

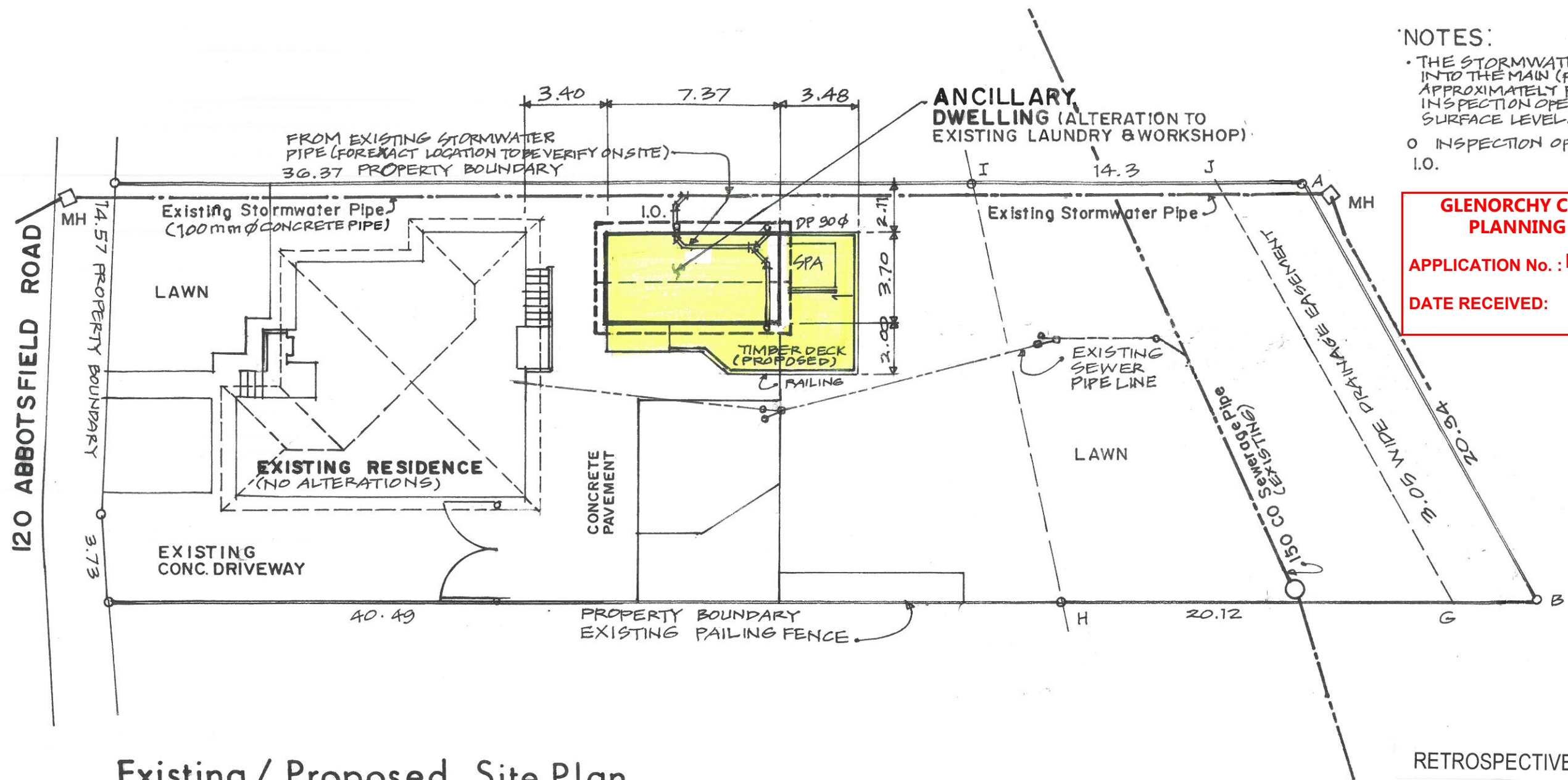
## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-25-099
<b>PROPOSED DEVELOPMENT:</b>	Additions, Alterations and Secondary Residence
<b>LOCATION:</b>	120 Abbotsfield Road Claremont
<b>APPLICANT:</b>	R Villapana
<b>ADVERTISING START DATE:</b>	23/09/2025
<b>ADVERTISING EXPIRY DATE:</b>	7/10/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **7/10/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **7/10/2025**, or for postal and hand delivered representations, by 5.00 pm on **7/10/2025**.



