www.pda.com.au

Also at: Kingston,

Launceston & Burnie

CONTRACT NO.

JOB NUMBER

44035CT

SCALE

1: 500

PAPER

(A3)

DISCIPLINE

C

SHEET

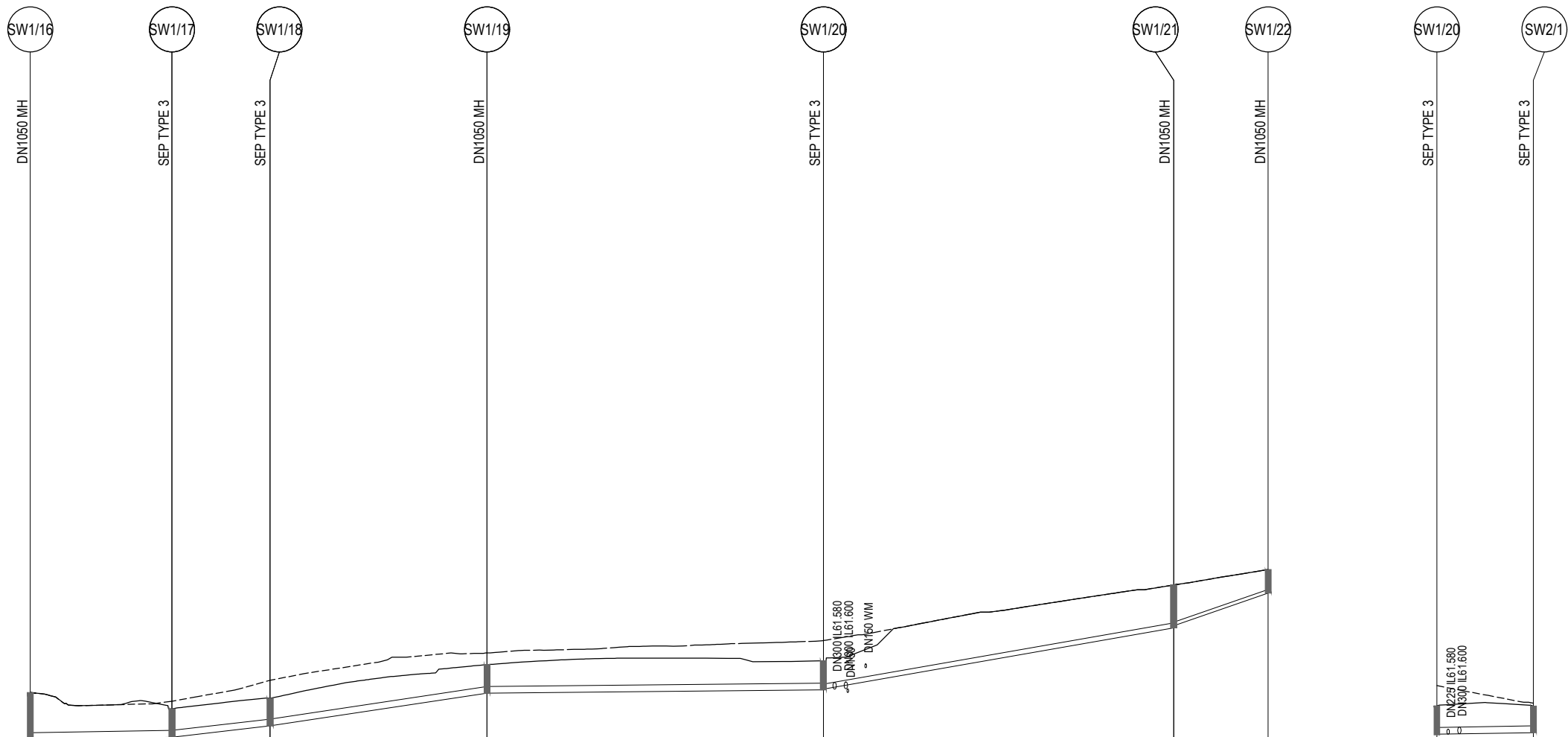
411

REVISION

P4

Document Set ID: 3517077

Version: 1, Version Date: 30/07/2025



NOTE: ALL PIPES TO BE POLYPROPYLENE RRJ SN8 GRADE UNLESS NOTED OTHERWISE


GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION NO: 24-129
DATE RECEIVED: 2 June 2025

DATUM RL 52.000m													
COVER	1.784	0.950	0.923		0.970		0.996	1.040		1.683	1.655	0.894	
DEPTH TO INVERT	2.084	1.250	1.223		1.270		1.296	1.266		1.909	1.809	1.048	
INVERT LEVEL	59.350	59.450	59.950		61.400		61.550	61.580		64.300	64.400	65.850	
FINISHED SURFACE	61.434	60.700	61.173		62.670		62.846			66.209		66.898	
EXISTING SURFACE	61.434	61.043	61.976		63.191		63.737			66.209		66.898	
12.595		8.722		19.280		29.894		31.137		8.393			

LONG SECTION - LINE SW1
SCALE: HORIZ 1:500 VERT 1:250

RL 54.000m		DN225 IL61.580 DN300 IL61.600		DN300 @ 0.82%	
0.966		1.266		61.580	
1.266		1.186		61.650	
61.580		61.650		62.846	
62.846		62.836		63.737	
63.737		62.955		8.581	

LONG SECTION - LINE SW2
SCALE: HORIZ 1:500 VERT 1:250

-	----	--	-/-/-/-/-	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT:	GLENN JAY 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS STORMWATER LONG SECTION SHEET 3	 PDA SURVEYORS, ENGINEERS & PLANNERS REGISTRATION NUMBER: ----	CONTRACT NO.	SCALE	PAPER			
-	----	--	-/-/-/-/-	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:			-----	1: 500	(A3)			
-	----	--	-/-/-/-/-	--		DRAWN:	REVIEWED:	ADDRESS:			JOB NUMBER	DISCIPLINE	SHEET	REVISION		
-	----	--	-/-/-/-/-	--	COORDINATE/ DATUM:	SC	MS	DRAWING TITLE:								
-	----	--	-/-/-/-/-	--	PLANAR	JOB MANAGER: CRAIG TERRY										
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025							44035CT	C	412	P4

SW1/20

SEP TYPE 3

SW3/1

SEP TYPE 3

SW1/12

DN1050 MH

SW4/1

SEP TYPE 4

SW4/2

SEP TYPE 4

SW4/3

SEP TYPE 3

SW4/4

SEP TYPE 4

SW4/5

SEP TYPE 4

NOTE: ALL PIPES TO BE
POLYPROPYLENE RRJ SN8 GRADE
UNLESS NOTED OTHERWISE

DN225 L61.580
DN300 L61.580

0

DN300
@ 0.71%

DATUM RL 54.000m

COVER	0.946	0.933
DEPTH TO INVERT	1.246	1.233
INVERT LEVEL	61.600	61.850
FINISHED SURFACE	62.846	63.083
EXISTING SURFACE	63.737	63.914

LONG SECTION - LINE SW3
SCALE: HORIZ 1:500 VERT 1:250

DN1050 L56.480

0

DN375
@ 5.57%

DN375
@ 3.91%

DN375
@ 3.33%

DN300
@ 6.12%

DN300
@ 8.70%

RL 53.000m

1.198	1.148	1.423	1.180	1.291	0.972
1.572	1.522	1.797	1.554	1.591	1.272
59.850	60.450	61.350	62.000	63.200	66.250
61.422	61.972	63.147	63.554	64.791	67.522
61.323	61.812	62.787	63.920	65.241	67.808

LONG SECTION - LINE SW4
SCALE: HORIZ 1:500 VERT 1:250

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION NO. PLS 24-129
DATE RECEIVED: 2 June 2025

-	----	--	-/-/-/-/-	--
-	----	--	-/-/-/-/-	--
-	----	--	-/-/-/-/-	--
-	----	--	-/-/-/-/-	--
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REV	AMENDMENTS	DRAWN	DATE	APPR.

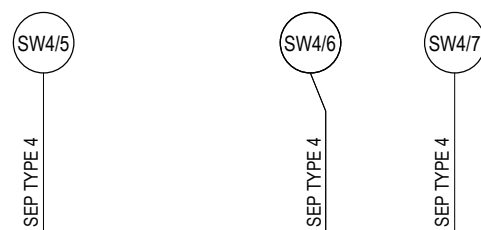
DRAWING STATUS:
FOR DEVELOPMENT APPROVAL
COORDINATE/ DATUM:
PLANAR
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DESIGNED:	REVIEWED:
SC	MS
DRAWN:	REVIEWED:
SC	MS
JOB MANAGER: CRAIG TERRY	
ISSUED DATE: 30/05/2025	

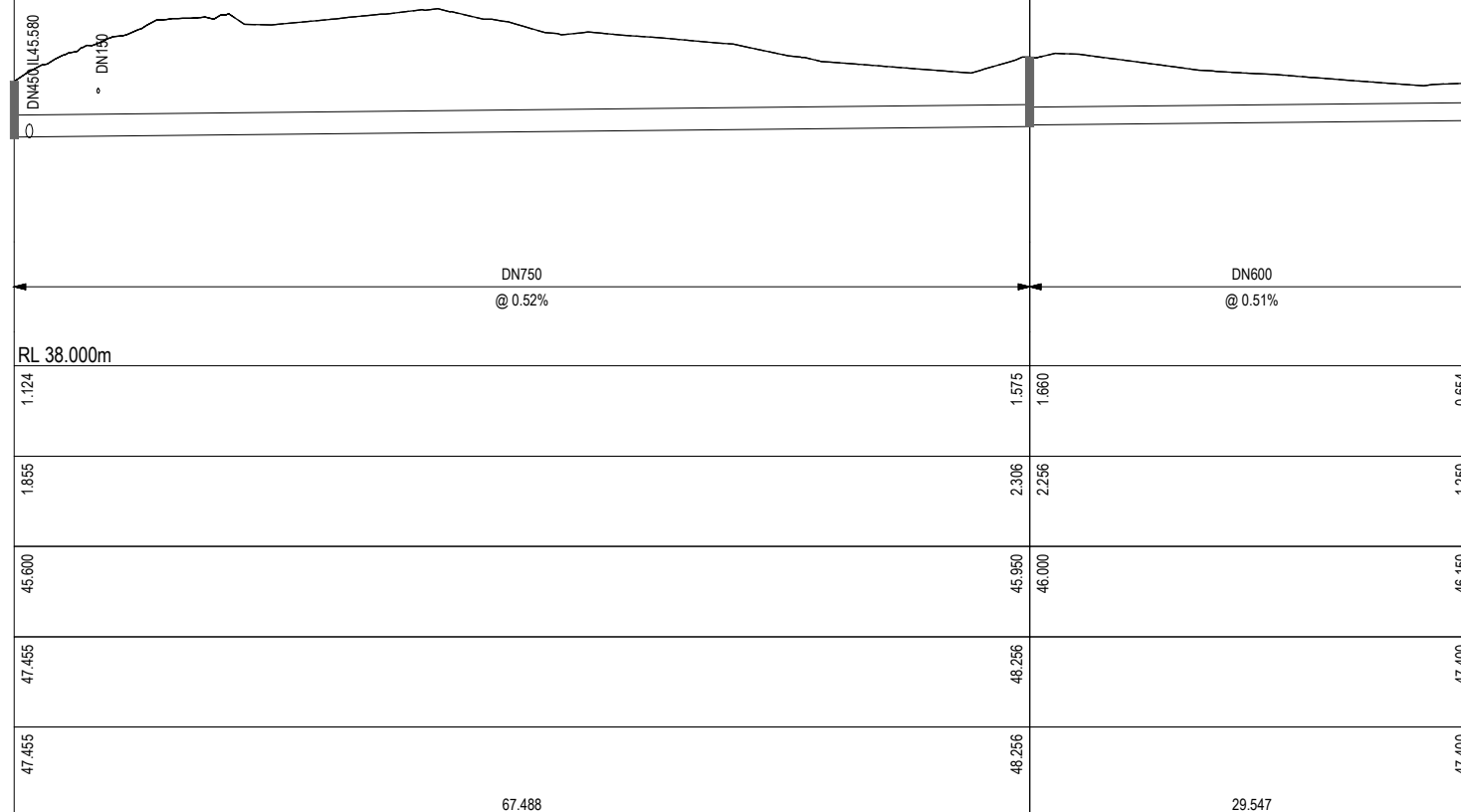
CLIENT:	GLENN JAY
PROJECT DESCRIPTION:	61 LOT RESIDENTIAL SUBDIVISION
ADDRESS:	15 KARAMBI STREET, CHIGWELL, TAS
DRAWING TITLE:	STORMWATER LONG SECTION SHEET 4

 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie
	REGISTRATION NUMBER: ----

CONTRACT NO.	SCALE	PAPER
-----	1: 500	(A3)
JOB NUMBER	DISCIPLINE	SHEET
44035CT	C	413 P4



NOTE: ALL PIPES TO BE POLYPROPYLENE RRJ SNE
GRADE UNLESS NOTED OTHERWISE



LONG SECTION - LINE SW4
SCALE: HORIZ 1:500 VERT 1:250

LONG SECTION - LINE SW5
SCALE: HORIZ 1:500 VERT 1:250

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION NO: PLEN-24-129


DATE RECEIVED: 2 June 2025

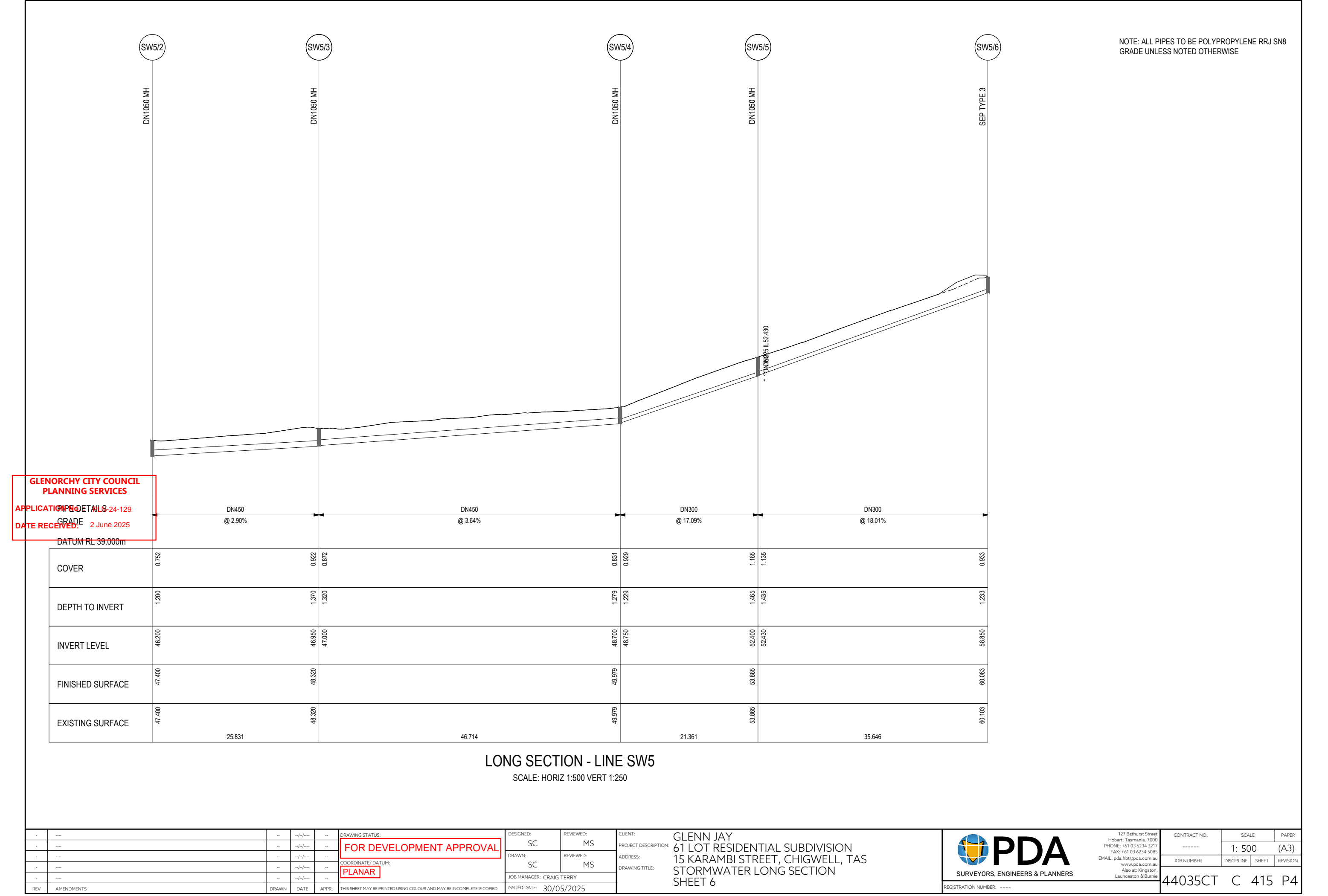
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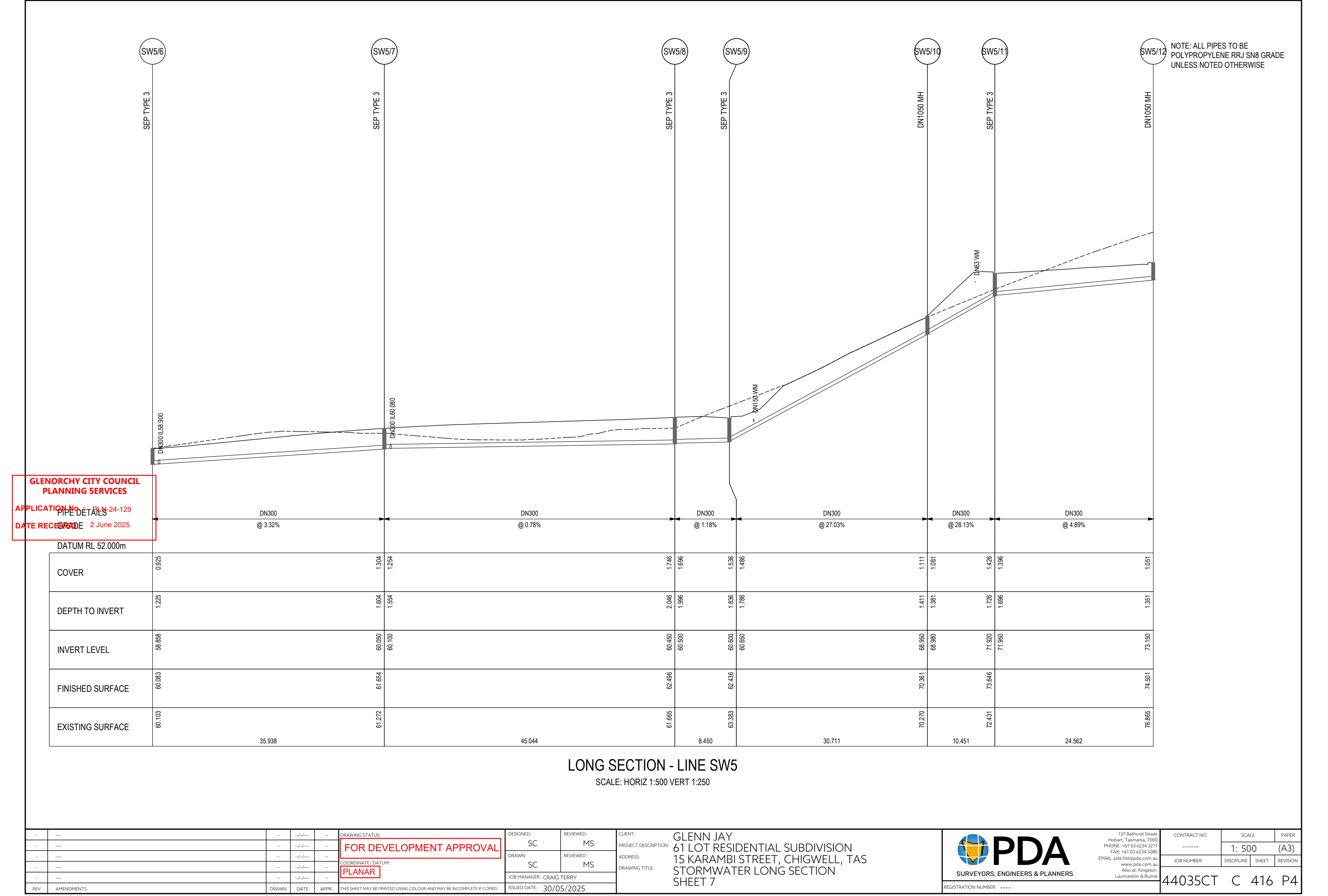
GRADE:

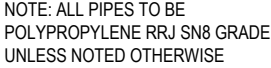
DATE: 15/06/2025

COVER	0.922	1.019	0.969	0.953
DEPTH TO INVERT	1.222	1.319	1.269	1.253
INVERT LEVEL	66.300	67.650	67.700	67.800
FINISHED SURFACE	67.522	68.969		69.053
EXISTING SURFACE	67.808	69.227		68.845
	18.676		8.515	

-	----	--	-/-/-	--	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT: GLENN JAY PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS DRAWING TITLE: STORMWATER LONG SECTION SHEET 5	 <div>127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hb@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie</div>	CONTRACT NO.	SCALE	PAPER	
-	----	--	-/-/-	--	FOR DEVELOPMENT APPROVAL	SC	MS			-----	1: 500	(A3)	
-	----	--	-/-/-	--	COORDINATE / DATUM:	DRAWN:	REVIEWED:			JOB NUMBER	DISCIPLINE	SHEET	REVISION
-	----	--	-/-/-	--	PLANAR	SC	MS						
-	----	--	-/-/-	--		JOB MANAGER: CRAIG TERRY							
REV	AMENDMENTS				DRAWN	DATE	APPR.	ISSUED DATE: 30/05/2025	REGISTRATION NUMBER: ----	44035CT C 414 P4			
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PIPE DETAILS
GRADE 2 June 2025

