

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-240
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	43 Kiewa Rise Lenah Valley
APPLICANT:	Cunic Homes
ADVERTISING START DATE:	30/09/2025
ADVERTISING EXPIRY DATE:	14/10/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **14/10/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **14/10/2025**, or for postal and hand delivered representations, by 5.00 pm on **14/10/2025**.



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-240
DATE RECEIVED: 25 August 2025

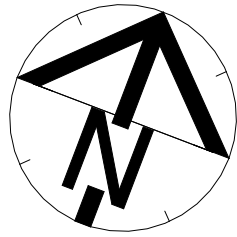
H859 - PROPOSED CAMPBELL UPTON & UPTON RESIDENCE
Lot 134, 43, Kiewa Rise,
LENAH VALLEY

SHEET		DRAWING TITLE
01	B	SITE PLAN
01a	B	DRAINAGE PLAN
02	B	GROUND FLOOR PLAN
02a	B	LOWER GROUND FLOOR PLAN
03	B	ELEVATIONS SHEET 1
03a	B	ELEVATIONS SHEET 2
03b	B	PERSPECTIVE VIEWS



B	Increased dwelling size, Additional downstairs storage room, New floor plan layout, Updated all relevant plans.	19 Aug. 2025	SW	CK	01 - 03b, Elec, Roof
A	Raise dwelling by 600mm	09 Dec. 2024	SW	CK	01 - 03b, Elec
	DA PLAN SET	28 Nov 2024	ST	RJ	01 - 03
No.	Amendment	Date	Drawn	Checked	Sheet

<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div>Soil Classification: P Title Reference: 187764/134 Floor Areas: 187.36m² Porch / Deck Areas: 44.05m² Wind Speed: N2 Climate Zone: 7 Alpine Zone: N/A Corrosion Environment: LOW Certified BAL: TBC Designed BAL: TBC (Refer to Standard Notes for Explanation)</div>	COVER SHEET	
	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CAMPBELL UPTON & UPTON RESIDENCE Lot 134, 43, Kiewa Rise, LENAH VALLEY			H859
				Date	28 November 2024
				Scale	Sheet



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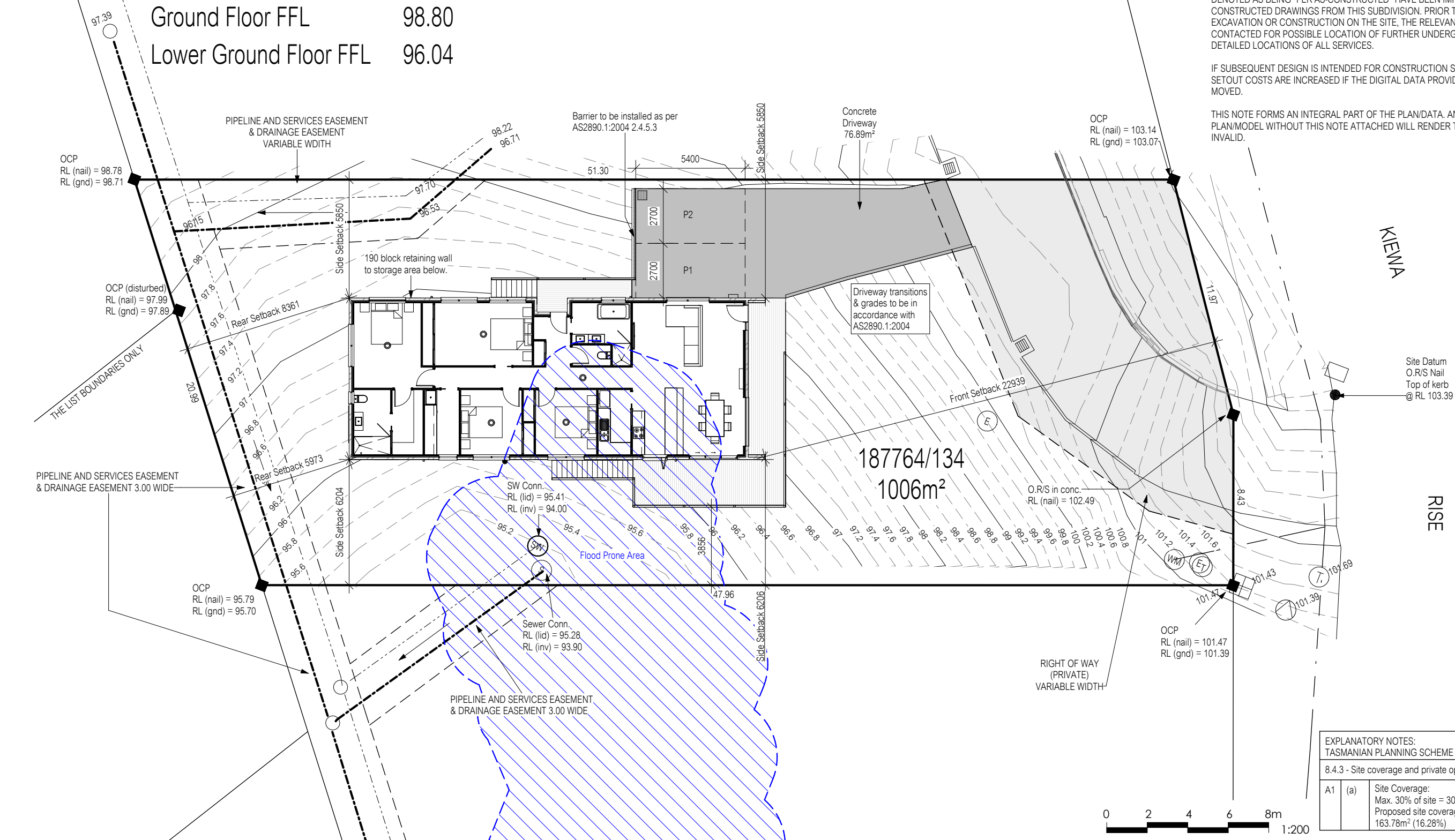
"THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER AS-CONSTRUCTED" HAVE BEEN IMPORTED FROM EXISTING AS-CONSTRUCTED DRAWINGS FROM THIS SUBDIVISION. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

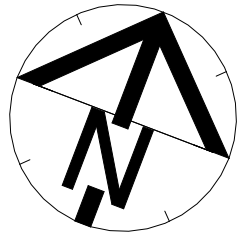
THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.



