

DEVELOPMENT APPLICATION

APPLICATION NUMBER: PLN-25-177

PROPOSED DEVELOPMENT: Residential (Dwelling)

LOCATION: 84 Stony Point Drive Austins Ferry

APPLICANT: Wilson Homes Tasmania Pty Ltd

ADVERTISING START DATE: 30/09/2025

ADVERTISING EXPIRY DATE: 14/10/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until 14/10/2025.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **14/10/2025**, or for postal and hand delivered representations, by 5.00 pm on **14/10/2025**.

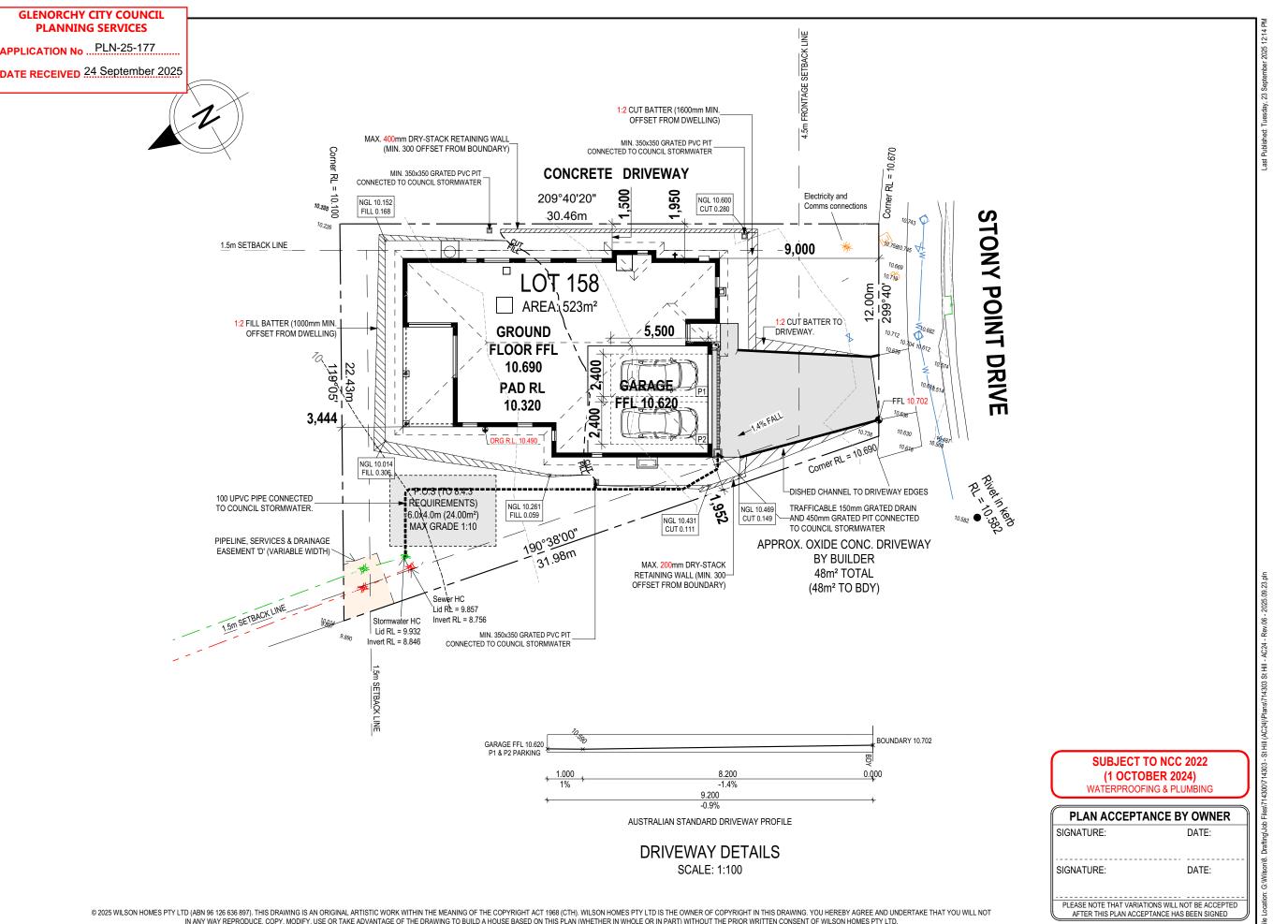
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION

APPROX. CUT/FILL

EVEN C	UT & FILI	L
DIFFERENCE	0.48m³	1.08t
FILL	17.34m³	39.02t
CUT	16.86m³	37.94t

LOT SIZE: 523m² HOUSE (COVERED AREA): 185.49m² SITE COVERAGE: 35.47%

DRY STACK WALLS <1m HIGH: ISLAND BLOCK & PAVING FREESTONE ECO RETAINING WALL INSTALLATION TO MANUFACTURER'S SPECIFICATION AND



SHEET TITLE:

SITE PLAN



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PECIFICATION:		REVISION		RAWN	CLIENT:	HOUSE DESIGN:
ESIGNER	3	PRELIM PLANS - INITIAL ISSUE	TDI	22/06/2025	BRENDAN WILLIAM ST HILL & JOANNE VIVIAN DALY	CREMORNE
OPYRIGHT:	4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:	FACADE DESIGN:
2025	5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011	COUNTRY

COUNCIL:

GLENORCHY

MLG 20/09/2025 LOT / SECTION / CT:

PL1 23/09/2025 158 / - / 181554

6 BA PLANS - INITIAL ISSUE

BA PLAN - INITIAL ISSUE - RFI

HOUSE CODE DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK H-WDNCMN10SA AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE FACADE CODE: COMMENCEMENT OF ANY WORK. AL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. F-WDNCMN10CTRYA SHEET No.: SCALES: 1:200, 1:100

2 / 20

714303

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

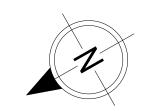
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.

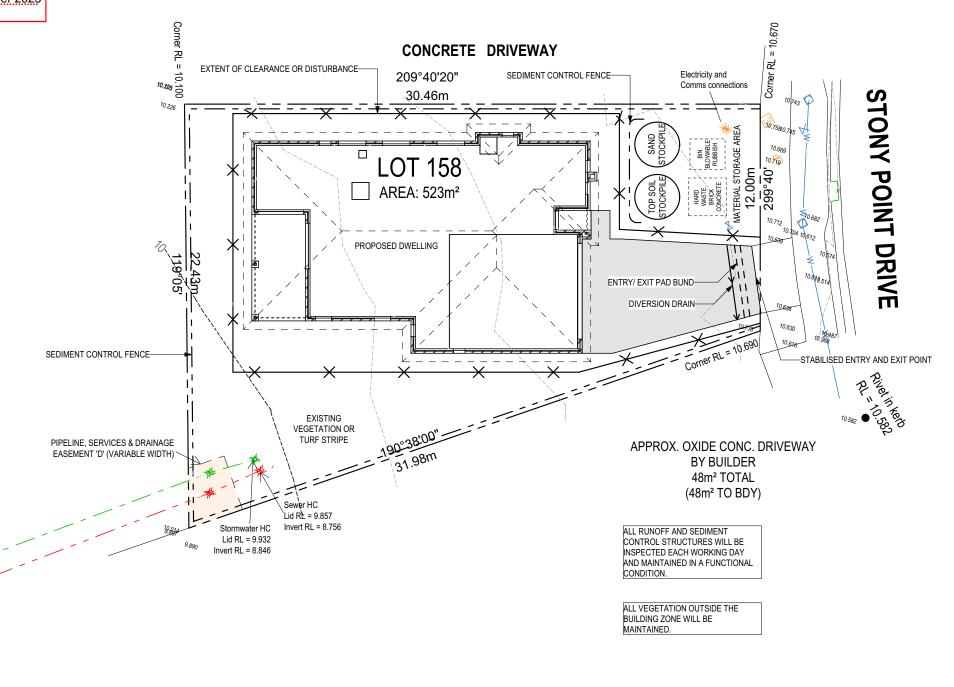
- 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING
- 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
- 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET. 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMAMENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
- 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN). 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

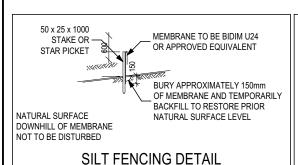
GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No ..PLN-25-177

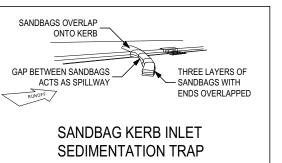
DATE RECEIVED 24 September 2025







BERM (0.3m MIN. HEIGHT) CONSTRUCTION SITE **EXISTING** ROADWAY GEOTEXTILE FABRIC 50-70mm **GRAVEL** RUNOFF FROM PAD DIRECTED TO SEDIMENTATION TRAP TEMPORARY CONSTRUCTION EXIT



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SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

PLAN ACCEPTA	ANCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
	FIONS WILL NOT BE ACCEPTED



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SPECIFICATION:	REVISION	DRAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE	
DESIGNER 3	PDELIM BLANC, INITIAL IOCUE	TDI 00/00/0005	BRENDAN WILLIAM ST	HILL & JOANNE VIVIAN DALY	CREMORNE		H-WDNCMN10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND	88
DESIGNER	PRELIM PLANS - INITIAL ISSUE	IDI 22/06/2025	DIVENDAN WILLIAM OT	THEL & JOANNE VIVIAN DALI	CITEIVICITIVE		I I-WDINCININ 100A	LEVELS PRIOR TO THE	9.0
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© 2025 5	PRELIMBIANO PELUPPATE	D1/7 04/00/0005	84 STONY DOINT DDIVE	E, AUSTINS FERRY TAS 7011	COUNTRY		F-WDNCMN10CTRYA	DISCREPANCIES TO BE REPORTED	Si.
© ZUZJ 5	PRELIM PLANS - RFI UPDATE	DKZ 04/09/2025	04 STONT FOINT DRIVE	AUSTINS FERRI TAS TUTT	COUNTRY		F-WDINGWINTOCTKTA	TO THE DRAFTING OFFICE.	Şe.
6	BA PLANS - INITIAL ISSUE	MLG 20/09/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	744000	ate
			158 / - / 181554	GLENORCHY	SOIL & WATER MANAGEMENT PLAN	3 / 20	1:200	714303	흕
17	BA PLAN - INITIAL ISSUE - RFI	PL1 23/09/2025	1307-7 101334	GLENORGITI	SOIL & WATER WANAGEWENT FLAN	13/20	1.200	, , , , , , , , , , , , , , , , , , , ,	₽

