

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-177
PROPOSED DEVELOPMENT:	Residential (Dwelling)
LOCATION:	84 Stony Point Drive Austins Ferry
APPLICANT:	Wilson Homes Tasmania Pty Ltd
ADVERTISING START DATE:	30/09/2025
ADVERTISING EXPIRY DATE:	14/10/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **14/10/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **14/10/2025**, or for postal and hand delivered representations, by 5.00 pm on **14/10/2025**.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

APPROX. CUT/FILL		
CUT	16.86m³	37.94t
FILL	17.34m³	39.02t
DIFFERENCE	0.48m³	1.08t
EVEN CUT & FILL		

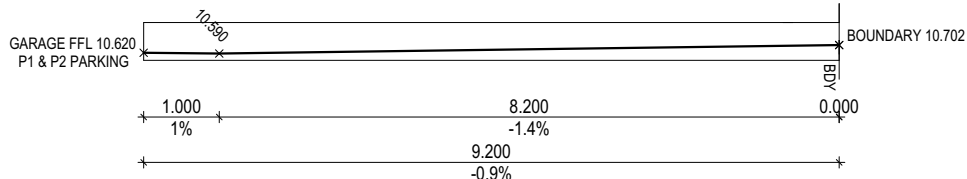
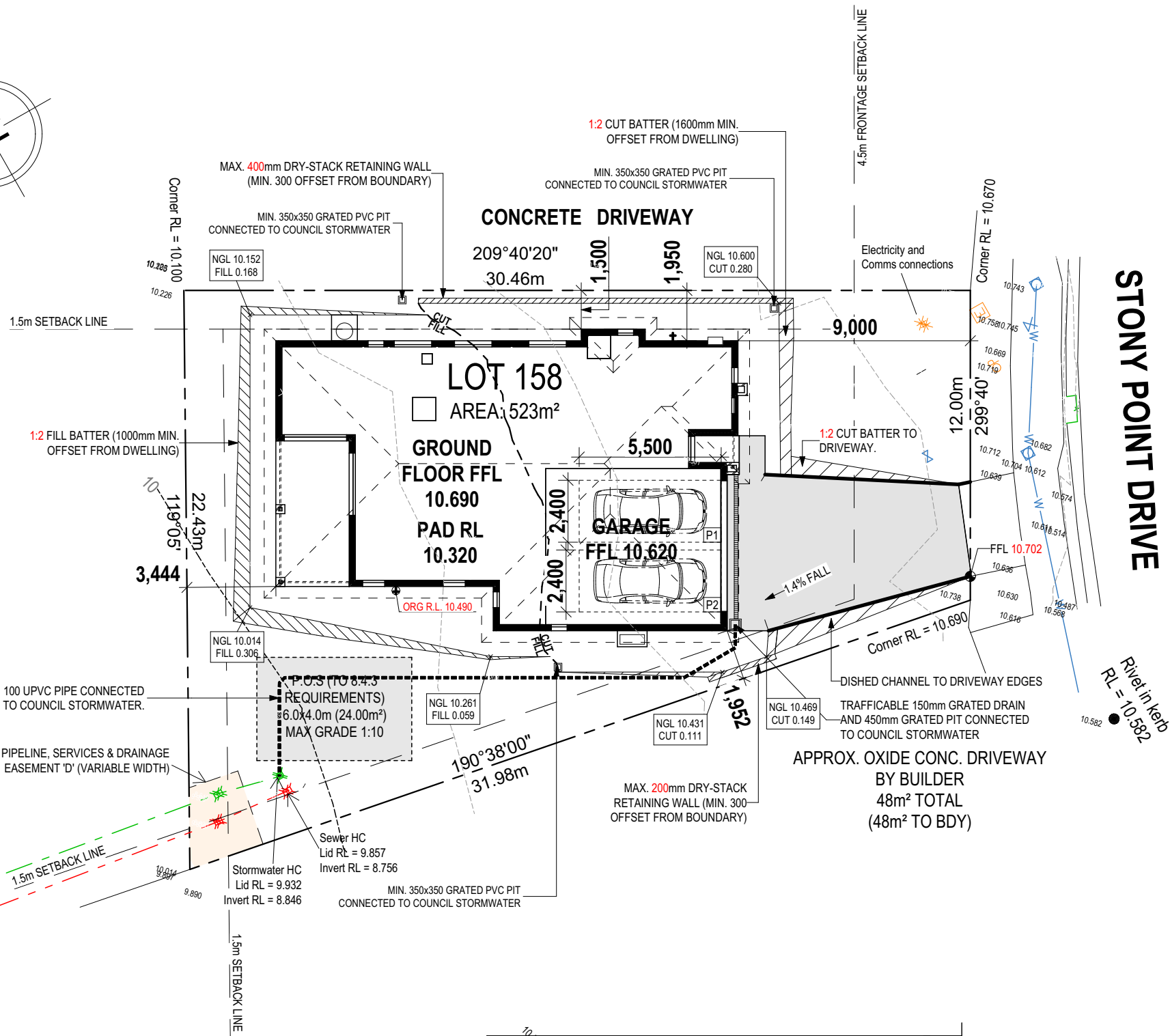
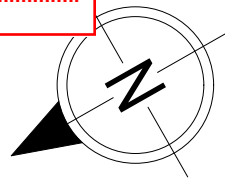
LOT SIZE: 523m²
HOUSE (COVERED AREA): 185.49m²
SITE COVERAGE: 35.47%