EXPLANATORY NOTES: TASMANIAN PLANNING SCHEME - GLENORCHY COUNCIL		
8.4.3 - Site coverage and private open space for all dwellings		
A1	(a)	Site Coverage: Max. 30% of site = 301.80m² Proposed site coverage (excl. eaves up to 0.6m): 163.78m² (16.28%)

B	19 Aug. 2025	SW
A	09 Dec. 2024	SW
No.	Date	Int.

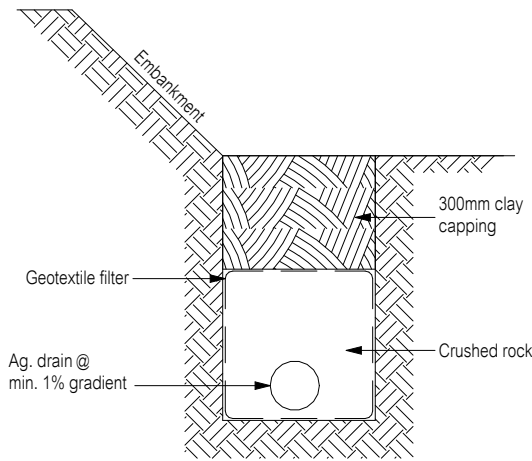
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					Date	26 November 2024	Sheet
					Scale	1 : 200	01/03



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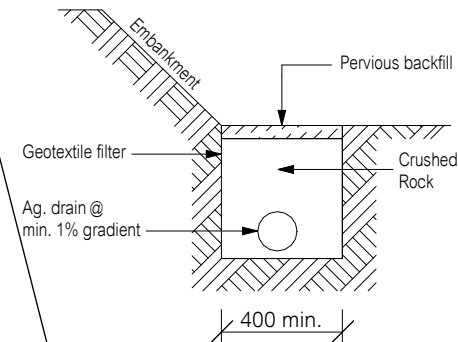


**TYPICAL AG. DRAIN DETAIL
(<1800 FROM HOUSE)**
Not to scale

ENGINEER TO CONFIRM
DESIGN DUE TO CLASS P SOIL

Where ag drain is < 1.5m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.