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM, NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS I AYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR

PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-

COMBUSTIBLE IN ACCORDANCE WITH NCC 2022 ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

SUBJECT TO NCC 2022

(1 OCTOBER 2024)

WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED

AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

DATE:

DATE:

SIGNATURE:

SIGNATURE:

470, 11,685

DATE RECEIVED 24 September 2025 11,830 3,100 FAMILY 90 t 900 WC t 90 1,780 BATH t 90 2,800 BED 2 90 t 2,800 BED 3 90, 2,000 ENSUITE 90, 90_{kk} 1,780 LINEN 90_{kk} 1,000 90_{kk} 1,710 ROBE 90_{kk} 1,710 ROBE 90_{kk} 1,000 90_{kk} 2,000 WIR 90_{kk}

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No PLN-25-177.

GARAGE 44.45 123.01 LIVING PORCH 2 01 185.49 m²

16.02

MAIN DWELLING, GROUND FLOOR

ALFRESCO

OTHERWISE REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN

REFER TO SHEET 1 (COVER SHEET) FOR

SUSTAINABILITY REQUIREMENTS

GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE

NCC 2022 REQUIREMENTS

INSTALLED BEHIND COOKTOP

DISCHARGED TO OUTDOOR AIR AS PER

FIRE RESISTANT PLASTERBOARD TO BE

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

MANUFACTURING CHANGES AT THE TIME

THE SCOPE OF WORKS DUE TO

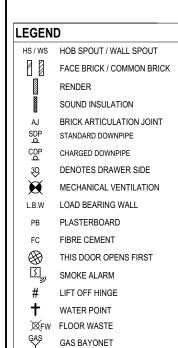
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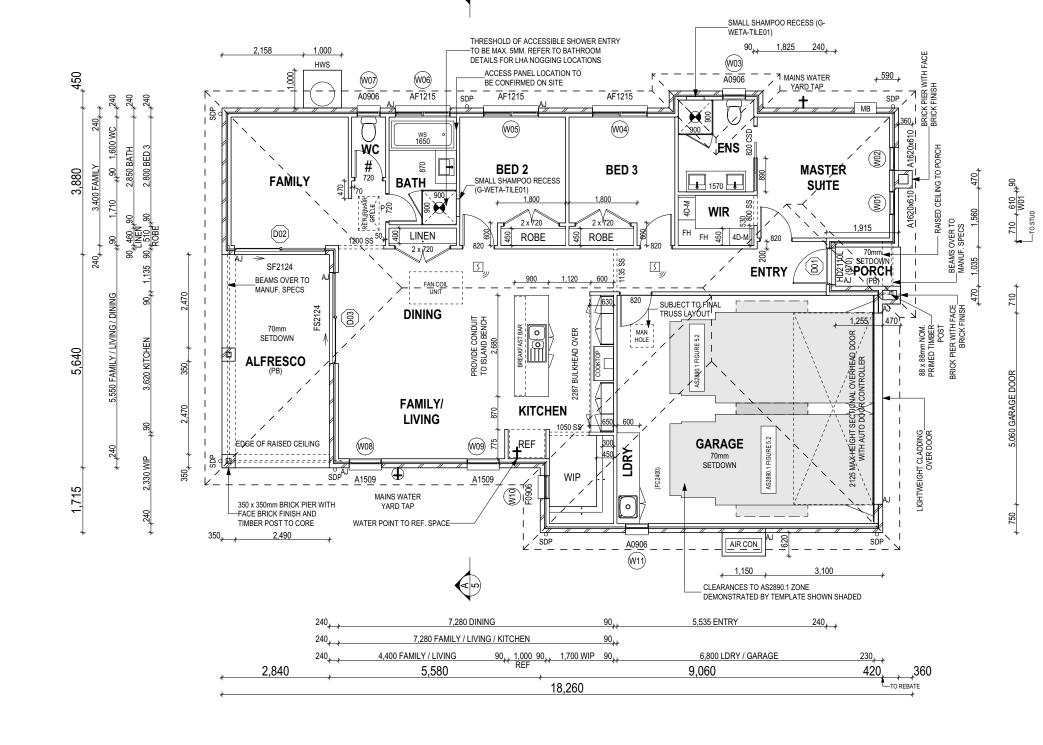
PROVIDE EXPOSURE GRADE BRICKS AND MORTAR TO ALL EXTERIOR WALLS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:









ALL DIMENSIONS ARE FRAME DIMENSIONS

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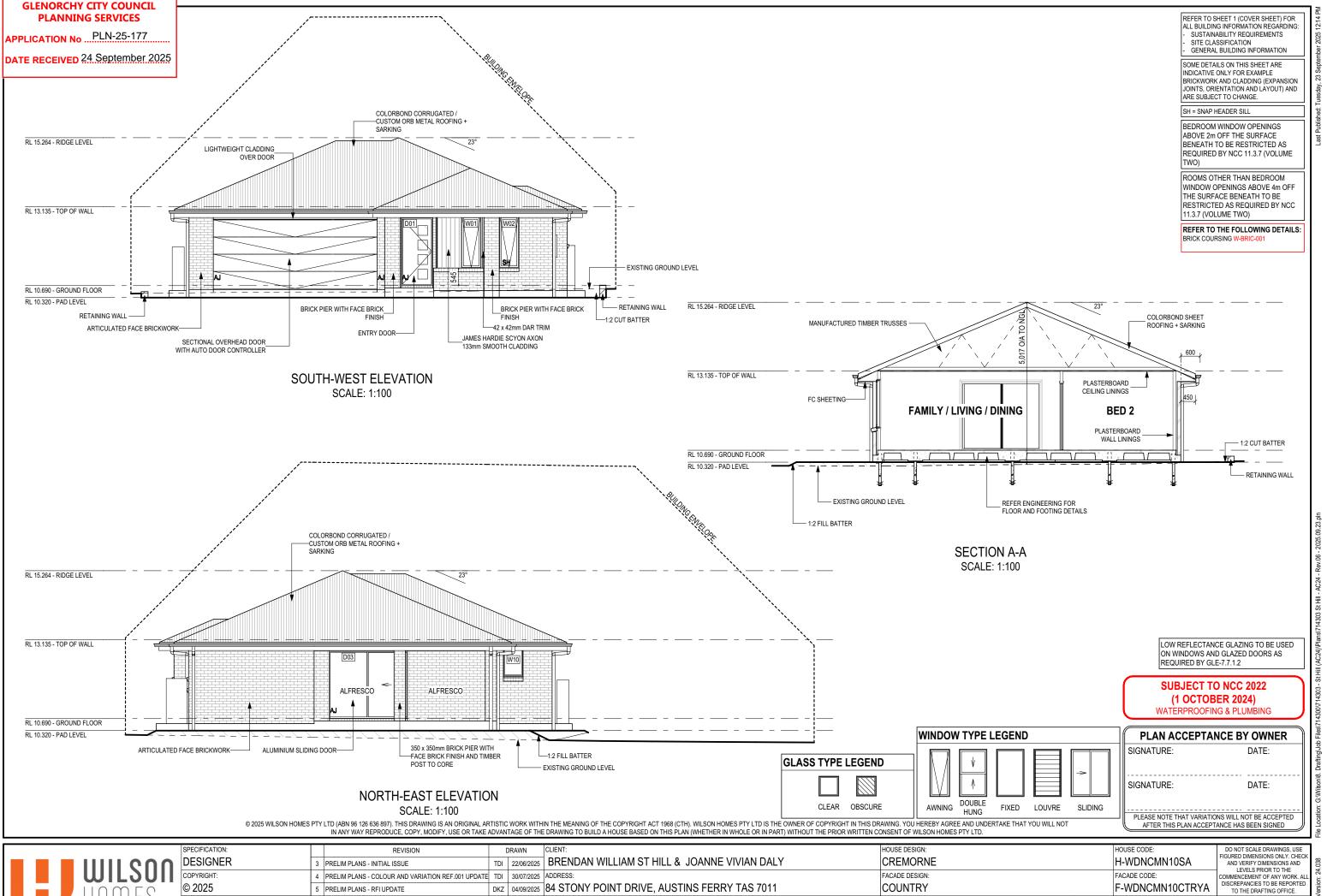
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					1011112200007111112 71717111 27121			LEVELS PRIOR TO THE
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© 2025	5	PRELIM PLANS - RFI UPDATE	DKZ 04/09/2025	84 STONY POINT D	RIVE, AUSTINS FERRY TAS 7011	COUNTRY	F-WDNCMN10CTRY	A DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	6	BA PLANS - INITIAL ISSUE	MLG 20/09/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.: SCALES:	711202
	7	BA PLAN - INITIAL ISSUE - RFI	PL1 23/09/2025	158 / - / 181554	GLENORCHY	GROUND FLOOR PLAN	4 / 20 1:100	714303

2,480

3,590

3,500 MASTER SUITE

360_,



COUNCIL:

GLENORCHY

SHEET TITLE:

ELEVATIONS / SECTION

Version: 1, Version Date: 25/09/2025

5 PRELIM PLANS - RFI UPDATE

BA PLAN - INITIAL ISSUE - RFI

6 BA PLANS - INITIAL ISSUE

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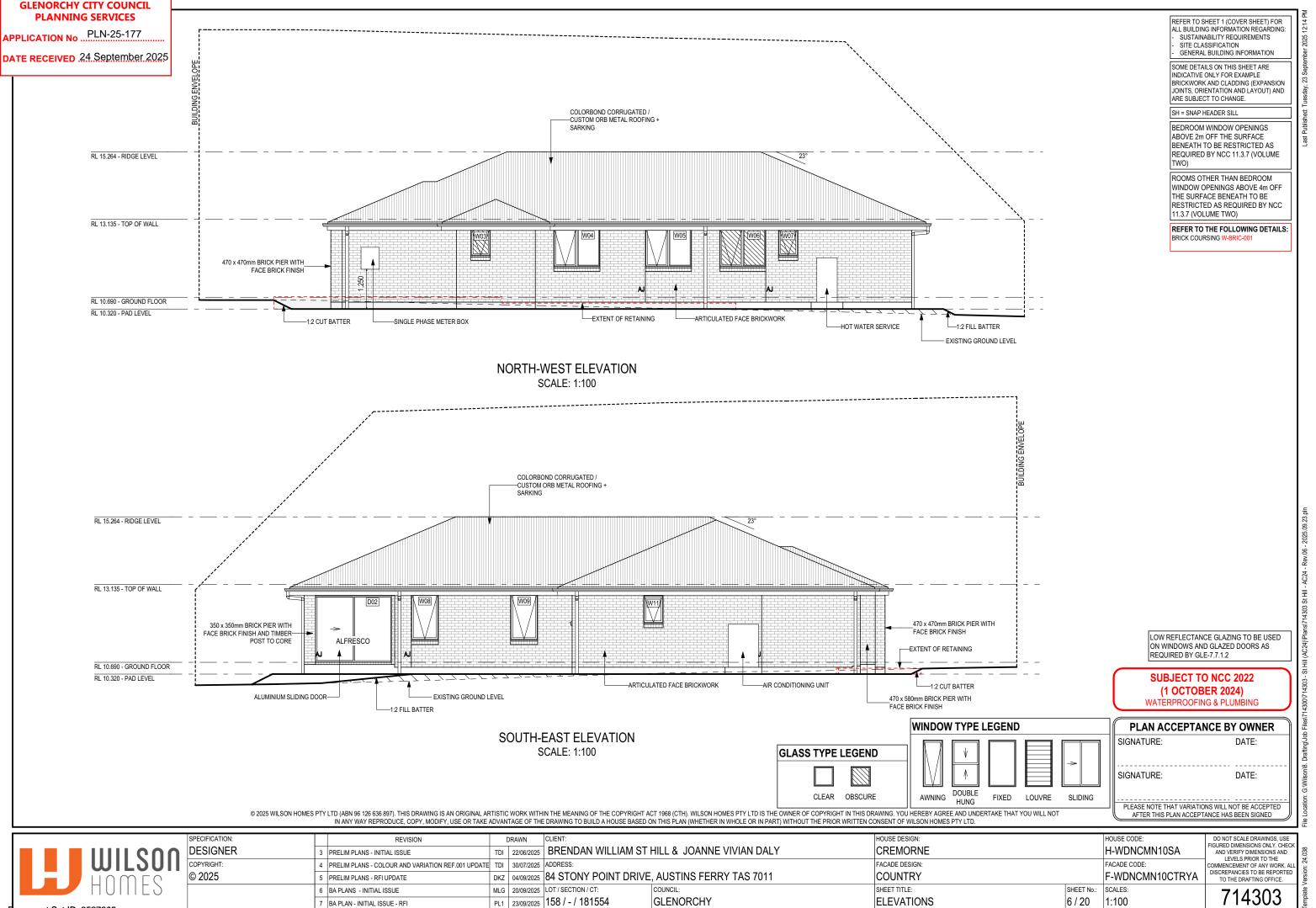
PL1 23/09/2025 158 / - / 181554

714303

SHEET No.: SCALES:

1:100

5 / 20



PLN-25-177 **APPLICATION No..**

EXTERIOR WINDOW & DOOR SCHEDULE 1.2 ASSUME LOOKING FROM OUTSIDE

TYPE

SPECIAL

SPECIAL

AWNING

AWNING

AWNING

AWNING

AWNING

AWNING

AWNING

AWNING

SWINGING

SLIDING

SLIDING

FIXED

ROOM

ENS

BED 3

BED 2

BATH

WC

WIP

LDRY

ENTRY

FAMILY

FAMILY / LIVING

MASTER SUITE

MASTER SUITE

FAMILY / LIVING

FAMILY / LIVING

ID CODE1

W06 AF1215

W07 A0906

W08 A1509

W09 A1509

W10 F0906

W11 A0906

D02 SF2124

D03 | FS2124

GROUND FLOOR W01 A1620x610

GROUND FLOOR W02 A1620x610

GROUND FLOOR | W03 | A0906

GROUND FLOOR W04 AF1215

GROUND FLOOR | W05 | AF1215

GROUND FLOOR D01 HD2110L

GROUND FLOOR

DOOR

STOREY

WINDOW

DATE RECEIVED24 September 2025

LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY GLE-7.7.1.2

GLAZING TYPE (SINGLE GLAZING U.N.O.)

0.35 OBSCURE, DOUBLE GLAZED, TOUGHENED

1.38 OBSCURE, DOUBLE GLAZED, TOUGHENED

0.35 OBSCURE, DOUBLE GLAZED, TOUGHENED

4.51 CLEAR, DOUBLE GLAZED, TOUGHENED

4.51 CLEAR, DOUBLE GLAZED, TOUGHENED

0.72 CLEAR, DOUBLE GLAZED

0.72 CLEAR, DOUBLE GLAZED

1.38 CLEAR, DOUBLE GLAZED

1.38 CLEAR, DOUBLE GLAZED

0.96 CLEAR, DOUBLE GLAZED

0.96 CLEAR, DOUBLE GLAZED

0.42 CLEAR, DOUBLE GLAZED

0.35 CLEAR, DOUBLE GLAZED

8.97

10.43

19.40

1.41 OBSCURE

ADDITIONAL INFORMATION²

STANDARD FLYSCREEN MESH

STANDARD FLYSCREEN MESH

Manufacturer - Dowell Windows

as per N.C.C 11.3.6.

MP 725

MP 725

MP 725

INTERIOR WIND	oow 8	& DOOR SCHE	DULE					
STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION	
DOOR					•			
GROUND FLOOR	1	1050 SS	SQUARE SET OPENING	2,155	1,050	N/A		
GROUND FLOOR	1	1135 SS	SQUARE SET OPENING	2,155	1,135	N/A		
GROUND FLOOR	1	1200 SS	SQUARE SET OPENING	2,155	1,200	N/A		
GROUND FLOOR	3	2 x 720	SWINGING	2,040	1,440	N/A		
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A		
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES	
GROUND FLOOR	1	800 SS	SQUARE SET OPENING	2,155	800	N/A		
GROUND FLOOR	4	820	SWINGING	2,040	820	N/A		
GROUND FLOOR	1	820 CSD	CAVITY SLIDING	2,040	820	N/A		

HEIGHT

1.620

1,620

857

1,200

1,200

1,200

857

1,457

1,457

857

857

2.100

2.100

2,100

WIDTH PERIMETER

4.460

4.460

2,934

5,300

5,300

5,300

2,934

4,614

4,614

2,934

2,934

6.140

9,020

9,020

610

610

610

1,450

1,450

1,450

610

850

850

610

610

970

2.410

2.410

QTY TYPE HEIGHT | WIDTH | AREA (m²)

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

AREA FRAME

(m²) TYPE

0.99 ALUMINIUM N/A

0.99 ALUMINIUM N/A

0.52 ALUMINIUM N/A

1.74 ALUMINIUM N/A

1.74 ALUMINIUM N/A

1.74 ALUMINIUM N/A

0.52 ALUMINIUM N/A

1.24 ALUMINIUM N/A

1.24 ALUMINIUM N/A

0.52 ALUMINIUM N/A

0.52 ALUMINIUM N/A

2.04 ALUMINIUM N/A

5.06 ALUMINIUM N/A

5.06 ALUMINIUM N/A

11.76

12.16 23.92 BAL

RATING

SILL TYPE

SNAP HEADER

NONE

ANGLED

ANGLED

ANGLED

ANGLED

ANGLED

ANGLED

ANGLED

ANGLED

ANGLED

SNAP HEADER

SNAP HEADER

SNAP HEADER

GLAZING

AREA (m²)

ORIENT.