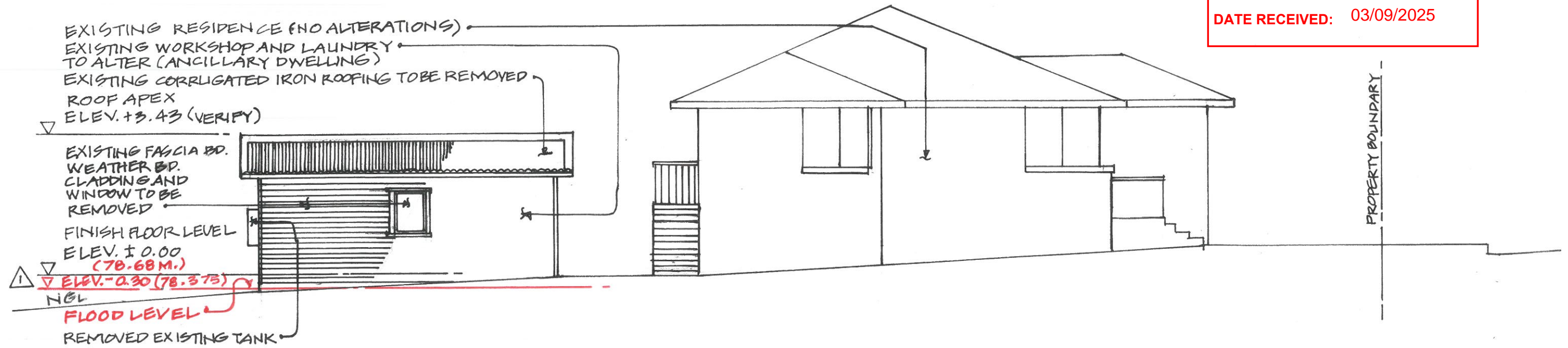




**Note:** The Finished Floor Level (FFL) of  $\pm 0.00$  is based on the existing site datum. This is equivalent to 78.68m AHD, which is 300mm above the defined flood level of 78.375m AHD, in compliance with the low-risk flood overlay requirement.

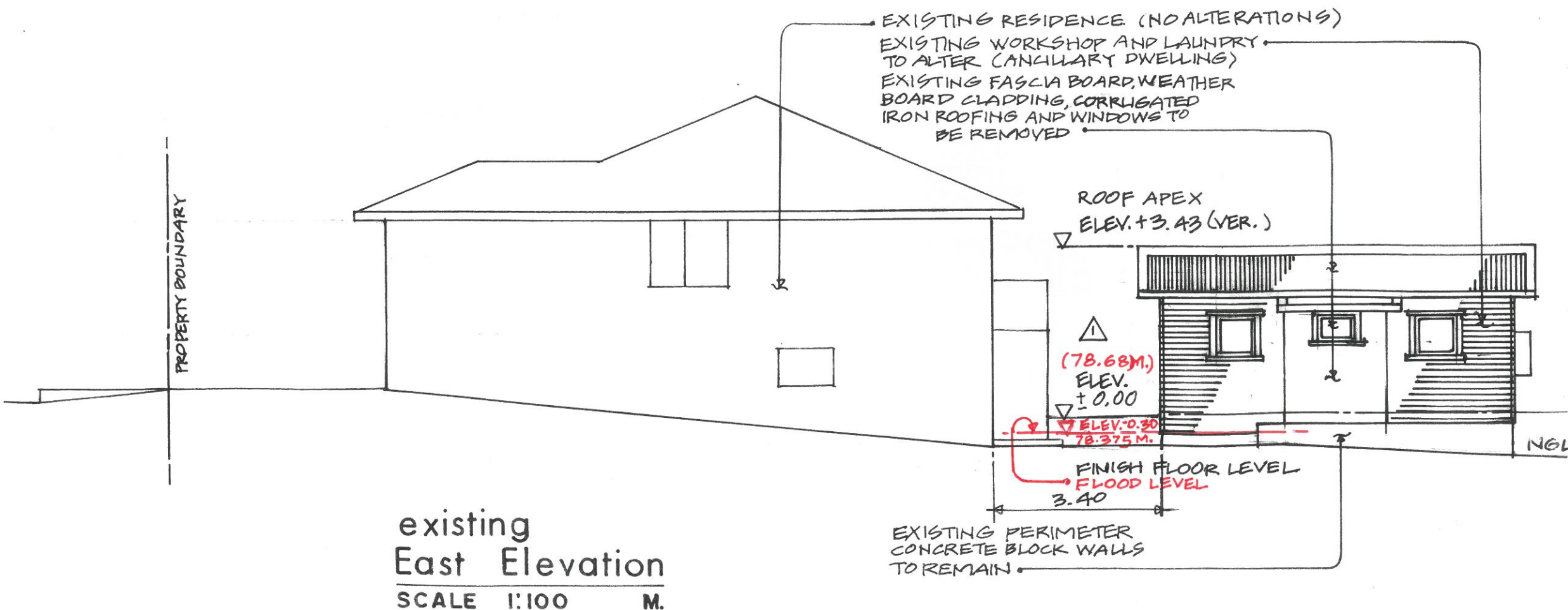
<b>RETROSPECTIVE APPROVAL</b>		
	16-08-23 AS SHOWN	
<b>Rev. No.</b>	<b>Date</b>	<b>Description</b>
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		<b>rolydizonvillapana</b> <b>design + architectural</b> GPO Box 1053 Hobart 7001 TAS., Australia e: rolyvillapana@yahoo.com.au m: 0407801215 Accreditation <span style="float: right;">CC6927</span>
ALTERATION TO EXISTING LAUNDRY AND WORKSHOP TO ANCILLARY DWELLING 120 ABBOTSFIELD ROAD, CLAREMONT Client: PURAN KHADKA		
Drawing: EXISTING / DEMOLITION FLOOR PLAN		
	<b>Designed</b>  <b>Checked</b> ARVI	<b>Drawn &amp; Date</b> ROLY FEB'23  <b>Scale</b> 1:100
<b>Project No.</b> Clmt-243	<b>Drawing No.</b> A-2 OF 6	<b>Rev. No.</b> 1