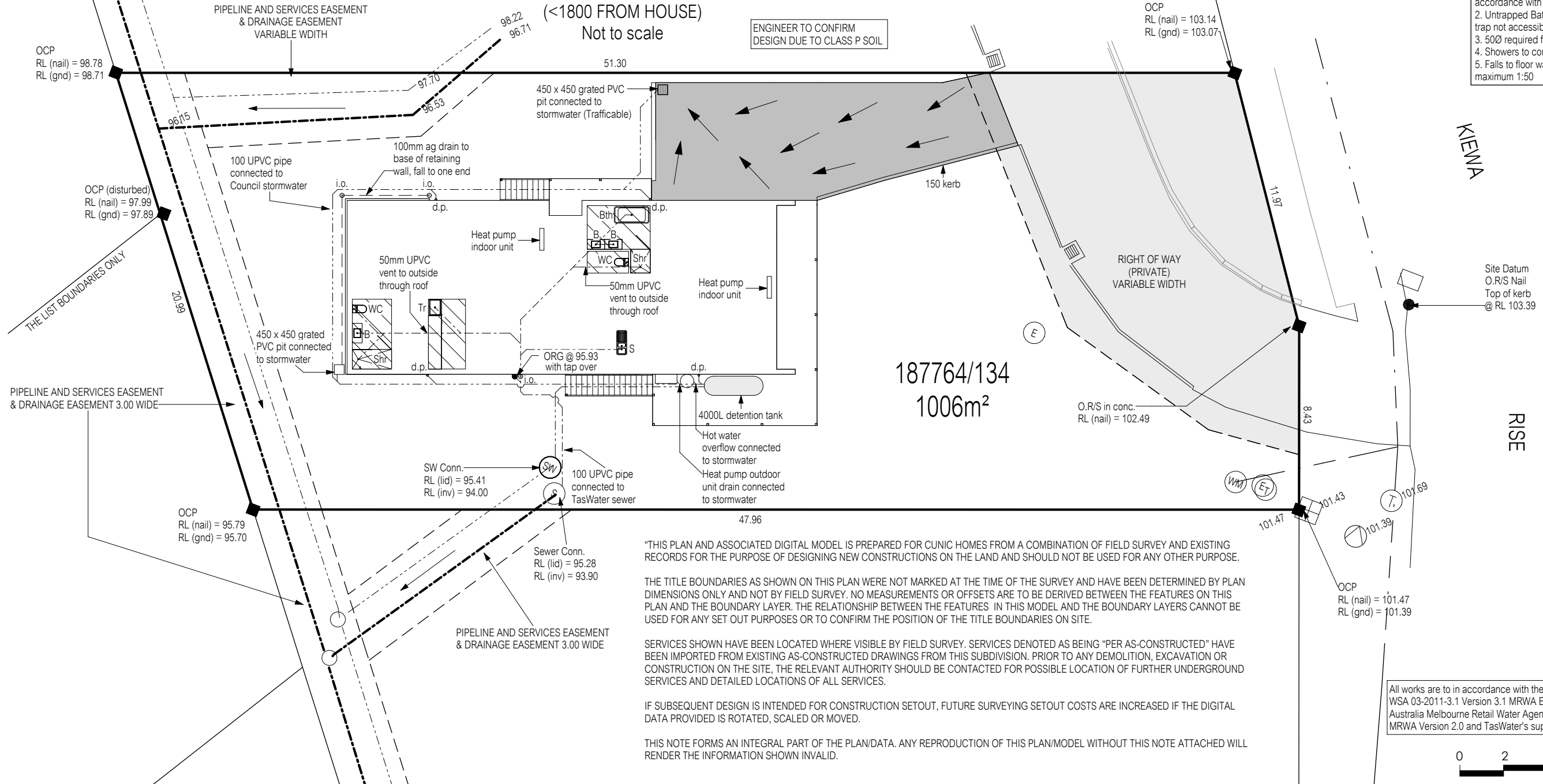


**TYPICAL AG. DRAIN DETAIL
(≥1800 FROM HOUSE)**
Not to scale

DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400 (incl. trap)
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)
--- Sewer Line (1000 UPVC) (unless noted otherwise)		
--- Stormwater Line (1000 UPVC) (unless noted otherwise)		
--- Stormwater Line (1500 UPVC) (unless noted otherwise)		



NOTES:

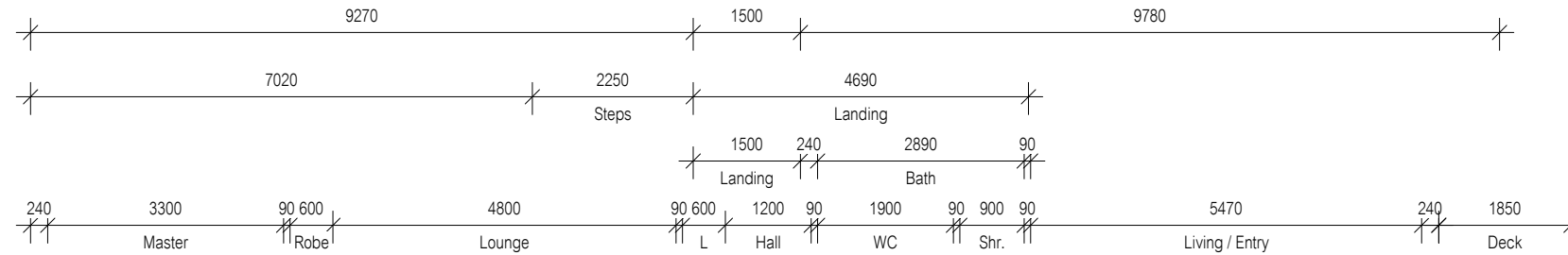
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.
3. 500 required for multiple shower heads.
4. Showers to comply with N.C.C. 10.2.14.
5. Falls to floor waste to be minimum 1:80 & maximum 1:50



All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

0 2 4 6 8m
1:200

Soil classification: P			<p>- Wet areas to comply with NCC 10.2 and AS3740</p>	Notes		Designer:	Client / Project info		DRAINAGE PLAN			
Refer to Soil Report for nominated founding depth and description of founding material.				• Builder to verify all dimensions and levels on site prior to commencement of work.		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CAMPBELL UPTON & UPTON RESIDENCE Lot 134, 43, Kiewa Rise, LENAH VALLEY		Drawn	ST	H859	
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3				• All work to be carried out in accordance with the current National Construction Code.					Date	28 November 2024	Sheet	01a/03
Amendment changes as per cover sheet				• All materials to be installed according to manufacturers specifications.					Scale	1 : 200		
				• Do not scale from these drawings.								
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7970

