

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-190
PROPOSED DEVELOPMENT:	Carport and deck additions
LOCATION:	38 Battersby Drive Claremont
APPLICANT:	Bryden Homes Pty Ltd
ADVERTISING START DATE:	09/09/2025
ADVERTISING EXPIRY DATE:	23/09/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **23/09/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **23/09/2025**, or for postal and hand delivered representations, by 5.00 pm on **23/09/2025**.

B150 - PROPOSED CARPORT & DECKS FOR CHRIS STEILBERG
AT 38 BATTERSBY DRIVE, CLAREMONT

BRYDEN

homes

QUALITY BUILDERS

14 Clare Street, New Town, Tasmania, 7008

Ph: 6278 7782 Mob: 0407 721 824

Fax: 6278 7783 Accreditation No. CC284T

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-190

DATE RECEIVED: 23/08/2025

Architectural
Drawing No.

Description

01	A	SITE PLAN
02	A	DRAINAGE PLAN
03		EXISTING LOWER FLOOR PLAN
03a		EXISTING UPPER FLOOR PLAN
03b		DEMOLITION PLAN
04		EXISTING ELEVATIONS Sheet 1 of 2
04a		EXISTING ELEVATIONS Sheet 2 of 2
05		PROPOSED LOWER FLOOR PLAN
05a	A	PROPOSED UPPER FLOOR PLAN
06	A	PROPOSED ELEVATIONS Sheet 1 of 2
06a	A	PROPOSED ELEVATIONS Sheet 2 of 2
06b		PERSPECTIVE VIEWS

PROTECTIVE COATINGS FOR STEELWORK

ENVIRONMENT	LOCATION	MINIMUM PROTECTION COATING	
		General structural steel members	Lintels in masonry
LOW mild steel corrosion rate 1.3 to 25 µm/year Typically remote inland areas or more than 1 km from sheltered bays	INTERNAL	No protection required	
	EXTERNAL	Option 1	Hot dip galvanising - HDG75
		Option 2	Duplex system. See N.C.C. Table 6.3.9c
		Option 3	Paint. See N.C.C. Table 6.3.9b - ALC2, ACC2, IZS1, PUR2A

NOTES:
1. Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.
2. The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.
3. Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.
4. All zinc coatings (including inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.
5. Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.
6. Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.
7. For applications outside the scope of this table, seek specialist advice.

REVISION	DATE	SHEETS	DESCRIPTION
A	22 Aug. 2025	01, 02, 05a, 06, 06a	Council RFI (31 July 2025): Show additional building envelope, Show 1.7h privacy screening to Eastern side of deck, Amend drainage plan plumbing note, Show further dimensions of carport.

Climate Zone - 7

C.T. No. CT44072/47

Wind Speed - TBC

Soil Classification - TBC

Corrosion Environment -LOW

FLOOR AREA -

Lower Floor = Unchanged

Upper Floor = Unchanged

Total = Unchanged

Added Deck = 16.46m²

Area

BAL - Not Bushfire Prone

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DRAWING: COVER SHEET
DATE: 06 July 2025
FILE NAME: B150 DA - A - 150825
DRAWN BY: PC

DWG No: COVER SHEET

06 July 2025

Preliminary drawings

Development application drawings (DA)

Preliminary construction drawings
Engineer not to sign this copy, only provide notes, additions & amendments

Final construction drawings (BA)

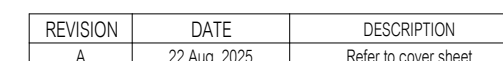
Approved by Engineer

Approved by Building Surveyor



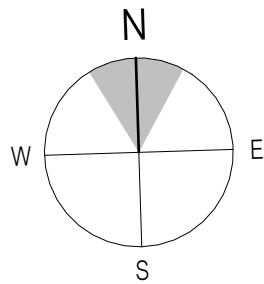
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PLANNING SERVICES**

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PROPOSED CARPORT & DECKS FOR CHRIS STEILBERG
AT 38 BATTERSBY DRIVE, CLAREMONT



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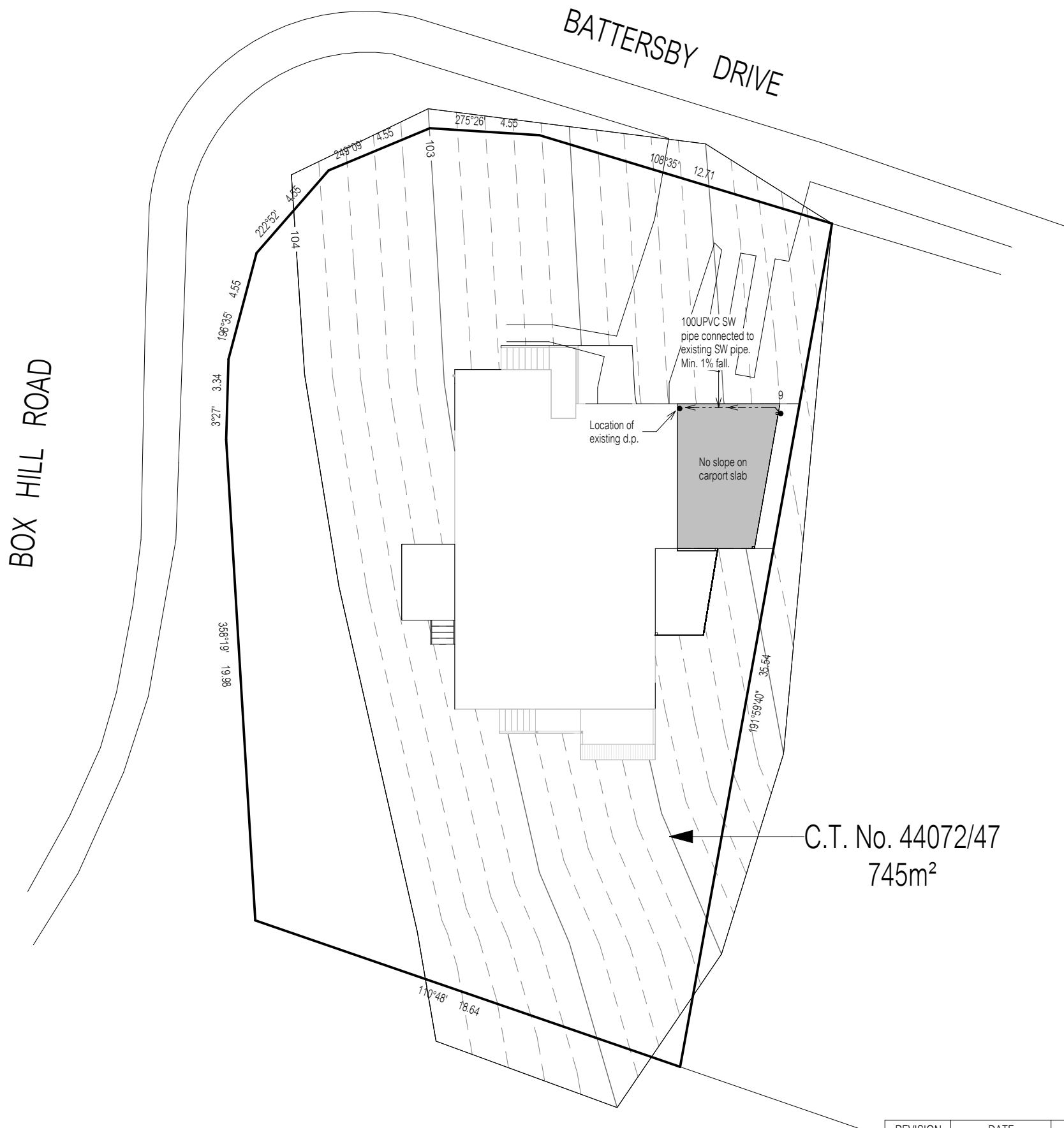
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- DRAINAGE LEGEND
- 1