SW

SW

SE

SE

SE

SE

SE

NW

NW

NE

NW

SW

NW

NE

ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS GENERAL BUILDING INFORMATION

REFER TO SHEET 1 (COVER SHEET) FOR

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L	COPYRIGHT:	4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI 30/07/2025	25 ADDRESS: FAC	ACADE DESIGN:	FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL	n: 24
_	© 2025	5	PRELIM PLANS - RFI UPDATE	DKZ 04/09/2025	84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011 CO	OUNTRY	F-WDNCMN10CTRYA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersio
		6	BA PLANS - INITIAL ISSUE	MLG 20/09/2025	25 LOT/SECTION/CT: COUNCIL: SHE	HEET TITLE: SHEET No.:	SCALES:	744202	late 1
		7	BA PLAN - INITIAL ISSUE - RFI	PL1 23/09/2025	₂₅ 158 / - / 181554 GLENORCHY W	VINDOW & DOOR SCHEDULES 7 / 20		714303	-emp

Version: 1, Version Date: 25/09/2025

Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted

SUBJECT TO NCC 2022 (1 OCTOBER 2024) WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED

AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

DATE:

DATE:

SIGNATURE:

SIGNATURE:

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No ... PLN-25-177

DATE RECEIVED 24 September 2025

11,830 3,380 3,590

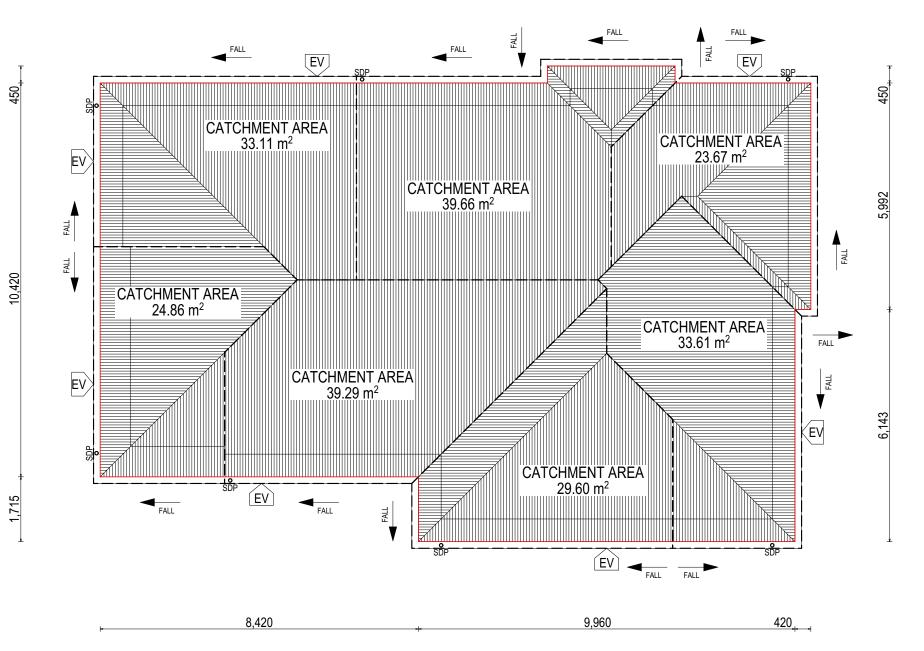


WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS CATCHMENT AREAS, NOT PLAN AREAS

Roofi	ng Data	
	212.64	Flat Roof Area (excluding gutter and slope factor) (m²)
	231.02	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Down	pipe roof	calculations (as per AS/NZA3500.3:2021)
Ah	223.80	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	277.51	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.24 for 26° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	4.34	Ac / Acdp
Downpipes Provided	7	



For Roofs With >15 - <75 Degree Roof Pitch.

Longest Horizontal Dimension of Roof (m) 18.38 Ventilation Surface Area Required (Eave Ventilation - 7,000mm2/m) 128660 Ventilation Surface Area Required (Ridge Ventilation - 5,000mm2 /m) 91900 Ventilation Area (m2) per Whirlybird (if used) 0.07 Ventilation Area per Eave Vents (mm2) (min. 418 x 200mm) 21000 Minimum required soffit ventilation (eave vents) NB: to be evenly spaced around soffit

Ridge ventilation to be provided by continuous gap to ridge cappings

AS3959 Compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones

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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

> **SUBJECT TO NCC 2022** (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

PI AN ACCEPTA	NCE BY OWNER
SIGNATURE:	DATE:
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	ONS WILL NOT BE ACCEPTED



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Ш	COPYRIGHT: 4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL
)	© 2025 5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011	COUNTRY	F-WDNCMN10CTRYA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
)	6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	LOT / SECTION / CT: COUNCIL:	SHEET TITLE: SHEET No.:	SCALES:	711202
	7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554 GLENORCHY	ROOF DRAINAGE PLAN 8 / 20	1:100	714303

NATURAL LIGHT AND VENTILATION

5 PRELIM PLANS - RFI UPDATE

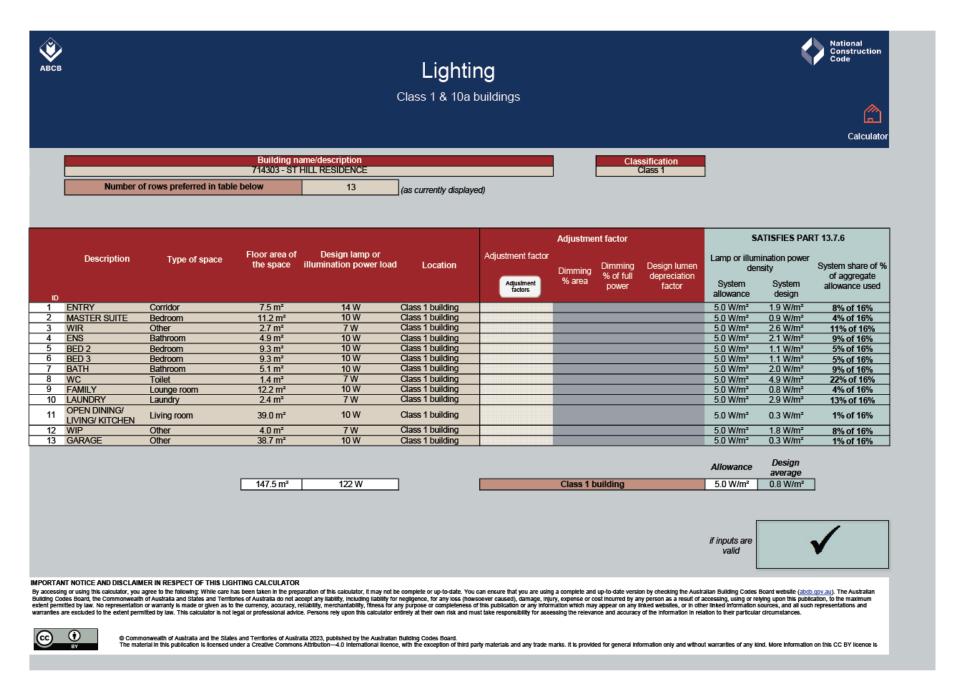
7 BA PLAN - INITIAL ISSUE - RFI

6 BA PLANS - INITIAL ISSUE

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN / LIVING / DINING	39.00 m²	D03, W08, W09	3.90 m²	6.43 m²	1.95 m²	4.74 m²
MASTER SUITE	11.20 m²	W01, W02	1.12 m²	1.44 m²	0.56 m²	1.76 m²
BED 2	9.30 m²	W05	0.93 m²	1.38 m²	0.47 m²	0.77 m²
BED 3	9.31 m²	W04	0.93 m²	1.38 m²	0.47 m²	0.77 m²
FAMILY	12.19 m²	D02	1.22 m²	4.51 m²	0.61 m²	2.50 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS GENERAL BUILDING INFORMATION

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COUNCIL:

GLENORCHY

SUBJECT TO NCC 2022 (1 OCTOBER 2024) WATERPROOFING & PLUMBING

PLAN ACCEPTA	ANCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
DI FACE NOTE THAT VARIAT	TIONS WILL NOT BE ACCEPTED

HOUSE CODE

FACADE CODE:

SHEET No.: SCALES:

9 / 20

COUNTRY

CALCULATIONS

SHEET TITLE:

H-WDNCMN10SA

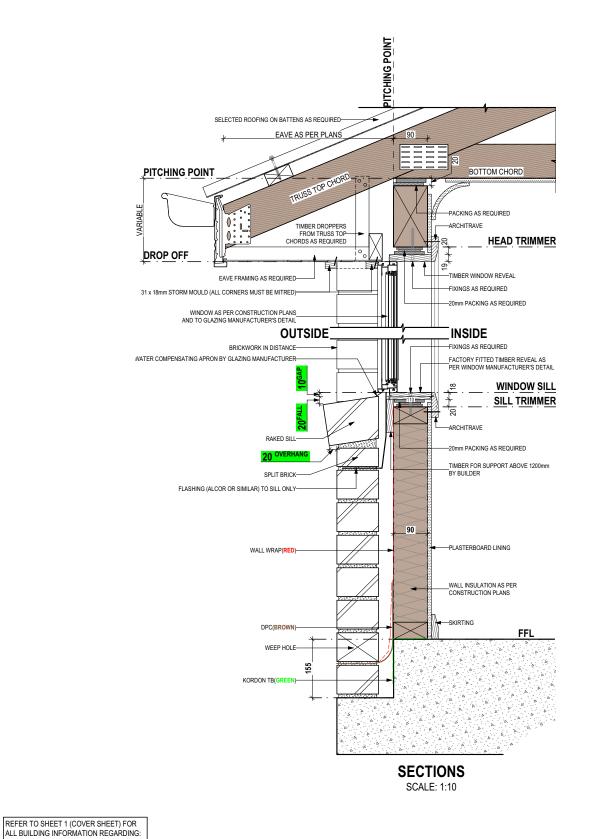
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SPECIFICATION:	REVISION	DRAWN		CLIENT:	HOUSE DESIGN:							
DESIGNER	3 PRELIM PLANS - INITIAL ISSUE	TDI	22/06/2025	BRENDAN WILLIAM ST HILL & JOANNE VIVIAN DALY	CREMORNE							
COPYRIGHT:	4 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:	FACADE DESIGN:							