existing  
West Elevation  
SCALE 1:100 M.

**Note:** The Finished Floor Level (FFL) of  $\pm 0.00$  is based on the existing site datum. This is equivalent to 78.68m AHD, which is 300mm above the defined flood level of 78.375m AHD, in compliance with the low-risk flood overlay requirement.



existing  
East Elevation  
SCALE 1:100 M.

**RETROSPECTIVE APPROVAL**

1	16-8-25	AS SHOWN
Rev. No.	Date	Description
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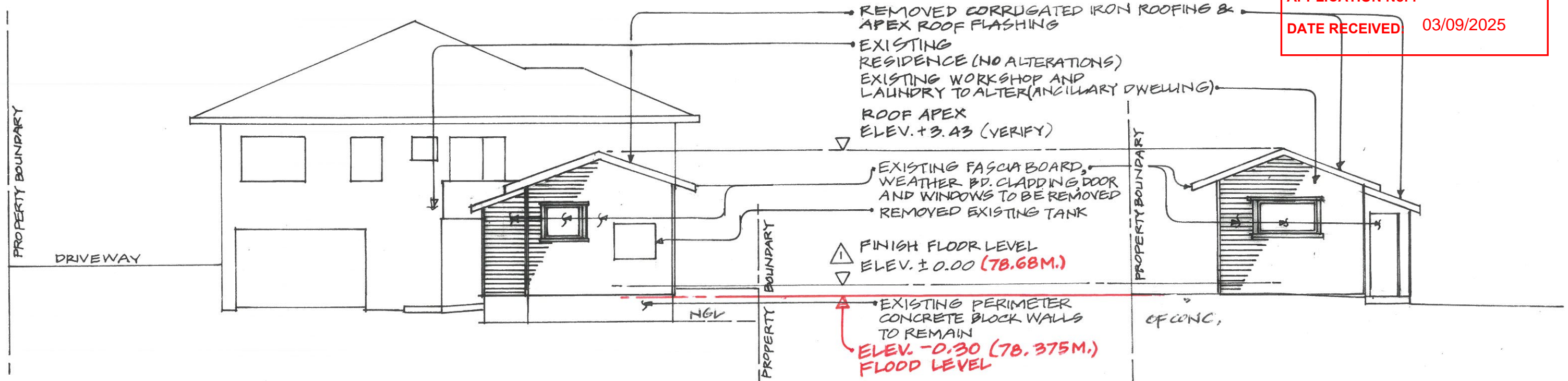


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design + architectural  
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e: rolyvillapana@yahoo.com.au m: 0407801215  
Accreditation CC6927

Project: ALTERATION TO EXISTING LAUNDRY AND WORKSHOP TO ANCILLARY DWELLING  
120 ABBOTS FIELD ROAD, CLAREMONT  
Client: PURAN KHADKA  
Drawing: EXISTING EAST & WEST ELEVATIONS

	Designed	Drawn & Date
		ROLY FEB'25
	Checked	Scale
	ARVI	1:100
Project No.	Drawing No.	Rev. No.
Clmt-243	A-3 OF 6	1