DRY STACK WALLS <1m HIGH:
ISLAND BLOCK & PAVING FREESTONE
ECO RETAINING WALL INSTALLATION TO
MANUFACTURER'S SPECIFICATION AND
DETAILS

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-25-177

DATE RECEIVED 24 September 2025



DRIVEWAY DETAILS
SCALE: 1:100

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
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COPYRIGHT:		4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:		FACADE DESIGN:	FACADE CODE:		
© 2025		5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011		COUNTRY	F-WDNCMN10CTRYA		
		6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	LOT / SECTION / CT:		SHEET TITLE:	SHEET No.:		
		7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554		COUNCIL:	SCALES:		
						GLENORCHY		SITE PLAN	2 / 20	1:200, 1:100	714303

714303

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

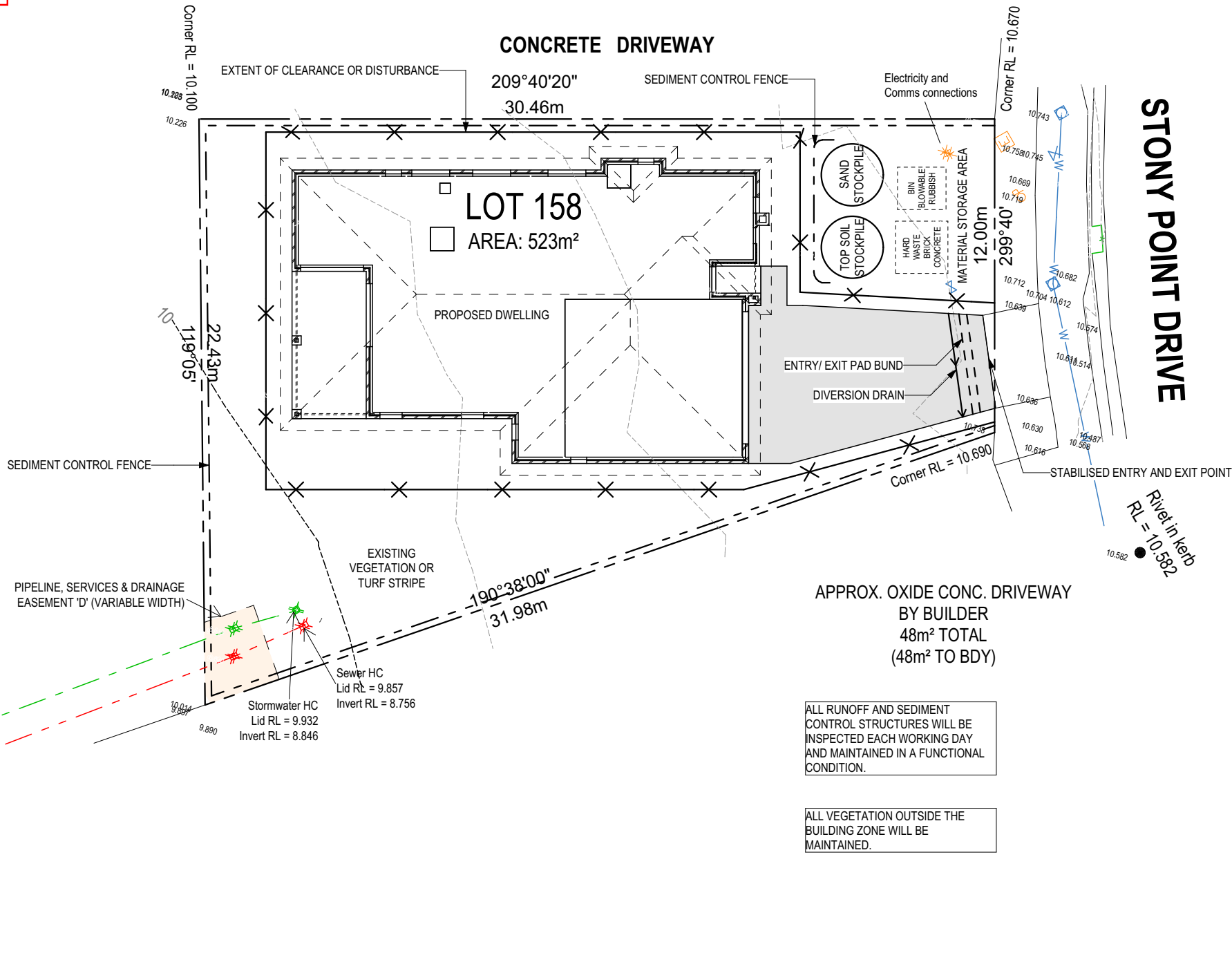
THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