DKZ 04/09/2025 84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011

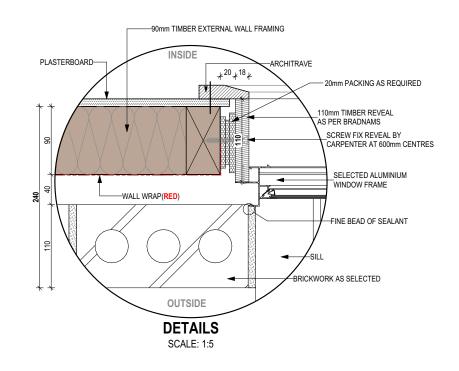
MLG 20/09/2025 LOT / SECTION / CT:

PL1 23/09/2025 158 / - / 181554

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		STA	NDARI	D BRICK			STANDARD BRICK								
BRICKWORK DIMENSIONS Bricks per m ² in wall = 48.5 approx. all dimensions in mm E									DIMENSION	S Bricks p	er m ² in wal	l = 48.5 appr	OX.	all dimen	sions in mm
FORMAT SIZ 240x120x86n			NUFACTURIN x110x76mm	IG SIZE:					FORMAT SIZE: 240x120x86mm		MANUFACTURING SIZE: 230x110x76mm			VERTICAL GAUGE: 7 Courses to 600mm	
NO. OF BRICKS	LENGTH	OPENING		NO. OF BRICKS	LENGTH	OPENING		NO. OF BRICKS	LENGTH	OPENING		NO. OF BRICKS	LENGTH	OPENING	HEIGHT
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 ¹ 2	8630		3086
1 ¹ 2	350	370		26 ¹ 2	6350	6370		11 ¹ 2	2750	2770		36 ¹ 2	8750	1	
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870	1	3172
2 ¹ 2	590	610		27 ¹ 2	6590	6610		12 ¹ 2	2990	3010		37 ¹ 2	8990	1	
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110	1	3257
3 ¹ 2	830	850		28 ¹ 2	6830	6850		13 ¹ 2	3230	3250		38 ¹ 2	9230	ヹ	
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350	LENGTH.	3343
4 ¹ 2	1070	1090		29 ¹ 2	7070	7090		14 ¹ 2	3470	3490		39 ¹ 2	9470		
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590		3429
5 ¹ ₂	1310	1330		30 ¹ 2	7310	7330		15 ¹ 2	3710	3730		40 ¹ 2	9710	010	
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830	50	3514
6 ¹ 2	1550	1570		31 ¹ 2	7550	7570		16 ¹ 2	3950	3970		41 ¹ 2	9950	ADD	
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070		3600
7 ¹ 2	1790	1810		32 ¹ 2	7790	7810		17 ¹ 2	4190	4210		42 ¹ 2	10190)EL	
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310	NEEDED	3686
8 ¹ 2	2030	2050		33 ¹ 2	8030	8050		18 ¹ ₂	4430	4450		43 ¹ 2	10430		
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550	≝.	3772
9 ¹ ₂	2270	2290		34 ¹ ₂	8270	8290		19 ¹ ₂	4670	4690		44 ¹ 2	10670	REQUIRED.	
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790		3857
								20 ¹ ₂	4910	4930		45 ¹ 2	10910	E	
								21	5030	5050	1800	46	11030	~	3943
								21 ¹ 2	5150	5170		46 ¹ 2	11150		
								22	5270	5290	1886	47	11270	OFTEN	4029
								22 ¹ ₂	5390	5410		47 ¹ 2	11390) <u> </u>	
								23	5510	5530	1972	48	11510	NOT	4114
								23 ¹ 2	5630	5650		48 ¹ 2	11630]	
								24	5750	5770	2057	49	11750]	4200
								24 ¹ ₂	5870	5890		49 ¹ 2	11870]	
								25	5990	6010	2143	50	11990		4286



SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE: SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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© 2025	5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POIN
	6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	LOT / SECTION / CT:
	7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554

	CLILINI.						
6/2025	BRENDAN WILLIAM ST I	HILL & JOANNE VIVIAN DALY					
9/2025	ADDRESS: 84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011						
9/2025	LOT / SECTION / CT:	COUNCIL:					

GLENORCHY

HOUSE DESIGN:		HOUSE CODE:
CREMORNE		H-WDNCMN10SA
FACADE DESIGN:		FACADE CODE:
COUNTRY		F-WDNCMN10CTRYA
SHEET TITLE:	SHEET No.:	SCALES:
DETAILS (FACE BRICKWORK)	10 / 20	

6110

6130

100

23990

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8572

SUSTAINABILITY REQUIREMENTS

GENERAL BUILDING INFORMATION

REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL SELECTED ROOFING ON BATTENS AS REQUIRED-EAVE AS PER PLAN PITCHING POINT BOTTOM CHORD **HEAD TRIMMER** DROP OFF FAVE FRAMING AS REQUIRED -TIMBER WINDOW REVEAL 31 x 18mm STORM MOULD (ALL CORNERS MUST BE MITRED) -FIXINGS AS REQUIRED WINDOW AS PER CONSTRUCTION PLANS AND TO GLAZING MANUFACTURER'S DETAIL OUTSIDE INSIDE -FIXINGS AS REQUIRED _FACTORY FITTED TIMBER REVEAL AS PER WINDOW MANUFACTURER'S DETAIL WATER COMPENSATING APRON BY GLAZING MANUFACTURER-WINDOW SILL SILL TRIMMER WINDOW TRIM AS REQUIRED, 45 x 38mm HARDIES SCYON AXENT TRIM -20mm PACKING AS REQUIRED FLASHING (ALCOR OR SIMILAR) SELECTED LIGHTWEIGHT CLADDING --PLASTERBOARD LINING 70 x 35mm TIMBER BATTENS FIXED VERTICALLY TO FRAME _WALL INSULATION AS PER CONSTRUCTION PLANS **SECTIONS** SCALE: 1:10 _90mm TIMBER EXTERNAL WALL FRAMING INSIDE ARCHITRAVE-PACKING AS REQUIRED -PLASTERBOARD 10mm TIMBER REVEAL AS PER BRADNAMS SCREW FIX REVEAL BY CARPENTER AT 600mm CENTRES SELECTED ALUMINIUM WINDOW FINE BEAD OF SEALANT -WALL WRAP(RED) WINDOW TRIM AS REQUIRED, HARDIES SCYON AXENT TRIM 45 x 38mm FINE BEAD OF PAINTABLE SEALANT -SELECTED LIGHTWEIGHT CLADDING -70 x 35mm TIMBER BATTENS FIXED VERTICALLY TO WALL FRAME OUTSIDE **DETAILS** SCALE: 1:5

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No .. PLN-25-177.

DATE RECEIVED 24 September 2025

SHEET CLADDING

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:

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DESIGNER	3	PRELIM PLANS - INITIAL ISSUE	TDI	22/06/2025	BRENDAN WILI
COPYRIGHT:	4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:
© 2025	5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POIN
	6	BA PLANS - INITIAL ISSUE	MLG		LOT / SECTION / CT:
	7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554

25 BRENDAN WILLIAM ST HILL & JOANNE VIVIAN DALY
25 ADDRESS:
26 84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011
25 LOT/SECTION/CT: COUNCIL:

GLENORCHY

FACADE DESIGN:
COUNTRY
SHEET TITLE:

DETAILS (CLADDING)

HOUSE CODE:
H-WDNCMN10SA

FACADE CODE:
F-WDNCMN10CTRYA

SHEET No.: SCALES:

11 / 20

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714303

Version: 1, Version Date: 25/09/2025

Template Version: 24.038

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: - SUSTAINABILITY REQUIREMENTS - SITE CLASSIFICATION - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

COVER GRADE O

COVER GRADE CONCRETE

CARPET

LAMINATE

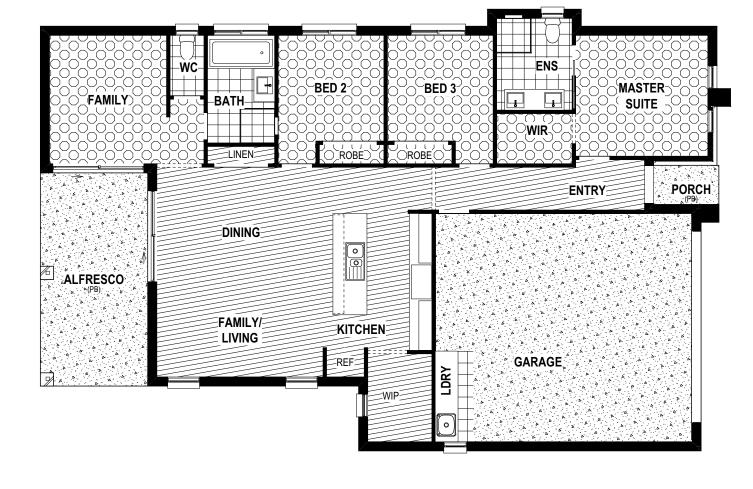
TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No ... PLN-25-177

DATE RECEIVED 24 September 2025



SUBJECT TO NCC 2022 (1 OCTOBER 2024)