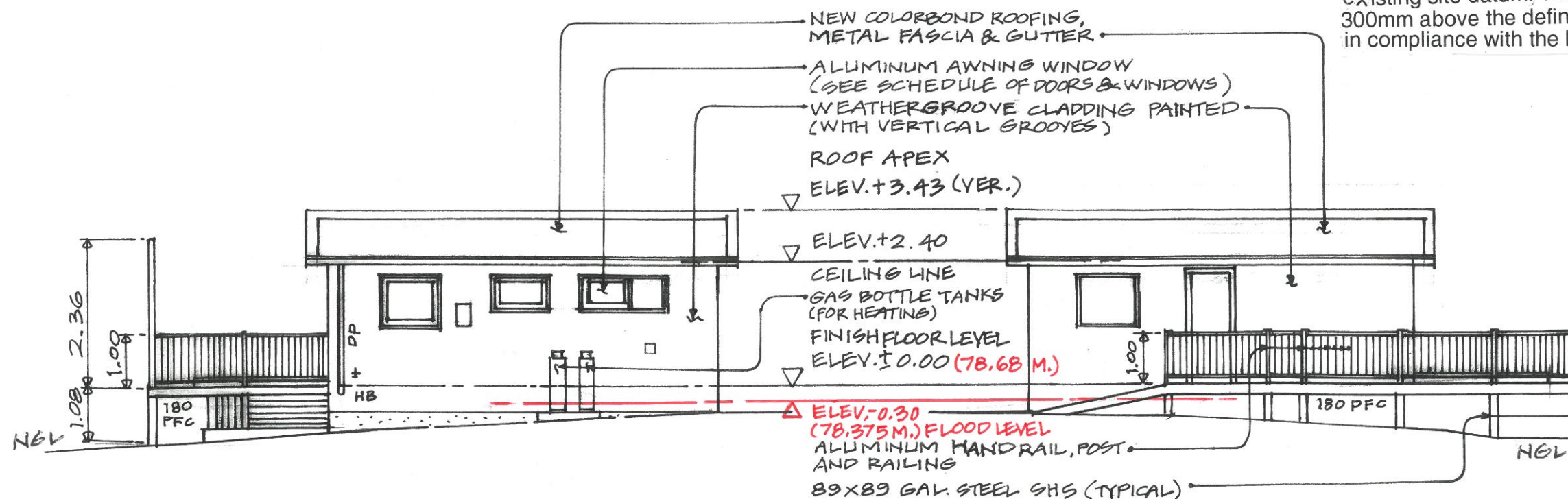




existing  
North Elevation  
SCALE 1:100 M.

existing  
South Elevation  
SCALE 1:100 M.

**Note:** The Finished Floor Level (FFL) of  $\pm 0.00$  is based on the existing site datum. This is equivalent to 78.68m AHD, which is 300mm above the defined flood level of 78.375m AHD, in compliance with the low-risk flood overlay requirement.



proposed  
West Elevation  
SCALE 1:100 M.

proposed  
East Elevation  
SCALE 1:100 M.