LONG SECTION - LINE SW6
SCALE: HORIZ 1:500 VERT 1:250

LONG SECTION - LINE SW7
SCALE: HORIZ 1:500 VERT 1:250

LONG SECTION - LINE SW8
SCALE: HORIZ 1:500 VERT 1:250

Document Set ID: 3517077
Version: 1, Version Date: 30/07/2025



DATUM RL 61.000m

LONG SECTION - LINE SW8
SCALE: HORIZ 1:500 VERT 1:250

SCALE: HORIZ 1:500 VERT 1:250



LONG SECTION - LINE SW9
SCALE: HORIZ 1:500 VERT 1:250

SCALE: HORIZ 1:500 VERT 1:250



LONG SECTION - LINE SW10
SCALE: HORIZ 1:500 VERT 1:250

SCALE: HORIZ 1:500 VERT 1:250

DATE/TIME: 07/07/2025 14:07:07

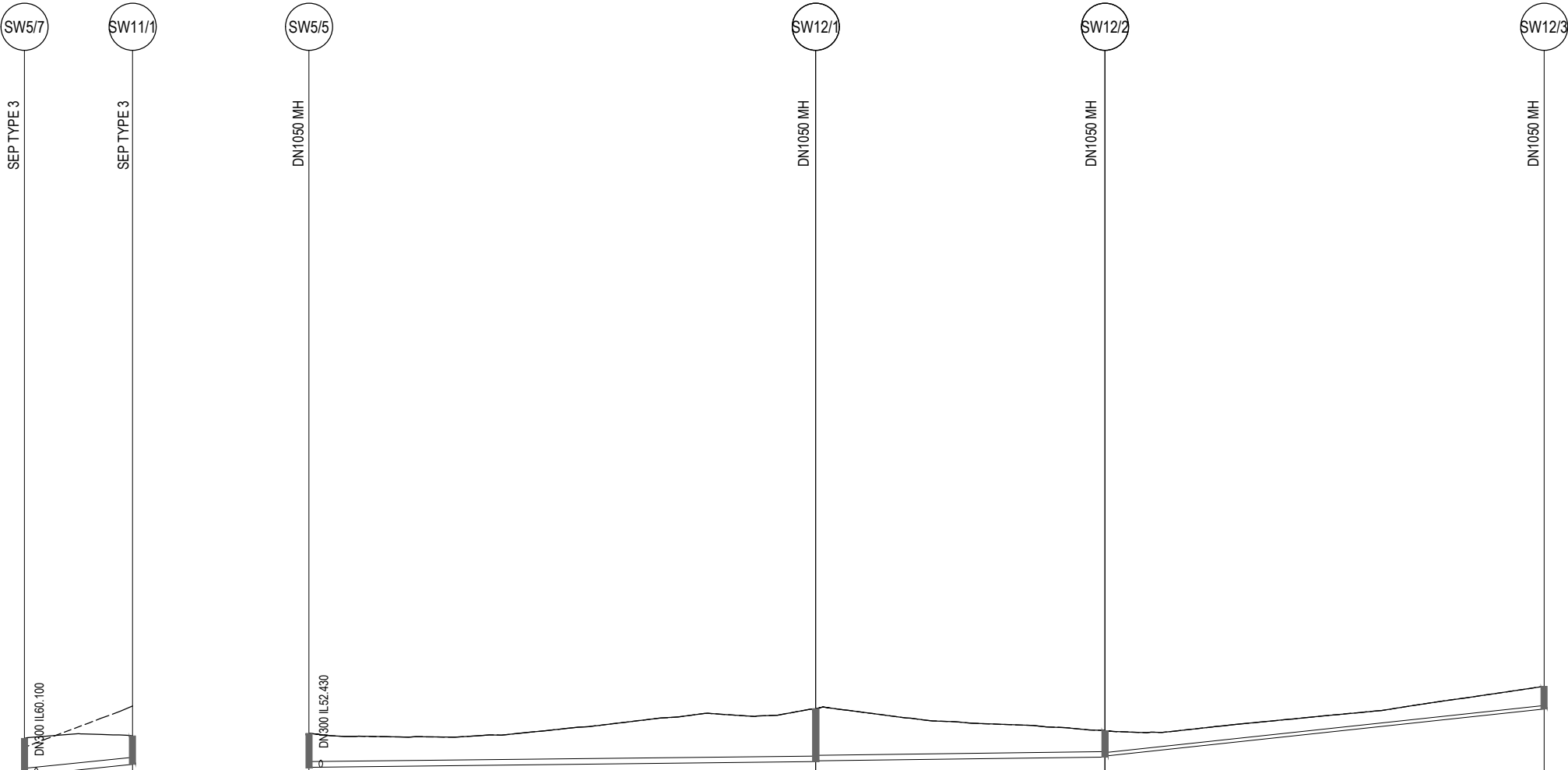
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FILE LOCATION:

Document Set ID: 3517077

Revision: 1, Version Date: 30/07/2025

NOTE: ALL PIPES TO BE POLYPROPYLENE RRJ SN8
GRADE UNLESS NOTED OTHERWISE



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No.: APLS-24-129

FILE DETAILS

DATE RECEIVED: 2 June 2025

GRADE

APPLICATION No. PLSN-24-129
PIPE DETAILS
GRADE
DATE RECEIVED: 2 June 2025

DATUM RL 53.000m

COVER	1.274	0.912
DEPTH TO INVERT	1.574	1.212
INVERT LEVEL	60.080	60.550
FINISHED SURFACE	61.654	61.762
EXISTING SURFACE	61.272	63.027
	9.175	


LONG SECTION - LINE SW1

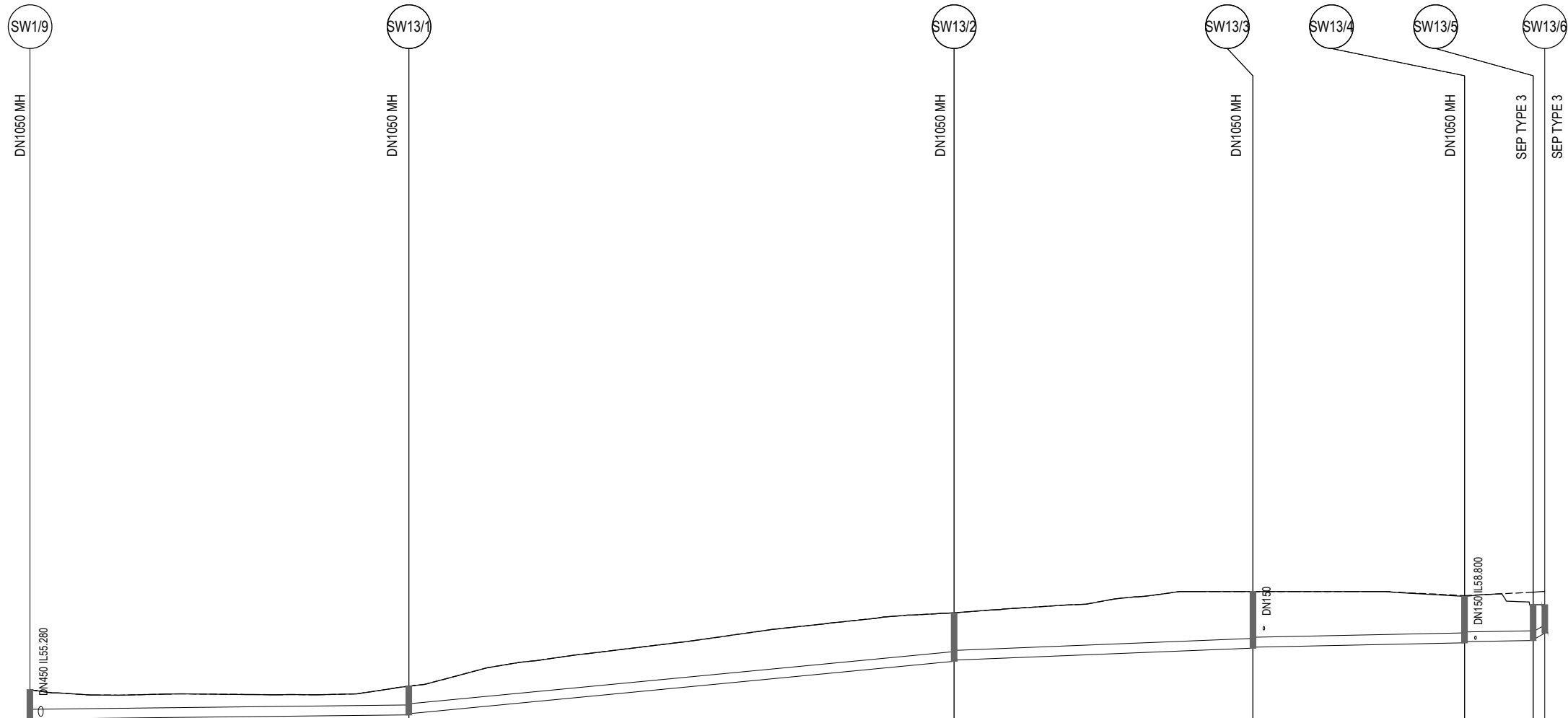
SCALE: HORIZ 1:500 VERT 1:250

Sewer Section 1		Sewer Section 2		Sewer Section 3	
Stationing	Depth (m)	Stationing	Depth (m)	Stationing	Depth (m)
43.053	53.865	24.571	53.988	37.302	55.863
52.430	53.865	52.700	53.988	52.900	55.863
52.430	52.430	52.700	52.868	52.900	54.900
1.435	52.430	2.249	52.868	1.131	54.900
1.196	52.430	2.010	52.868	0.892	54.900
1.196	52.430	1.980	52.868	0.934	54.900
43.053	53.865	24.571	53.988	37.302	55.863

LONG SECTION - LINE SW12

SCALE: HORIZ 1:500 VERT 1:250

				DRAWING STATUS:		DESIGNED: SC		REVIEWED: MS		CLIENT: GLENN JAY PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS DRAWING TITLE: STORMWATER LONG SECTION SHEET 10		<div><div><div>127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie</div></div></div> <div>SURVEYORS, ENGINEERS & PLANNERS</div>		CONTRACT NO.		SCALE		PAPER	
				FOR DEVELOPMENT APPROVAL		DRAWN: SC		REVIEWED: MS						-----		1: 500		(A3)	
						COORDINATE / DATUM:													
						PLANAR													
						JOB MANAGER: CRAIG TERRY										JOB NUMBER		DISCIPLINE	
REV AMENDMENTS				DRAWN DATE APPR.		THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED		ISSUED DATE: 30/05/2025				REGISTRATION NUMBER: ----		44035CT		C		419 P4	




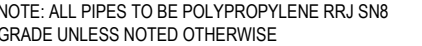
NOTE: ALL PIPES TO BE POLYPROPYLENE RRJ SN8 GRADE UNLESS NOTED OTHERWISE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION NO: 24-129
DATE RECEIVED: 2 June 2025

	DN450	DN450	DN450	DN450	DN450	DN450	DN375
	@ 0.58%	@ 4.80%	@ 2.01%	@ 1.03%	@ 0.79%	@ 29.04%	
COVER	0.901	0.856	1.776	2.152	1.671	1.192	0.927
DEPTH TO INVERT	1.349	1.304	2.224	2.600	2.119	1.640	1.301
INVERT LEVEL	55.150	55.350	57.800	58.400	58.650	58.750	59.090
FINISHED SURFACE	56.499	56.654	60.024	61.000	60.769	60.390	60.391
EXISTING SURFACE	56.499	56.654	60.024	61.000	60.811	60.964	61.000
	34.740	49.976	27.400	19.393	6.294	1.067	

LONG SECTION - LINE SW13
SCALE: HORIZ 1:500 VERT 1:250

DRAWING STATUS: FOR DEVELOPMENT APPROVAL				DESIGNED: SC	REVIEWED: MS	CLIENT: GLENN JAY PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS STORMWATER LONG SECTION SHEET 11	 PDA SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie		CONTRACT NO. -----	SCALE 1: 500	PAPER (A3)
COORDINATE/ DATUM: PLANAR				DRAWN: SC	REVIEWED: MS			JOB NUMBER 44035CT	DISCIPLINE C	SHEET 420	REVISION P4	
JOB MANAGER: CRAIG TERRY				ISSUED DATE: 30/05/2025				REGISTRATION NUMBER: ----				
THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED												
REV	AMENDMENTS	DRAWN	DATE	APPR.								



~~DATUM RL 62.000m~~

61.732	62.286	60.914	1.352	1.052	
62.281	62.701	61.250	1.451	1.151	
63.476	62.883	61.650	1.233	0.933	
61.732	62.286	60.914	1.352	1.052	0.893
62.281	62.701	61.250	1.451	1.151	1.047
63.476	62.883	61.650	1.233	0.933	67.250
61.732	62.286	60.914	1.352	1.052	68.297
62.281	62.701	61.250	1.451	1.151	68.297
63.476	62.883	61.650	1.233	0.933	68.297
35.036					51.442
12.038					

SCALE: HORIZ 1:500 VERT 1:250

SCALE: HORIZ 1:500 VERT 1:250

Document Set ID: 3517077
Version: 1, Version Date: 30/07/2025

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION NO: 4-129
DATE RECEIVED: 2 June 2025

NOTE: ALL PIPES TO BE
POLYPROPYLENE RRJ SN8 GRADE
UNLESS NOTED OTHERWISE

SW16/4
SEP TYPE 4

SW18/1
DN1050 MH

SW16/3
SEP TYPE 4

SW19/1
SEP TYPE 4

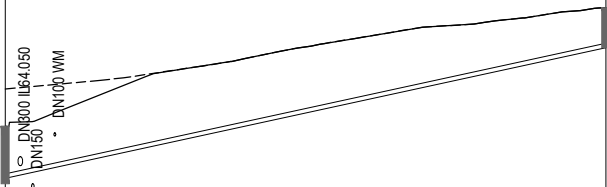
SW16/1
SEP TYPE 3

SW20/1
SEP TYPE 3

SW20/2
DN1050 MH

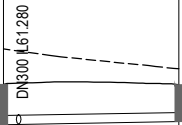
SW1/8
DN1050 MH

SW21/1
I.O.S



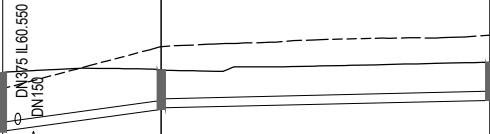
LONG SECTION - LINE SW18

SCALE: HORIZ 1:500 VERT 1:250



LONG SECTION - LINE SW19

SCALE: HORIZ 1:500 VERT 1:250




LONG SECTION - LINE SW20

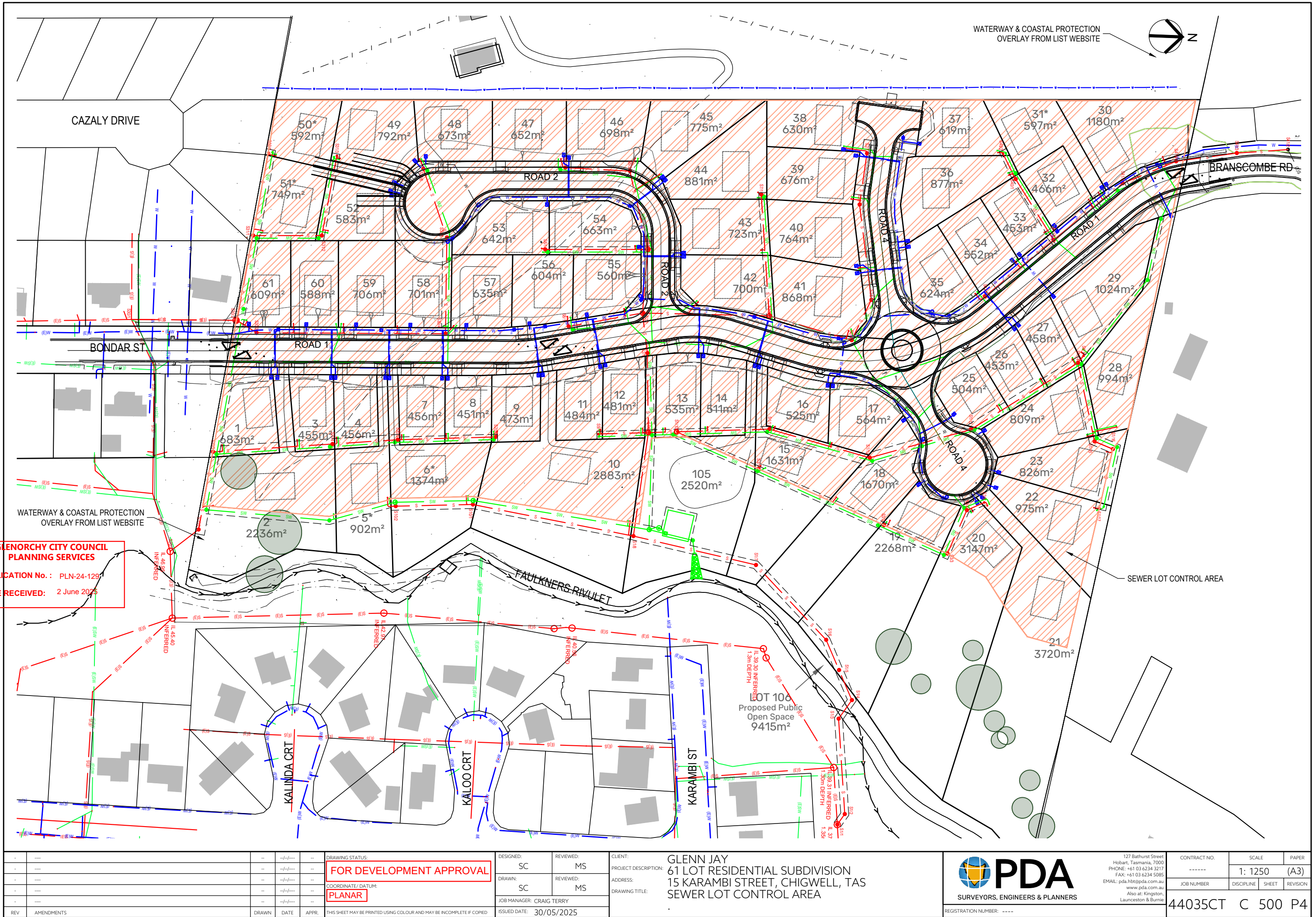
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LONG SECTION - LINE SW21

SCALE: HORIZ 1:500 VERT 1:250

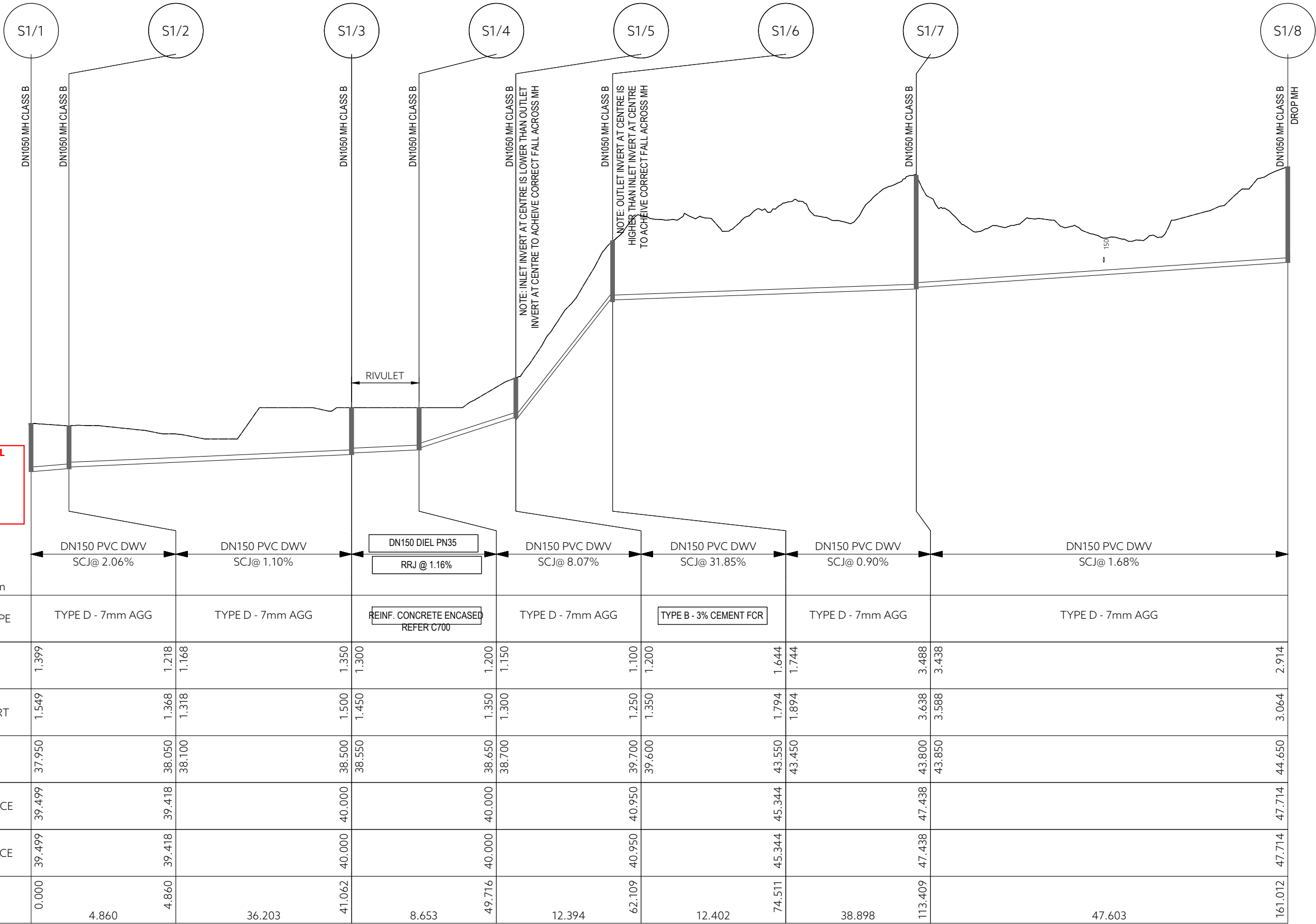
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-	----	--	-/-/-/-/-	--	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:				-----	1: 500	(A3)
-	----	--	-/-/-/-/-	--	COORDINATE/ DATUM:	DRAWN:	REVIEWED:	ADDRESS:				JOB NUMBER	DISCIPLINE	SHEET
-	----	--	-/-/-/-/-	--	PLANAR	SC	MS	DRAWING TITLE:				44035CT	C	423
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	JOB MANAGER: CRAIG TERRY	ISSUED DATE:	30/05/2025				P4		