2

3

4

5

6

7

8

9

10

11

f/w

WC

HANDBASIN

SHOWER

BATH

LAUNDRY TROUGH

KITCHEN SINK

VENT

TAP CHARGED O.R.G. MIN. 150mm BELOW FFL

DOWNPIPE

TAP

INSPECTION OPENING TO GROUND LEVEL

FLOOR WASTE

100 dia

40 dia

50 dia

40 dia

50 dia

50 dia

50 dia

90 dia

GLENORCHY CITY COUNCIL

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A	22 Aug. 2025	Refer to cover sheet

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DRAWING:

DATE:

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DRAINAGE PLAN

06 July 2025

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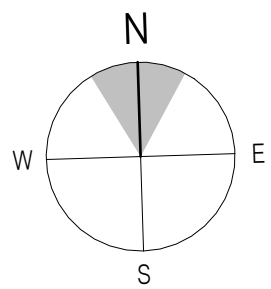
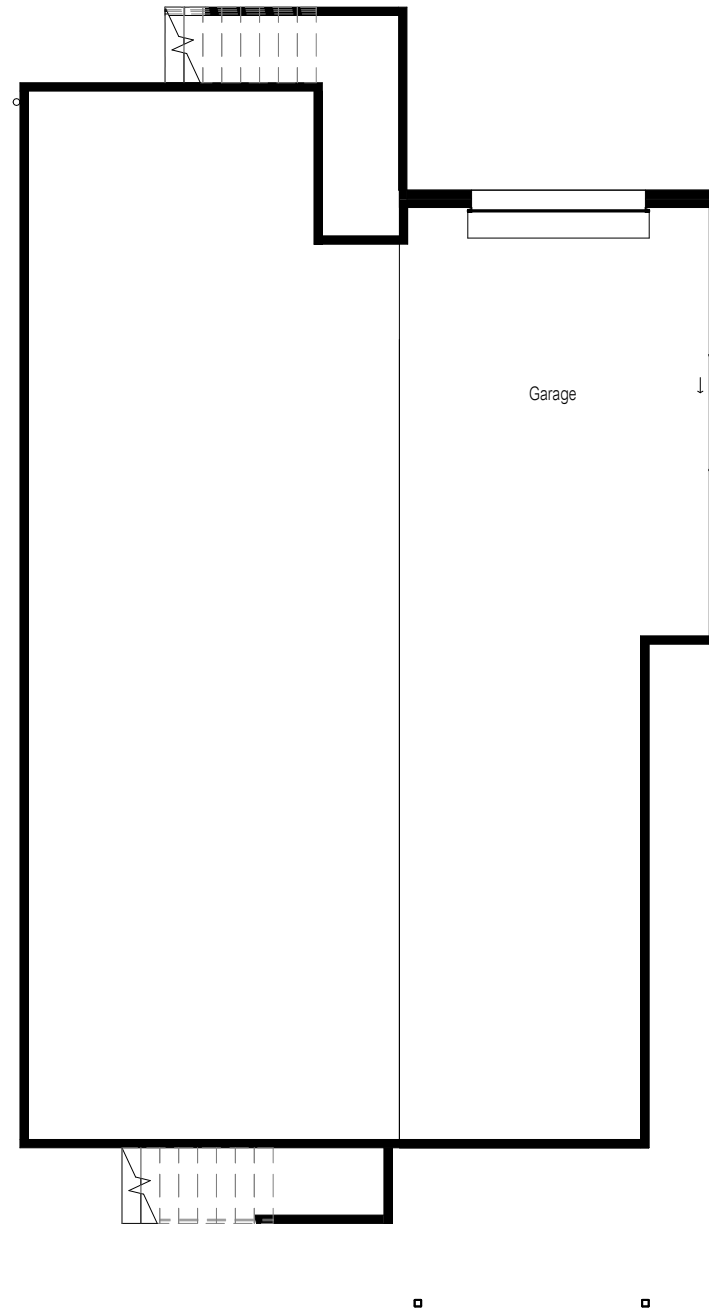
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DWG No:

02

Scale 1 : 200

PROPOSED CARPORT & DECKS FOR CHRIS STEILBERG
AT 38 BATTERSBY DRIVE, CLAREMONT



Scale 1 : 100

**PROPOSED CARPORT & DECKS FOR CHRIS STEILBERG
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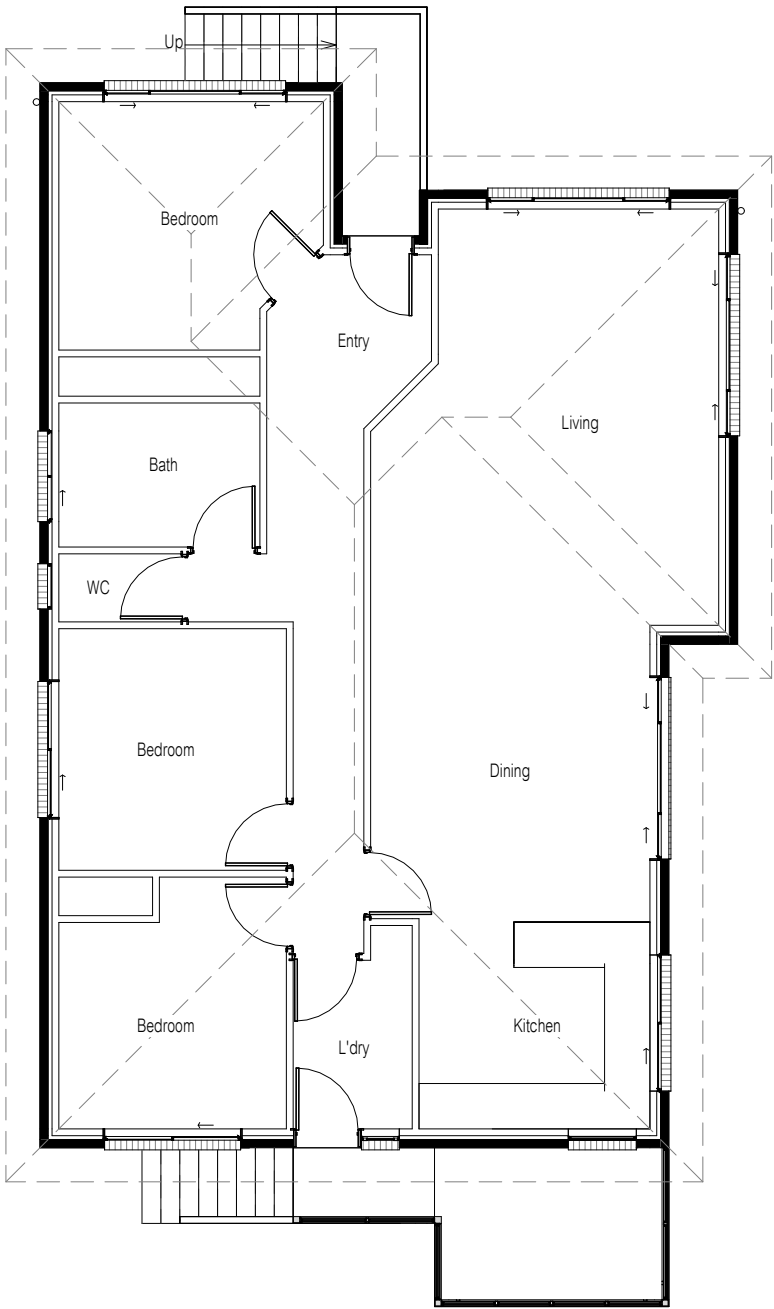
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DATE: 06 July 2025
FILE NAME: B150 DA - A - 150825
DRAWN BY: PC

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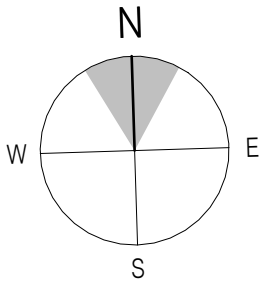
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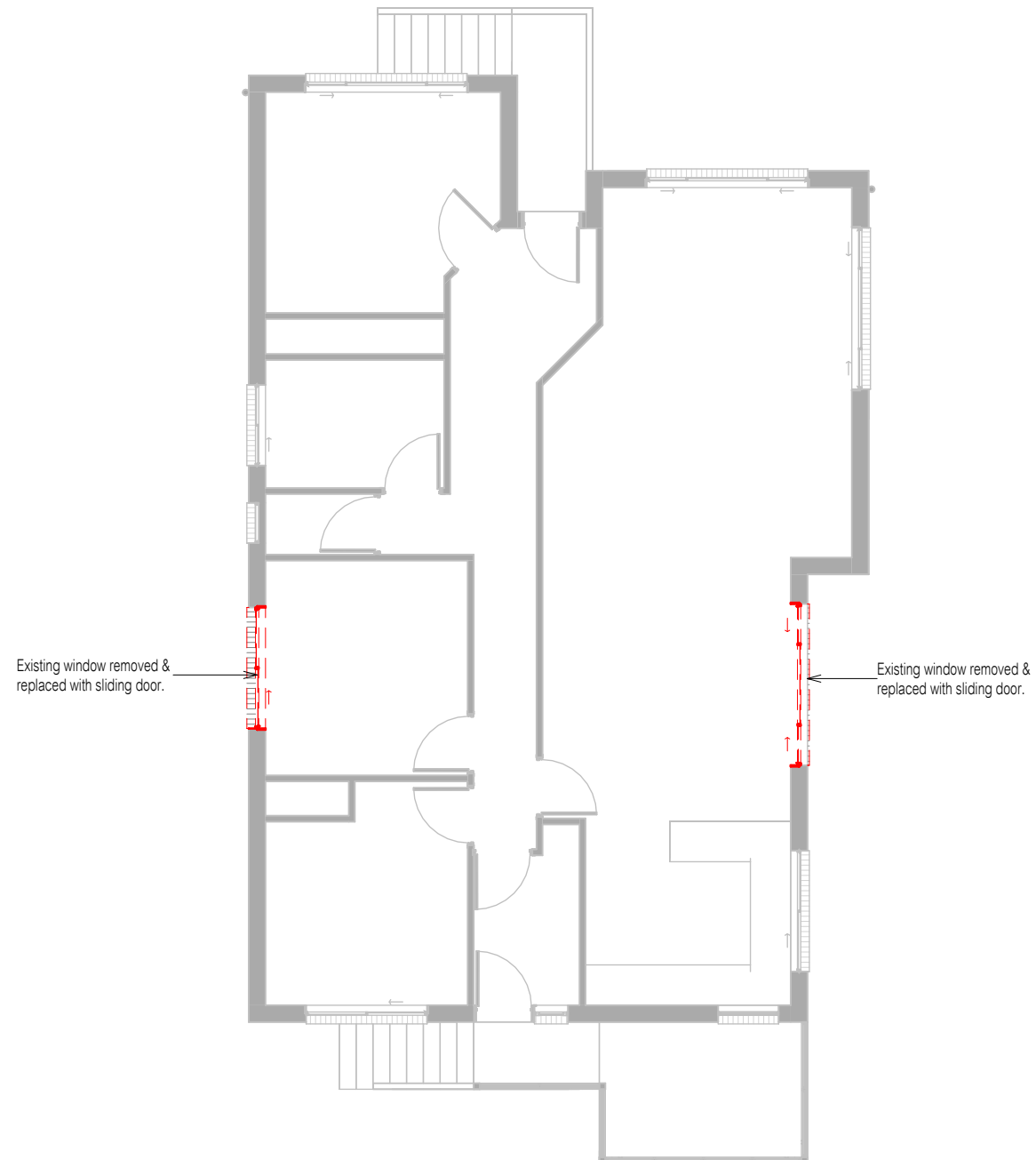
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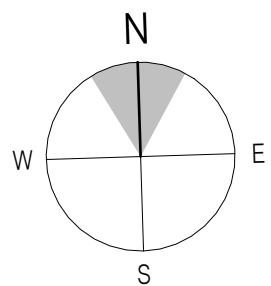
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03a