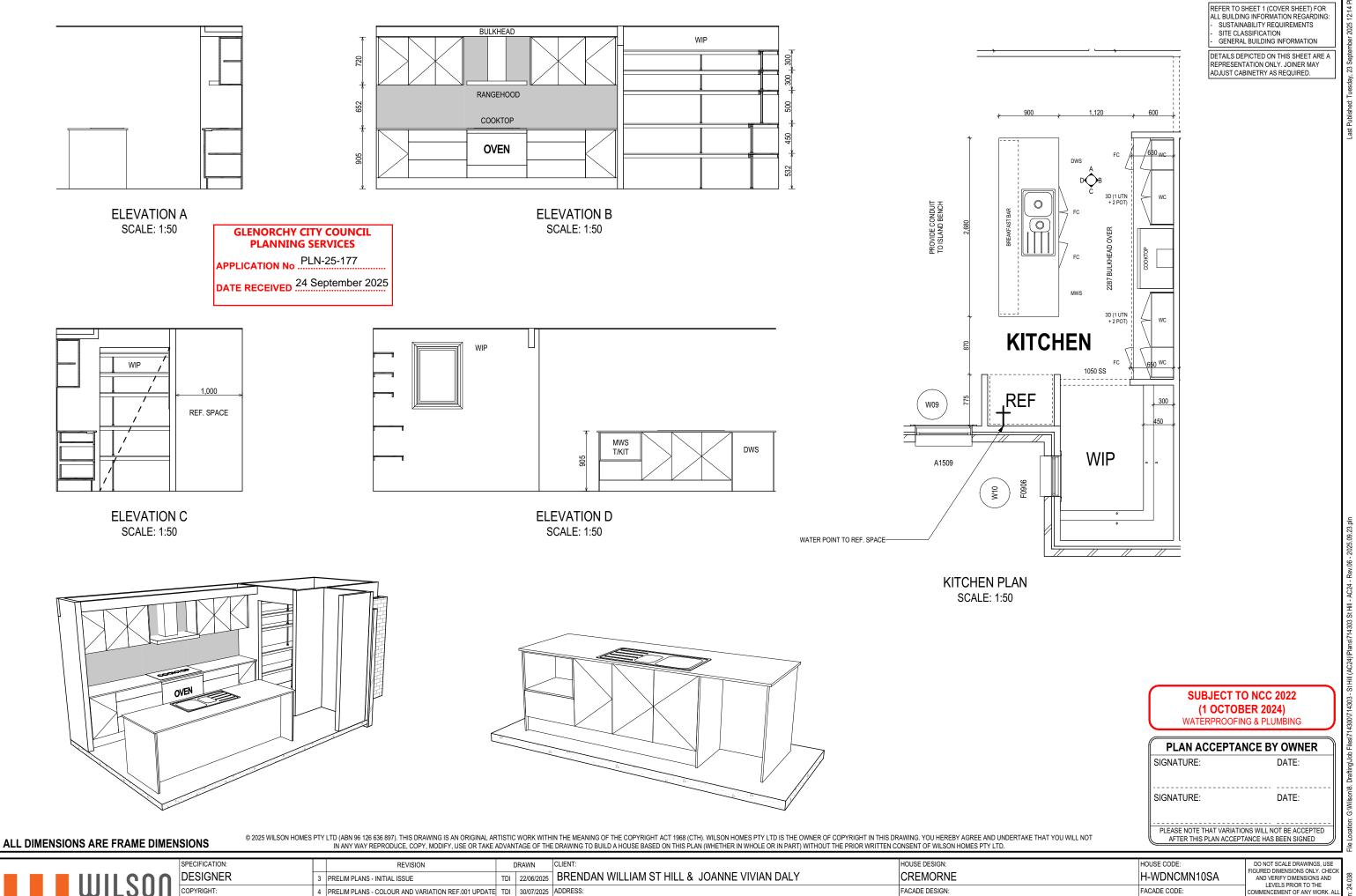
WATERPROOFING & PLUMBING

PLAN ACCEPTA	ANCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PLEASE NOTE THAT VARIAT	IONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEP	PTANCE HAS BEEN SIGNED

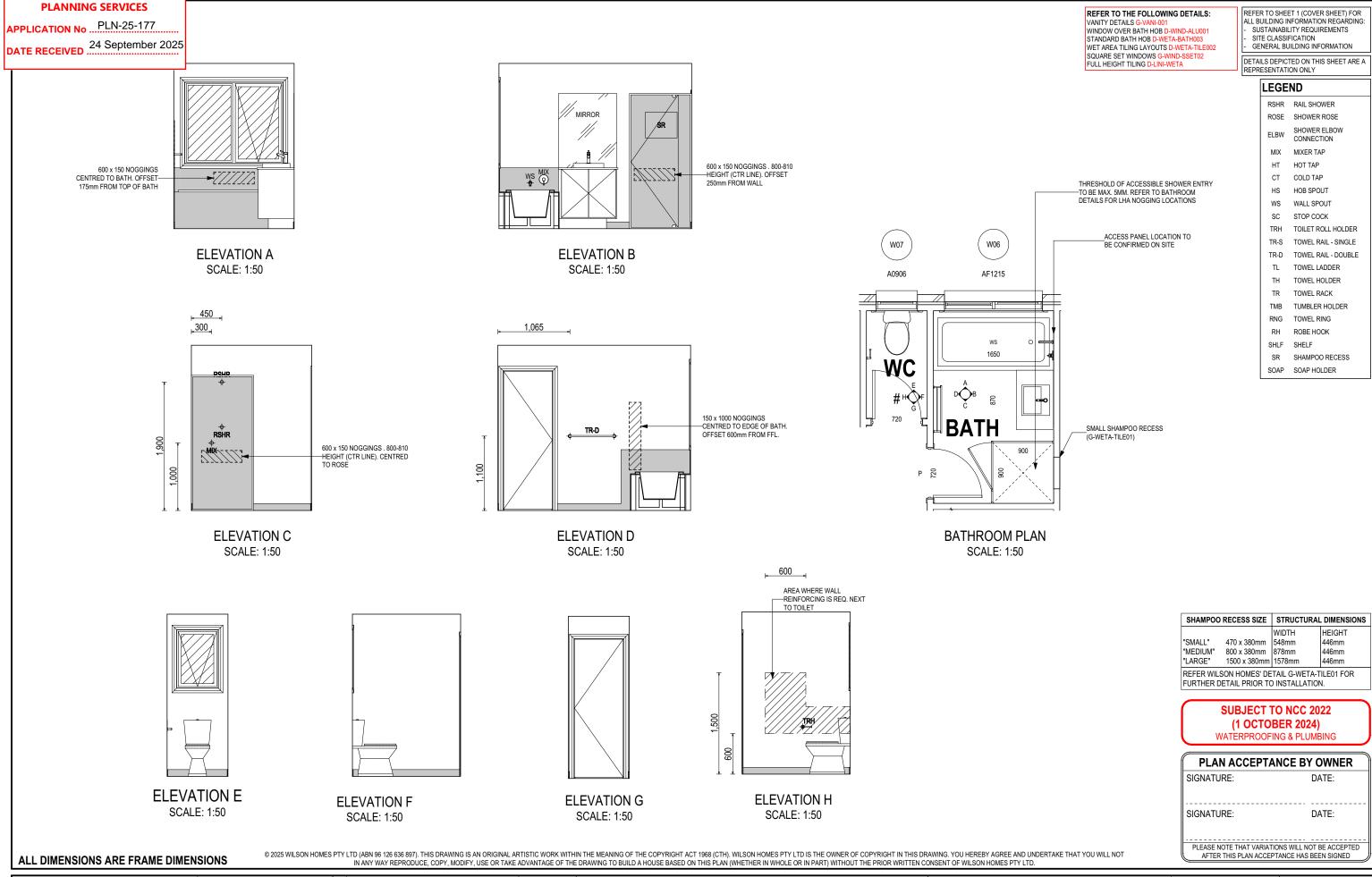
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SPECIFICATION:	REVISION	D.	DRAWN	CLIENT:			HOUSE DESIGN:	<u> </u>	HOUSE CODE:	DO NOT SCALE DRAWINGS, USE	i
DESIGNER 3	PRELIM PLANS - INITIAL ISSUE	TDI	22/06/202F	BRENDAN WILLIAM ST	HILL & JOANNE VIVIAN DALY	•	CREMORNE		H-WDNCMN10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND	338
	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE						FACADE DESIGN:			LEVELS PRIOR TO THE	24.(
_ ·										COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED	
© 2025 5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POINT DRIVE	E, AUSTINS FERRY TAS 7011	•	COUNTRY		F-WDNCMN10CTRYA	TO THE DRAFTING OFFICE.	/ersi
6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	5 LOT/SECTION/CT:	COUNCIL:		SHEET TITLE:	SHEET No.:	SCALES:	744202	ate \
7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554	GLENORCHY	·	FLOOR COVERINGS	12 / 20	1:100	714303	emp



LEVELS PRIOR TO THE
COMMENCEMENT OF ANY WORK. AL
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TO THE DRAFTING OFFICE. © 2025 DKZ 04/09/2025 84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011 COUNTRY F-WDNCMN10CTRYA 5 PRELIM PLANS - RFI UPDATE MLG 20/09/2025 LOT / SECTION / CT: SHEET TITLE: SHEET No.: SCALES: 6 BA PLANS - INITIAL ISSUE COUNCIL: 714303 PL1 23/09/2025 158 / - / 181554 GLENORCHY KITCHEN DETAILS 13 / 20 | 1:50 7 BA PLAN - INITIAL ISSUE - RFI



HOUSE CODE DO NOT SCALE DRAWINGS, USE REVISION FIGURED DIMENSIONS ONLY, CHEC DESIGNER TDI 22/06/2025 BRENDAN WILLIAM ST HILL & JOANNE VIVIAN DALY CREMORNE H-WDNCMN10SA 3 PRELIM PLANS - INITIAL ISSUE AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE 4 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE TDI 30/07/2025 ADDRESS: FACADE DESIGN: FACADE CODE: COMMENCEMENT OF ANY WORK. AL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. F-WDNCMN10CTRYA © 2025 DKZ 04/09/2025 84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011 COUNTRY 5 PRELIM PLANS - RFI UPDATE MLG 20/09/2025 LOT / SECTION / CT: SHEET TITLE: COUNCIL: SHEET No.: SCALES 6 BA PLANS - INITIAL ISSUE 714303 **GLENORCHY** BATHROOM DETAILS 14 / 20 | 1:50 PL1 23/09/2025 158 / - / 181554 BA PLAN - INITIAL ISSUE - RFI