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025



SEWER LONG SECTION - LINE S1

SCALE: HORIZ 1:500 VERT 1:125

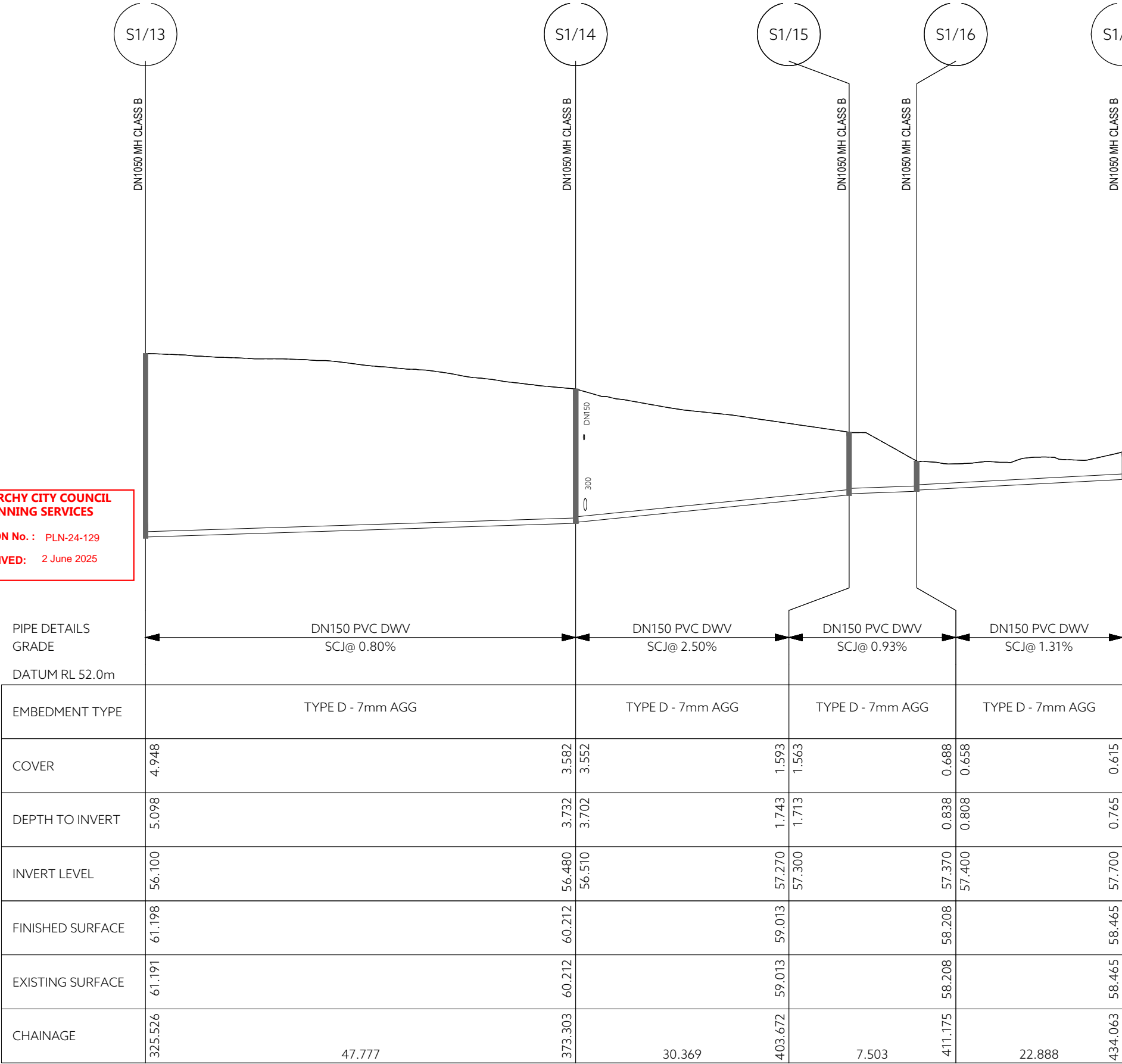
DESIGNED: SC	REVIEWED: MS	CLIENT: GLENN JAY
DRAWN: SC	REVIEWED: MS	PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION
JOB MANAGER: CRAIG TERRY		ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS
ISSUED DATE: 30/05/2025		DRAWING TITLE: SEWER LONG SECTION SHEET 1

CONTRACT NO. -----	SCALE 1: 500	PAPER (A3)
JOB NUMBER 44035CT	DISCIPLINE C	SHEET 510
REVISION P4		

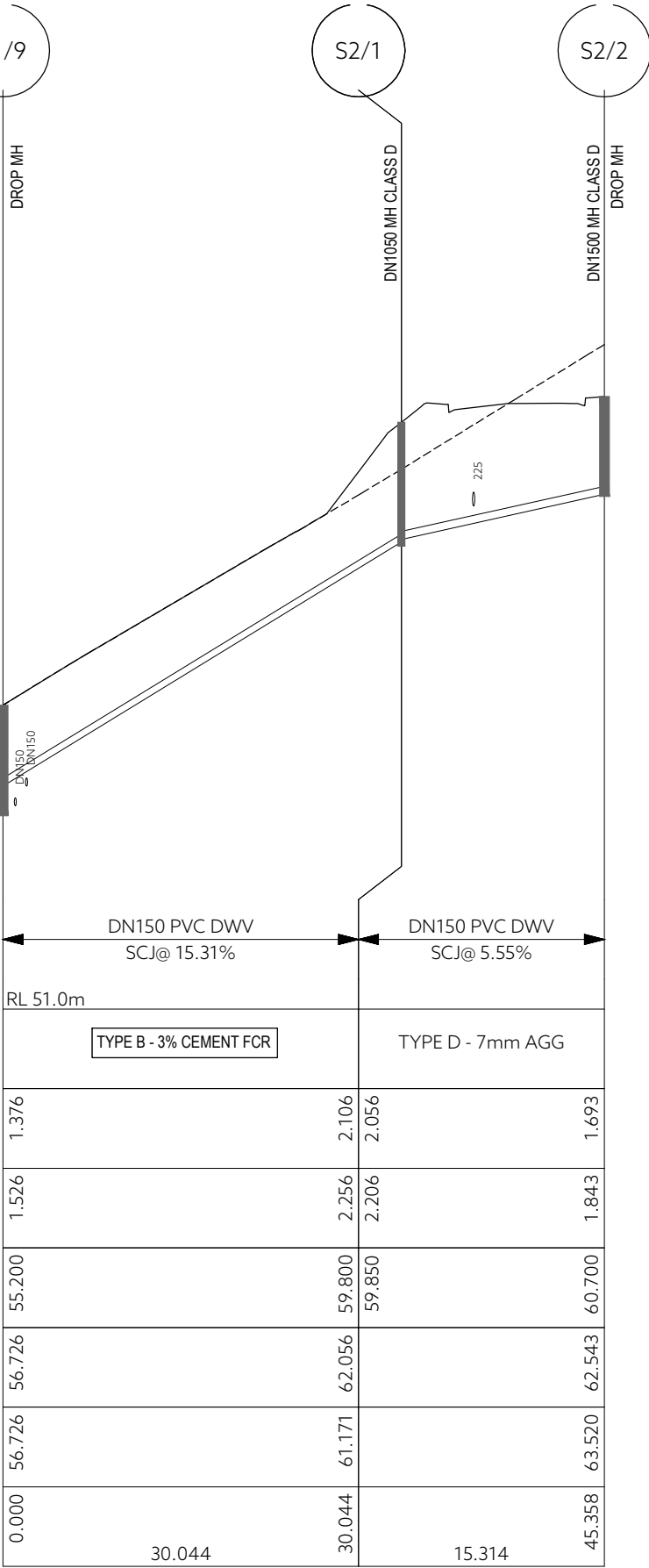
REGISTRATION NUMBER: ----	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie
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DATE/TIME: 30/07/2025	FILE LOCATION: -----
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GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025



SEWER LONG SECTION - LINE S1
SCALE: HORIZ 1:500 VERT 1:125



SEWER LONG SECTION - LINE S2
SCALE: HORIZ 1:500 VERT 1:125

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025

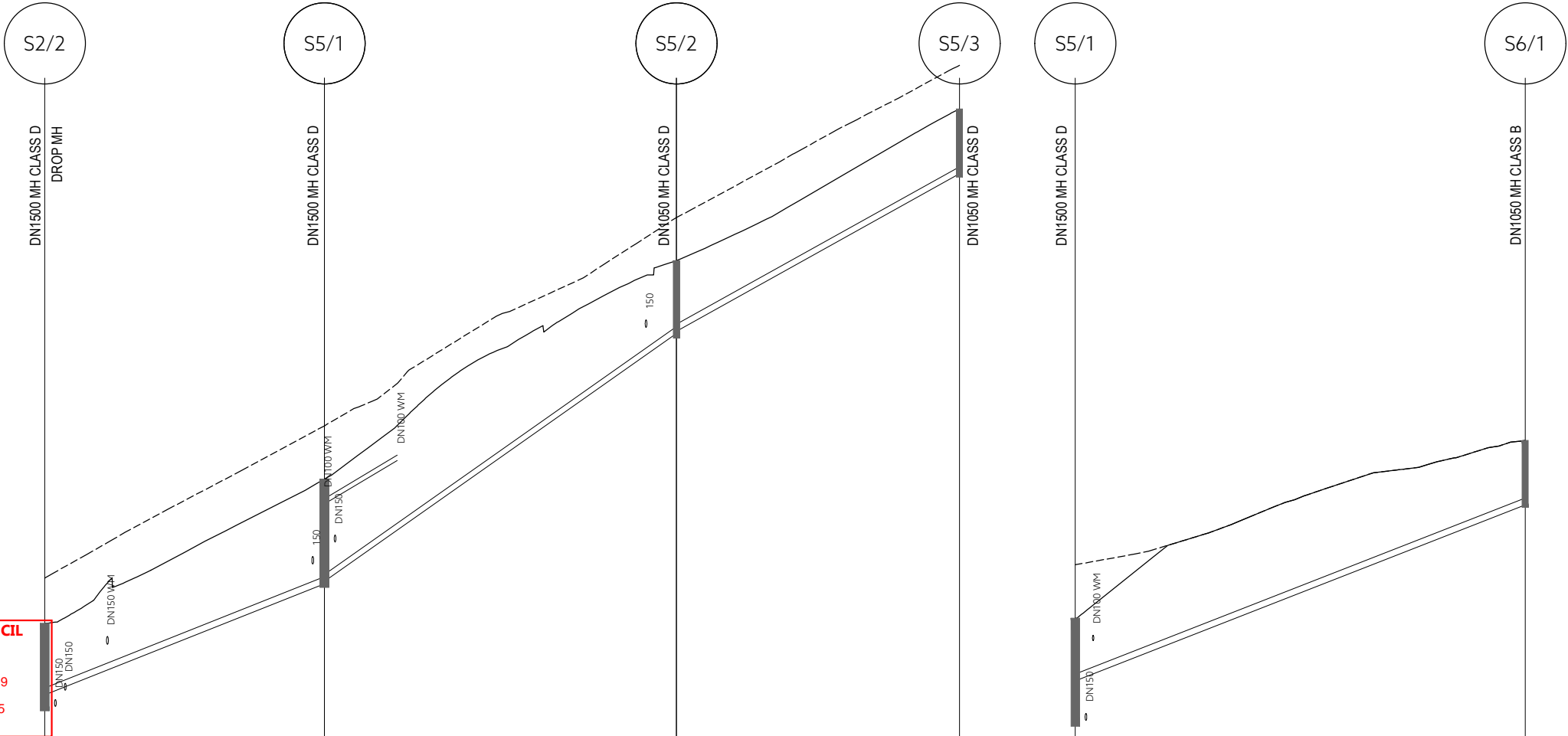


PIPE DETAILS	DN150 PVC DWV SCJ@ 2.50%				DN150 PVC DWV SCJ@ 0.76%				DN150 PVC DWV SCJ@ 7.39%				DN150 PVC DWV SCJ@ 7.56%				DN150 PVC DWV SCJ@ 7.41%			
GRADE																				
DATUM RL 57.0m																				
EMBEDMENT TYPE	TYPE D - 7mm AGG				TYPE D - 7mm AGG				TYPE D - 7mm AGG				TYPE D - 7mm AGG				TYPE D - 7mm AGG			
COVER	1.643			1.936	1.886			1.266	1.216			1.259	1.209			1.314	1.264	1.241		
DEPTH TO INVERT	1.793			2.086	2.036			1.416	1.366			1.409	1.359			1.464	1.414	1.391		
INVERT LEVEL	60.750			61.950	62.000			62.250	62.300			63.550	63.600			66.350	66.400	67.850		
FINISHED SURFACE	62.543			64.036				63.666				64.959				67.814		69.241		
EXISTING SURFACE	63.520			64.035				63.974				65.172				67.898		69.397		
CHAINAGE	45.358	47.971		93.330	32.721		126.051	16.918		142.969	36.359		179.329	19.572		198.901				

SEWER LONG SECTION - LINE S2

SCALE: HORIZ 1:500 VERT 1:125

- - - - -		- -	-/-
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-24-129
DATE RECEIVED: 2 June 2025

PIPE DETAILS	DN150 PVC DWV		DN150 PVC DWV		DN150 PVC DWV	
GRADE	SCJ@ 9.94%		SCJ@ 17.60%		SCJ@ 13.91%	
DATUM RL 57.0m						
EMBEDMENT TYPE	TYPE D - 7mm AGG		TYPE B - 3% CEMENT FCR		TYPE B - 3% CEMENT FCR	
COVER	1.393	2.106	2.056	1.424	1.374	1.247
DEPTH TO INVERT	1.543	2.256	2.206	1.574	1.524	1.397
INVERT LEVEL	61.000	63.400	63.450	68.800	68.850	72.250
FINISHED SURFACE	62.543	65.656		70.374		73.647
EXISTING SURFACE	63.520	66.808		71.305		74.588
CHAINAGE	0.000	24.150	30.403	54.553	24.439	78.992

SEWER LONG SECTION - LINE S5
SCALE: HORIZ 1:500 VERT 1:125

PIPE DETAILS	DN150 PVC DWV		
GRADE	SCJ@ 9.78%		
DATUM RL 60.0m			
EMBEDMENT TYPE	TYPE D - 7mm AGG		
COVER	1.206		1.241
DEPTH TO INVERT	1.356		1.391
INVERT LEVEL	64.300		68.100
FINISHED SURFACE	65.656		69.491
EXISTING SURFACE	66.808		69.491
CHAINAGE	0.000		38.853

SEWER LONG SECTION - LINE S6
SCALE: HORIZ 1:500 VERT 1:125

DESIGNED: SC	REVIEWED: MS	CLIENT: GLENN JAY
DRAWN: SC	REVIEWED: MS	PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION
JOB MANAGER: CRAIG TERRY		ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS
ISSUED DATE: 30/05/2025		DRAWING TITLE: SEWER LONG SECTION SHEET 6

CONTRACT NO. -----	SCALE 1: 500	PAPER (A3)
JOB NUMBER 44035CT	DISCIPLINE C	SHEET 515
REVISION P4		

PDA
SURVEYORS, ENGINEERS & PLANNERS

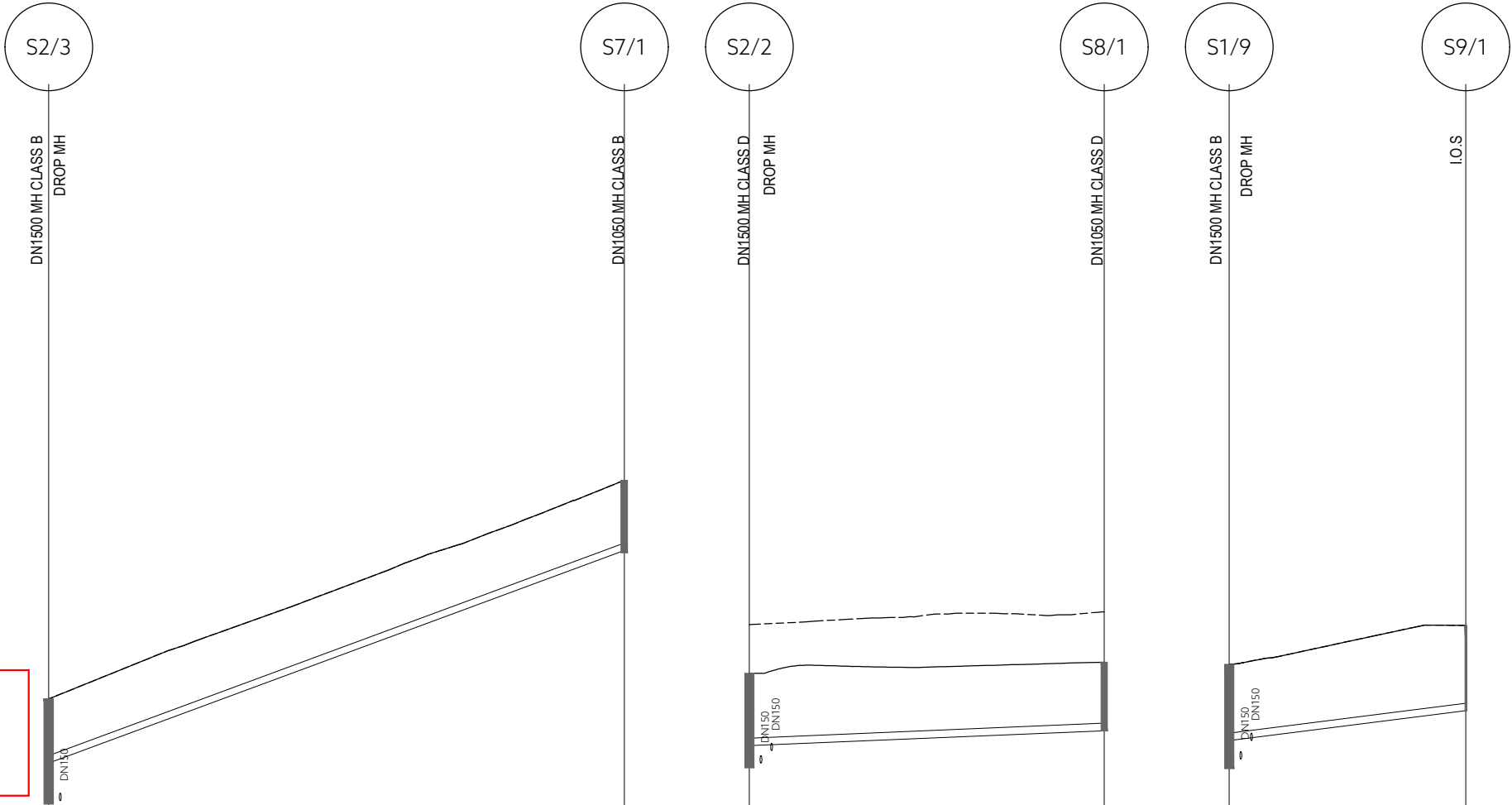
127 Bathurst Street
Hobart, Tasmania, 7000
PHONE: +61 03 6234 3217
FAX: +61 03 6234 5085
EMAIL: pda.hbt@pda.com.au
www.pda.com.au
Also at: Kingston,
Launceston & Burnie

REGISTRATION NUMBER: ----

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

DATE RECEIVED: 2 June 2025



PIPE DETAILS	DN150 PVC DWV	
GRADE	SCJ@ 9.23%	
DATUM RL 59.0m		
EMBEDMENT TYPE	TYPE D - 7mm AGG	
COVER	1.136	1.254
DEPTH TO INVERT	1.286	1.404
INVERT LEVEL	62.750	67.000
FINISHED SURFACE	64.036	68.404
EXISTING SURFACE	64.035	68.404
CHAINAGE	0.000	46.032

SEWER LONG SECTION - LINE S7

SCALE: HORIZ 1:500 VERT 1:125

PIPE DETAILS	DN150 PVC DWV	
GRADE	SCJ@ 1.06%	
DATUM RL 57.0m		
EMBEDMENT TYPE	TYPE D - 7mm AGG	
COVER	1.293	1.218
DEPTH TO INVERT	1.443	1.368
INVERT LEVEL	61.100	61.400
FINISHED SURFACE	62.543	62.768
EXISTING SURFACE	63.520	63.772
CHAINAGE	0.000	28.376