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03b



North Elevation



East Elevation

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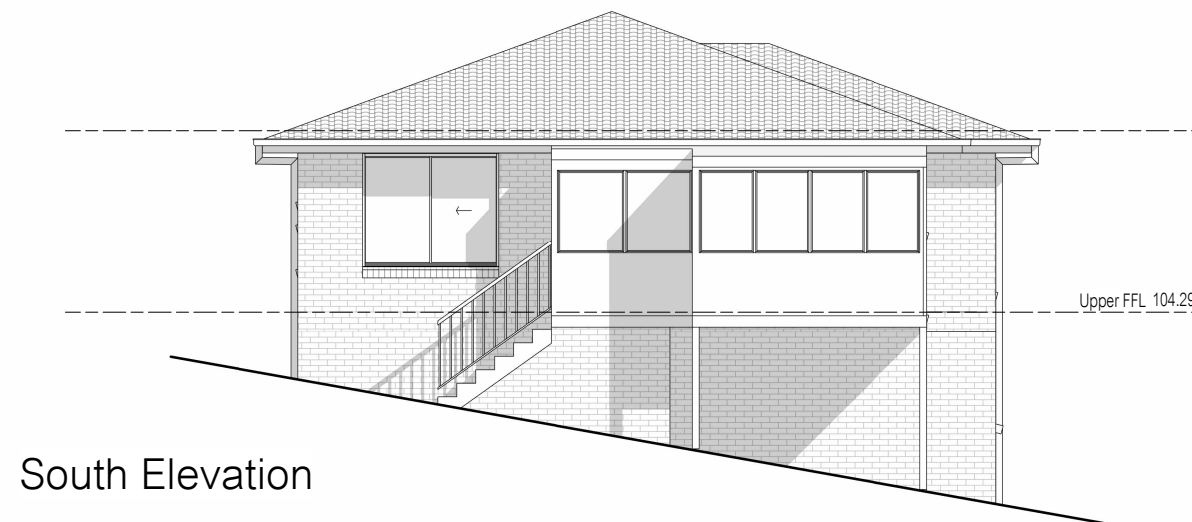
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DATE: 06 July 2025
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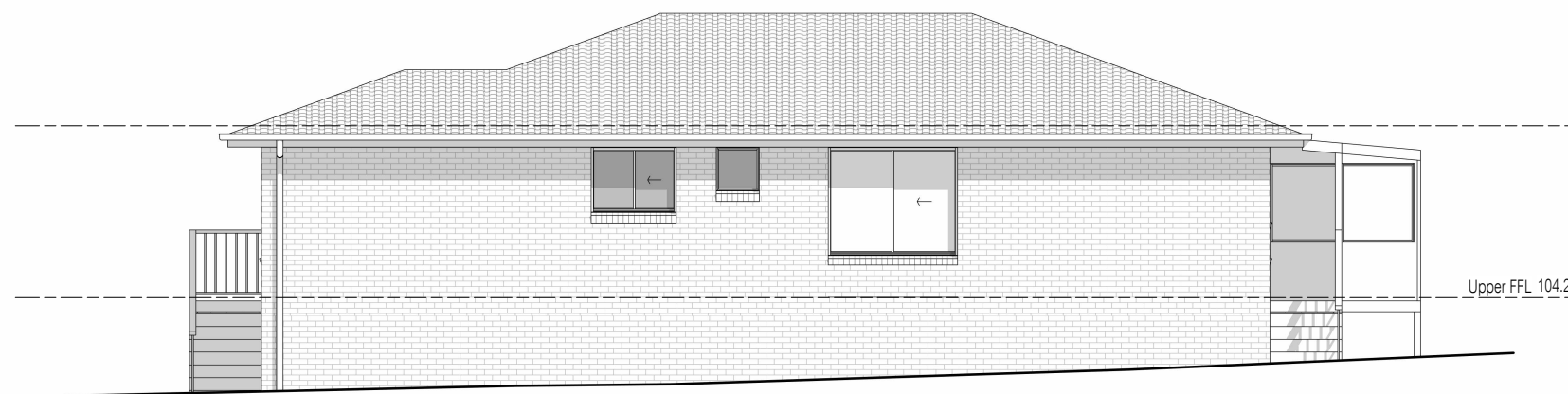
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PROPOSED CARPORT & DECKS FOR CHRIS STEILBERG
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04



South Elevation



West Elevation

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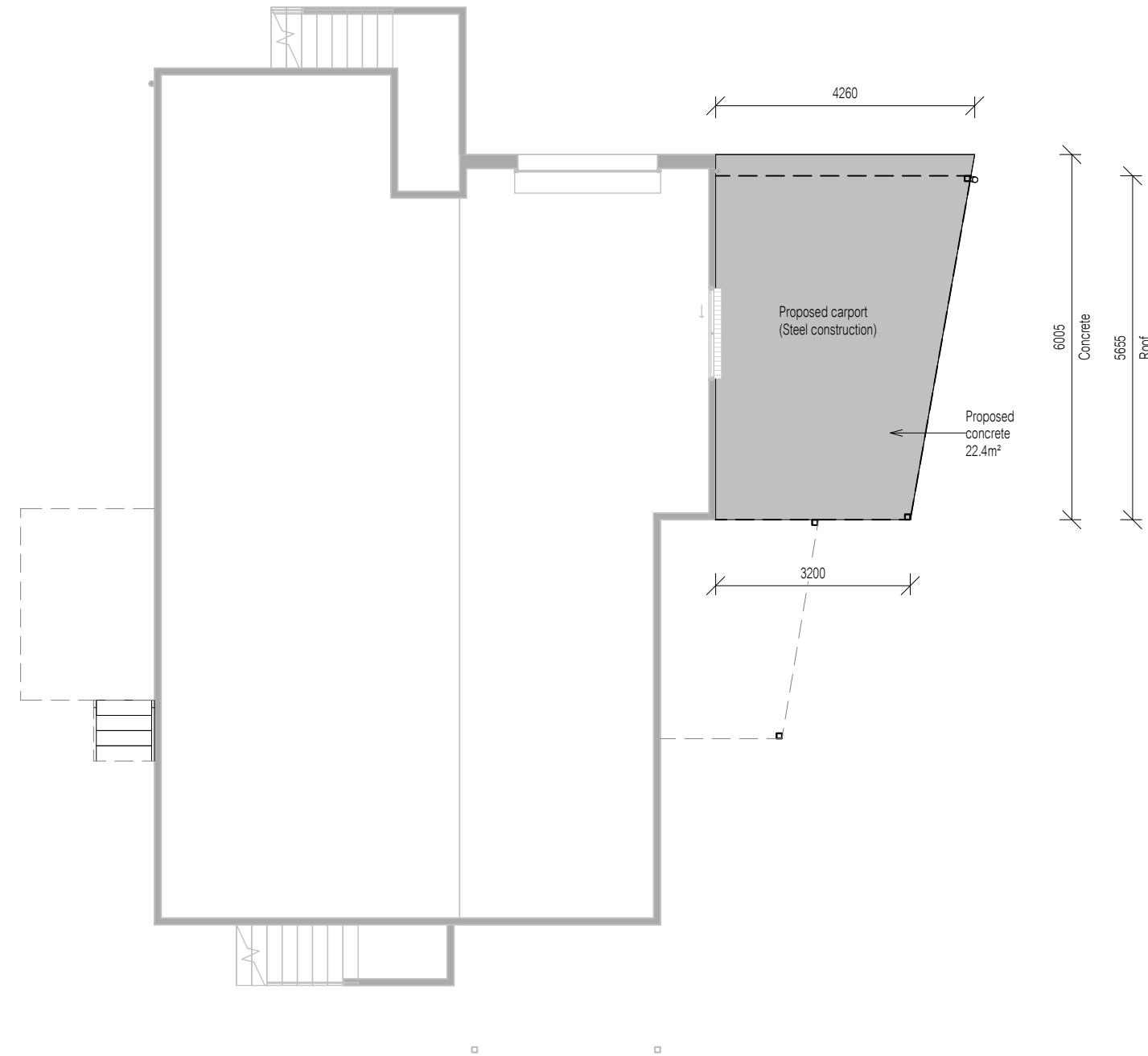
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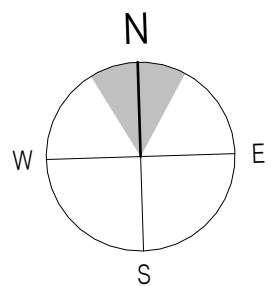
04a