240 3200 90 240 240 240

ENS. Master

WIR. Master

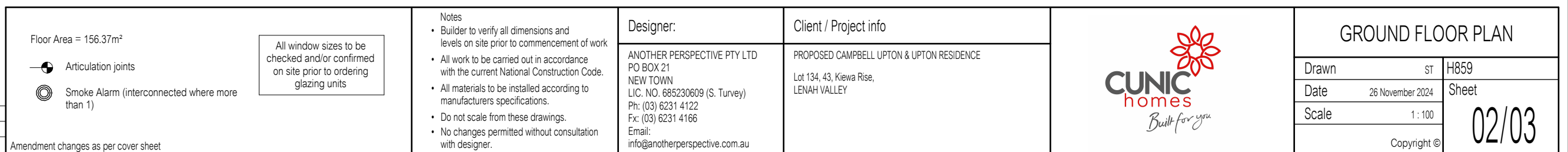
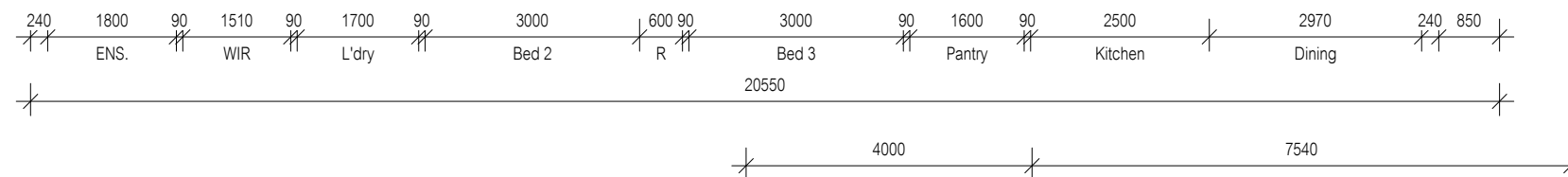
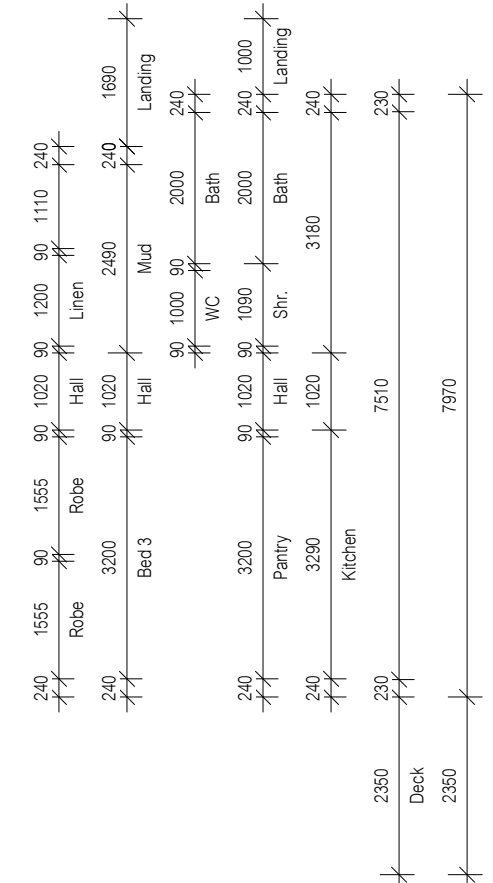
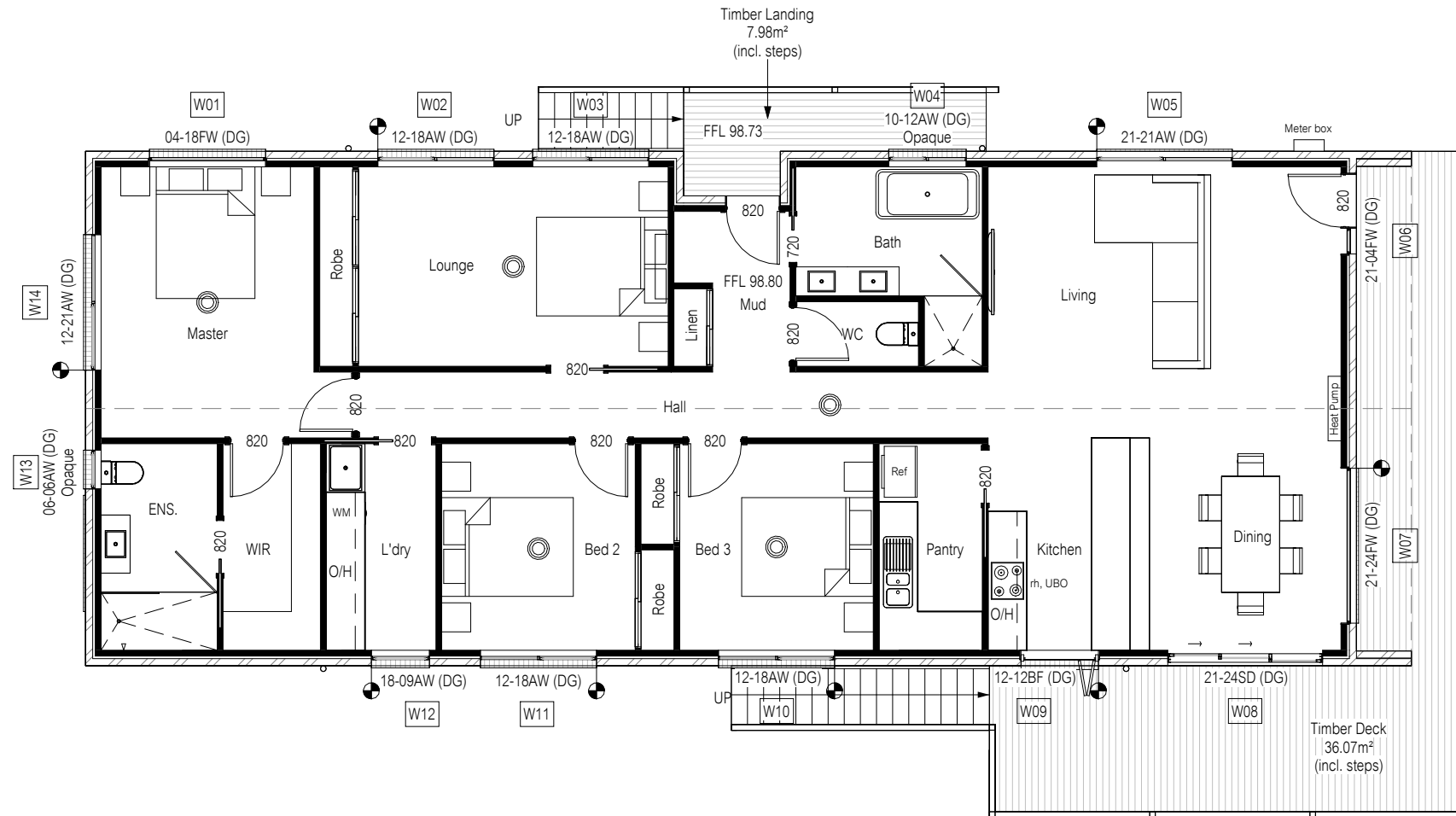
Robe