SEWER LONG SECTION - LINE S8

SCALE: HORIZ 1:500 VERT 1:125

PIPE DETAILS	DN150 PVC DWV	
GRADE	SCJ@ 3.17%	
DATUM RL 51.0m		
EMBEDMENT TYPE	TYPE D - 7mm AGG	
COVER	1.376	1.555
DEPTH TO INVERT	1.526	1.705
INVERT LEVEL	55.200	55.800
FINISHED SURFACE	56.726	57.505
EXISTING SURFACE	56.726	57.505
CHAINAGE	0.000	18.915

SEWER LONG SECTION - LINE S9

SCALE: HORIZ 1:500 VERT 1:125

				DRAWING STATUS:		DESIGNED: SC		REVIEWED: MS		CLIENT: GLENN JAY		<div>PDA SURVEYORS, ENGINEERS & PLANNERS</div> <div>REGISTRATION NUMBER: ----</div>	CONTRACT NO. -----		SCALE 1: 500		PAPER (A3)	
				FOR DEVELOPMENT APPROVAL		DRAWN: SC		REVIEWED: MS		PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION								
				COORDINATE/ DATUM: PLANAR						ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS			JOB NUMBER 44035CT		DISCIPLINE C		SHEET 516	
										DRAWING TITLE: SEWER LONG SECTION								
						JOB MANAGER: CRAIG TERRY		ISSUED DATE: 30/05/2025		SHEET 7								
REV	AMENDMENTS			DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED											



SEWER LONG SECTION - LINE S10

SCALE: HORIZ 1:500 VERT 1:125


Document Set ID: 3517077
Version: 1, Version Date: 30/07/2025



PIPE DETAILS GRADE	DN150 PVC DWV SCJ@ 1.25%		DN150 PVC DWV SCJ@ 1.02%		DN150 PVC DWV SCJ@ 2.10%		DN150 PVC DWV SCJ@ 27.16%	
	DATUM RL 55.0m						RL 57.0m	
EMBEDMENT TYPE	TYPE D - 7mm AGG		TYPE D - 7mm AGG		TYPE D - 7mm AGG		TYPE B - 3% CEMENT FCR	
COVER	2.103	2.289	2.259	0.837	0.807	1.281	1.381	2.614
DEPTH TO INVERT	2.253	2.439	2.409	0.987	0.957	1.431	1.531	2.764
INVERT LEVEL	59.100	59.600	59.630	59.720	59.750	61.250	61.150	71.050
FINISHED SURFACE	61.353	62.039		60.707		62.681		73.814
EXISTING SURFACE	61.453	62.642		62.542		63.880		72.003
CHAINAGE	0.000	39.845	39.845	48.633	71.535	120.168	156.616	

SEWER LONG SECTION - LINE S30

SCALE: HORIZ 1:500 VERT 1:125

-	----	-	-----	-	-----	-	-----	-	-----	DRAWING STATUS:	DESIGNED:	REVIEWED:	CLIENT: PROJECT DESCRIPTION: ADDRESS: DRAWING TITLE:	GLENN JAY 61 LOT RESIDENTIAL SUBDIVISION 15 KARAMBI STREET, CHIGWELL, TAS SEWER LONG SECTION SHEET 10	<div><div></div><div><div>127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie</div></div></div> <div>SURVEYORS, ENGINEERS & PLANNERS</div>	CONTRACT NO.	SCALE	PAPER	
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-	----	-	-----	-	-----	-	-----	-	-----	PLANAR	SC	MS				Also at: Kingston, Launceston & Burnie			
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED					JOB MANAGER: CRAIG TERRY	ISSUED DATE:	30/05/2025				REGISTRATION NUMBER: ----	44035CT C 519 P4		

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

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PIPE DETAILS		DN150 PVC DWV	
GRADE		SCJ@ 6.75%	
DATUM RL 67.0m			
EMBEDMENT TYPE		TYPE D - 7mm AGG	
COVER	2.564		1.411
DEPTH TO INVERT	2.714		1.561
INVERT LEVEL	71.100		72.950
FINISHED SURFACE	73.814		74.511
EXISTING SURFACE	72.003		76.933
CHAINAGE	156.616	27.419	184.035

SEWER LONG SECTION - LINE S30

SCALE: HORIZ 1:500 VERT 1:125

DN150 PVC DWV		DN150 PVC DWV		DN150 PVC DWV		DN150 PVC DWV	
SCJ@ 18.84%		SCJ@ 10.00%		SCJ@ 14.80%		SCJ@ 16.89%	
RL 57.0m		RL 66.0m					
TYPE B - 3% CEMENT FCR		TYPE D - 7mm AGG		TYPE B - 3% CEMENT FCR		TYPE B - 3% CEMENT FCR	
COVER	0.639	1.329	1.279	1.438	1.388		1.213
DEPTH TO INVERT	0.789	1.479	1.429	1.588	1.538		1.363
INVERT LEVEL	61.250	67.400	67.450	70.050	70.100		74.650
FINISHED SURFACE	62.039	68.879		71.638			76.013
EXISTING SURFACE	62.642	68.879		71.638			76.013
CHAINAGE	0.000	32.638	26.005	58.643	30.746	89.389	


SEWER LONG SECTION - LINE S31

SCALE: HORIZ 1:500 VERT 1:125

DN150 PVC DWV		DN150 PVC DWV	
SCJ@ 16.89%		SCJ@ 16.89%	
RL 64.0m			
TYPE B - 3% CEMENT FCR		TYPE B - 3% CEMENT FCR	
COVER	1.229		1.241
DEPTH TO INVERT	1.379		1.391
INVERT LEVEL	67.500		72.900
FINISHED SURFACE	68.879		74.291
EXISTING SURFACE	68.879		74.291
CHAINAGE	0.000	31.970	31.970

SEWER LONG SECTION - LINE S32

SCALE: HORIZ 1:500 VERT 1:125


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-				---	---	---	---	FOR DEVELOPMENT APPROVAL	SC	MS	PROJECT DESCRIPTION:				-----	1: 500	(A3)	
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-				---	---	---	---		JOB MANAGER: CRAIG TERRY									
REV	AMENDMENTS			DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED		ISSUED DATE: 30/05/2025						44035CT C 520 P4			



PIPE DETAILS GRADE	DN150 PVC DWV SCJ@ 1.04%		DN150 PVC DWV SCJ@ 1.03%		DN150 PVC DWV SCJ@ 1.04%		DN150 PVC DWV SCJ@ 7.56%		DN150 PVC DWV SCJ@ 1.03%		DN150 PVC DWV SCJ@ 1.04%	
	DATUM RL 54.0m											
EMBEDMENT TYPE	TYPE D - 7mm AGG		TYPE D - 7mm AGG		TYPE D - 7mm AGG		TYPE D - 7mm AGG		TYPE D - 7mm AGG		TYPE D - 7mm AGG	
COVER	2.981	2.140	2.110	0.842	0.812	2.227	1.247	1.406	1.356	1.442	1.392	1.279
DEPTH TO INVERT	3.131	2.290	2.260	0.992	0.962	2.377	1.397	1.556	1.506	1.592	1.542	1.429
INVERT LEVEL	57.750	57.920	57.950	58.150	58.180	58.420	59.400	61.050	61.100	61.450	61.500	61.850
FINISHED SURFACE	60.881	60.210		59.142		60.797		62.606		63.042		63.279
EXISTING SURFACE	60.881	60.210		59.142		61.577		63.413		63.953		64.111
CHAINAGE	0.000	16.365	16.365	35.785	35.785	58.964	58.964	80.795	80.795	114.635	114.635	148.225
	16.365		19.420		23.179		21.831		33.840		33.590	

SEWER LONG SECTION - LINE S41

SCALE: HORIZ 1:500 VERT 1:125

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-	----	--	-----	--	<div>PLANAR</div>									
-	----	--	-----	--	JOB MANAGER: CRAIG TERRY									
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025								
											44035CT C 521 P4			

S41/6

S40/1

S40/2

DN1050 MH CLASS D

DN1050 MH CLASS B

LOS

DN150 W/M

DN150

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-24-129

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PIPE DETAILS
GRADE

DN150 PVC DWV
SCJ@ 11.61%

DN150 PVC DWV
SCJ@ 8.33%

DATUM RL 58.0m

EMBEDMENT TYPE

TYPE B - 3% CEMENT FCR

TYPE D - 7mm AGG

COVER

1.392

1.271

1.221

1.198

DEPTH TO INVERT

1.542

1.421

1.371

1.348

INVERT LEVEL

61.500

64.650

64.700

65.600

FINISHED SURFACE

63.042

66.071

66.948

EXISTING SURFACE

63.953

66.071

66.948

CHAINAGE

0.000


27.140

10.809

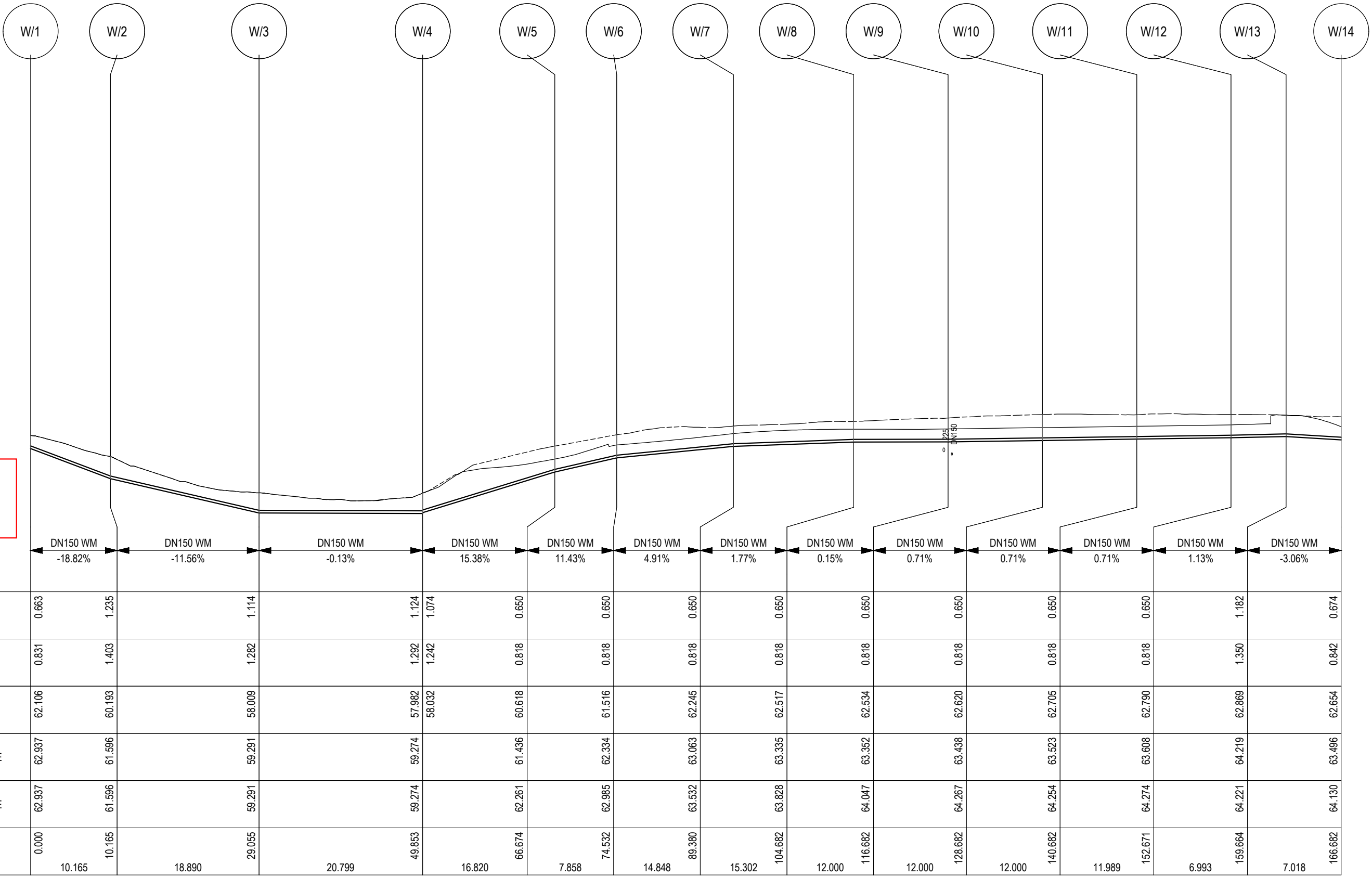
37.950

SEWER LONG SECTION - LINE S40


SCALE: HORIZ 1:500 VERT 1:125

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-	----	--	-/-/----	--	PLANAR	JOB MANAGER: CRAIG TERRY										
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE:	30/05/2025			REGISTRATION NUMBER: ----			44035CT	C	522	P4

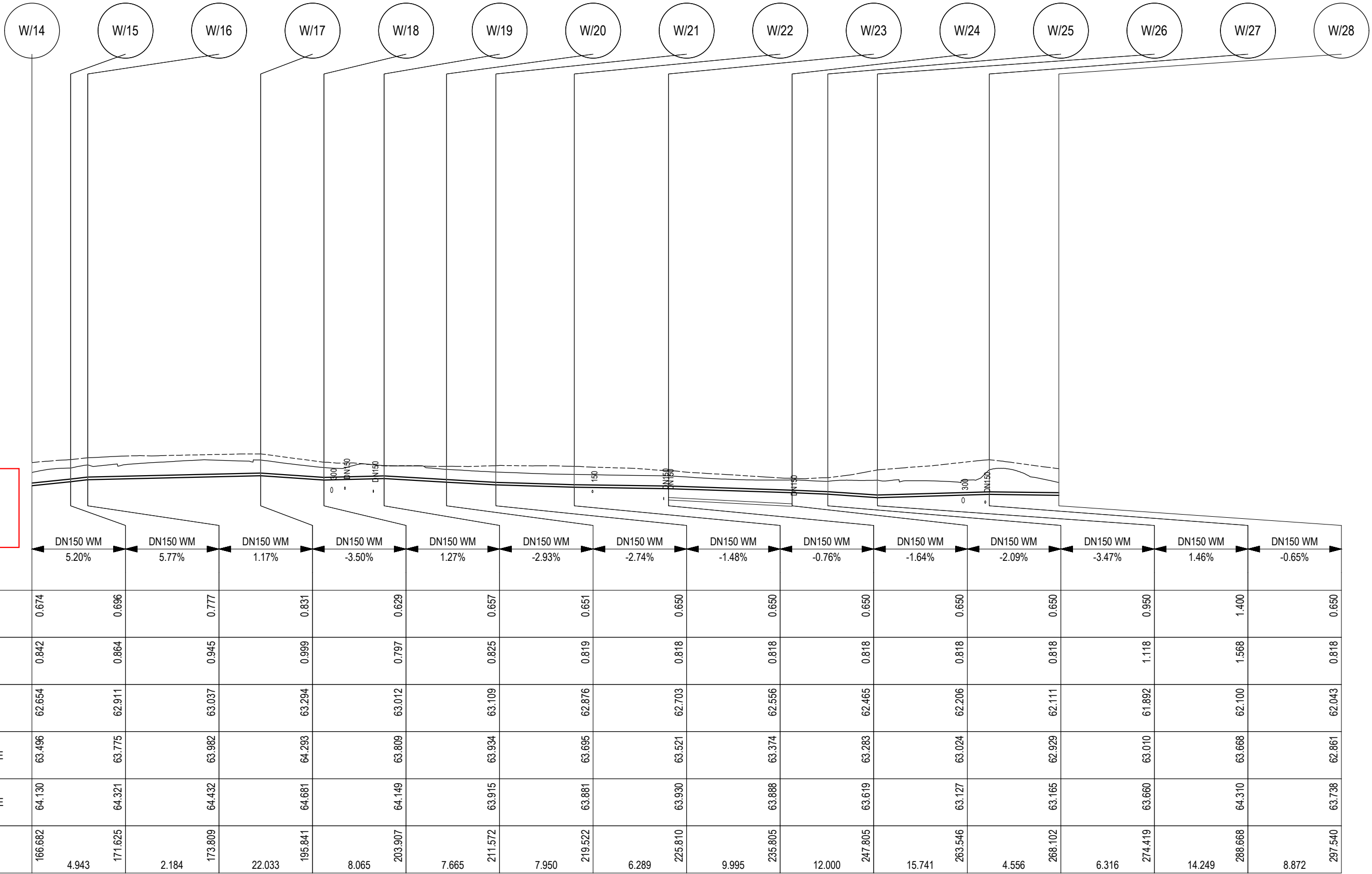
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No.: PLN-24-129
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WATER LONG SECTION - LINE W
SCALE: HORIZ 1:500 VERT 1:250

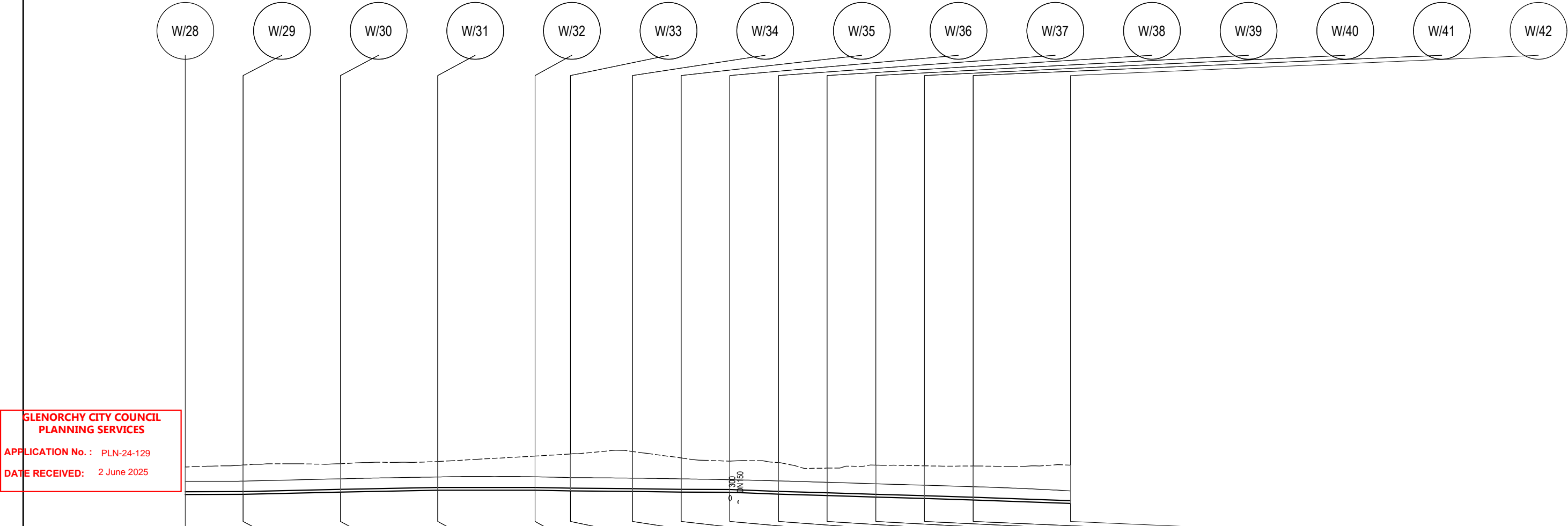
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- - - - -				--	-/-/-/-/-	--	PLANAR	JOB MANAGER: CRAIG TERRY								
REV	AMENDMENTS			DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025		44035CT C 600 P4						

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No.: PLN-24-129
DATE RECEIVED: 2 June 2025
PIPE DETAILS



WATER LONG SECTION - LINE W
SCALE: HORIZ 1:500 VERT 1:250

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REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE: 30/05/2025			44035CT C 601 P4				
REGISTRATION NUMBER: ----													



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PLANNING SERVICES

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PIPE DETAILS	← DN150 WM 0.08%	← DN150 WM 1.19%	← DN150 WM 0.93%	← DN150 WM 0.07%	← DN150 WM -1.08%	← DN150 WM -0.41%	← DN150 WM -0.70%	← DN150 WM -0.11%	← DN150 WM -2.03%	← DN150 WM -1.44%	← DN150 WM -1.50%	← DN150 WM -1.50%	← DN150 WM -1.50%	← DN150 WM -1.79%	→
GRADE															
DATUM RL 55.0															
COVER	0.650	0.650	0.650	0.650	0.650	0.650	0.650	0.650	0.600	0.650	0.649	0.649	0.649	0.649	0.605
DEPTH TO INVERT	0.818	0.818	0.818	0.818	0.818	0.818	0.818	0.818	0.768	0.818	0.817	0.817	0.817	0.817	0.773
INVERT LEVEL	62.043	62.049	62.191	62.303	62.311	62.264	62.233	62.191	62.184	62.062	61.976	61.886	61.796	61.706	61.491
FINISHED SURFACE	62.861	62.867	63.009	63.121	63.129	63.082	63.050	63.008	62.952	62.880	62.793	62.703	62.613	62.523	62.265
EXISTING SURFACE	63.738	63.859	63.939	64.073	64.410	64.539	64.691	64.296	64.098	64.008	63.666	63.851	63.811	63.796	63.853
CHAINAGE	297.540	304.691	316.691	328.691	340.691	345.052	352.695	358.695	364.695	370.695	376.695	382.695	388.695	394.695	406.695
	7.151	12.000	12.000	12.000	12.000	4.362	7.643	6.000	6.000	6.000	6.000	6.000	6.000	6.000	12.000