Scale 1 : 100

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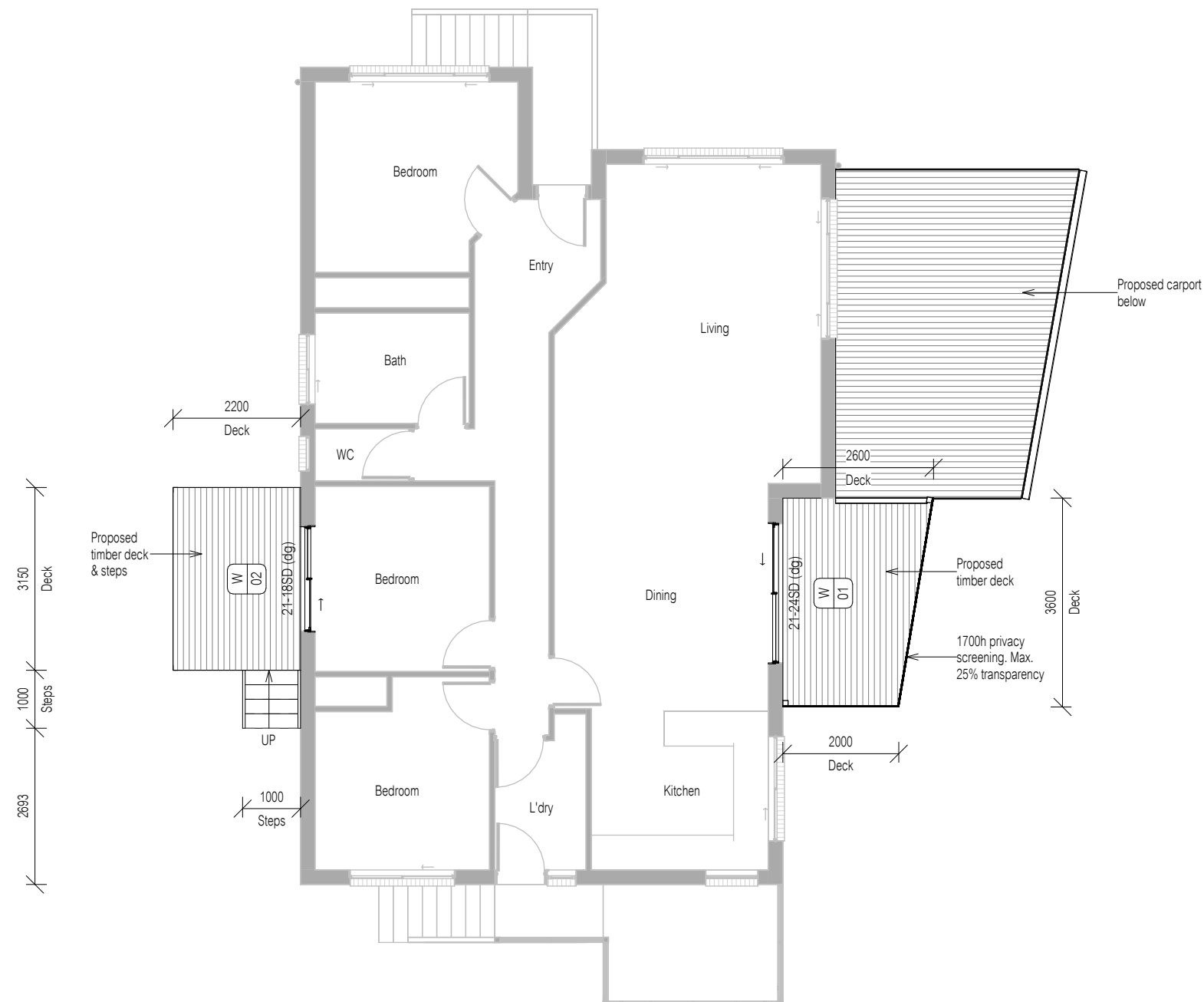
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DRAWING: PROPOSED LOWER FLOOR PLAN
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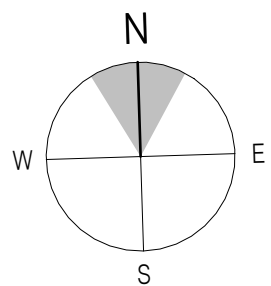
DWG No:

05

Lower Floor Area = Unchanged
Upper Floor Area = Unchanged
Total Floor Area = Unchanged
New Deck Area = 16.46m²



BAL - Not Bushfire Prone



Scale 1 : 100

**PROPOSED CARPORT & DECKS FOR CHRIS STEILBERG
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A	22 Aug. 2025	Refer to cover sheet