3200 3090 1020 90 240 1000

L'dry Hall Lounge

Bed 2 Hall Lounge

Stairs





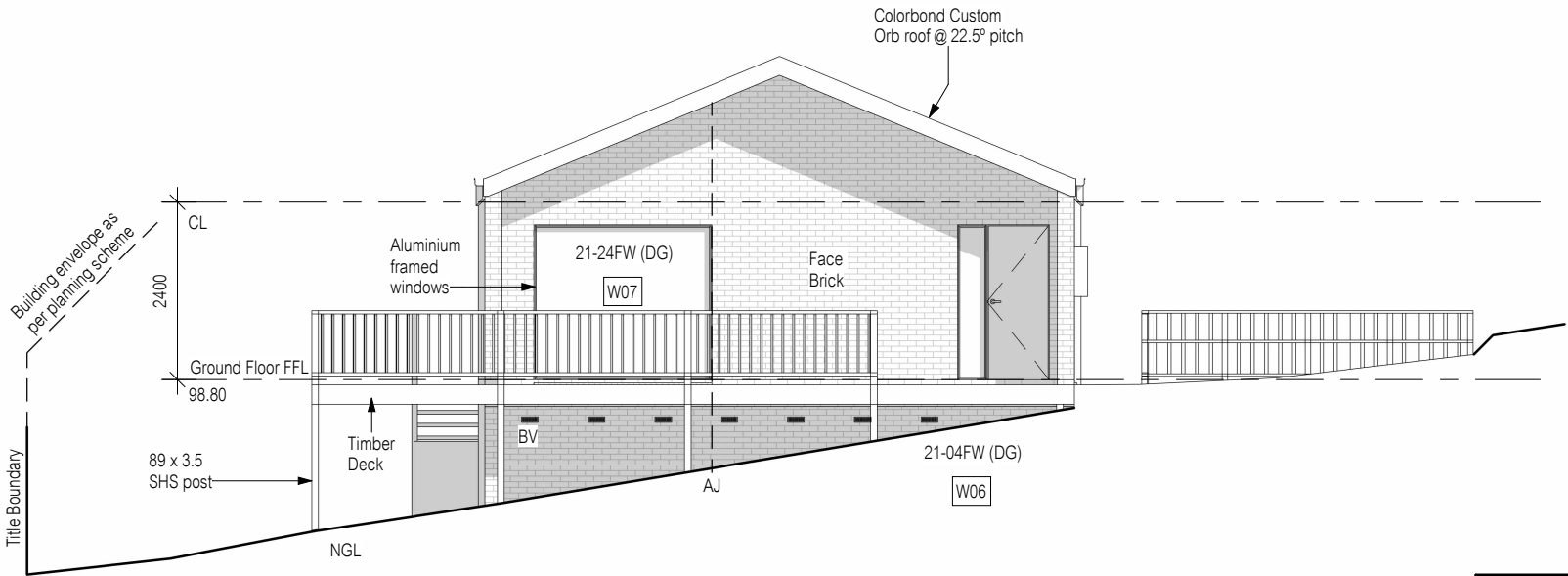
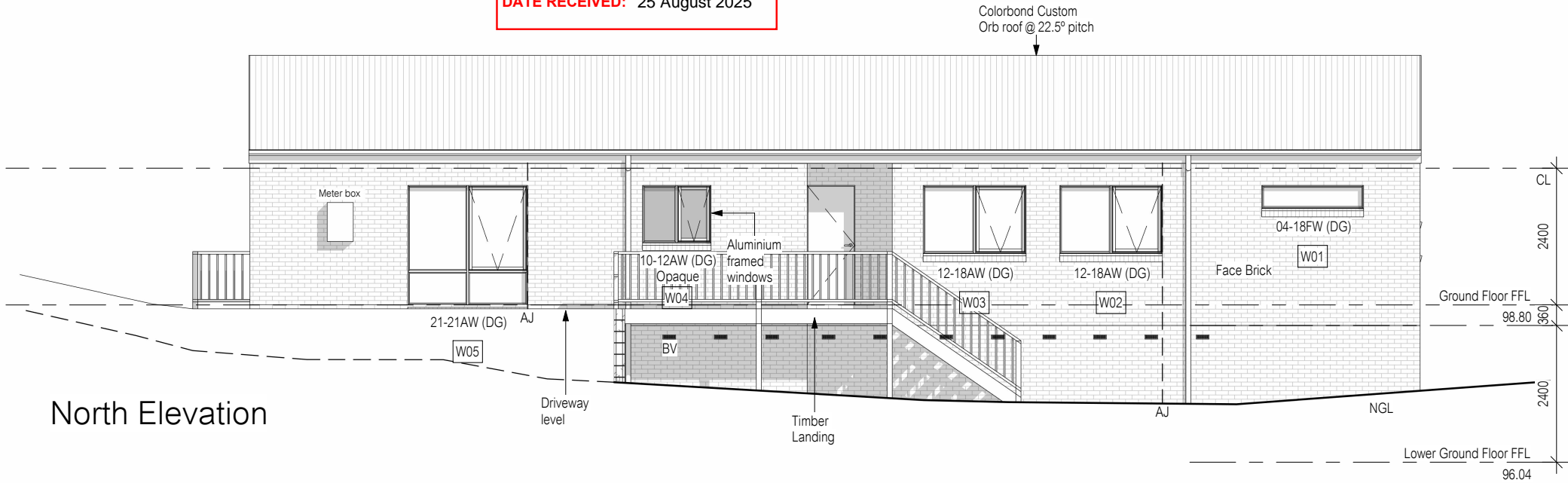
LOWER GROUND FLOOR PLAN	
Drawn ST	H859
Date 26 November 2024	Sheet
Scale 1 : 100	02a/03
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GLENORCHY CITY COUNCIL
PLANNING SERVICES