WATER LONG SECTION - LINE W


SCALE: HORIZ 1:500 VERT 1:250

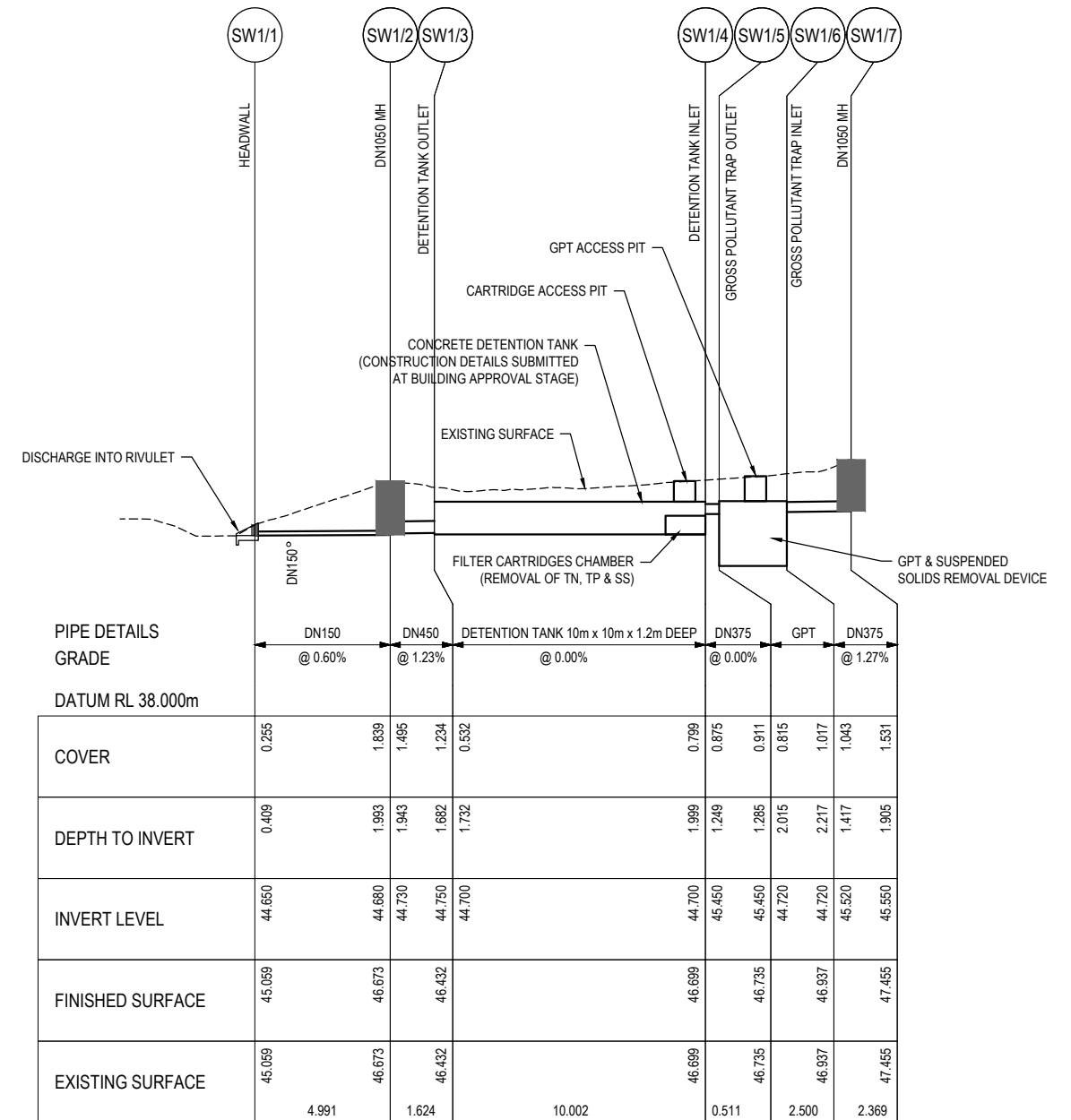


GLENORCHY CITY COUNCIL
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PIPE DETAILS	DN150 WM	DN150 WM	DN150 WM	DN150 WM	DN150 WM	DN150 WM
GRADE	-3.91%	-3.37%	-4.50%	-5.50%	-5.47%	-3.59%
DATUM RL 54.0						
COVER	0.605	0.649	0.619	0.617	0.652	0.627
DEPTH TO INVERT	0.773	0.817	0.787	0.785	0.820	0.795
INVERT LEVEL	61.491	61.257	61.055	60.785	60.455	59.810
FINISHED SURFACE	62.265	62.074	61.842	61.570	61.275	60.301
EXISTING SURFACE	63.853	63.887	63.928	63.834	63.318	62.717
CHAINAGE	406.695	412.695	418.695	424.695	430.695	437.299
	6.000	6.000	6.000	6.000	6.604	7.905

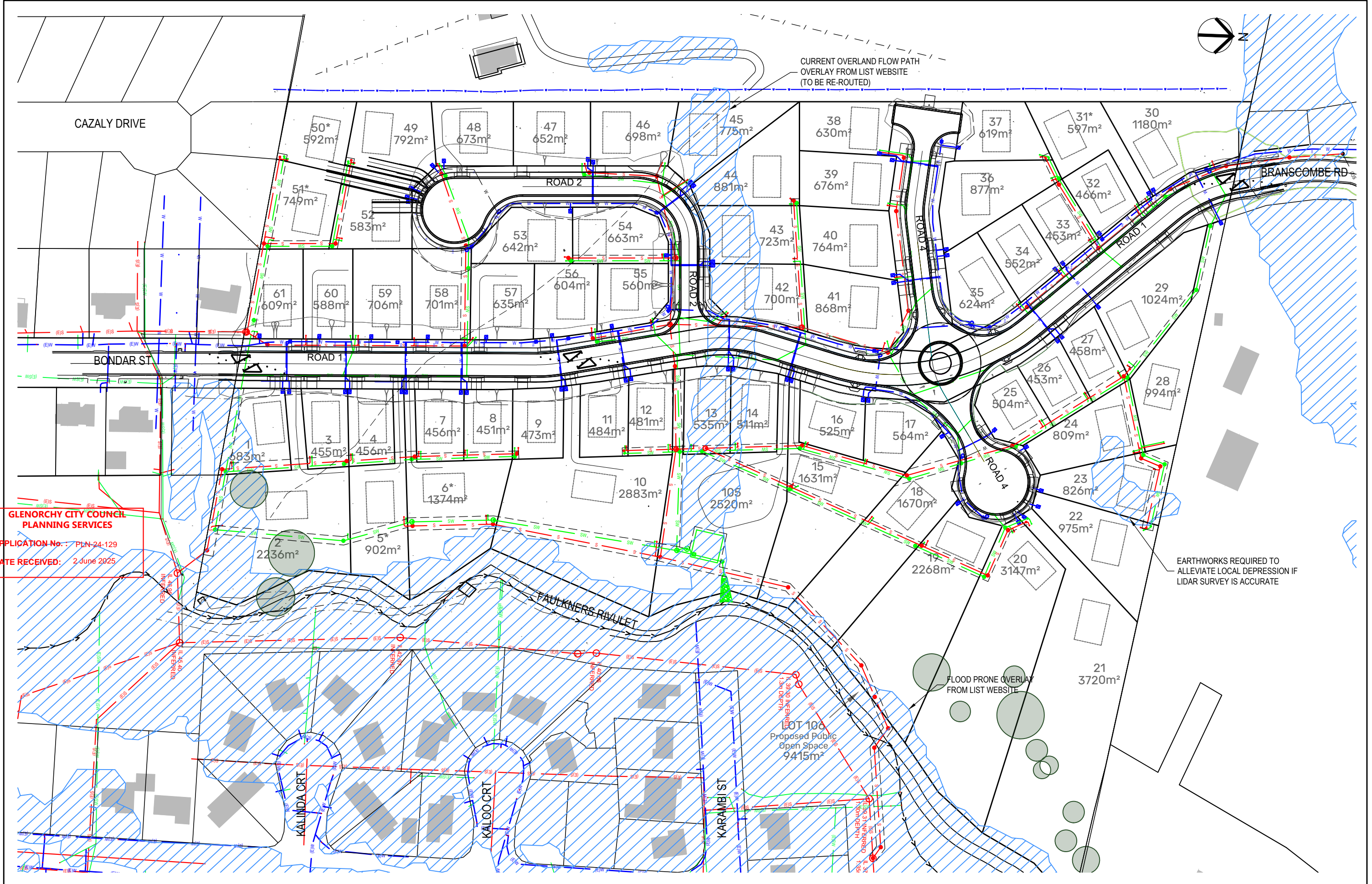
WATER LONG SECTION - LINE W
SCALE: HORIZ 1:500 VERT 1:250

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REV			AMENDMENTS			DRAWN			DATE			APPR.			THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED			JOB MANAGER: CRAIG TERRY		ISSUED DATE:		30/05/2025		REGISTRATION NUMBER: ----													



TREATMENT TRAIN LONG SECTION
SCALE: HORIZ 1:250 VERT 1:250

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-	----	--	----	--	<div>FOR DEVELOPMENT APPROVAL</div>	SC	MS				-----	1: 50	(A3)		
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-	----	--	----	--		JOB MANAGER: CRAIG TERRY									
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED	ISSUED DATE:	30/05/2025			REGISTRATION NUMBER: ----	44035CT C 700 P4				




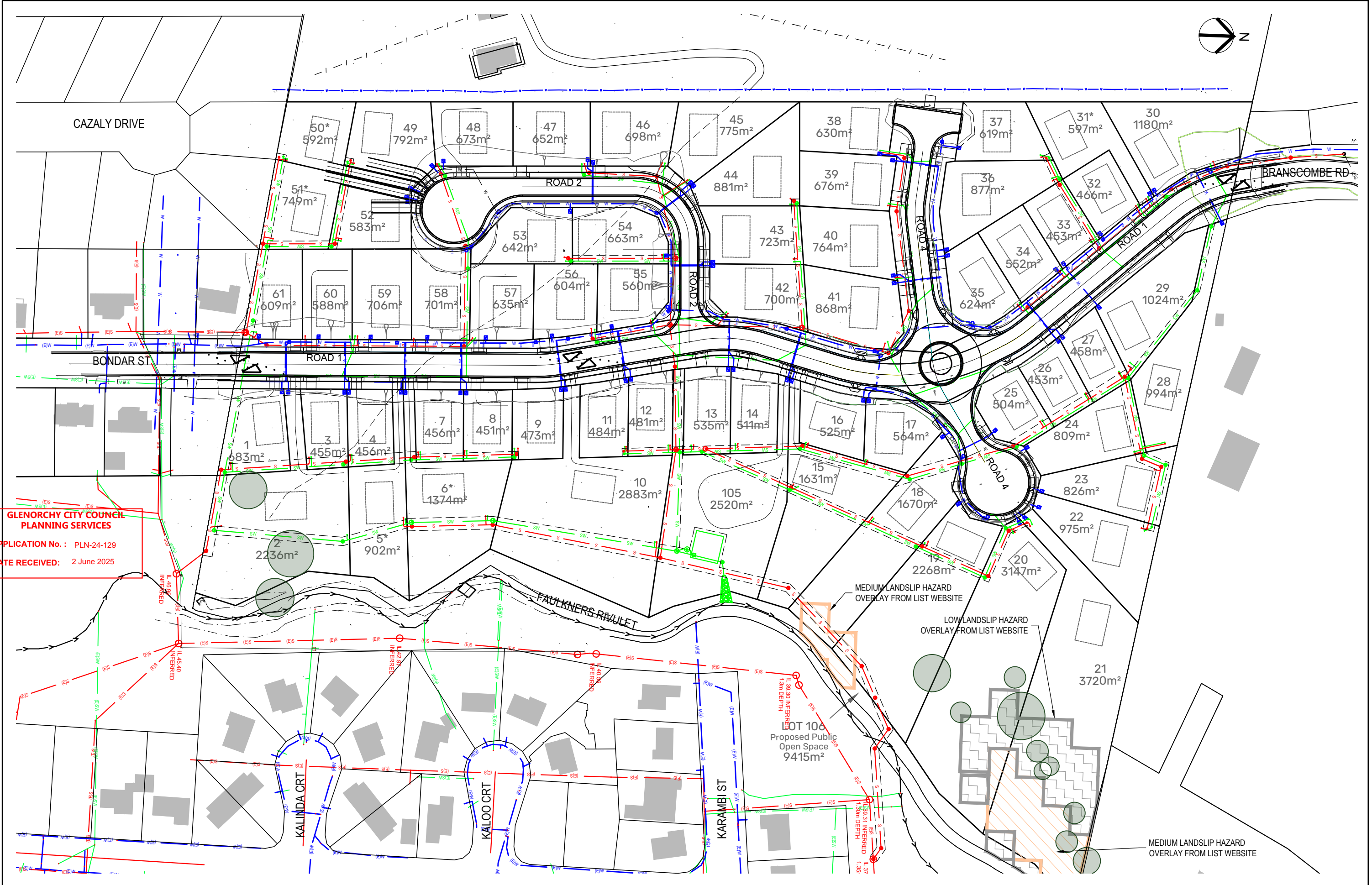
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No.: PLN 24-129
DATE RECEIVED: 2 June 2025


EARTHWORKS REQUIRED TO
ALLEVIATE LOCAL DEPRESSION IF
LIDAR SURVEY IS ACCURATE

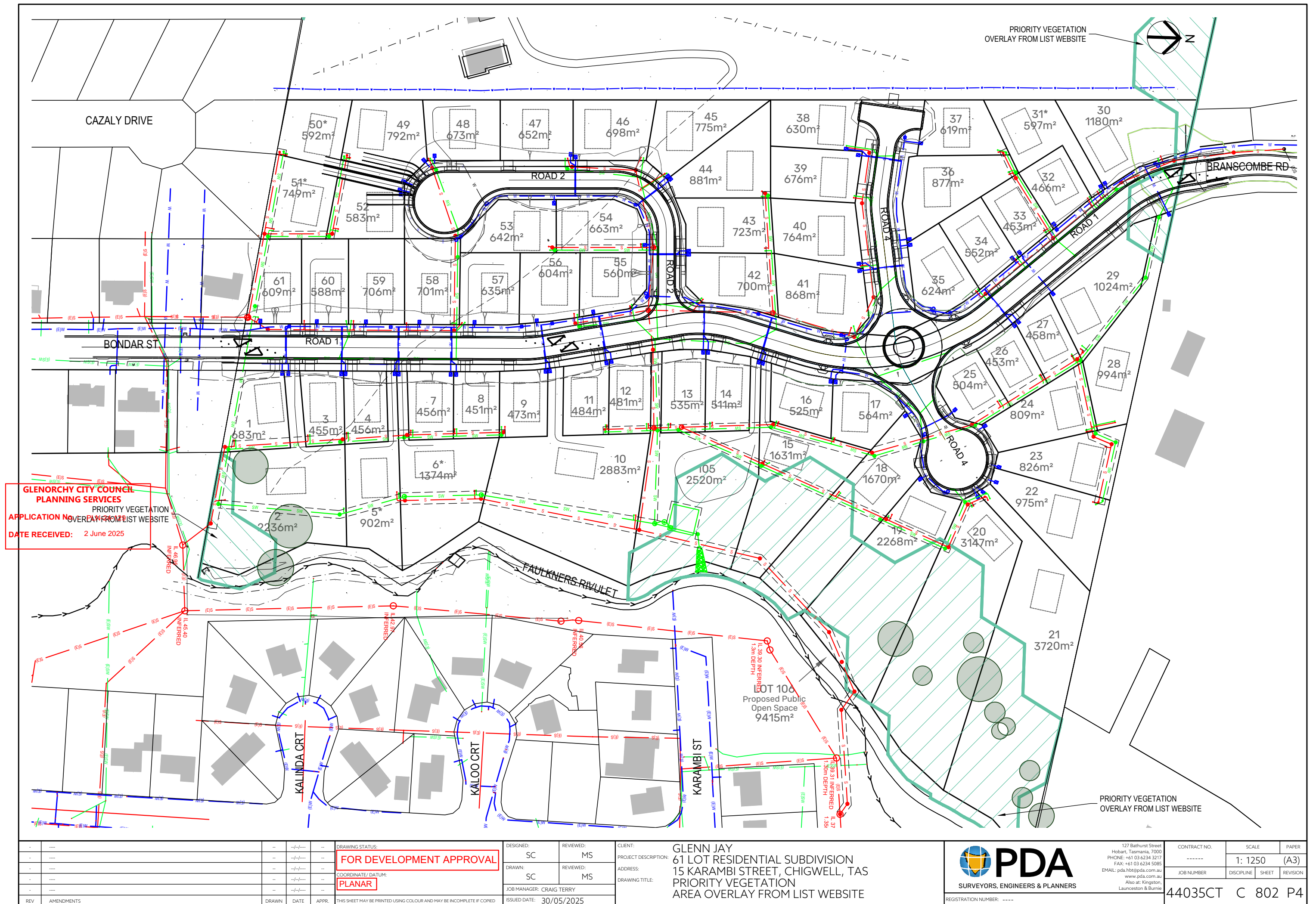
FLOOD PRONE OVERLAY
FROM LIST WEBSITE

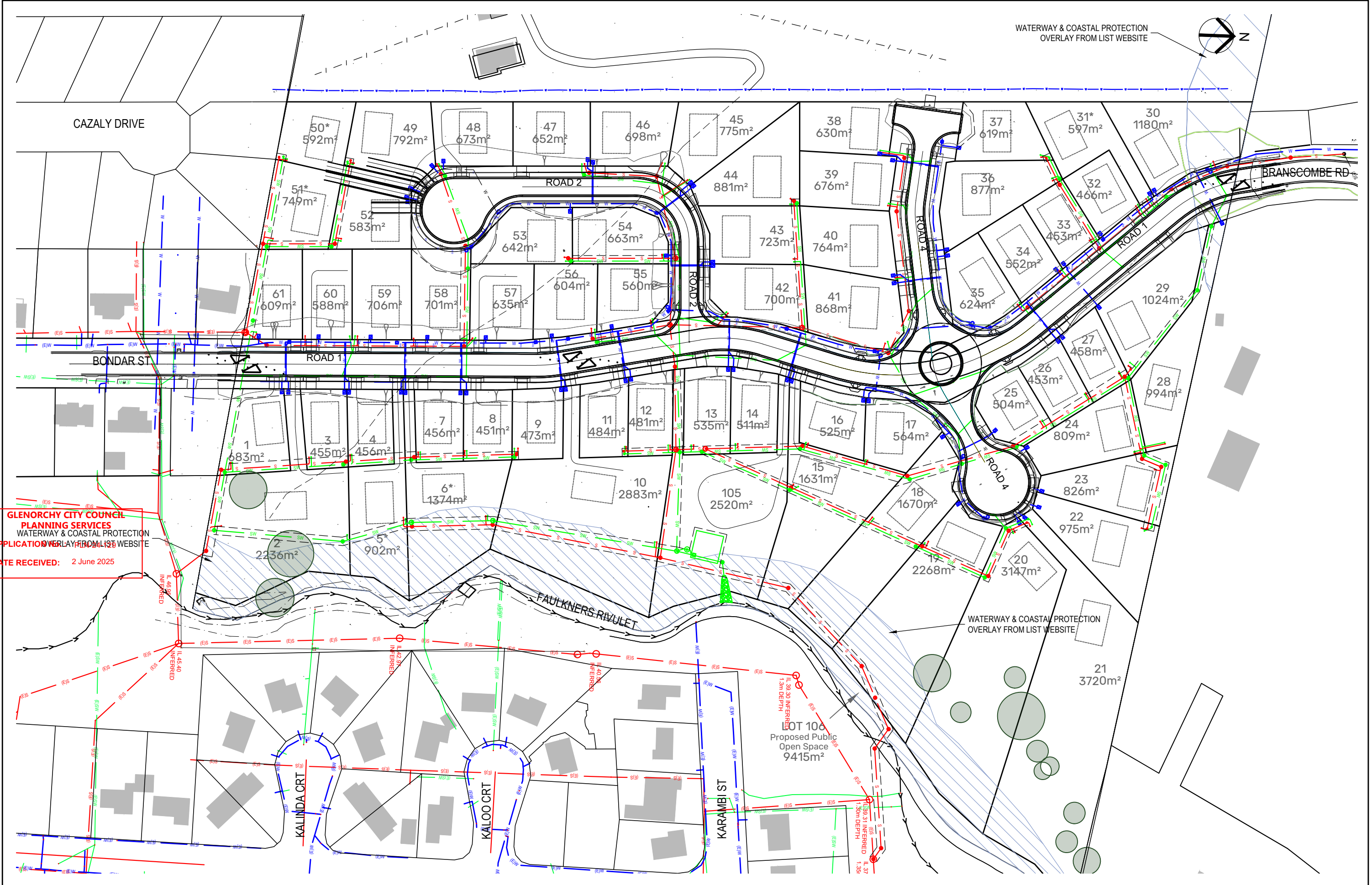
LOT 106
Proposed Public
Open Space
9415m²

				DRAWING STATUS:				DESIGNED: SC		REVIEWED: MS		CLIENT: GLENN JAY PROJECT DESCRIPTION: 61 LOT RESIDENTIAL SUBDIVISION ADDRESS: 15 KARAMBI STREET, CHIGWELL, TAS DRAWING TITLE: OVERLAND FLOW & FLOOD PRONE AREA OVERLAY FROM LIST WEBSITE		 <div>127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie</div>		CONTRACT NO.		SCALE		PAPER			
				FOR DEVELOPMENT APPROVAL						-----						1: 1250		(A3)					
				COORDINATE / DATUM:				DRAWN: SC		REVIEWED: MS						JOB NUMBER		DISCIPLINE		SHEET		REVISION	
				PLANAR																			
REV				AMENDMENTS				DRAWN		DATE						APPR.		THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED		REGISTRATION NUMBER: ----		44035CT	



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REV				AMENDMENTS			DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED		ISSUED DATE: 30/05/2025					
<div><div><div><div>PDA</div><div>SURVEYORS, ENGINEERS & PLANNERS</div></div></div><div>REGISTRATION NUMBER: - - - -</div></div>												CONTRACT NO. - - - - -		SCALE 1: 1250		PAPER (A3)	
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												44035CT C 801 P4					





GLENORCHY CITY COUNCIL
PLANNING SERVICES
WATERWAY & COASTAL PROTECTION
APPLICATION OVERLAY FROM LIST WEBSITE
DATE RECEIVED: 2 June 2025

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											44035CT		C	803	P4



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CONTRACT NO.	SCALE	PAPER
-----	1: 1250	(A3)
JOB NUMBER	DISCIPLINE	SHEET
44035CT	C	803
		P4

Submission to Planning Authority Notice

Application details

Council Planning Permit No. PLN-24-129
Council notice date 1/08/2024
TasWater Reference No. TWDA 2024/00913-GCC
Date of response 10/04/2025
TasWater Contact Al Cole
Phone No. 0439605108

Response issued to

Council name GLENORCHY CITY COUNCIL
Contact details gccmail@gcc.tas.gov.au
Development details
Address 15 KARAMBI ST, CHIGWELL
Property ID (PID) 5297675
Description of development Subdivision 61 lots

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
PDA	44035CT/100-107, 500,	P3	07/03/2025

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008 (TAS)* Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections and sewerage system and connections to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.
Advice: If the balance lot and existing house wish to retain the existing water connection, a new metered connection from the new reticulated water infrastructure must be installed. Any connection(s) to the TasWater bulk water main must be removed by TasWater at the applicant's cost.
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

ASSET CREATION & INFRASTRUCTURE WORKS

4. Prior to applying for Engineering Design Approval, the developer must physically locate all existing infrastructure to provide sufficient information for accurate design and physical works to be undertaken.
5. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.
6. Prior to applying for a Permit to Construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.