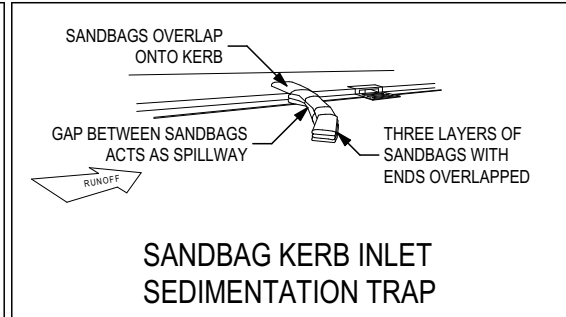
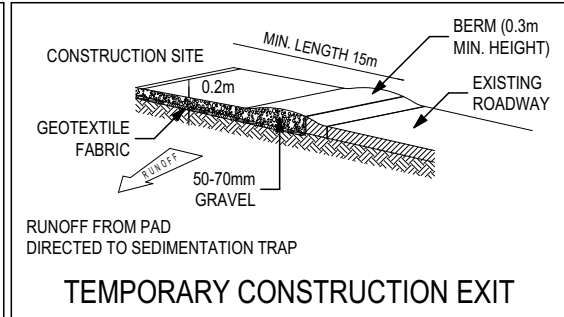
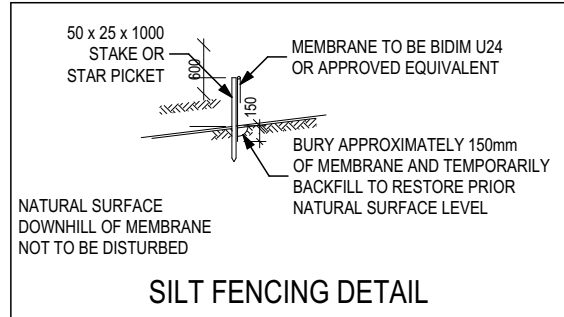
APPLICATION No .PLN-25-177

DATE RECEIVED 24 September 2025



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.




SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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		6	BA PLANS - INITIAL ISSUE		MLG	20/09/2025	LOT / SECTION / CT:		COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:		
		7	BA PLAN - INITIAL ISSUE - RFI		PL1	23/09/2025	158 / - / 181554		GLENORCHY		SOIL & WATER MANAGEMENT PLAN		3 / 20	1:200	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

PROVIDE EXPOSURE GRADE BRICKS AND MORTAR TO ALL EXTERIOR WALLS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

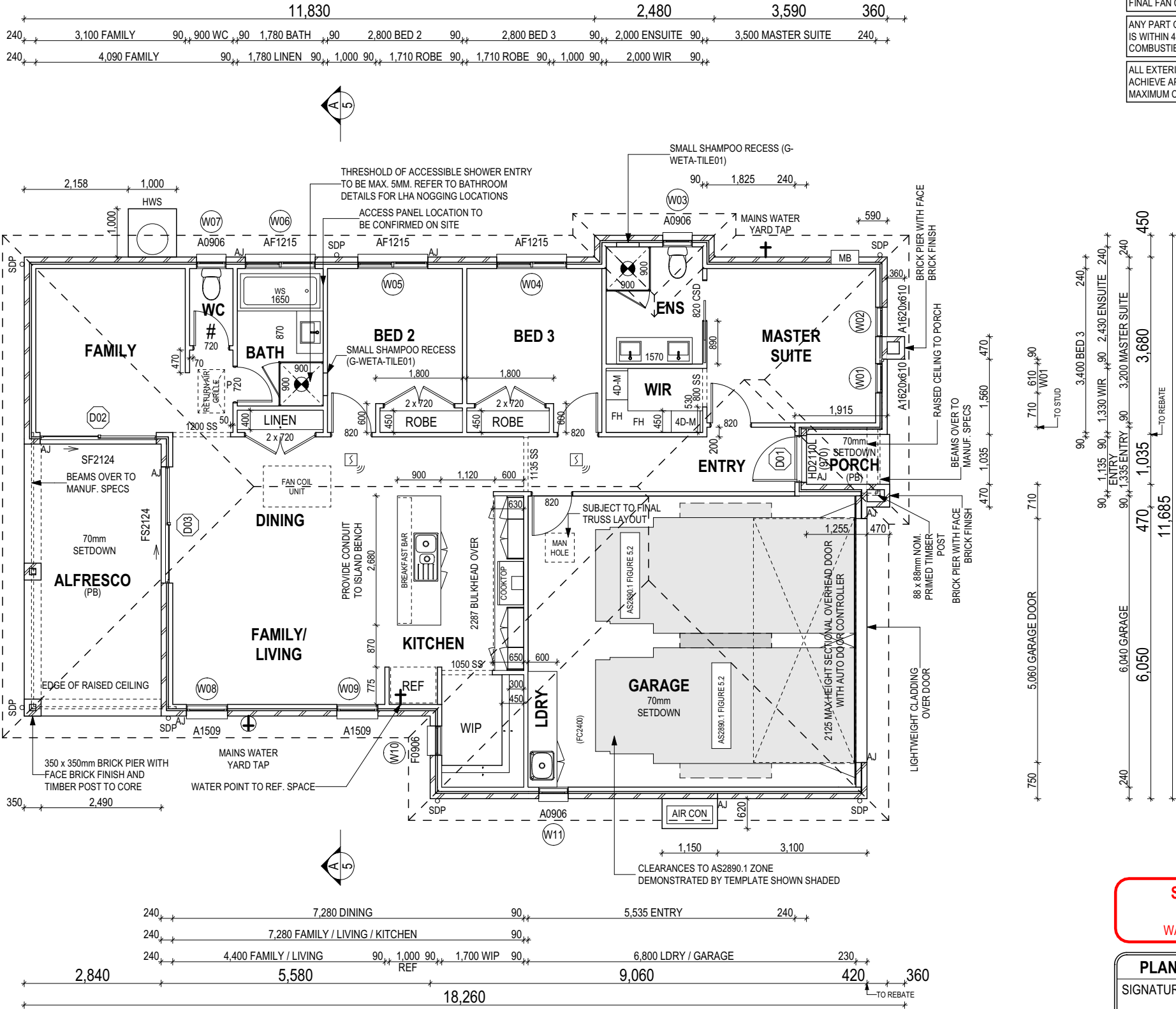
LEGEND	
HS / WS	HOBB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
	FLOOR WASTE
	GAS BAYONET