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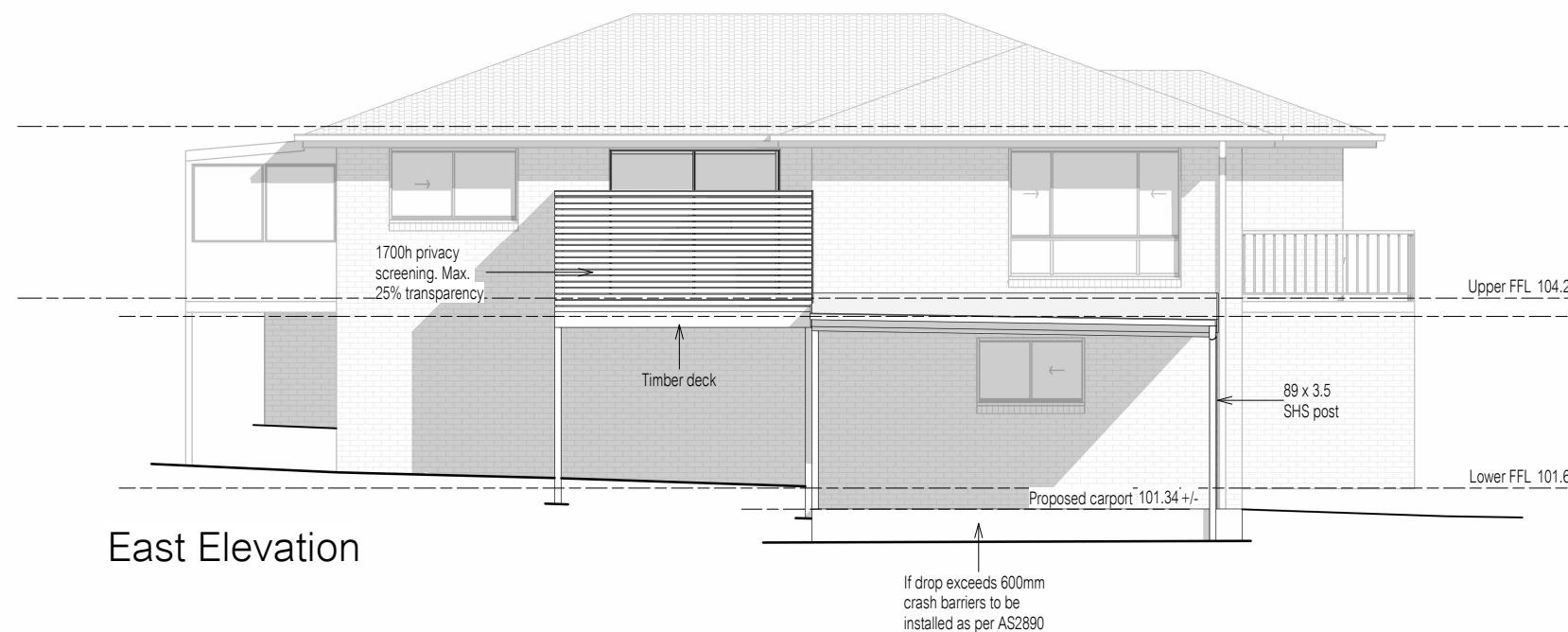
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FILE NAME: B150 DA - A - 150825
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DWG No:

05a



North Elevation



East Elevation

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DWG No:

06

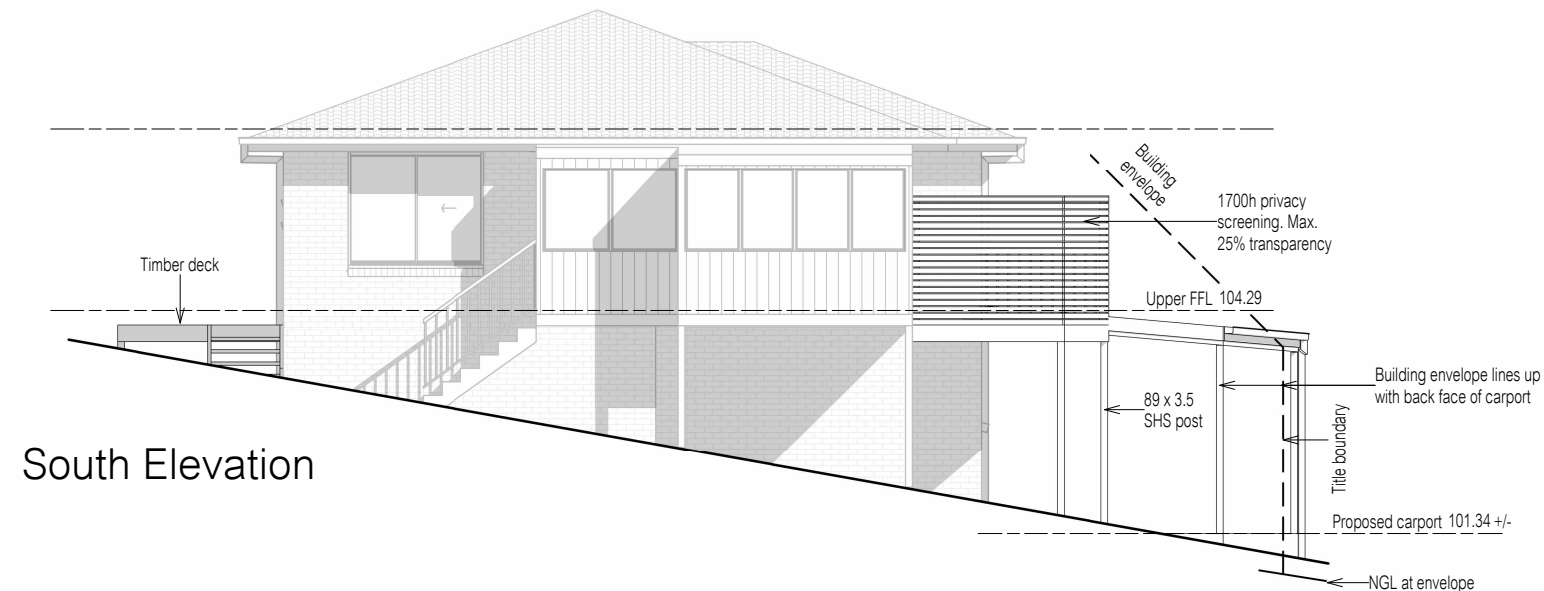
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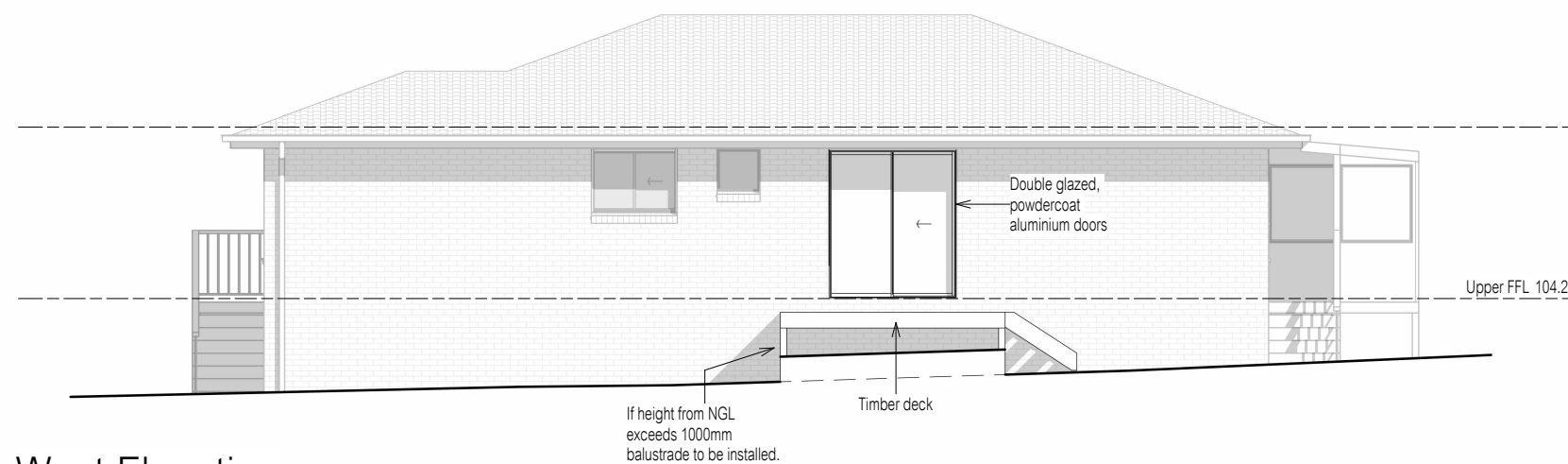
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South Elevation