Advice: Where applicable, detailed M/H base sections must be provided to demonstrate compliance with MRWA-S-200 requirements for fall through sewer M/H, e.g. S1/5, S1/6.

7. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
8. Prior to undertaking any works related to water and sewerage, physical markers must be in place that clearly identify where water and/or sewer connections are to be made in accordance with any approved plan to TasWater's satisfaction.
9. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
10. Prior to the issue of a Consent to Register a Legal Document all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, are to be completed generally as shown on, and in accordance with, the plans listed in the schedule of drawings/documents, and are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
11. After testing, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
12. At practical completion of the water and sewerage works and prior to TasWater issuing a Consent to a Register Legal Document the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved.
 - b. A request for a joint on-site inspection with TasWater's authorised representative must be made.
 - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee.

- d. Work As Constructed drawings and documentation must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.

Upon TasWater issuing a Certificate of Practical Completion, the newly constructed infrastructure is deemed to have transferred to TasWater.

13. After the Certificate of Practical Completion has been issued, a 12-month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12-month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". TasWater will release any security held for the defect's liability period.
14. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
15. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.
16. A construction management plan must be submitted with the application for TasWater Engineering Design Approval. The construction management plan must detail how the new TasWater infrastructure will be constructed while maintaining current levels of services provided by TasWater to the community. The construction plan must also include a risk assessment and contingency plans covering major risks to TasWater during any works. The construction plan must be to the satisfaction of TasWater prior to TasWater's Engineering Design Approval being issued.

FINAL PLANS, EASEMENTS & ENDORSEMENTS

17. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made.
Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.
18. Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions.
19. Prior to the issue of a Consent to Register a Legal Document / Certificate of Practical Completion from TasWater, the applicant must submit a copy of the completed Transfer for the provision of a Pipeline and Services Easement(s)/lot(s) to cover proposed TasWater infrastructure as required by condition 18. All costs and expenses related to the transfer of easement(s) to TasWater are to be paid by the developer.
20. In the event that the property sewer connection for affected lots cannot control the lot for a gravity connection, the Plan of Subdivision Council Endorsement Page for those affected lots is to note, pursuant to Section 83 of the Local Government (Building and Miscellaneous Provisions) Act 1993, that TasWater cannot guarantee sanitary drains will be able to discharge via gravity into TasWater's sewerage system.
Advice: See WSA 02—2014-3.1 MRWA Version 2 section 5.6.5.3 Calculating the level of the connection point

21. Prior to the issue of a TasWater Consent to Register a Legal Document, the applicant must submit a .dwg file, prepared by a suitably qualified person to TasWater's satisfaction, showing:
- a. the exact location of the existing bulk water main and associated infrastructure,
 - b. the easement protecting that infrastructure.

The developer must locate the existing TasWater infrastructure and clearly show it on the .dwg file. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost.

DEVELOPER CHARGES

22. Prior to TasWater issuing a Consent to Register a Legal Document, the applicant or landowner as the case may be, must pay a developer charge totalling \$210,840.00 to TasWater for water and sewerage infrastructure for 60 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
23. In the event Council approves a staging plan, prior to TasWater issuing a Consent to Register a Legal Document for each stage, the developer must pay the developer charges commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

DEVELOPMENT ASSESSMENT FEES

24. The applicant or landowner as the case may be, must pay a development assessment fee of \$1,307.93, and a Consent to Register a Legal Document fee of \$256.99 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

In the event Council approves a staging plan, a Consent to Register a Legal Document fee for each stage, must be paid commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

Developer Charges

For information on Developer Charges please visit the following webpage –

<https://www.taswater.com.au/building-and-development/developer-charges>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.

- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

GPA - Attachment 2
15 Karambi Street Chigwell

Referral Officers Reports

DEVELOPMENT APPLICATIONS

DEVELOPMENT ENGINEER REFERRAL

DA No.	PLN-24-129	Date Referred	20/06/2024
Planner	Helen Ayers	To Be Returned By	27/06/2024
Development Engineer	David Morley	Date Returned	Select
Property File No.	5297675	Discretionary Permitted	Discretionary

Details of Application	Applicant	PDA Surveyors Engineering and Planners
	Business Contact Name	
	Contact Email	jane.monks@pda.com.au
	Address of Development	15 Karambi Street Chigwell
	Proposal in Detail	Subdivision (61 Lots plus balance)

Comments

Subdivision Proposal Summary

The developer has submitted a proposal to construct a 61-lot residential subdivision. The design includes a central road linking Boondar Street to Branscombe Road, from which three smaller roads will branch off, each terminating in a cul-de-sac. Two of these cul-de-sacs will connect via a central roundabout, while the third joins the main road through a T-junction.

The development is to proceed in four stages and will take place on moderately steep terrain. Notably, a portion of the eastern and northeastern parcels falls within a moderate landslip area, which may pose design challenges.

Assessment and Conditions

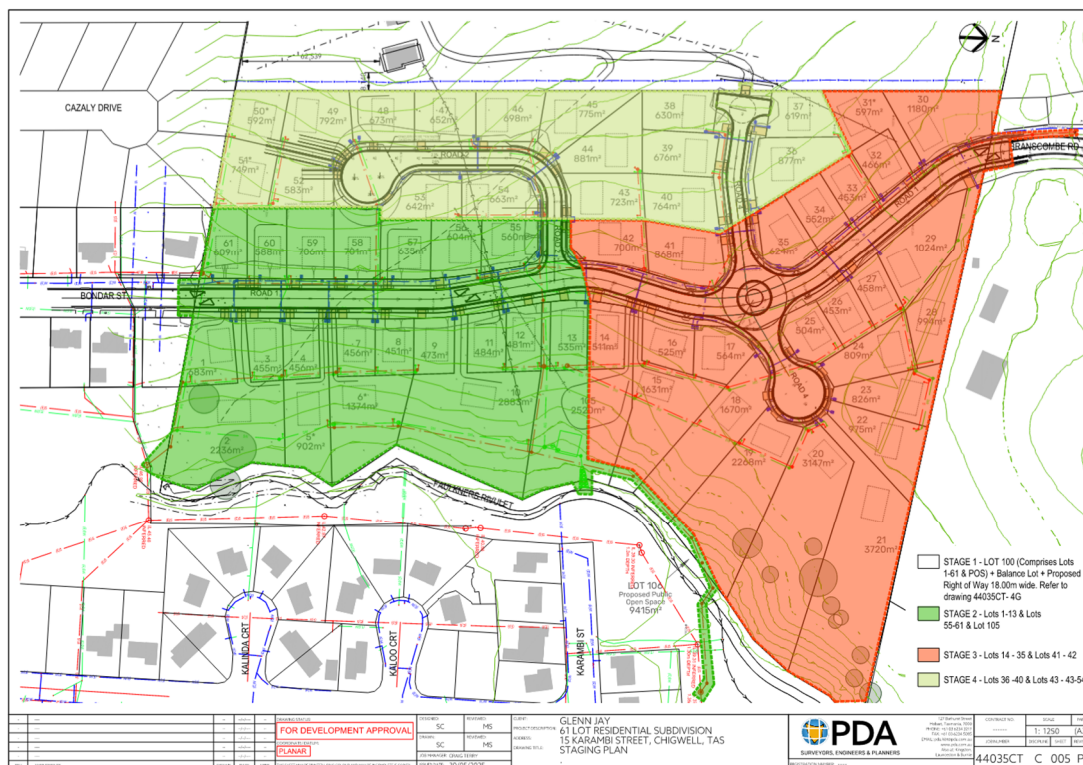
Conditions applied to this approval are intended to protect the integrity and longevity of the road network and associated infrastructure, which will be transferred to council ownership and maintenance. These requirements also serve to ensure the broader community and future residents benefit from safe, high-quality infrastructure and developable land.

Building envelopes must be located entirely within designated drainage and embankment easements. Furthermore, construction within embankment easements will impose additional restrictions on individual developments, particularly with respect to parking and access.

Conclusion

The subdivision represents a reasonably well-considered design, effectively maximizing lot yield within the constraints of the usable land. Due to steep lot gradients, many lots may require elevated parking structures, which should be addressed at the individual dwelling design stage rather than through broad subdivision restrictions.

While the subdivision is supported in principle at the development application stage, the applicant is advised that the current layout may require modification following detailed design and geotechnical investigation.



Standard Conditions

GENERAL

1. Use and development must be substantially in accordance with planning permit application No. PLN-24-149 and Drawings submitted on 30th of May 2025 Rev P4 except as otherwise required by this permit
2. Prior to the approval of engineering plans, a detailed cost estimate for all civil works must be provided. This estimate will be used to calculate the engineering assessment fee. Under Council Schedule of fees and charges, the engineering drawings approval fee is 2.2% of the value of the civil works. This amount is subject to annual adjustment in accordance with the Council Fees and Charges Register. This fee must be paid prior to the issuing of the approved engineering plans.
3. The loading and unloading of goods from vehicles, including building materials and equipment, must only be carried out on the land.
4. The property owner is to ensure that Council's Road Assets and Infrastructure are protected during the construction process. The owner is to ensure that damage to road assets, footpaths, kerb and channel, drainage pits, nature strips and other services is kept to a minimum and any damaged assets are reinstated. Should damages occur, the repair costs associated with such damages are the responsibility of the property owner. If reinstatement works are not undertaken promptly or to Council's satisfaction, Council may elect to reinstate or rectify any defects and recover the expenses reasonably incurred in doing so from the property owner.
5. Prior to the issue of building approval and/or commencement of works (whichever occurs first), including demolition and excavation, a Construction Management Plan, must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Senior Statutory Planner. The plan must provide details of the following:
 - a) Hours for construction activity in accordance with any other condition of this permit;
 - b) Measures to control noise, dust, water and sediment laden runoff;

- c) Measures relating to removal of hazardous or dangerous material from the site, where applicable;
- d) A plan showing the location of parking areas for construction and sub-contractors' vehicles on and surrounding the site, to ensure that vehicles associated with construction activity cause minimum disruption to surrounding premises. Any basement car park on the land must be made available for use by sub-constructors/tradespersons upon completion of such areas, without delay;
- e) A Traffic Management Plan showing truck routes to and from the site;
- f) Swept path analysis demonstrating the ability for trucks to enter and exit the site in a safe manner for the largest anticipated truck associated with the construction;
- g) A plan showing the location and design of a vehicle wash-down bay for construction vehicles on the site;
- h) Measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the construction management plan;
- i) Contact details of key construction site staff;
- j) A site plan showing the location of any site sheds, on-site amenities, building waste storage and the like, noting that Council does not support site sheds on Council road reserves; and
- k) Any other relevant matters

Advice: This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

ENGINEERING

- 6. No civil works related to or associated with the use or development approved by this permit are to occur on or external to the site unless these works are in accordance with engineering drawings that have been approved by Council's Development Engineer. Changes to the design and/or location of civil works will require the submission of amended engineering drawings prepared by a licensed civil engineer for approval by Council's Engineer.
- 7. Prior to the issuing of building approval and/or the commencement of works, including demolition (whichever occurs first), a Soil and Water Management Plan detailing proposed sediment and erosion control measures must be submitted and approved as Condition Endorsement, to the satisfaction of the Council's Senior Development Engineer. These plans must be prepared in accordance with the Derwent Estuary Program guidelines (Erosion and Sediment Control).

The approved control measures must be installed prior to any disturbance of soil or construction activity such as concrete cutting or demolition. The measures must be regularly inspected and maintained during the construction and demolition period to prevent soil and other materials entering the local stormwater system, roadways, or adjoining properties.

The approved control measures must remain in place until such time as all construction activity likely to generate sediment has been completed or all disturbed areas have been stabilised using vegetation and/or restored or sealed to the satisfaction of the Council's Senior Development Engineer. Any temporary or permanent batter stabilisation works must be designed according to the recommendations from a qualified Geotechnical Engineer.

ROAD INFRASTRUCTURE

- 8. The developer shall undertake engineering design drawings, which include three slow points and a road width of between 8.5m and 8.9m on the main through road, along with footpaths on both sides of all the roads. The engineering drawings must be submitted to Council, to the satisfaction of the Director of Infrastructure and Works. The works shall be installed as per the engineering drawings by the developer prior to tiles being issued.

9. Provide detailed drawings of all road infrastructure associated with the subdivision for the approval of the Council's Director Infrastructure Services. must be submitted and approved as a Condition Endorsement, to the satisfaction of the Director of Infrastructure and Works and Senior Development Engineer. All road infrastructure drawings are to be designed by a suitably qualified and experienced engineer in accordance with the Institute of Public Works Engineering's 'Tasmanian Standard Drawings and Guidelines', the Department of State Growth Specifications and all other relevant standards, guidelines and procedures.

Advice: Minimum road pavement widths to be in compliance with Table 1, Road requirements, IPWEA TSD R06. Design drawings shall include, but not be limited to:

- a) Fully dimensioned horizontal and vertical geometry, including the intersections;
- b) Construction details in typical cross sections;
- c) Drainage details;
- d) Crossfalls;
- e) Kerb lines;
- f) Spot levels;
- g) Stormwater pits and reticulation details;
- h) Pipe material, class and gradients;
- i) Pedestrian and vehicle safety barriers;
- j) Traffic management signage;
- k) Traffic management devices;
- l) Footpath details (footpaths to be constructed using concrete);
- m) Kerb ramp details and locations;
- n) Long section of road showing grades;
- o) Road cross sections;
- p) Details of any benching required for the road construction; and
- q) All weather access to stormwater devices.

The design drawings when/if approved by the Council's Director Infrastructure Services will be issued as the Council-approved engineering drawings. Structural certificates will be required for pedestrian and vehicle safety barriers to ensure compliance with relevant codes and standards. The approved plans must be complied with.

10. Design of any excavation and/or any earth retaining structures (e.g. embankments, cuttings, retaining walls) and associated structural certificates for any structures must be submitted to council for condition endorsement.

The design must:

- a) Be in accordance with AS4678
- b) Take into account any additional surcharge loadings as required by relevant Australian Standards.
- c) Take into account and reference accordingly any Geotechnical findings.
- d) Detail any mitigation measures required.
- e) The structure certificated and/or design should note accordingly the above.
- f) Include a safe design of structures assessment in accordance with The Safe Design of Structures Code of Practice 2018.

All work required by this condition must be constructed undertaken in accordance with the approved engineering drawings.

11. Vehicle crash barriers with the proposed highway reservation compliant with the Australian/New Zealand Standard AS / NZS 1170.1 and/or the (IPWEA) LGAT – Tasmanian Standard Drawings must be installed prior to the sealing of the final plan of subdivision for each stage.

A certified design/report prepared by a suitably qualified engineer, to satisfy the above requirements, must be provided to the Council prior to the commencement of work.

All works, required by this condition must be undertaken in accordance with certified design/report. Upon completion the barriers must be inspected by a qualified engineer and a certification submitted to the Council, confirming that the installed barriers comply with the above requirement.

Advice:

- *Once the engineering construction drawings have been approved the Council will issue a condition endorsement.*
- *Separate to Council public infrastructure approval, approvals under the Building Act 2016 will be required and completion documentation required prior to Council taking ownership of this infrastructure.*
- *This condition permits the staging of the development*

12. Compaction of all infill areas including lots to be at 98%.

State clearly on plans that “all earthworks are to be completed under level 1 supervision and testing by a licensed geotechnical authority”.

Provision of supervision report and copies of compaction tests with locations to be provided to the Council prior to the issuing of any Completion Certificate under the Building Act 2016.

13. Prior to the issue of building approval and/or commencement of works (whichever occurs first), plans showing the detailed design of the new vehicle crossings must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Senior Development Engineer. The design and construction must be in accordance with the Tasmanian standard drawing TSD-R09-v3 between the kerb and the property boundary. The vehicle crossing must be completed prior to the occupancy of the dwelling.

- a) Design driveway access onto the lots with gradients that comply with AS2890 and LGAT drawings.
- b) Long and cross sections of the road, footpaths, walkways and driveways onto each lot.
- c) Clearly show that there is 2m behind any proposed retaining wall either by road reservation or embankment easement.
- d) Include designs of any excavation and/or any earth-retaining structures (e.g. embankments, cuttings, retaining walls) and associated structural certificates for any structures such as vehicle parking decks.

14. A street lighting design for all roads and footways must be submitted and approved, prior to sealing of the final plan. The street lighting design must be:
 - a) In accordance with AS/NZS 1158 series to the requirements of Tas Network and Council.
 - b) Include Tas Networks standard supplied poles and energy-efficient road light fittings.
 - c) Be certified by a suitably qualified person.

All work required by this condition must be undertaken in accordance with the approved street lighting design.

15. An approved reflectorised "no-road" sign and barrier must be erected at the end of each stage of construction.

SERVICES

General

16. A separate service connection for water supply, sewerage, and stormwater must be provided to each lot in accordance with the requirements of Council's Senior Development Engineer.
17. Easements must be created over all existing and proposed service lines in accordance with the requirements of Council's Senior Development Engineer.
18. Services for rear lots must be provided from the front boundary or legal point of connection for the total length of the access of internal rear blocks.
19. The developer must provide underground electrical reticulation for power and street lighting. Underground TasNetworks cables must be used subject to any underground cables in joint use trenches complying with Council's Senior Development Engineer's requirements.

Stormwater Management

20. Engineering design drawings must be submitted and approved, prior to the construction or the issue of Building/Plumbing Permit, whichever occurs first. The engineering drawings must:
 - d) be certified by a qualified and experienced Engineer;
 - e) Clearly distinguish between public and private infrastructure;
 - f) Include provision for future development within the catchment to be adequately and efficiently serviced, i.e., via appropriate easements;
 - g) Show the final Lot boundaries, with each Lot serviced separately by Council infrastructure and all private plumbing contained within each lot;
 - h) Specify lot connection sizes, depths, and locations such that as much as practicable of the lots can be drained via gravity;
 - i) Show any existing connections. Any redundant connections must be sealed by the Council at the owner's expense prior to sealing of the final plan;
 - j) show in both plan and long-section the proposed stormwater mains, including but not limited to, connections, flows, velocities, hydraulic grade lines, clearances, cover, gradients, sizing, material, pipe class, adequate working platforms around manholes, easements, and inspection openings;
 - k) Provide details of the cutoff drain extension as suggested in concept engineering plans by PDA Revision P4, dated 30.05.2025. It should include drain geometry with a minimum 200mm freeboard and suitable batter treatment/lining to safely convey overland flows;
 - l) Provide details of the proposed On-site detention device (OSD) including inlet, outlet, orifice control, overflow mechanism and access points for maintenance;
 - m) Provide details of the proposed Stormwater quality treatment devices including inlet, outlet, orifice control, overflow mechanism/ hy flow bypass and access points and path for maintenance. A safe grass decanting area must be provided near the proposed infrastructure that is at least 30m away from the watercourse;
 - n) Be substantially in accordance with the LGAT Standard Drawings and Tasmanian Subdivision Guidelines 2013.

All work required by this condition must be undertaken in accordance with the approved engineered drawings.

21. Extend the proposed partial 'PIPELINE AND SERVICES & DRAINAGE EASEMENT' within lot 20 all the way to the watercourse along the shared boundary with lot 19. The proposed low point of the cul-de-sac should be designed to ensure that any upwelling or surcharge of runoff on the roadway can be effectively directed into the drainage easement of Lot 20.