#### RETROSPECTIVE APPROVAL

Rev. No.	Date	Description
1	16/8/25	AS SHOWN

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Accreditation CC6927

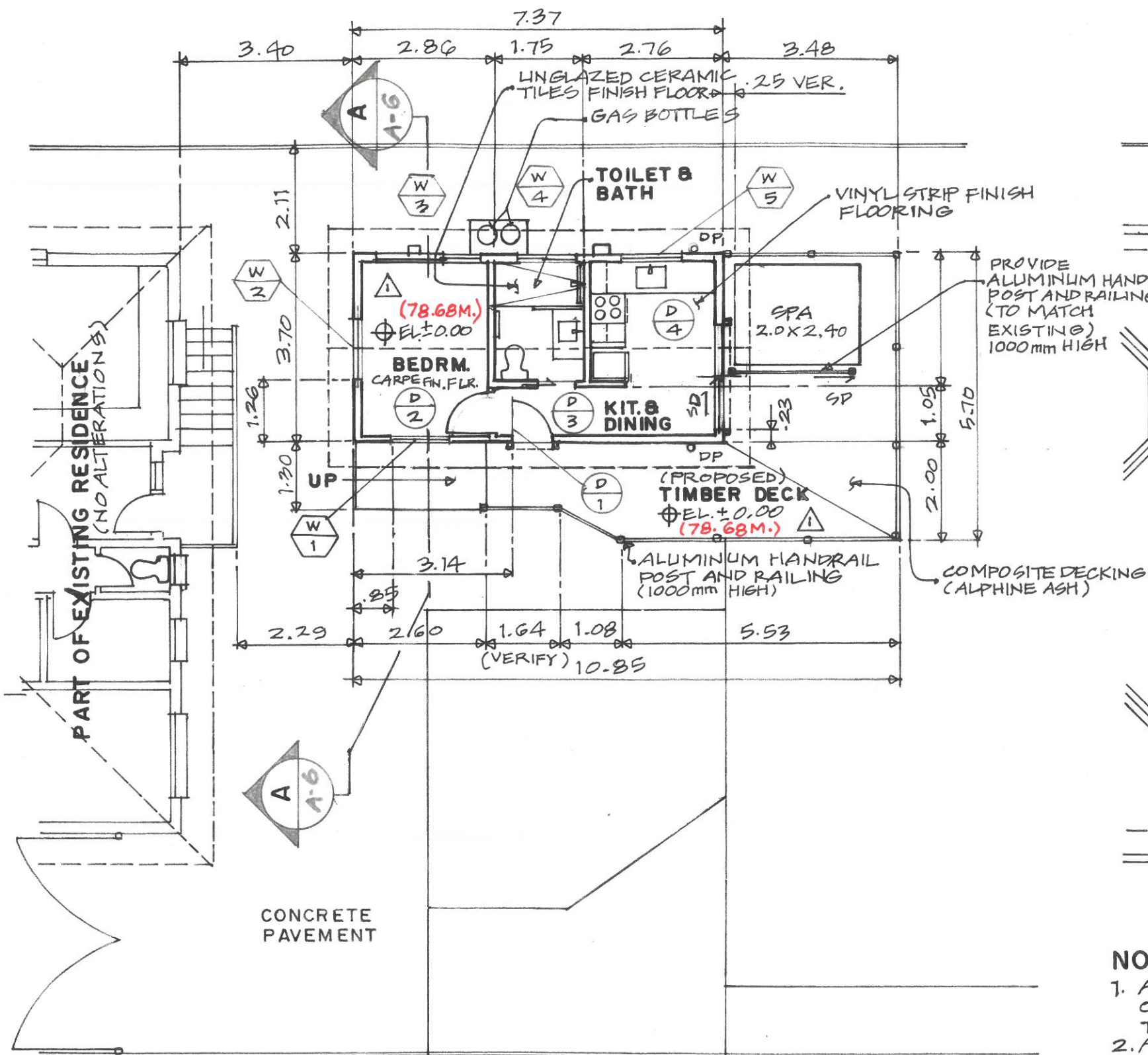
Project: ALTERATION TO EXISTING LAUNDRY AND WORKSHOP TO ANCILLARY DWELLING  
120 ABBOTSFIELD ROAD, CLAREMONT  
Client: PURAN KHADKA

Drawing: EXISTING NORTH, SOUTH and PROPOSED EAST & WEST ELEVATIONS

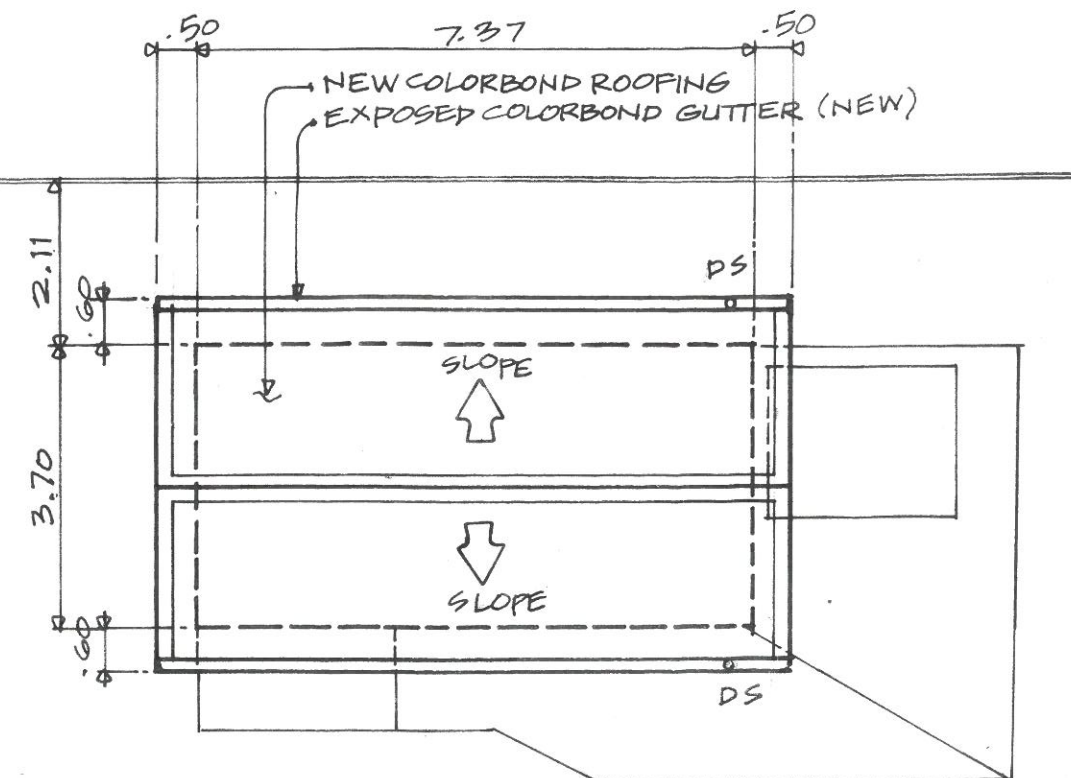
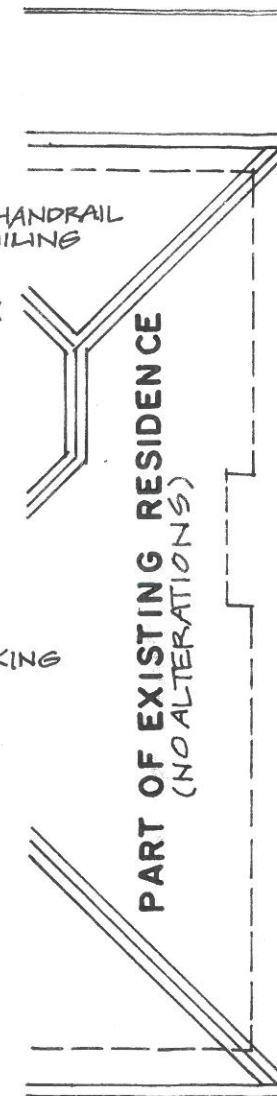
Designed	Drawn & Date
Checked	ROLY MAR'25
ARVI	Scale
	1:100