West Elevation

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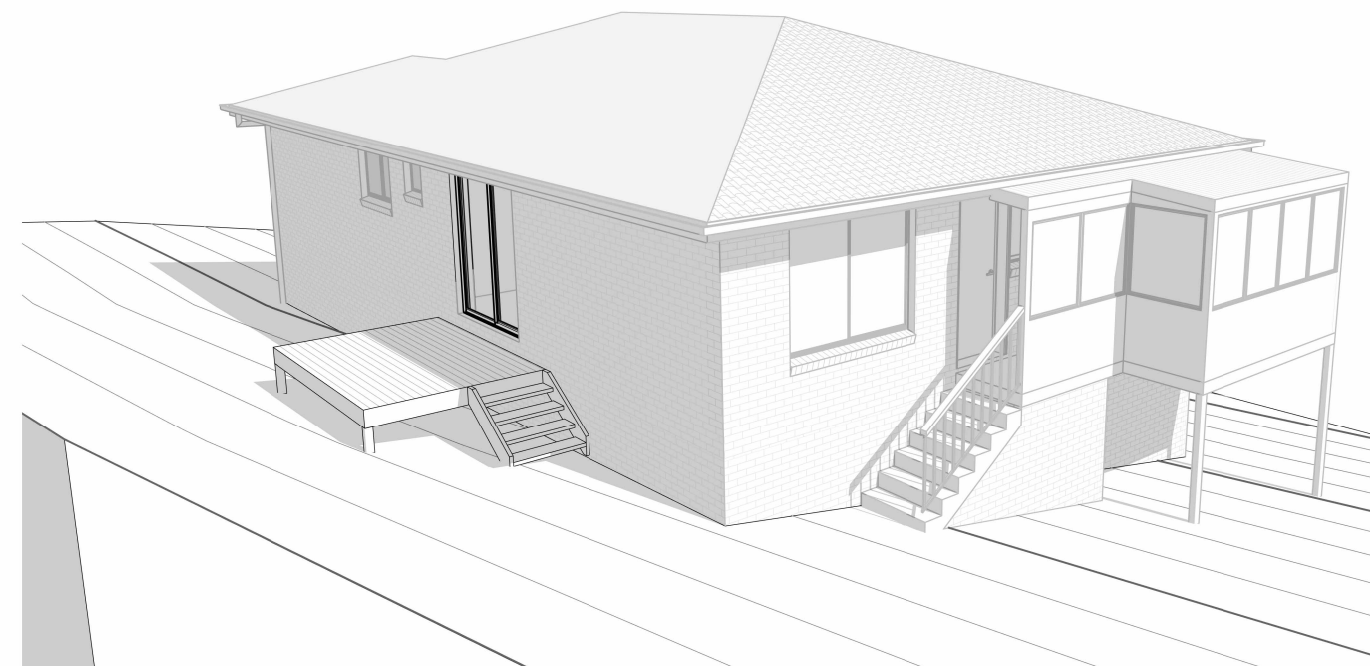
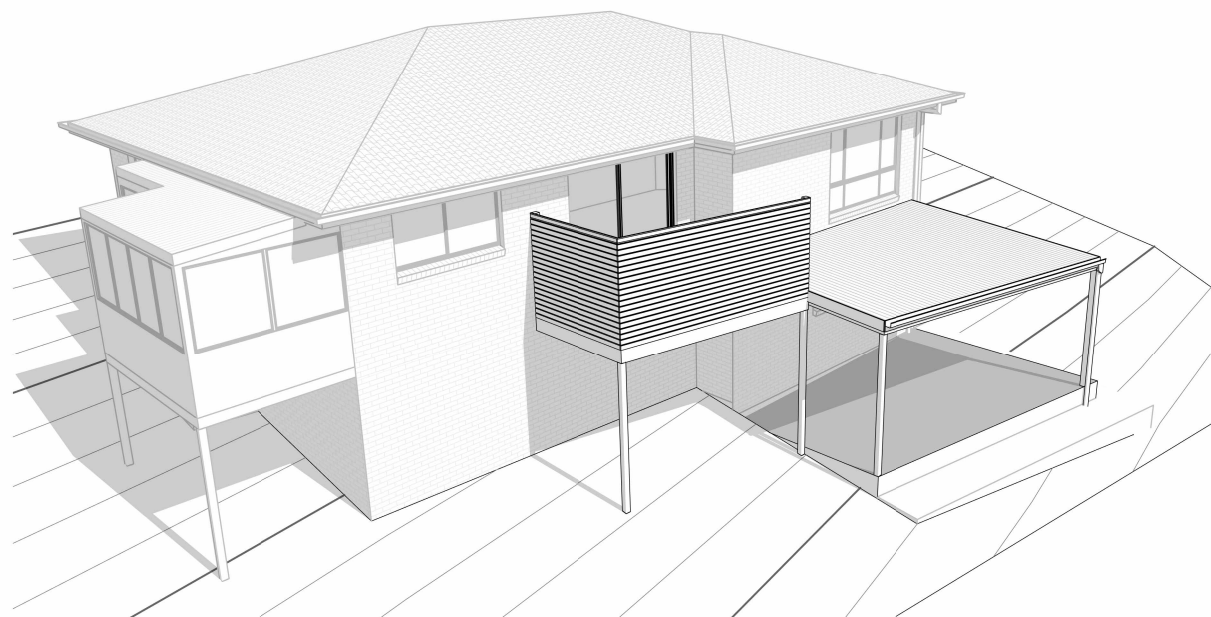
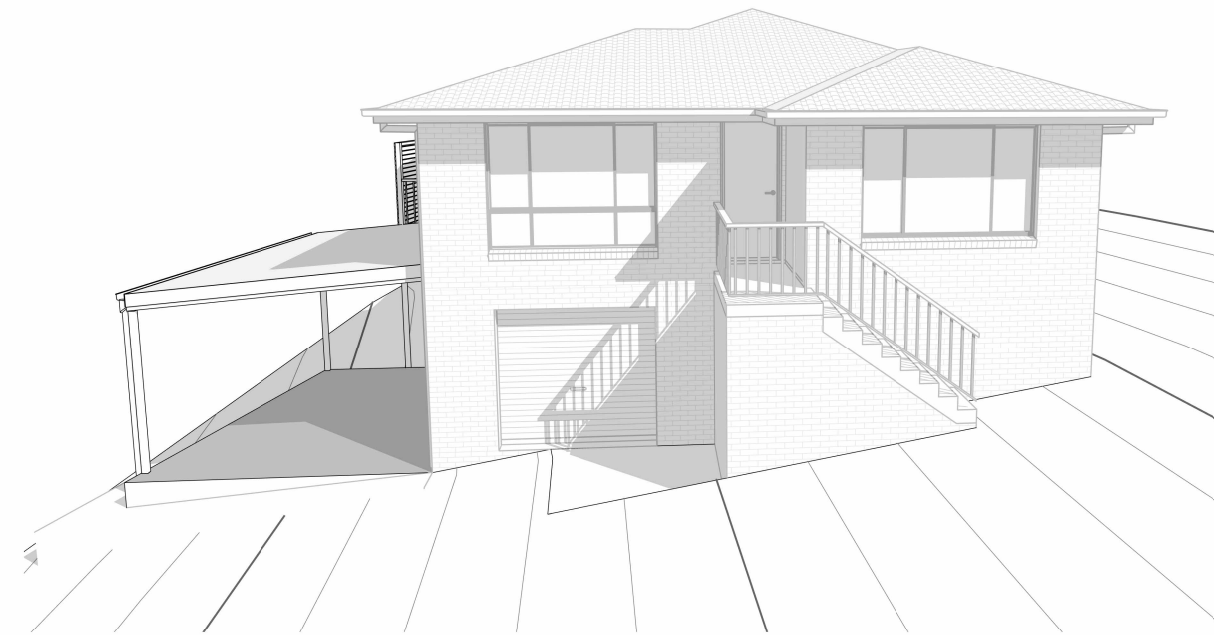
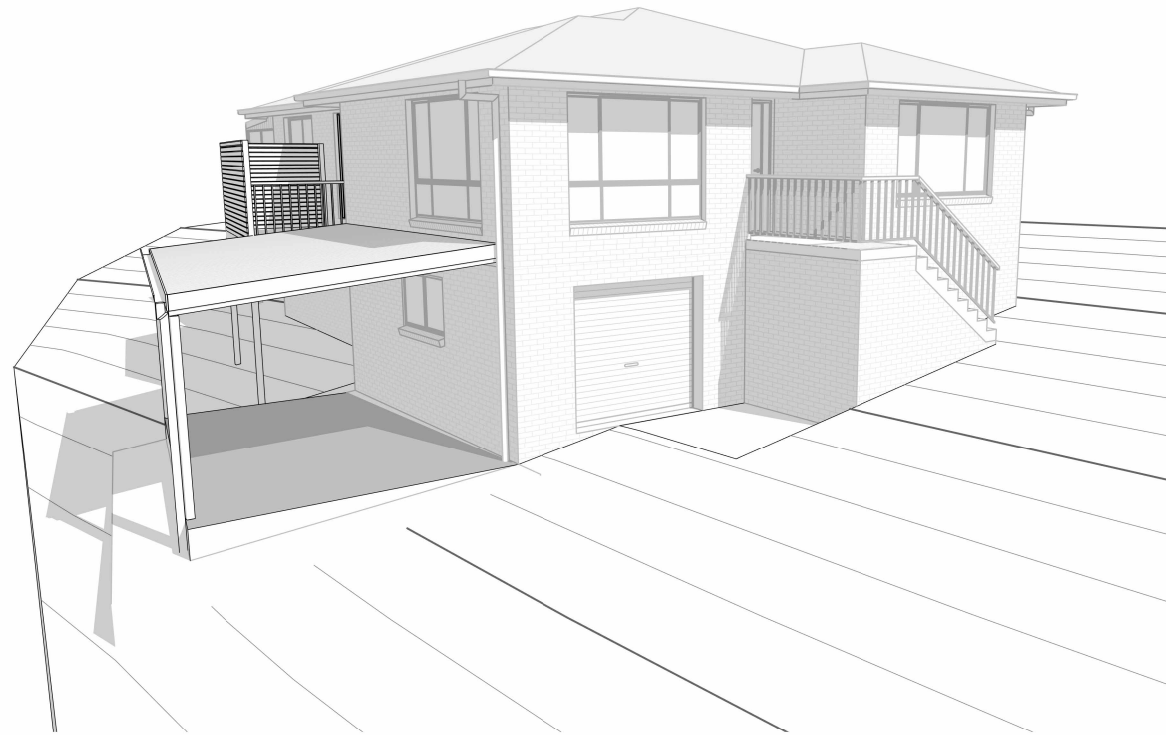
DRAWING: PROPOSED ELEVATIONS Sheet 2 of 2
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06a

Scale 1 : 100

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DRAWING: PERSPECTIVE VIEWS
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DWG No:

06b

Scale

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