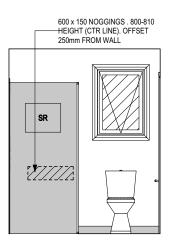
Version: 1, Version Date: 25/09/2025

GLENORCHY CITY COUNCIL

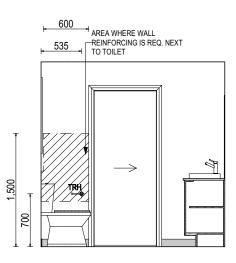
Template Version: 24.038

APPLICATION No ... PLN-25-177

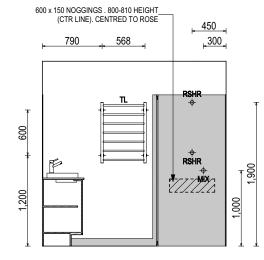
DATE RECEIVED 24 September 2025



ELEVATION A SCALE: 1:50



ELEVATION B SCALE: 1:50



ELEVATION D

SCALE: 1:50

SMALL SHAMPOO RECESS (G-WETA-TILEO1)

W03

A0906

ENS

ENSUITE PLAN SCALE: 1:50

RSHR RAIL SHOWER ROSE SHOWER ROSE SHOWER ELBOW ELBW CONNECTION MIX MIXER TAP HT HOT TAP CT COLD TAP HOB SPOUT HS WS WALL SPOUT SC STOP COCK TRH TOILET ROLL HOLDER TR-S TOWEL RAIL - SINGLE TR-D TOWEL RAIL - DOUBLE TL TOWEL LADDER TH TOWEL HOLDER TR TOWEL RACK TMB TUMBLER HOLDER RNG TOWEL RING RH ROBE HOOK SHLF SHELF SR SHAMPOO RECESS

SOAP SOAP HOLDER

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

SUSTAINABILITY REQUIREMENTS

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

SITE CLASSIFICATION
GENERAL BUILDING INFORMATION

LEGEND

REFER TO THE FOLLOWING DETAILS: VANITY DETAILS G-VANI-001 WINDOW OVER BATH HOB D-WIND-ALU001

STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002

SQUARE SET WINDOWS G-WIND-SSET02 FULL HEIGHT TILING D-LINI-WETA

| SHAMPOO RECESS SIZE | STRUCTURAL DIMENSIONS | WIDTH | HEIGHT | S48mm | 446mm | 446mm | HARGE" | 1500 x 380mm | 1578mm | 446mm | HARGE" | 1500 x 380mm | 1578mm | 446mm | HARGE" | 1500 x 380mm | 1578mm | 1578mm

FURTHER DETAIL PRIOR TO INSTALLATION.

SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING

PLAN ACCEPT	ANCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
	TIONS WILL NOT BE ACCEPTED EPTANCE HAS BEEN SIGNED



ALL DIMENSIONS ARE FRAME DIMENSIONS

ELEVATION C

SCALE: 1:50

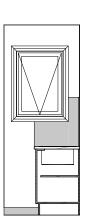
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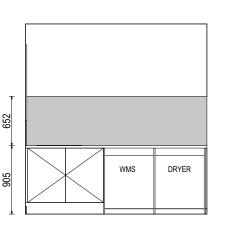
_	SPECIFICATION:	REVISION	DRAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE	1
1	DESIGNER	3 PRELIM PLANS - INITIAL ISSUE	TDI 22/06/2025	BRENDAN WILLIAM ST	HILL & JOANNE VIVIAN DALY	CREMORNE		H-WDNCMN10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND	.038
L	COPYRIGHT:	4 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI 30/07/2025	ADDRESS:		FACADE DESIGN:		1	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL	
_	© 2025	5 PRELIM PLANS - RFI UPDATE	DKZ 04/09/2025	84 STONY POINT DRIVE	E, AUSTINS FERRY TAS 7011	COUNTRY		F-WDNCMN10CTRYA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersio
		6 BA PLANS - INITIAL ISSUE		LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	71/202	late \
		7 BA PLAN - INITIAL ISSUE - RFI	PL1 23/09/2025	158 / - / 181554	GLENORCHY	ENSUITE DETAILS	15 / 20	1:50	714303	Lemp

GLENORCHY CITY COUNCIL PLANNING SERVICES APPLICATION No ... PLN-25-177 DATE RECEIVED 24 September 2025 **ELEVATION A** SCALE: 1:50

ELEVATION B SCALE: 1:50

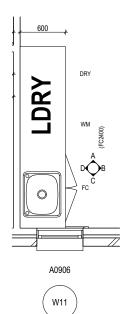


ELEVATION C SCALE: 1:50



ELEVATION D

SCALE: 1:50



LAUNDRY PLAN SCALE: 1:50

> **SUBJECT TO NCC 2022** (1 OCTOBER 2024)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: - SUSTAINABILITY REQUIREMENTS - SITE CLASSIFICATION - GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

WATERPROOFING & PLUMBING

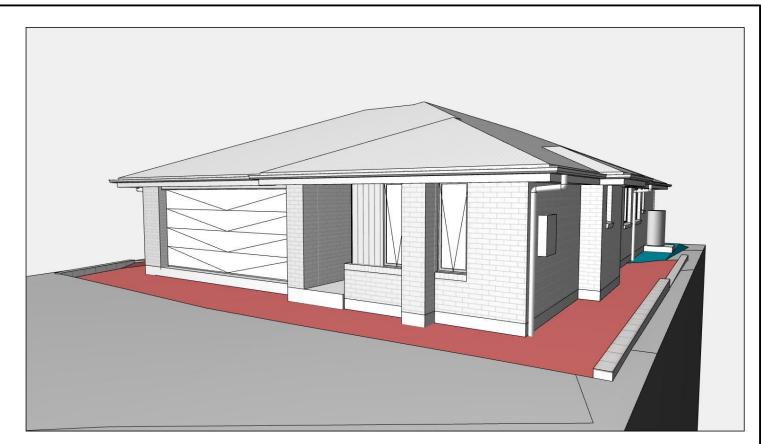
PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE: SIGNATURE: DATE: PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSIONS

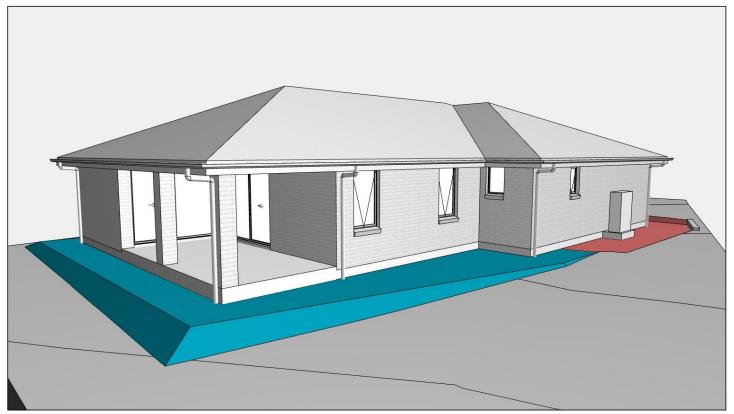
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\cap	DESIGNER	3	PRELIM PLANS - INITIAL ISSUE	TDI	22/06/2025	BRENDAN WILLIAM ST	HILL & JOANNE VIVIAN DALY	CREMORNE		H-WDNCMN10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE	.038
ш	COPYRIGHT:	4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL	n: 24
	© 2025	5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POINT DRIVE	, AUSTINS FERRY TAS 7011	COUNTRY		F-WDNCMN10CTRYA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersio
		6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	744202	late
		7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554	GLENORCHY	LAUNDRY DETAILS	16 / 20	1:50	714303	dwa



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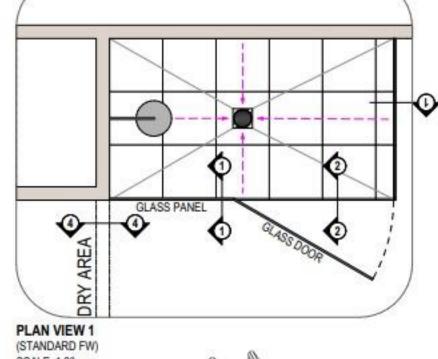


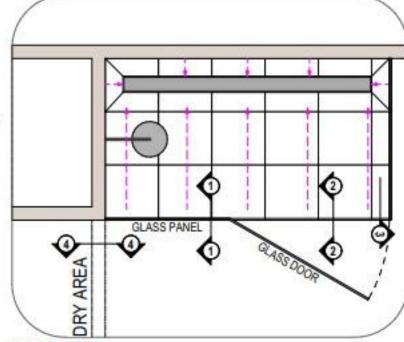
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© 2025	5 PRELIM PLANS - RFI UPDATE	DKZ 04/09/2025 84 STONY POINT D	RIVE, AUSTINS FERRY TAS 7011	COUNTRY	F-WDNC	CMN10CTRYA DISCREPANCIES TO BE RE TO THE DRAFTING OFF	
	6 BA PLANS - INITIAL ISSUE	MLG 20/09/2025 LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.: SCALES:	74420	a e
	7 BA PLAN - INITIAL ISSUE - RFI	PL1 23/09/2025 158 / - / 181554	GLENORCHY	3D VIEWS	17 / 20	71430	J [





BATHROOM AREA DRY AREA SQUARE SET OPENING 12x20mm ALUMINUM WATERSTOP ANGLE-CONTINUOUS WATERPROOFING MEMBRANE SELECTED TILES-ACHESIVE LAYER BETWEEN TILE AND SLAB-SECTION 04-(UPGRADE) SCALE: 1:2

SCALE: 1:2

SCALE: 1:20 SILICONE ONLY T

BATHROOM AREA

ADHESIVE LAYER BETWEEN TILE AND SLAD-

WITH 50mm RECESS TO SHOWER AREA.