MAIN DWELLING, GROUND FLOOR	
ALFRESCO	16.02
GARAGE	44.45
LIVING	123.01
PORCH	2.01
	185.49 m²

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER	
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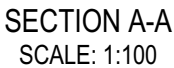
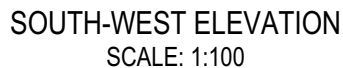
ALL DIMENSIONS ARE FRAME DIMENSIONS

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		6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		714303
		7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554		GLENORCHY		SHEET No.: GROUND FLOOR PLAN		
										4 / 20		1:100

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**



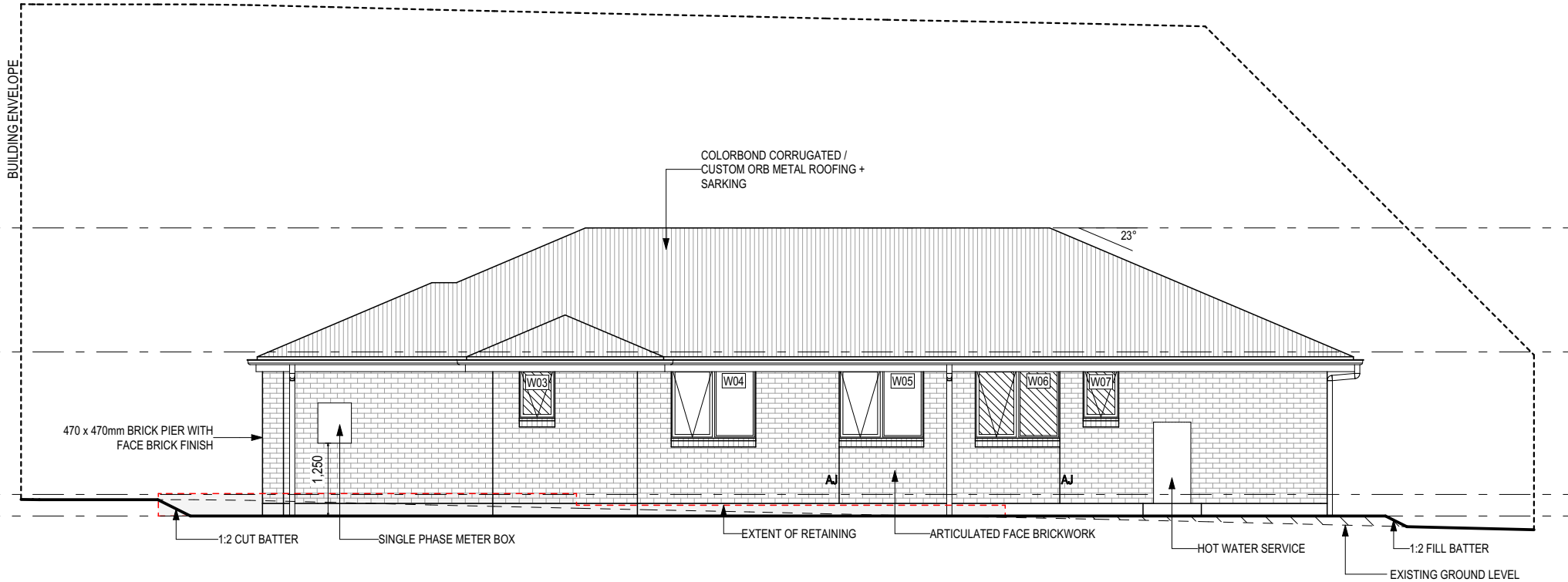
**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

The diagram shows five window types with their corresponding opening mechanisms:

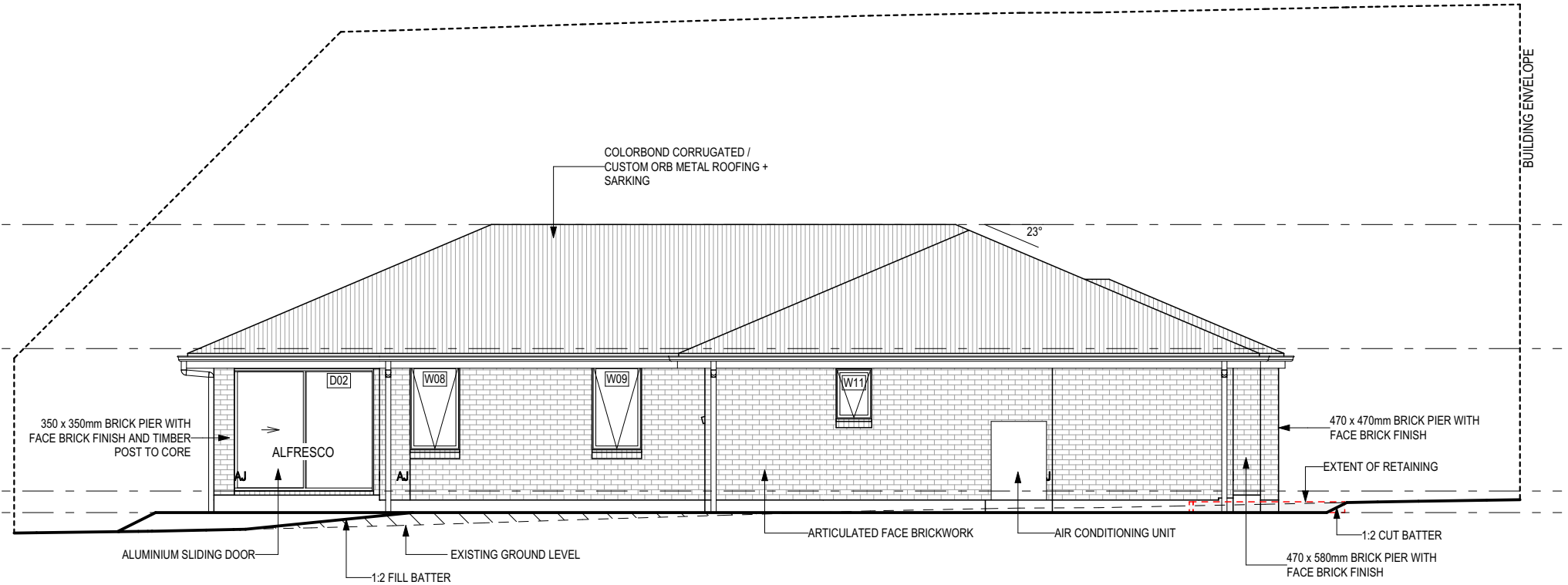
- AWNING:** A window frame with two diagonal lines meeting at the bottom center, indicating the window pane tilts outwards from the top.
- DOUBLE HINGED:** A window frame divided into two horizontal sections. The top section has a downward-pointing arrow, and the bottom section has an upward-pointing arrow, indicating they open in opposite directions.
- FIXED:** A simple rectangular window frame with no internal divisions or arrows, indicating it does not open.
- LOUVRE:** A window frame containing several horizontal lines, representing the slats of a louvre window.
- SLIDING:** A window frame divided into two vertical sections. An arrow points from the left section towards the right section, indicating the left pane slides horizontally to the right.

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NORTH-WEST ELEVATION
SCALE: 1:100



SOUTH-EAST ELEVATION
SCALE: 1:100

GLASS TYPE LEGEND

CLEAR	OBSCURE

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____

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LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY GLE-7.7.1.2

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

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	5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025				
	6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025				
	7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025				