22. The new stormwater infrastructure must be constructed prior to the sealing of the final plan / issue of a final certificate.
23. Digital copies of a post construction work CCTV video and associated report(s) of any proposed Council stormwater main must be submitted to the satisfaction of Council after completion of all work but prior to the issue of any Certificate of Completion.
24. Prior to the commencement of the use or development, a new stormwater connection, equivalent to a 150mm diameter pipe, unless specified otherwise in the approved plans, must be installed from the property boundary to Council's public stormwater. The detailed design of the connection must comply with the LGAT drawing and be submitted for approval prior to the issuing of the building permit or the commencement of works (whichever occurs first). Any existing stormwater connections that are abandoned must be decommissioned and sealed at the owner's expense.
25. The stormwater connection(s) must be constructed by a suitably qualified person, inspected by Council's Plumbing Surveyor, and completed to the satisfaction of Council. The applicant must notify the relevant Council officer for an inspection prior to backfilling.

Advice: If the stormwater connection works are not left exposed for inspection, Council may require the Applicant to undertake a CCTV inspection at the Applicant's cost. A digital copy of the CCTV inspection video, along with the associated report(s), must be submitted to Council prior to the issuance of any Certificate of Completion.

26. Residential underground power and fibre ready facilities (pit and pipe that can hold optical telecommunication fibre line) to each lot and street lighting must be installed prior to the sealing of the final plan.

SUBDIVISION

27. If the subdivision is proposed to be staged, then a Plan of Survey and Schedule of Easements for each stage of the subdivision in accordance with the approved plan of subdivision is to be submitted separately for sealing by Council.
28. The applicant must make available to all prospective purchasers, or their agents upon request, a copy of the Geotechnical Sit Investigation prepared by GES dated 19/12/2024.
29. All public open space areas must be shown as lots on the Final Plan with the notation, "Public Open Space".
30. Residential underground power to each lot must be installed prior to the sealing of the final plan.
Reason for the condition
To ensure that the subdivision of land provides adequate services to meet the projected needs of future development.

PUBLIC OPEN SPACE PROVIDED

31. All public open space areas must be shown as lots on the Final Plan with the notation, "Public Open Space".

EMBANKMENT EASEMENTS

32. Embankment Easement must be shown on the final diagram where road batters or retaining structure extend into any lot. To ensure protection of the road reservation no construction in the embankment easements must not occur without express permission from Council.

COPY OF PLAN OF SUBDIVISION

33. An original of each of the Plan of Subdivision and Schedule of Easements must be submitted to Council for sealing.

TRANSFER OF ROADS, ROAD, WALKWAYS AND OPEN SPACE TO COUNCIL

34. Any lots described as “public open space”, “public access way”, “road” or “to be acquired by the Highway Authority” on the Final Plan must be transferred to the Council for a nominal sum of \$1.00 and must be accompanied by a Memorandum of Transfer to the Glenorchy City Council, all documentation in relation to discharges of any Mortgages, caveats or the like, and all relevant registrable dealings. This Transfer must be executed by the vendor, identifying the lot(s) to be transferred and the applicant is responsible for all Land Titles Office and stamp duty fees and charges.

The applicant remains responsible for ensuring that any Land Titles Office requisitions are effectively resolved, and the applicant must meet the costs of such requisitions.

FEES

35. The applicant must pay Council the amount of \$305.00 per lot on the diagram to complete the measure up and record ‘as constructed’ data for all assets to be taken over by Council prior to the sealing of a Final Plan. This amount is subject to annual adjustment with the Council Fees and Charges Register.

SURVEY

36. Prior to the sealing of the final plan, private sewer, stormwater (including surface drainage) and water services/connections are to be entirely separate to each lot and contained wholly within the lots served.

Reason for condition;

To ensure that each lot is services separately.

37. Prior to the sealing of the final plan, the developer must verify compliance with condition condition 36 by supplying the Council with as-installed services plan(S) clearly indicating the location and details of all relevant services (entirely contained within their respective lots or appropriate easements). The as-installed services plan must be accompanied by certification from a suitably qualified person that all engineering work required by this permit has been completed.

Advice:

Any final plan submitted for sealing will not be processed unless it is accompanied by documentation by a suitably qualified person that clearly certifies that this condition has been satisfied and that all the work required by This condition has been completed. A 'suitably qualified person' must be a Professional Engineer or Professional Surveyor or other persons acceptable to Council.

Reason for condition

To ensure that the Developer provides the Council with clear written confirmation that the separation of services is complete.

APPENDIX

C2.0 Parking and Sustainable Transport Code

Standard	Acceptable Solution	Proposed	Complies?
C2.5 Use Standards			
C2.5.1 Car parking numbers	A1 The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if: (a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan; (b) the site is contained within a parking precinct plan and subject to Clause C2.7; (c) the site is subject to Clause C2.5.5; or (d) it relates to an intensification of an existing use or development or a change of use where: (i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or		N/A

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Standard	Acceptable Solution	Proposed	Complies?
	<p>(ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:</p> <p>$N = A + (C - B)$</p> <p>N = Number of on-site car parking spaces required</p> <p>A = Number of existing on site car parking spaces</p> <p>B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1</p> <p>C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.</p>		N/A
C2.5.2 Bicycle parking numbers	<p>A1</p> <p>Bicycle parking spaces must:</p> <p>(a) be provided on the site or within 50m of the site; and</p> <p>(b) be no less than the number specified in Table C2.1.</p>		N/A
C2.5.3 Motorcycle parking numbers <i>This applies to:</i> <i>Business and Professional Services;</i>	<p>A1</p> <p>The number of on-site motorcycle parking spaces for all uses must:</p> <p>(a) be no less than the number specified in Table C2.4; and</p>		N/A

Standard	Acceptable Solution	Proposed	Complies?
<i>Community Meeting and Entertainment;</i> <i>Custodial Facility;</i> <i>Crematoria and Cemeteries;</i> <i>Educational and Occasional Care;</i> <i>Food Services;</i> <i>General Retail and Hire;</i> <i>Hospital Services;</i> <i>Hotel Industry;</i> <i>Pleasure Boat Facility;</i> Residential if for a communal residence, multiple dwellings or hostel use; <i>Sports and Recreation; and</i> <i>Tourist Operation.</i>	(b) if an existing use or development is extended or intensified, the number of on-site motorcycle parking spaces must be based on the proposed extension or intensification, provided the existing number of motorcycle parking spaces is maintained.		
C2.5.4 Loading bays <i>This applies to:</i> <i>Bulky Goods Sales;</i> <i>General Retail and Hire;</i> <i>Manufacturing and Processing; and</i> <i>Storage.</i>	A1 A loading bay must be provided for uses with a floor area of more than 1000m ² in a single occupancy.		N/A

Standard	Acceptable Solution	Proposed	Complies?
C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone <i>This applies to:</i> <i>Business and Professional Services;</i> <i>Community Meeting and Entertainment;</i> <i>Educational and Occasional Care;</i> <i>Emergency Services;</i> <i>Food Services;</i> <i>General Retail and Hire;</i> <i>Sports and Recreation; and</i> <i>Utilities, if not for minor utilities.</i>	A1 Within existing non-residential buildings in the General Residential Zone and Inner Residential Zone, on-site car parking is not required for: (a) Food Services uses up to 100m ² floor area or 30 seats, whichever is the greater; and (b) General Retail and Hire uses up to 100m ² floor area, provided the use complies with the hours of operation specified in the relevant Acceptable Solution for the relevant zone.		N/A
C2.6 Development Standards for Building Works			
C2.6.1 Construction of parking areas	A1 All parking, access ways, manoeuvring and circulation spaces must: (a) be constructed with a durable all weather pavement; (b) be drained to the public stormwater system, or contain stormwater on the site; and		N/A

Standard	Acceptable Solution	Proposed	Complies?
	(c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.		
C2.6.2 Design and layout of parking areas	A1.1 Parking, access ways, manoeuvring and circulation spaces must either: (a) comply with the following: (i) have a gradient in accordance with <i>Australian Standard AS 2890 - Parking facilities, Parts 1-6</i> ; (ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces; (iii) have an access width not less than the requirements in Table C2.2; (iv) have car parking space dimensions which satisfy the requirements in Table C2.3; (v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces; (vi) have a vertical clearance of not less than 2.1m above the parking surface level; and		

Standard	Acceptable Solution	Proposed	Complies?
	<p>(vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or</p> <p>(b) comply with <i>Australian Standard AS 2890- Parking facilities, Parts 1-6</i>.</p> <p>A1.2</p> <p>Parking spaces provided for use by persons with a disability must satisfy the following:</p> <p>(a) be located as close as practicable to the main entry point to the building;</p> <p>(b) be incorporated into the overall car park design; and</p> <p>(c) be designed and constructed in accordance with <i>Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities</i>. [S35]</p>		
C2.6.3 Number of accesses for vehicles	<p>A1</p> <p>The number of accesses provided for each frontage must:</p> <p>(a) be no more than 1; or</p> <p>(b) no more than the existing number of accesses, whichever is the greater.</p>	One access per lot is provided	YES
	<p>A2</p> <p>Within the Central Business Zone or in a pedestrian priority street no new access is provided unless an existing access is removed.</p>		

Standard	Acceptable Solution	Proposed	Complies?
C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone	A1 In car parks within the General Business Zone and Central Business Zone, parking and vehicle circulation roads and pedestrian paths serving 5 or more car parking spaces, which are used outside daylight hours, must be provided with lighting in accordance with Clause 3.1 “Basis of Design” and Clause 3.6 “Car Parks” in <i>Australian Standard/New Zealand Standard AS/NZS 1158.3.1:2005 Lighting for roads and public spaces Part 3.1: Pedestrian area (Category P) lighting – Performance and design requirements</i> .		N/A
C2.6.5 Pedestrian access	A1.1 Uses that require 10 or more car parking spaces must: (a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by: (i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or (ii) protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and (b) be signed and line marked at points where pedestrians cross access ways or parking aisles. A1.2		N/A

Standard	Acceptable Solution	Proposed	Complies?
	In parking areas containing accessible car parking spaces for use by persons with a disability, a footpath having a width not less than 1.5m and a gradient not steeper than 1 in 14 is required from those spaces to the main entry point to the building.		
C2.6.6 Loading bays	A1 The area and dimensions of loading bays and access way areas must be designed in accordance with <i>Australian Standard AS 2890.2–2002, Parking facilities, Part 2: Offstreet commercial vehicle facilities</i> , for the type of vehicles likely to use the site.		N/A
	A2 The type of commercial vehicles likely to use the site must be able to enter, park and exit the site in a forward direction in accordance with <i>Australian Standard AS 2890.2 – 2002, Parking Facilities, Part 2: Parking facilities Offstreet commercial vehicle facilities</i> .		N/A
C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone	A1 Parking and vehicle circulation roadways and pedestrian paths serving 5 or more car parking spaces, used outside daylight hours, must be provided with lighting in accordance with clause 3.1 “Basis of Design” and clause 3.6 “Car Parks” in AS/NZS 1158.3.1:2005 Lighting for roads and public spaces Part 3.1: Pedestrian area (Category P) lighting.		N/A
	A2 Bicycle parking spaces must: (a) have dimensions not less than:		N/A

Standard	Acceptable Solution	Proposed	Complies?
	<div><div>(i) 1.7m in length;</div><div>(ii) 1.2m in height; and</div><div>(iii) 0.7m in width at the handlebars;</div><div>(b) have unobstructed access with a width of not less than 2m and a gradient not steeper than 5% from a road, cycle path, bicycle lane, shared path or access way; and</div><div>(c) include a rail or hoop to lock a bicycle that satisfies <i>Australian Standard AS 2890.3-2015 Parking facilities - Part 3: Bicycle parking</i>.</div></div>		
C2.6.8 Siting of parking and turning areas	A1 Within an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone or General Business Zone, parking spaces and vehicle turning areas, including garages or covered parking areas must be located behind the building line of buildings, excluding if a parking area is already provided in front of the building line.		N/A
	A2 Within the Central Business Zone, on-site parking at ground level adjacent to a frontage must: <div><div>(a) have no new vehicle accesses, unless an existing access is removed;</div><div>(b) retain an active street frontage; and</div><div>(c) not result in parked cars being visible from public places in the adjacent roads.</div></div>		N/A
C2.7 Parking Precinct Plan			

Standard	Acceptable Solution	Proposed	Complies?
C2.7.1 Parking Precinct Plan	A1 Within a parking precinct plan, onsite parking must: (a) not be provided; or (b) not be increased above existing parking numbers.		N/A

Footnotes

[S35] Requirements for the number of accessible car parking spaces are specified in part D3 of the National Construction Code 2016.

C3 Road and Railway Assets Code

Standard	Acceptable Solution	Proposed	Complies?
C3.5 Use Standards			
C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction	A1.1 For a category 1 road or a limited access road, vehicular traffic to and from the site will not require: (a) a new junction; (b) a new vehicle crossing; or (c) a new level crossing. A1.2 For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority. A1.3 For the rail network, written consent for a new private level crossing to serve the use and development has been issued by the rail authority. A1.4 Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than:	P1 met based on the TIA	P1 MET A1.2 N/A A1.3 N/A A1.4 N/A A1.5 N/A

Standard	Acceptable Solution	Proposed	Complies?
	<p>(a) the amounts in Table C3.1; or</p> <p>(b) allowed by a licence issued under Part IVA of the <i>Roads and Jetties Act 1935</i> in respect to a limited access road.</p> <p>A1.5</p> <p>Vehicular traffic must be able to enter and leave a major road in a forward direction.</p>		
C3.6 Development Standards for Buildings and Works			
<p>C3.6.1</p> <p>Habitable buildings for sensitive uses within a road or railway attenuation area</p>	<p>A1</p> <p>Unless within a building area on a sealed plan approved under this planning scheme, habitable buildings for a sensitive use within a road or railway attenuation area, must be:</p> <p>(a) within a row of existing habitable buildings for sensitive uses and no closer to the existing or future major road or rail network than the adjoining habitable building;</p> <p>(b) an extension which extends no closer to the existing or future major road or rail network than:</p> <p>(i) the existing habitable building; or</p> <p>(ii) an adjoining habitable building for a sensitive use;</p> <p>(c) located or designed so that external noise levels are not more than the level in Table C3.2 measured in accordance with Part D of the <i>Noise Measurement Procedures Manual, 2nd edition, July 2008</i>.</p>		N/A

Standard	Acceptable Solution	Proposed	Complies?
C3.7 Development Standards for Subdivision			
C3.7.1 Subdivision for sensitive uses within a road or railway attenuation area	A1 A lot, or a lot proposed in a plan of subdivision, intended for a sensitive use must have a building area for the sensitive use that is not within a road or railway attenuation area.		N/A

DEVELOPMENT APPLICATIONS

TRAFFIC ENGINEER REFERRAL

DA No.:	PLN-24-129	Date Referred:	1/08/2024
Development Engineer:		Date Returned:	8/08/2024
Traffic Engineer:	Emily Burch	Property File No:	5297675
Standard:		Discretionary Permitted	Discretionary

Details of Application:	Applicant's Name:	PDA Surveyors Engineering and Planners
	Business Contact Name:	Jane Monks
	Contact Email:	jane.monks@pda.com.au
	Address of Development:	15 Karambi Street Chigwell
	Proposal in Detail:	Subdivision (61 Lots plus balance)

Comments:

Introduction

The developer proposes to construct a 61-lot subdivision with the main road linking Boondar Street to Branscombe Road. The main road will have three road off it, all ending in cul-de-sacs. One of the roads forms a T-junction with the main road. The other two roads meet at a roundabout on the main road.

The assessment below is based on the Traffic Impact Assessment (TIA) undertaken by Hubble Traffic, dated February 2025. The TIA addresses the performance criteria C3.5.1 P1 due to the increase in traffic generated by the proposed subdivision.

Traffic Generation

The traffic generated by the development is expected to be 451 daily trips with 48 trips in am and pm peak hour as per the Roads and Maritime Services, Road Traffic Authority (RTA) NSW Guide to Traffic Generation Development for a residential dwelling.

Traffic generated by the development could either travel south onto Boondar Street or north onto Branscombe Road. It is assumed in the TIA that traffic from the subdivision would travel onto Boondar Street which connects onto Allunga Road via a roundabout and then drivers would continue onto the Brooker Highway. This assumption is made as the distance from the subdivision is shorter via Boondar Street with better traffic conditions.

As the subdivision will create a connecting road between Boondar Street to Branscombe Road, the TIA has assumed that 20% of traffic currently heading north on Branscombe Road onto Box Hill Road, will use the new connection. This assumption is made as the distance to the Brooker Highway is less for most of the traffic on Branscombe Road at the junction with Box Hill Road.

Additionally, the subdivision proposes to put in traffic calming slow points along with the roundabout, to deter through traffic. The existing Branscombe Road from the proposed subdivision to Box Hill Road already has traffic calming in place with kerb outstands and has undulating horizontal alignment.

The TIA undertook surveys of the current traffic at the intersections of Allunga Road / Boondar Street and Branscombe Road / Box Hill Road.

At the junction with Box Hill Road the peak traffic was approximately 150 vehicles in the morning and 180 vehicles in the afternoon on Branscombe Road. The traffic volume on Branscombe Road is below that for a local residential street, which can carry a maximum peak of 300 vehicles. Traffic is not expected to increase at the junction of Branscombe Road / Box Hill Road. However, if it did the survey data shows that there is capacity in the network for this to occur.

At the roundabout of Allunga Road / Boondar Street the current peak traffic is shown below in the tables, along with the increase in traffic from the subdivision and 20% increase in traffic from Branscombe Road.

Table 1 – Traffic Data Morning Peak Hour

Road	Existing	Subdivision	20% Increase	Total
Branscombe Road (south)	72	0	27	99
Boondar Street	49	48	27	124
Allunga Road (north)	257	15	8	280
Allunga Road (south)	276	33	19	327

Table 2 – Traffic Data Afternoon Peak Hour

Road	Existing	Subdivision	20% Increase	Total
Branscombe Road (south)	77	0	36	113
Boondar Street	85	48	36	169
Allunga Road (north)	337	14	10	361
Allunga Road (south)	368	34	26	428

The increase in traffic on Branscombe Road and Boondar Street is below that for a local residential street, which can be a maximum peak of 300 vehicles. The increase in traffic for Allunga Road is below that for a collector road, which can be a maximum peak of 500 vehicles. Based on this the increase in traffic is not expected to have an unreasonable impact.

The TIA undertook SIDRA traffic modelling at the roundabout of Allunga Road / Boondar Street. The modelling showed that the roundabout operates at the highest level of service now and into the future with the construction of the subdivision. The subdivision is not expected to cause any adverse traffic impacts at the roundabout or the wider network.

Subdivision Roads and Footpaths

The subdivision will connect into Boondar Street which is 8.5m wide and Branscombe Road which varies in width between 10.4m and 8m wide due to the kerb extensions along the road. Both streets have a posted speed limit of 50km/h and so will the subdivision.

The developer proposes a road width of between 8.5m to 8.9m for the main access road. The standard road width for a local through road is 8.9m. However, 8.5m road width is acceptable if geometry allows to reduce through traffic via narrowing the road. This road narrowing is also proposed by the installation of three single lane slow points along the road.

Single lane slow point devices are suitable for lightly trafficked urban residential roads to moderate vehicles speeds and deter through traffic. They operate similarly to when vehicles are parked opposite each other, reducing the road to a single traffic lane, requiring a driver to give way to an oncoming vehicle.

The developer has proposed that the exact location of the slow points is undertaken once the road is constructed, to ensure there is adequate sight distance and minimal impact on properties. Council is of the view, that the slow points need to be designed as part of the detailed engineering design drawings prior to the construction of the road, to ensure that they can and will be undertaken. Thus, this will be conditioned on the permit.

The access roads of the main through road, are proposed to be 6.9m wide which is acceptable for a short local cul-de-sac road. The access roads all end in cul-de-sac with the one to the existing property being a T type cul-de-sac. This is to allow for a future subdivision road of the remaining lot.

The subdivision has footpaths on both sides of the road along the main through road but only a footpath on one side of the road for the three local roads. There is adequate space for a footpath on both sides of the local roads and the permit will be conditioned as such.

Connection to Boondar Street and Branscombe Road

Boondar Street has two existing roads that connect onto it prior to Allunga Road being Coach Road and Arunta Crescent. At these connections both Coach Road and Arunta Crescent meet the safe intersection sight distance (SISD) of 90m. This allows a driver to pick a gap in the traffic to turn out of side road without the vehicles on the main road adjusting their speed.

Branscombe Road between the subdivision and Box Hill Road has five junctions. The TIA details that due to the topography of the road including vertical sags and crest curves, driver sight lines are below the SISD of 90m for four of the five junctions. Sight distances are for a speed of 50km/h which is the posted speed limit in the street.

For lightly trafficked junctions, a lower sight distance parameter can be suitable, being Approach Sight Distance (ASD) of 62m. ASD means as a side vehicle turns out onto the major road, the vehicle on the major road may need to adjust their speed. With Branscombe Road being lightly trafficked, the potential for the vehicle needing to adjust their speed is low. The lowest sight distance parameter is Stopping Sight Distance (SSD) of 42m and must be available at junctions.

The sight distance was assessed in the TIA and shown below in the table. The sight distance at all junctions met the required ASD of 62m. It is also noted that the crash data was reviewed in the TIA, in which there have been no crashes in the past five years reported to the Police.