12x12mm MATCHING COVER

1921 ECTED BATHEODIALEL DOE

TILES, DIRECT STICK TO SLAB

ANGLE OVER WATERSTON

BATHROOM AREA SHOWER AREA GHOWER GLASS DOOR 12:12mm MATCHING COVER GLASS DOOR SPLASH GUARD ANGLE OVER WATERSTOP CONTINUOUS WATERPROOFING MEMBRANE ACHESIVE LAYER BETWEEN TILE AND SLAD SELECTED BATHROOM FLOOR CHESIVE LAYER BETWEEN TILE AND BEDDING TILES, DIRECT STICK TO SLAB -SELECTED SHOWER PLOOR TILE WATERSTOP ANGLE WITH 50mm REICESS TO SHOWER AREA SCREED BEDDING SECTION 02 - THROUGH GLASS DOOR

BATHROOM AREA SHOWER SCREEN 12x20nm MATCHING COVER ANGLE OVER STOPICUT TO FOLLOW SCREED FALL If NECESSARY) ADHESIVE LAYER BETWEEN TILE AND SLAB SHOWER SCREEN FRAME SELECTED BATHROOM FLOOR TILES, DIRECT STICK TO SLAB SCREED BEDDING CONCRETE SLAB TO ENGINEER'S DETAIL TH 20mm RECESS TO SHOWER AREA SECTION 03 - THROUGH GLASS SCREEEN

HOUSE CODE

FACADE CODE:

SHEET No.: SCALES:

H-WDNCMN10SA

F-WDNCMN10CTRYA

SECTION 01 - THROUGH GLASS SCREEEN

WATERSTOP ANGLE

SCALE: 1:2

SCALE: 1:2

PLAN VIEW 2

SCALE: 1:20

SHOWER AREA

Smm DRAMAGE HOLE

-SELECTED SHOWER FLOOR TILE

SCREED BEDDING

SPLASH GUARD

SEM-FRAMELESS OR FRAMED SHOWER SCREEN

CONTINUOUS WATERPROOFING MEMBRANE

ADHESIVE LAYER BETWEEN THE AND BEDDING

(CHANNEL DRAIN)

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ı	COPYRIGHT:	4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:		FACADE DESIGN:	
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		6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:
		7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554	GLENORCHY	STANDARD SHOWER & WATERPROOFING	18 / 20

714303

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AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE

COMMENCEMENT OF ANY WORK. AL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

WET AREA NOTES				
VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG.	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm	WHERE THE VESSEL IS FIXED TO A WALL,	WATERPROOF ALL TAP AND

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF

WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT

LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL,

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

THE WALL

SEALED TO FLOOR.

WATER RESISTANT TO ENTIRE FLOOR.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE FFFFCTIVE R RATING

WAFFLE POD ALLOWANCES: R0.6 - 175mm DEEP

- R0 7 225mm DEEP - R0.8 - 300mm DEEP
- R0.9 375mm DEEP

N.C.C 2022 TAS PART H6

IN TASMANIA. FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

- (i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
- (ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION FOR CONCRETE SLAB ON GROUNG WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING

3.12.3.1 - CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE

- 3.12.3.2 ROOF LIGHTS
 (a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN
 - (i) A CONDITIONED SPACE; OR
- i) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
- (b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
- (i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
- (ii) A WATERPROOF SEAL; OR
- (iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No ...PLN-25-177

DATE RECEIVED 24 September 2025

- 3.12.0.1 EXTERNAL WINDOWS AND DOORS

 (a) A SEAL TO RESTRIC AIR INFILTRATION MUST BE FITTED TO EACH OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING:
- (I) WHEN SERVING A CONDITIONED SPACE; OR
- (II) IN CLIMATE ZONES 4, 5, 6, 7 OR 8, WHEN SERVING A HABITABLE ROOM
- (b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a)
- (c) A SEAL REQUIRED BY (a)
- (i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
- (ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING. MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP. FIBROUS SEAL OR THE LIKE.

3.12.3.4 - EXHAUST FANS

AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER. FILTER OR THE LIKE WHEN SERVING

(a) A CONDITIONED SPACE: OR

(b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS

- (a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:
- (i) A CONDITIONED SPACE; OR
- (ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.
- (b) CONSTRUCTION REQUIRED BY (a) MUST BE:
- (i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE
- FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR

 (ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE

3.12.3.6 - EVAPORATIVE COOLERS

AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:

(a) A HEATED SPACF: OR

(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING

- (a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF
- (i) 5W/m² IN A CLASS 1 BUILDING
- (ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
- (iii) 3W/m2 IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.
- (b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

SUBJECT TO NCC 2022 (1 OCTOBER 2024)

WATERPROOFING & PLUMBING DI ANI ACCEPTANCE DV OWNER

PLAN ACCEPTAN	ICE BY OWNER	l l
SIGNATURE:	DATE:	- - -
Signature:	DATE:	o.
PLEASE NOTE THAT VARIATION AFTER THIS PLAN ACCEPTA		,

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SPOUT PENETRATIONS

HORIZONTAL SURFACE

WHERE THEY OCCUR IN A

WATERPROOF EDGES FOR EXTENT OF VESSEL.

WATERPROOF ALL WALL/FLOOR JUNCTIONS.

LEG MUST BE NOT LESS THAN 40mm.

WHERE A FLASHING IS USED THE HORIZONTAL



Version: 1, Version Date: 25/09/2025

SINKS, LAUNDRY TUBS AND BASINS)

LAUNDRIES AND WCS

=	SPECIFICATION:	DELVISION	DD AMAI	CLIENT.		HOUSE DESIGN:		HOUSE CODE.	DO NOT SCALE DRAWINGS, USE
		REVISION	DRAWN	CLIENT:				HOUSE CODE:	FIGURED DIMENSIONS ONLY, CHECK
	DESIGNER	3 PRELIM PLANS - INITIAL ISSUE	TDI 22/06/2025	BRENDAN WILLIAM ST	HILL & JOANNE VIVIAN DALY	CREMORNE		H-WDNCMN10SA	AND VERIFY DIMENSIONS AND
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		7 BA PLAN - INITIAL ISSUE - RFI	PL1 23/09/2025	158 / - / 181554	GLENORCHY	WET AREA & ENERGY EFFICIENCY	19 / 20		714303

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

SITE WORKS

GENERAL

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE À SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC

SOIL TYPE /	EMBANKMENT OF SLOPE					
CLASSIFICATION	COMPACTED FILL	CUT				
STABLE ROCK (A)	3:3	8:1				
SAND (A)	1:2	1:2				
SILT (P)	1:4	1:4				
FIRM CLAY	1:2	1:1				
SOFT CLAY	NOT SUITABLE	2:3				
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE				

MASONRY

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONARY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

TIMBER FRAMING

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE **WITH AS1684**
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

BRACING / LINTELS

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:

0 - 1500 120 x 35 1500 - 2400 140 x 35 2400 - 2700 190 x 35

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

0 - 2700 90 x 90 x 6 EA 2700 - 3200 100 x 100 x 8 EA 3200 - 4000 150 x 90 x 8 EA

*LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
- HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MpA (N25 GRADE)
- HAVE A 20mm NOMINAL AGGREGATE SIZE
- HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

WINDOWS

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH NCC 8 **REQUIREMENTS**
- AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL. REQUIRE A PERMANANTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH: AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN. THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH NCC PART 8.4

DRAINAGE / WATER

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150 MIN. BELOW LOWEST SANITARY DRAINAGE POINT
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NCC TABLE 3.1.1.1
- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500 3

STAIRCASES / BALUSTRADES / HANDRAILS

STAIR TREADS 240mm MIN. - 355mm MAX. STAIR RISERS 115mm MIN. - 190mm MAX.

- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT NCC 11.3.5
- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm
- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL
- BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm
- NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC 11.2.4
- WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS. OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.
- GLAZED BALUSTRADE AND HANDRAILS TO COMPLY WITH NCC PART 8.4, 11.3 AND AS1288 REQUIREMENTS

ROOFING

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS, TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.

ELECTRICAL

- EXHAUST FAN TO COMPLY WITH CURRENT NCC PART 10.6.2 SECTION C
- EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH NCC VOLUME 2, PARTS 10.8.2 AND 10.8.3
- IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN. THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
- ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE

WET AREAS

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- COMPLIANCE WITH NCC PART 10.2 AND AS3740
- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740

CONDENSATION

- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECCOMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
- IN STANDARD ROOF SPACES. IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

WOOD HEATERS

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND NCC PART 12.4

FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER NCC 9.5.
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND **COMPLIANCE CERTIFICATES**

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No .P.LN-25-1.7.7.

DATE RECEIVED 24 September 2025

SUBJECT TO NCC 2022 (1 OCTOBER 2024) WATERPROOFING & PLUMBING

PLAN ACCEPTAN	ICE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PLEASE NOTE THAT VARIATION AFTER THIS PLAN ACCEPTA	

HOUSE CODE

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MLG 20/09/2025 LOT / SECTION / CT: PL1 23/09/2025 158 / - / 181554

TDI 22/06/2025 BRENDAN WILLIAM ST HILL & JOANNE VIVIAN DALY DKZ 04/09/2025 84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011 COUNCIL .

GLENORCHY

FACADE DESIGN: COUNTRY SHEET TITLE:

CREMORNE H-WDNCMN10SA FACADE CODE F-WDNCMN10CTRYA SHEET No : SCALES 20 / 20 **GENERAL NOTES**

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