Project No.	Drawing No.	Rev. No.
Clmt-243	A-496	1





proposed  
Floor Plan  
SCALE 1:100 M.



proposed  
Roof Plan  
SCALE 1:100 M.


**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No. : PLN-25-099  
DATE RECEIVED: 03/09/2025

**Note:** The Finished Floor Level (FFL) of  $\pm 0.00$  is based on the existing site datum. This is equivalent to 78.68m AHD, which is 300mm above the defined flood level of 78.375m AHD, in compliance with the low-risk flood overlay requirement.


### NOTES:

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED. DO NOT SCALE OFF THE DRAWINGS USE WRITTEN DIMENSIONS.
2. ALL BUILDING WORKS SHALL COMPLY WITH AUSTRALIAN STANDARDS THE CURRENT 2022 NCC & LOCAL COUNCIL REQMTS.
3. ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF AS2047 AND AS1288.
4. 6mm (MIN.) THK. GRADE A TOUGHENED SAFETY GLASS SHOWER SCREEN TO COMPLY WITH ABCB HOUSING PROVISIONS TABLE B.4.6 & AS1288-2021.

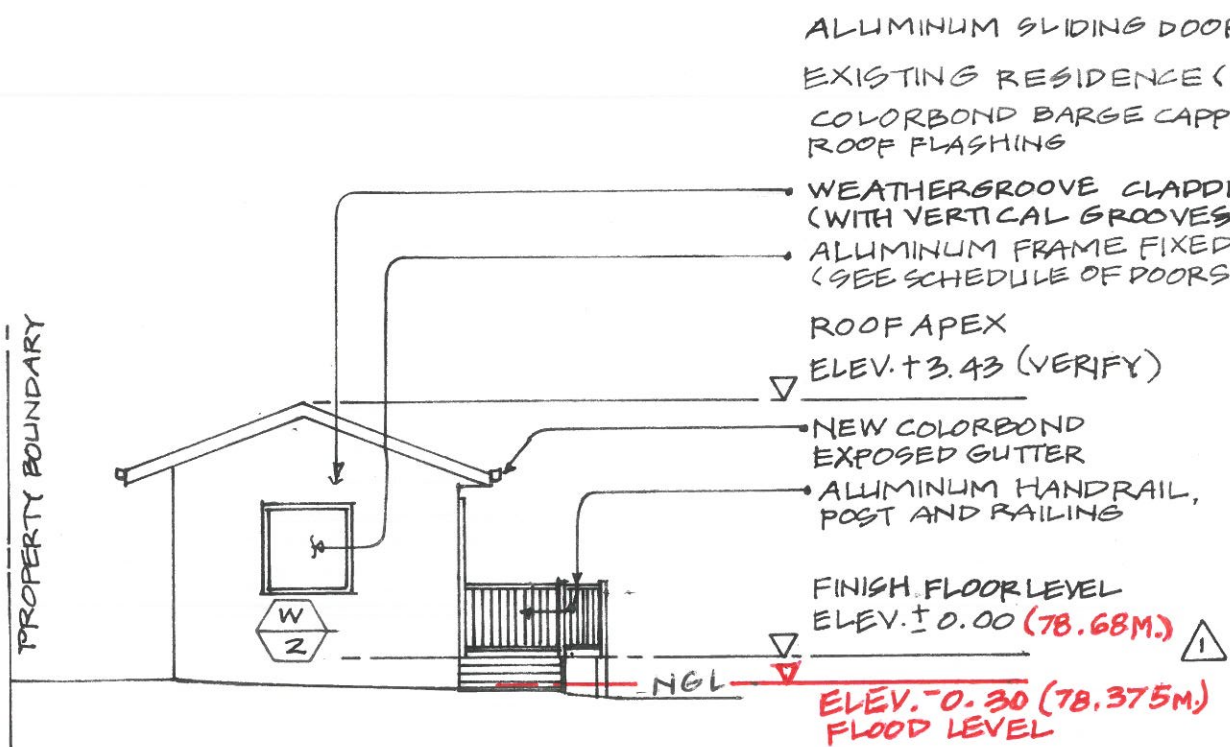
### RETROSPECTIVE APPROVAL

1	16/02/25	AS SHOWN
Rev. No.	Date	Description
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 <b>rolydizonvillapana</b> design + architectural GPO Box 1053 Hobart 7001 TAS., Australia e: rolyvillapana@yahoo.com.au m: 0407801215 Accreditation CC6927		

Project: ALTERATION TO EXISTING LAUNDRY AND WORKSHOP TO ANCILLARY DWELLING  
120 ABBOTSFIELD ROAD, CLAREMONT  
Client: PURAN KHADKA  
Drawing: PROPOSED FLOOR & ROOF AND NOTES.

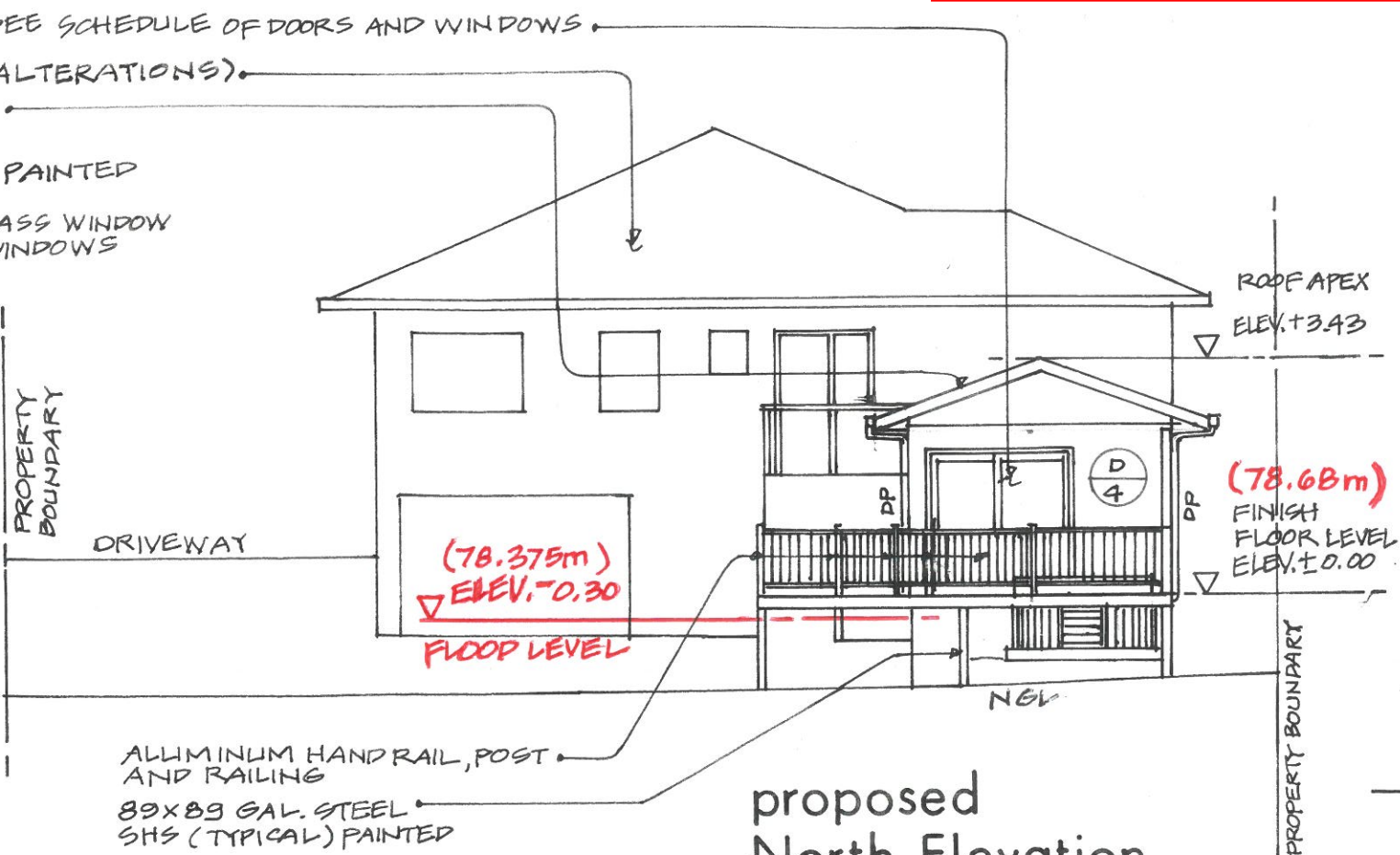
	Designed	Drawn & Date
	Checked ARVI	ROLY FEB '25 Scale 1:100
Project No. C1mt-243	Drawing No. A-5 of 6	Rev. No. 1