Table 3 – Branscombe Road Existing Sight Distances

Side Road	Sight distance to the right (metres)	Sight distance to the left (metres)
Lesdelle Street	73	90
Forsythe Court	100	100
Rosanna Court	66	90
Bluegum Court	68	100
Ironbark Drive	90	70

Although the road connection has the potential to slightly intensify the traffic flow, ASD is met. Thus, no adverse safety impact is expected, with vehicles able to turn at the junction in a safe and efficient manner. Additionally, slow point devices on the new road connection are expected to limit the intensification of traffic on Branscombe Road.

CONCLUSION

Based on the TIA, the proposed development is not expected to have any unreasonable detrimental impacts on the surrounding road network in terms of traffic efficiency or road safety and satisfies the preference criteria for C3.5.1 P1. I have no objection to the development on traffic engineering or road safety grounds.

Condition to be included in the development engineer's referral (otherwise in mine):

The developer shall undertake engineering design drawings, which include three slow points and a road width of between 8.5m and 8.9m on the main through road, along with footpaths on both sides of all the roads. The engineering drawings must be submitted to Council, to the satisfaction of the Director of Infrastructure and Works. The works shall be installed as per the engineering drawings by the developer prior to tiles being issued.

Emily Burch
Senior Transport Engineer

DEVELOPMENT APPLICATIONS

HYDRAULICS DEPARTMENT REFERRAL

DA No.:	PLN-24-129	Date Referred:	27 March 2025
Development Engineer:	Lyndal Byrne/ David Morley (Arete Engineering)	To Be Returned By:	3/04/2025
Hydraulics Engineer:	Dan Egodawatte	Property File No:	5297675
Standard:		Discretionary Permitted	Discretionary

Details of Application:	Applicant's Name:	PDA Surveyors Engineers and Planners
	Business Contact Name:	Jane Monks
	Contact Email:	jane.monks@pda.com.au
	Address of Development:	15 Karambi Street Chigwell
	Proposal in Detail:	Subdivision (61 Lots plus balance)

Comments

The proposed development includes a 61-lot subdivision for the General Residential zone at 15 Karambi Street, Chigwell. Subdivision also includes extending Branscombe Road to Boondar Street, providing a link and associated stormwater and transport public infrastructure as part of it.

1. Referenced Documents

- Subdivision plans set from 1K to 6K by PDA Surveyors, revision K, dated 10.07.2025,
- Concept Engineering plans by PDA surveyors, Revision P4, dated 30.05.2025
- Stormwater report by PDA Surveyors, Revision 1 dated 23 May 2025.

2. Stormwater Management Policy (for consent under Section 14 Urban Drainage Act)

a. Stormwater Disposal Method Requirements:

All stormwater generated from the development will drain to stormwater systems by gravity. Therefore, 4 (a) is met.

b. Stormwater Quality Management Requirements:

The stormwater system will incorporate water sensitive urban design principles (WSUD) for the treatment and disposal of stormwater given the new impervious area generated by the development is greater than 500m². Proposed stormwater treatment train will include a proprietary Gross Pollutant Trap (GPT, model Ocean Protect Cascade CS1500) followed by a Proprietary Filter cartridge system (5 x PSorb cartridge StormFilter system by Ocean Protect) installed inside the underground detention tank.

Therefore, 5 (b) is met.

c. Stormwater Quantity Management Requirements:

The development incorporates a centralised underground on-site detention system to manage the post developed flow rates to pre-developed levels for this subdivision for a 5% AEP rain event. A total storage volume of 150 cubic metres is provided by way of a dedicated underground detention tank (120 cum.) and partial storage from large sized stormwater pipes (33 cum.)

Therefore, 6(a) is met.

d. Stormwater System Design Requirements:

The Minor Stormwater System has been designed for 5% AEP rain event. The major stormwater system including overland flow paths have been designed to cater a 1% AEP rain event with a climate change allowance for climate scenario SSP5-8.5 for 2100 as outlined in Stormwater Report by PDA.

Therefore 3 (a) and (b) are met.

C12.0 Flood-Prone Areas Hazard Code

Flood Hazard Report has been incorporated into the Stormwater Report prepared by PDA, revision 1 dated 23 May 2025. The report demonstrates that the development can meet the acceptable solution under C12.7.1 Subdivision within a flood-prone hazard area and performance criteria under C12.6.1. Building and works within a flood prone area.

Objectives of the above two criteria is to demonstrate whether the proposed development and the use can achieve and maintain a tolerable risk during a 1% AEP flood event with provision for the climate change scenario, notably SSP5-8.5 for year 2100 (Worst Case) as outlined in Australian Rainfall and Runoff Guide (ARR Guidelines) version 4.2.

Flood report by PDA and the subsequent concept engineering plans demonstrates that each lot is able to contain a building area, vehicle access, and services, that are wholly located outside a flood-prone hazard area and thus satisfy Acceptable Solution for C12.7.1 Subdivision within a flood-prone hazard area.

The Stormwater Report by PDA includes a comprehensive assessment of stormwater runoff and overland flow paths for a 1% AEP event including a climate change allowance for a scenario of SSP5-8.5 for year 2100 (Worst Case) as outlined in Australian Rainfall and Runoff Guide (ARR Guidelines) version 4.2. Existing overland flow paths are identified to be low- hazard category as per Council's 1% AEP flood maps.

Overland flows are expected to be conveyed with roadway associated infrastructure (Kerb and gutter and Side Entry pits feeding into underground pipe system) with a low hazard risk. Existing overland flow path to the north of subdivision will be re-directed to the battle axe turning head to follow the new roadway. This overland flow path will continue towards proposed Cul-de-Sac that will run along lot 20 towards the watercourse. While the infrastructure has been designed with additional capacity in this location and downstream, a condition will be added to the permit to extend current partial drainage easement along western boundary of lot 20 all the way towards the watercourse. Thus, it satisfies the performance criteria under C12.6.1. Building and works within a flood prone area.

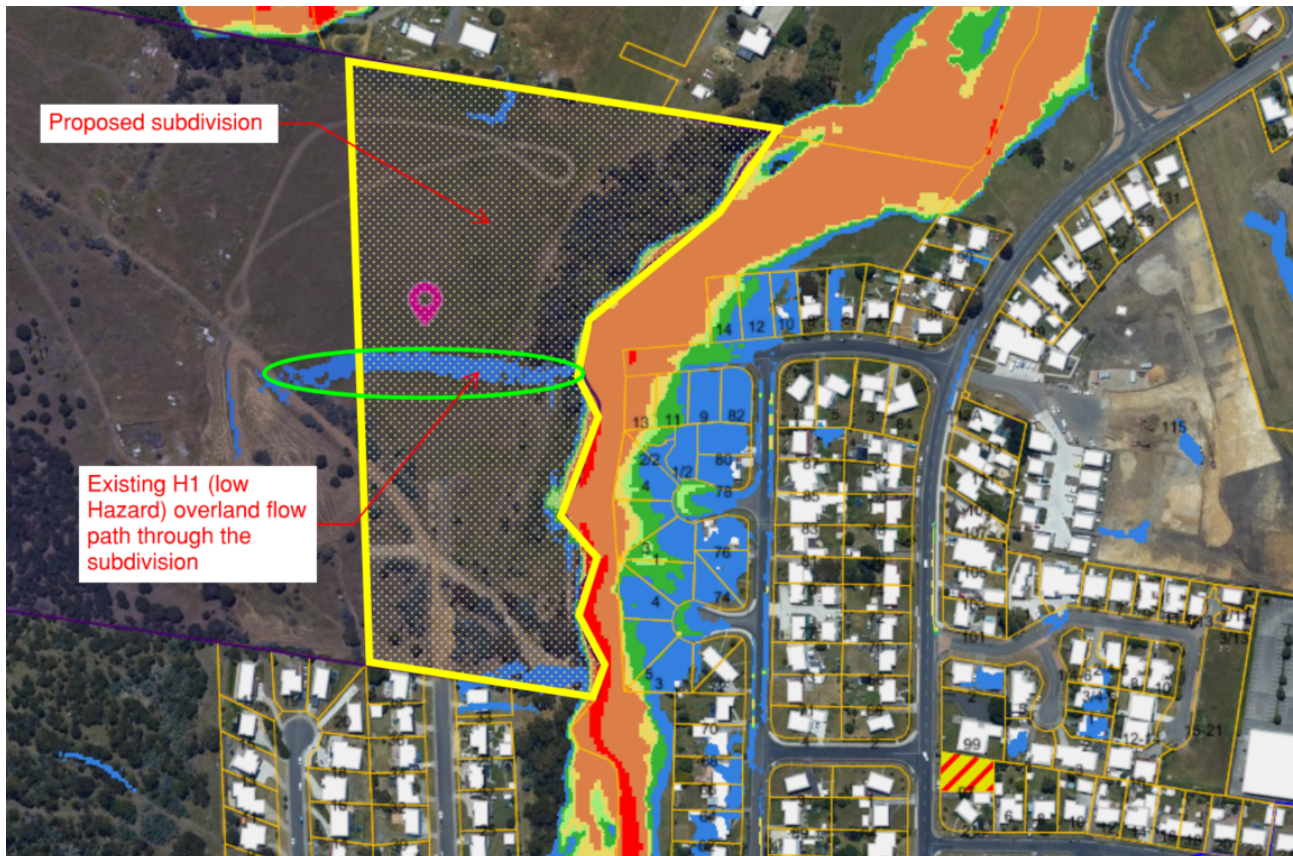


Figure 1 Existing flood hazard extents as per Council's 1% AEP mapping. Existing low hazard overland flow path will be directed toward the battle axe end of the new roadway infrastructure.

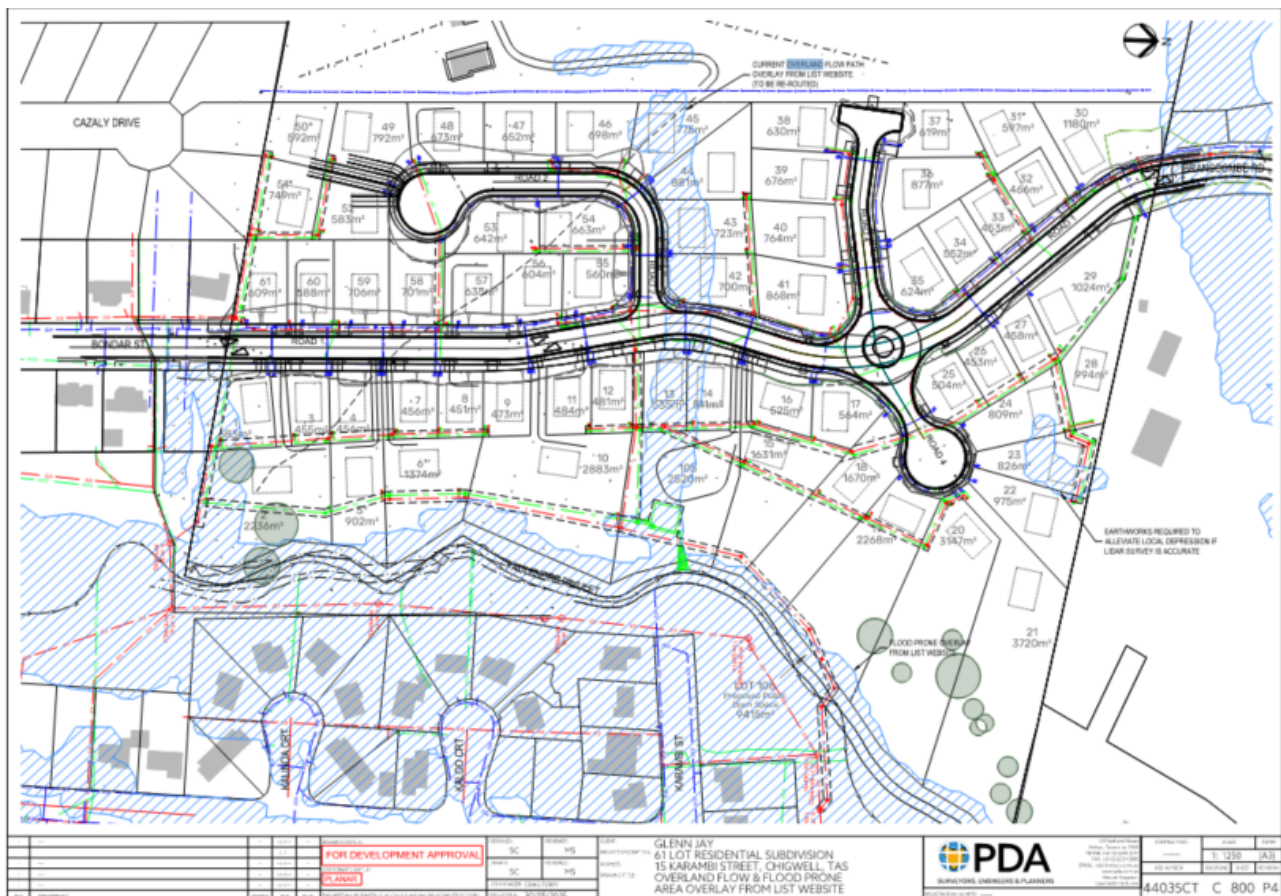


Figure 2 Post Development lot layout over existing Flood Hazard Code overlay

Conclusion

In summary, I have no objections with the proposal from a hydraulics perspective, provided the following conditions are met:

Proposed Engineering Conditions for the planning permit

1. Engineering design drawings must be submitted and approved, prior to the construction or the issue of Building/Plumbing Permit, whichever occurs first. The engineering drawings must:
 - a) be certified by a qualified and experienced Engineer;
 - b) Clearly distinguish between public and private infrastructure;
 - c) Include provision for future development within the catchment to be adequately and efficiently serviced, i.e., via appropriate easements;
 - d) Show the final Lot boundaries, with each Lot serviced separately by Council infrastructure and all private plumbing contained within each lot;
 - e) Specify lot connection sizes, depths, and locations such that as much as practicable of the lots can be drained via gravity;
 - f) Show any existing connections. Any redundant connections must be sealed by the Council at the owner's expense prior to sealing of the final plan;
 - g) show in both plan and long-section the proposed stormwater mains, including but not limited to, connections, flows, velocities, hydraulic grade lines, clearances, cover, gradients, sizing, material, pipe class, adequate working platforms around manholes, easements, and inspection openings;
 - h) Provide details of the cutoff drain extension as suggested in concept engineering plans by PDA Revision P4, dated 30.05.2025. It should include drain geometry with a minimum 200mm freeboard and suitable batter treatment/lining to safely convey overland flows;

- i) Provide details of the proposed On-site detention device (OSD) including inlet, outlet, orifice control, overflow mechanism and access points for maintenance;
- j) Provide details of the proposed Stormwater quality treatment devices including inlet, outlet, orifice control, overflow mechanism/ hy flow bypass and access points and path for maintenance. A safe grass decanting area must be provided near the proposed infrastructure that is at least 30m away from the watercourse;
- k) Be substantially in accordance with the LGAT Standard Drawings and Tasmanian Subdivision Guidelines 2013.

All work required by this condition must be undertaken in accordance with the approved engineered drawings.

2. Extend the proposed partial 'PIPELINE AND SERVICES & DRAINAGE EASEMENT' within lot 20 all the way to the watercourse along the shared boundary with lot 19. The proposed low point of the cul-de-sac should be designed to ensure that any upwelling or surcharge of runoff on the roadway can be effectively directed into the drainage easement of Lot 20.
3. The new stormwater infrastructure must be constructed prior to the sealing of the final plan / issue of a final certificate.
4. Digital copies of a post construction work CCTV video and associated report(s) of any proposed Council stormwater main must be submitted to the satisfaction of Council after completion of all work but prior to the issue of any Certificate of Completion.
5. Prior to the commencement of the use or development, a new stormwater connection, equivalent to a 150mm diameter pipe, unless specified otherwise in the approved plans, must be installed from the property boundary to Council's public stormwater. The detailed design of the connection must comply with the LGAT drawing and be submitted for approval prior to the issuing of the building permit or the commencement of works (whichever occurs first). Any existing stormwater connections that are abandoned must be decommissioned and sealed at the owner's expense.
6. The stormwater connection(s) must be constructed by a suitably qualified person, inspected by Council's Plumbing Surveyor, and completed to the satisfaction of Council. The applicant must notify the relevant Council officer for an inspection prior to backfilling.
Advice: If the stormwater connection works are not left exposed for inspection, Council may require the Applicant to undertake a CCTV inspection at the Applicant's cost. A digital copy of the CCTV inspection video, along with the associated report(s), must be submitted to Council prior to the issuance of any Certificate of Completion.

Proposed Conditions for the General Manager's consent under Section 14 of Urban Drainage Act 2013

1. The new stormwater infrastructure must be constructed prior to the sealing of the final plan / issue of a completion certificate.
2. An adequate overland flow path must be maintained through the site during construction and post development, such that flows are excluded from the structures, and not redirected onto

third-party land, for the 1% AEP as at 2100 (including climate change loading) storm event as outlined in Stormwater report by PDA Surveyors; Revision 1 dated 23 May 2025.

3. The development must incorporate the On-Site Detention (OSD) as part of the development as presented in the Concept Stormwater Management Plan dated 02.08.2022 and Concept Engineering Plans dated 09.11.2022. The onsite piped detention element and its associated components must be designed and constructed to the satisfaction of the Council's Senior Civil Engineer and completed prior to the sealing of the Final Plan / issue of a Completion Certificate.
4. The development must incorporate the Water Sensitive Urban Design (WSUD) as part of the development as presented in the Stormwater report by PDA Surveyors; Revision 1 dated 23 May 2025. The WSUD components must be designed and constructed to the satisfaction of the Council's Senior Civil Engineer and completed prior to the sealing of the Final Plan / issue of a Completion Certificate.
5. In association with a plumbing Application, Maintenance Schemes for WSUD and OSD elements must be submitted for approval, to the satisfaction of Council's Senior Civil Engineer, defining the maintenance method and frequency, cleanout procedures, descriptions and diagrams of how the installed systems operate and details of the life of assets and replacement requirements. The applicant must ensure ongoing compliance with the approved WSUD Maintenance Scheme for the defects' liability/maintenance period.

APPENDIX

C12.0 Flood-Prone Areas Hazard Code

Standard	Acceptable Solution	Proposed	Complies?
C12.5 Use Standards			
C12.5.1 Uses within a flood-prone hazard area	A1 No Acceptable Solution.	NA	
C12.5.2 Critical use, hazardous use or vulnerable use	A1 No Acceptable Solution.	NA	
	A2 No Acceptable Solution.	NA	
	A3 No Acceptable Solution.	NA	
	A4 No Acceptable Solution.	NA	
C12.6 Development Standards for Buildings and Works			
C12.6.1 Buildings and works within a flood-prone hazard area	A1 No Acceptable Solution.	Proposed works are within a flood-prone area. Performance criteria addressed by a Flood Hazard Report with comprehensive assessment and design of infrastructure to safely convey the runoff.	No Refer to Hydraulic referral for discussion on performance criteria
C12.7 Development Standards for Subdivision			
C12.7.1 Subdivision within a flood-prone hazard area	A1 Each lot, or a lot proposed in a plan of subdivision, within a flood-prone hazard area, must: (a) be able to contain a building area, vehicle access, and services, that are wholly located outside a flood-prone hazard area; (b) be for the creation of separate lots for existing buildings; (c) be required for public use by the Crown, a council or a State authority; or (d) be required for the provision of Utilities.	Acceptable solution met under A1 (a) and demonstrated in the concept engineering plans.	Yes

DEVELOPMENT APPLICATIONS

WASTE MANAGEMENT REFERRAL

DA No.:	PLN-24-129	Date Referred:	1/08/2024
Planner:	Lyndal Byrne	To Be Returned By:	08/08/2024
Waste Management Rep:	Gaye Hunt	Date Returned:	19/08/24
Property File No:	5297675	Discretionary Permitted	Discretionary

Details of Application:	Applicant's Name:	PDA Surveyors Engineering and Planners
	Business Contact Name:	Jane Monks
	Contact Email:	jane.monks@pda.com.au
	Address of Development:	15 Karambi Street Chigwell
	Proposal In Detail:	Subdivision (61 Lots plus balance)

Comments:

Waste services to the proposed subdivision at 15 Karambi St Chigwell would be Council's standard bin service collected fortnightly.

- Council's Standard Bin Service includes one (1) x 140L wheelie bin for Waste, one (1) x 240L wheelie bin for Recycling, and one (1) x 240L for FOGO wheelie bin to each of the lots, collected fortnightly.
- For new subdivisions the footpath must be designed and constructed to accommodate the placement of bins on both sides of the road. Footpath width to each lot to meet the minimum accessible footpath width (1.5 metre) and need to comply with Council's Footpath Policy.
- For new properties and subdivisions all new road construction must ensure that continuous forward movement for waste service vehicles is available.
- Road pavements in the proposed subdivision are to be designed and constructed to accommodate medium/heavy rigid service vehicles.
- Turning heads of cul-de-sacs shall be a minimum of 18 metre diameter inside the kerb to allow for the **continuous forward movement** of a medium/heavy rigid service

vehicles (tandem 22.5 Tone capacity) and include access for the lifting arm in an area without any overhead obstructions. Hammer Head cul-de-sacs are not recommended for turning of waste contractor service vehicles as continuous forward moment cannot be achieved.

- In an area with an overhead obstruction such as a tree canopy a minimum height of 5.0 metres needs to be allowed for contractor's collection vehicle including access to the lifting arm.
- Wheelie bins need to be placed at least 1 meter from light/power poles, bus stops, trees.
- Council's Waste Services Contractor service vehicles will not enter any properties to collect and empty fortnightly servicing of wheelie bins. All bins are to be placed on the kerbside for collection. Bins need to be positioned in a single line at the kerbside.

Evan Brown

Waste Services Coordinator