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DATE RECEIVED: 25 August 2025

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc

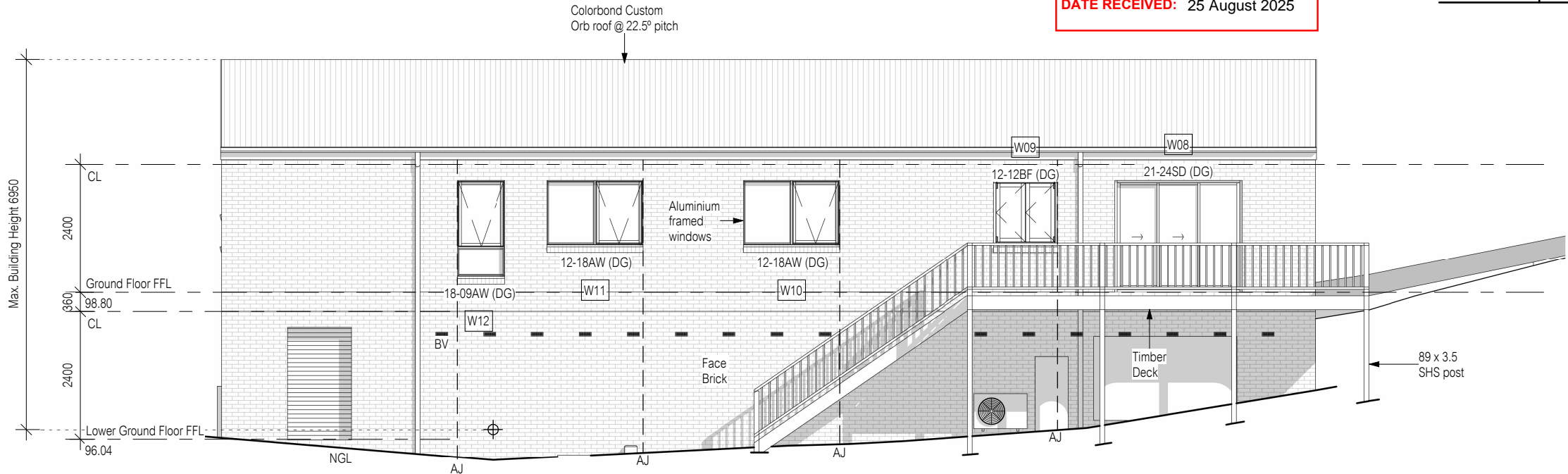


SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)	
- Minimum Sub-floor Ventilation 6000mm ² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)	
- Vents to be evenly spaced around perimeter of dwelling.	
- Vents to be located within 600mm of corners.	
- If located within a bushfire prone area, vents to be BAL compliant as per AS3959.	
e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.	

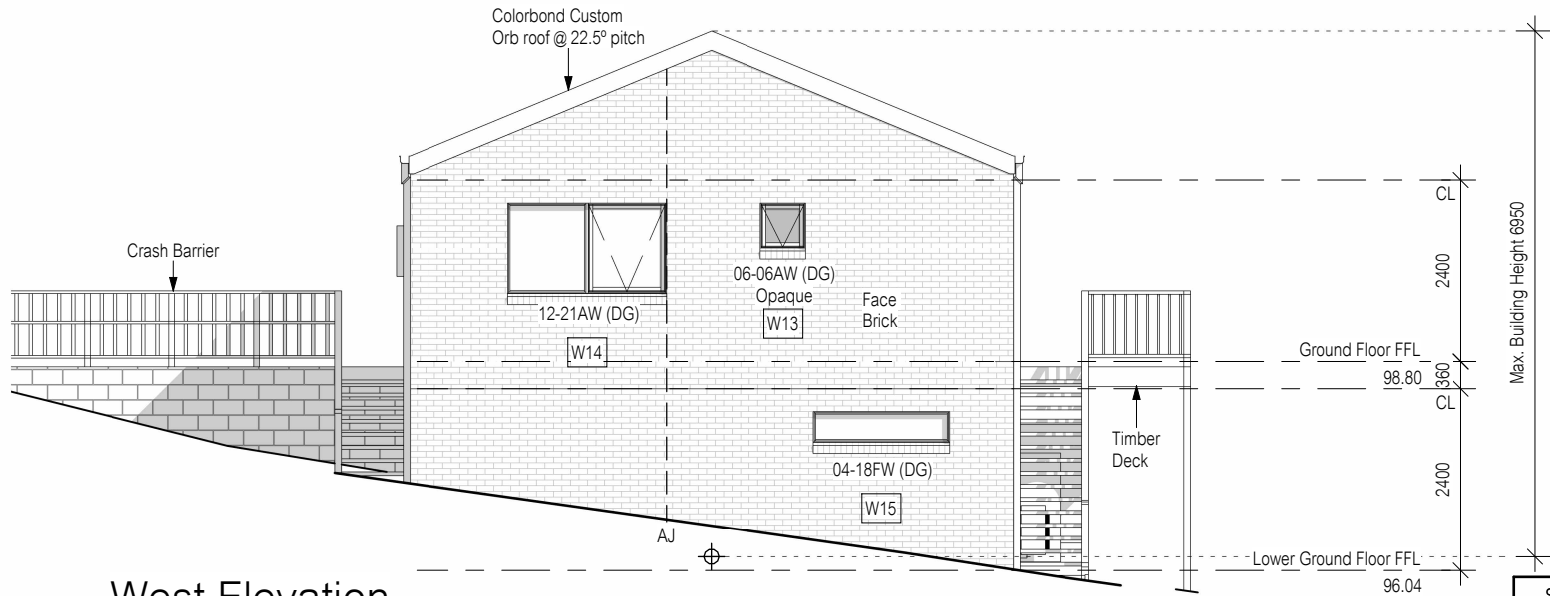
B	19 Aug. 2025	SW
A	09 Dec. 2024	SW
No.	Date	Int.