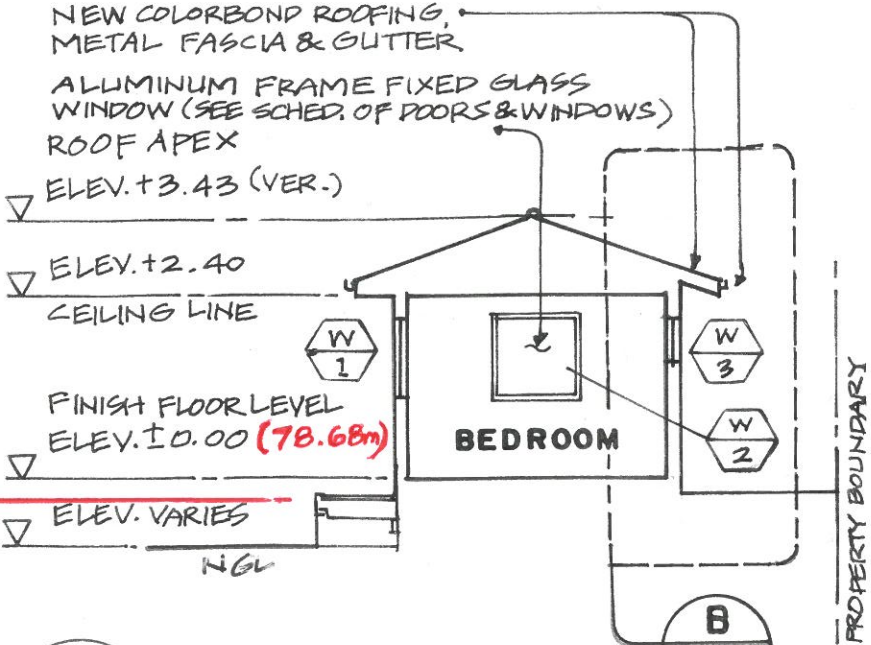


proposed  
South Elevation  
SCALE 1:100 M.


**Note:** The Finished Floor Level (FFL) of ±0.00 is based on the existing site datum. This is equivalent to 78.68m AHD, which is 300mm above the defined flood level of 78.375m AHD, in compliance with the low-risk flood overlay requirement.



proposed  
North Elevation  
SCALE 1:100 M.



SECTION  
SCALE 1:100 M.

RETROSPECTIVE APPROVAL		
1	29825	AS SHOWN
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 rolydizonvillapana design + architectural GPO Box 1053 Hobart 7001 TAS., Australia e: rolyvillapana@yahoo.com.au m: 0407801215 Accreditation CC6927		
Project: ALTERATION TO EXISTING LAUNDRY AND WORKSHOP TO ANCILLARY DWELLING 120 ABBOTSFIELD ROAD, CLAREMONT Client: PURAN KHADKA		
Drawing: PROPOSED SOUTH & NORTH ELEVATIONS + SECTION - A		
Designed		Drawn & Date
		ROLY MAR'25
Checked		Scale
ARVI		AS SHOWN
Project No.	Drawing No.	Rev. No.
Clmt-243	A60F6	1