<div>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</div> <div>LEGEND: AJ - Articulation Joint BV - Brick Vent</div> <div>Amendment changes as per cover sheet</div> <div>Shadows shown for stylisation purposes only</div>	<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div></div>	ELEVATIONS SHEET 1		
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					Date	28 November 2024	Sheet
					Scale	1 : 100	03/03
					Copyright ©		

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc



South Elevation



West Elevation

SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)	
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LEGEND: AJ - Articulation Joint BV - Brick Vent	
Amendment changes as per cover sheet	
Shadows shown for stylisation purposes only	

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Client / Project info	
PROPOSED CAMPBELL UPTON & UPTON RESIDENCE Lot 134, 43, Kiewa Rise, LENAH VALLEY	



ELEVATIONS SHEET 2		
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Date	28 November 2024	Sheet
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PROPOSED CAMPBELL UPTON & UPTON RESIDENCE

Lot 134, 43, Kiewa Rise,
LENAH VALLEY

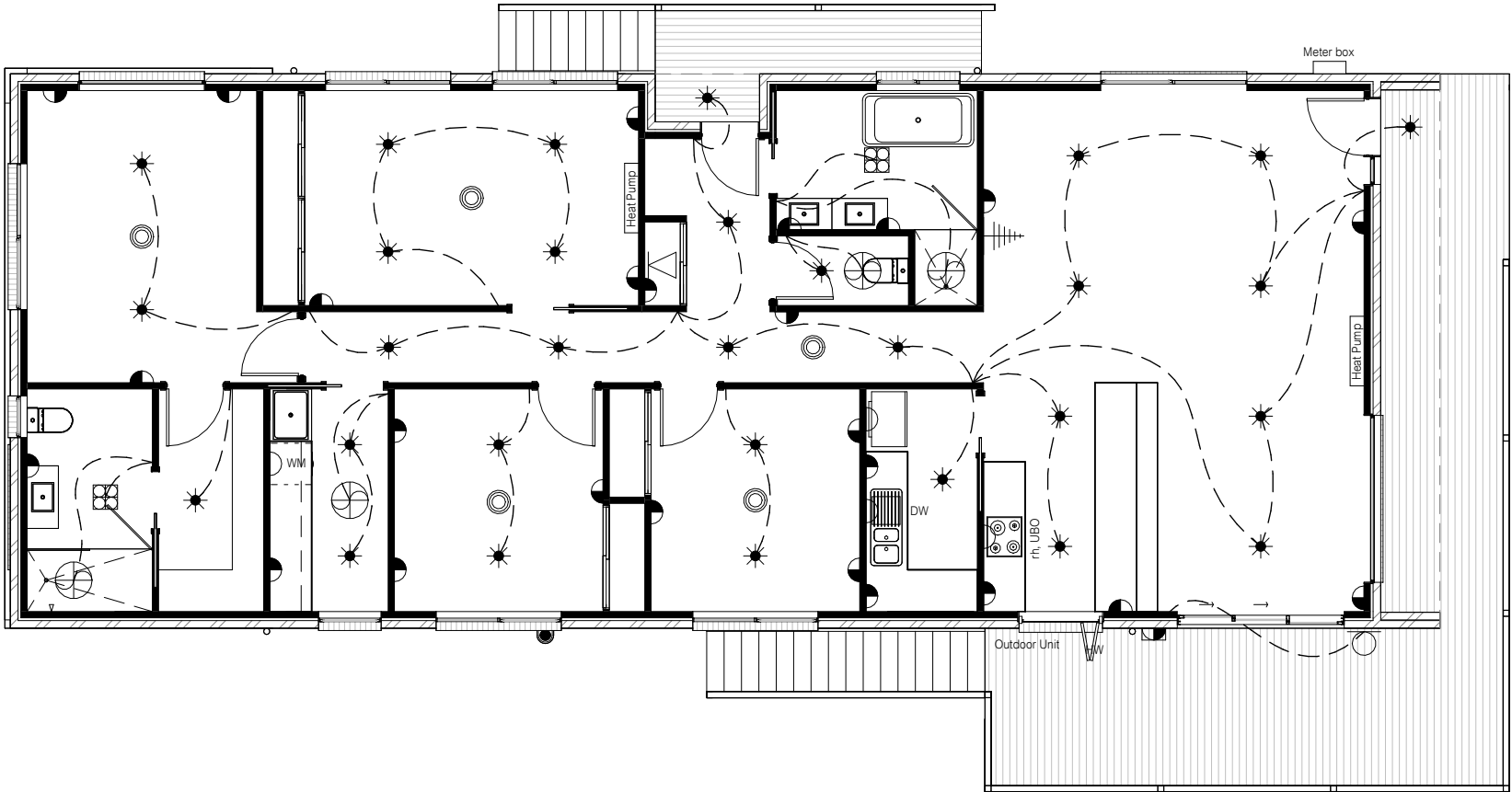


PERSPECTIVE VIEWS		
Drawn	ST	H859
Date	26 November 2024	Sheet
Scale		03b/03
Copyright ©		

- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
 - PENDANT LIGHT (30W)
 - WALL LIGHT POINT (30W)
 - 2 x 900mm FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
 - ⌒ SINGLE POWER POINT
 - ⌒ DOUBLE POWER POINT
 - ⌒ DOUBLE POWER POINT WITH USB
 - ⌒ WATER PROOF POWER POINT
 - ⊙ MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⊞ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
 - ⌚ TV CONNECTION POINT
 - ▽ NBN/TELEPHONE CONNECTION POINT
 - ⌒ SENSOR LIGHT
 - ⊙ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
 - ⌒ FLOOD LIGHT
 - ⌒ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ⌒ DUCTED VACUUM POINT
 - ⊞ SECURITY SYSTEM KEYPAD
 - ⌒ SECURITY SYSTEM SENSOR
 - 1200 LED BATTEN LIGHT (36W)

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.

NOTES:
Warm air transfer kit to be installed to each bedroom (ceiling installation only).
Under tile heating (bath & ensuite).



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GROUND FLOOR ELECTRICAL PLAN		
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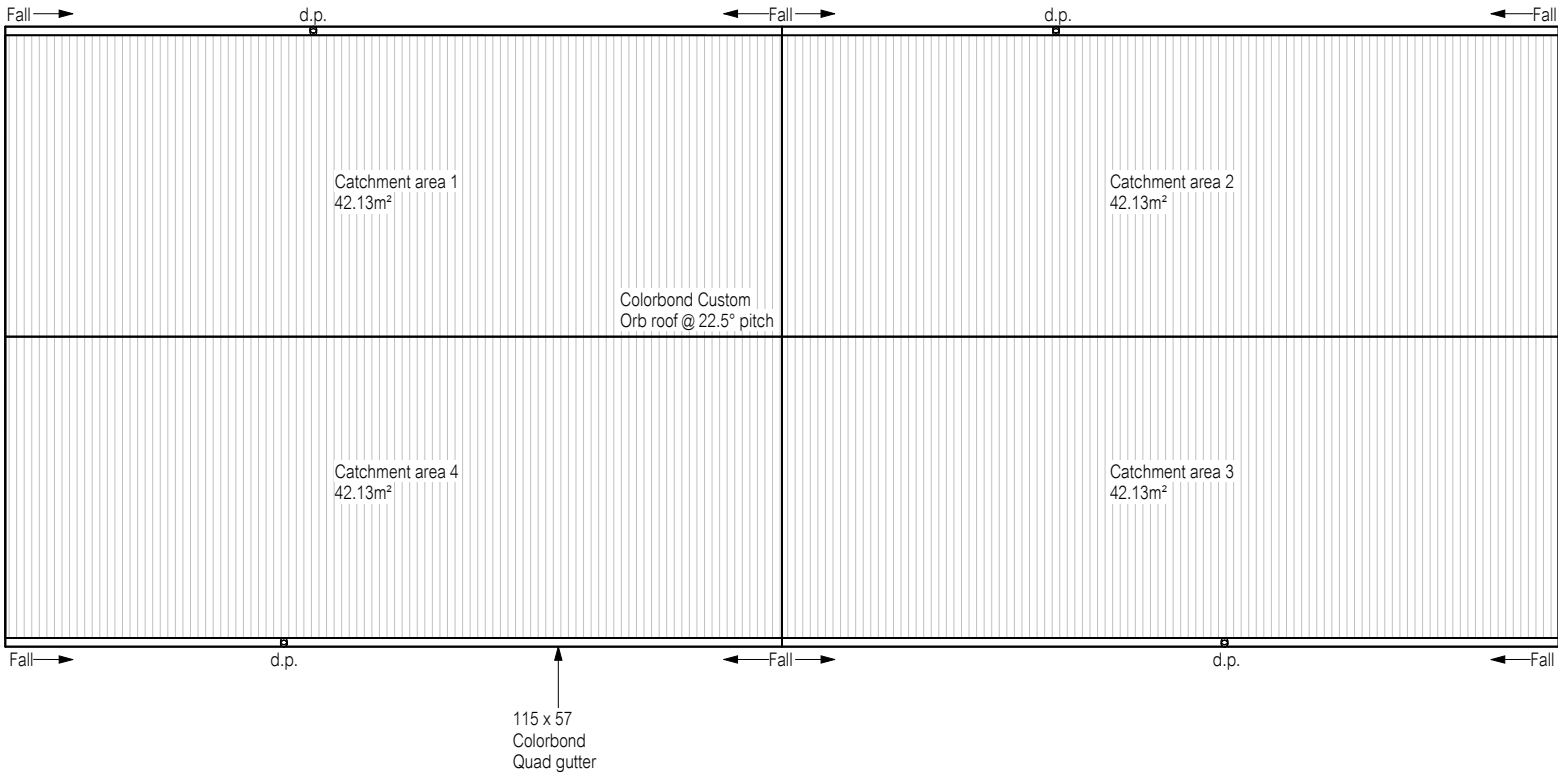
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GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Figure 7.4.6a:
Minimum slot opening area of 1200
mm² per metre of gutter and the lower
edge of the slots installed a minimum
of 25 mm below the top of the fascia.
The acceptable overflow capacity
must be 0.5 L/s/m.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre


Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



Position and quantity of downpipes
are not to be altered without
consultation with designer

ROOF DRAINAGE NOTE:
Min. medium rectangular gutter & min. 90ø downpipe specified as per
N.C.C. part 7.4. These sizes and downpipe quantities are based on a
max. roof catchment area of 70m²

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					Drawn	ST H859
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