EXTERIOR WINDOW & DOOR SCHEDULE ^{1,2} ASSUME LOOKING FROM OUTSIDE

	STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW																
	GROUND FLOOR	W01	A1620x610	SPECIAL	MASTER SUITE	1,620	610	4,460	0.99	ALUMINIUM	N/A	NONE	SW	0.72	CLEAR, DOUBLE GLAZED	
	GROUND FLOOR	W02	A1620x610	SPECIAL	MASTER SUITE	1,620	610	4,460	0.99	ALUMINIUM	N/A	SNAP HEADER	SW	0.72	CLEAR, DOUBLE GLAZED	
	GROUND FLOOR	W03	A0906	AWNING	ENS	857	610	2,934	0.52	ALUMINIUM	N/A	ANGLED	SE	0.35	OBSCURE, DOUBLE GLAZED, TOUGHENED	
	GROUND FLOOR	W04	AF1215	AWNING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	ANGLED	SE	1.38	CLEAR, DOUBLE GLAZED	MP 725
	GROUND FLOOR	W05	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	ANGLED	SE	1.38	CLEAR, DOUBLE GLAZED	MP 725
	GROUND FLOOR	W06	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	ANGLED	SE	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
	GROUND FLOOR	W07	A0906	AWNING	WC	857	610	2,934	0.52	ALUMINIUM	N/A	ANGLED	SE	0.35	OBSCURE, DOUBLE GLAZED, TOUGHENED	
	GROUND FLOOR	W08	A1509	AWNING	FAMILY / LIVING	1,457	850	4,614	1.24	ALUMINIUM	N/A	ANGLED	NW	0.96	CLEAR, DOUBLE GLAZED	
	GROUND FLOOR	W09	A1509	AWNING	FAMILY / LIVING	1,457	850	4,614	1.24	ALUMINIUM	N/A	ANGLED	NW	0.96	CLEAR, DOUBLE GLAZED	
	GROUND FLOOR	W10	F0906	FIXED	WIP	857	610	2,934	0.52	ALUMINIUM	N/A	ANGLED	NE	0.42	CLEAR, DOUBLE GLAZED	
	GROUND FLOOR	W11	A0906	AWNING	LDRY	857	610	2,934	0.52	ALUMINIUM	N/A	ANGLED	NW	0.35	CLEAR, DOUBLE GLAZED	
									11.76					8.97		
DOOR																
	GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	N/A	SNAP HEADER	SW	1.41	OBSCURE	
	GROUND FLOOR	D02	SF2124	SLIDING	FAMILY	2,100	2,410	9,020	5.06	ALUMINIUM	N/A	SNAP HEADER	NW	4.51	CLEAR, DOUBLE GLAZED, TOUGHENED	STANDARD FLYSCREEN MESH
	GROUND FLOOR	D03	FS2124	SLIDING	FAMILY / LIVING	2,100	2,410	9,020	5.06	ALUMINIUM	N/A	SNAP HEADER	NE	4.51	CLEAR, DOUBLE GLAZED, TOUGHENED	STANDARD FLYSCREEN MESH
									12.16					10.43		
									23.92					19.40		

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No

DATE RECEIVED

PLN-25-177

24 September 2025

LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY GLE-7.7.1.2

INTERIOR WINDOW & DOOR SCHEDULE

	STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR								
	GROUND FLOOR	1	1050 SS	SQUARE SET OPENING	2,155	1,050	N/A	
	GROUND FLOOR	1	1135 SS	SQUARE SET OPENING	2,155	1,135	N/A	
	GROUND FLOOR	1	1200 SS	SQUARE SET OPENING	2,155	1,200	N/A	
	GROUND FLOOR	3	2 x 720	SWINGING	2,040	1,440	N/A	
	GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	
	GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
	GROUND FLOOR	1	800 SS	SQUARE SET OPENING	2,155	800	N/A	
	GROUND FLOOR	4	820	SWINGING	2,040	820	N/A	
	GROUND FLOOR	1	820 CSD	CAVITY SLIDING	2,040	820	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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Manufacturer - Dowell Windows

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
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WILSON HOMES

Document Set ID: 3537008

Version: 1, Version Date: 28/09/2025

SPECIFICATION: DESIGNER

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3 PRELIM PLANS - INITIAL ISSUE

4 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE

5 PRELIM PLANS - RFI UPDATE

6 BA PLANS - INITIAL ISSUE

7 BA PLAN - INITIAL ISSUE - RFI

TDI

TDI

DKZ

MLG

PL1

22/06/2025

30/07/2025

04/09/2025

20/09/2025

23/09/2025

CLIENT: BRENDAN WILLIAM ST HILL & JOANNE VIVIAN DALY

ADDRESS: 84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011

LOT / SECTION / CT: 158 / - / 181554

COUNCIL: GLENORCHY

HOUSE DESIGN: CREMORNE

FACADE DESIGN: COUNTRY

SHEET TITLE: WINDOW & DOOR SCHEDULES

HOUSE CODE: H-WDNCMN10SA

FACADE CODE: F-WDNCMN10CTRYA

SCALES:

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714303

SHEET No.: 7 / 20

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

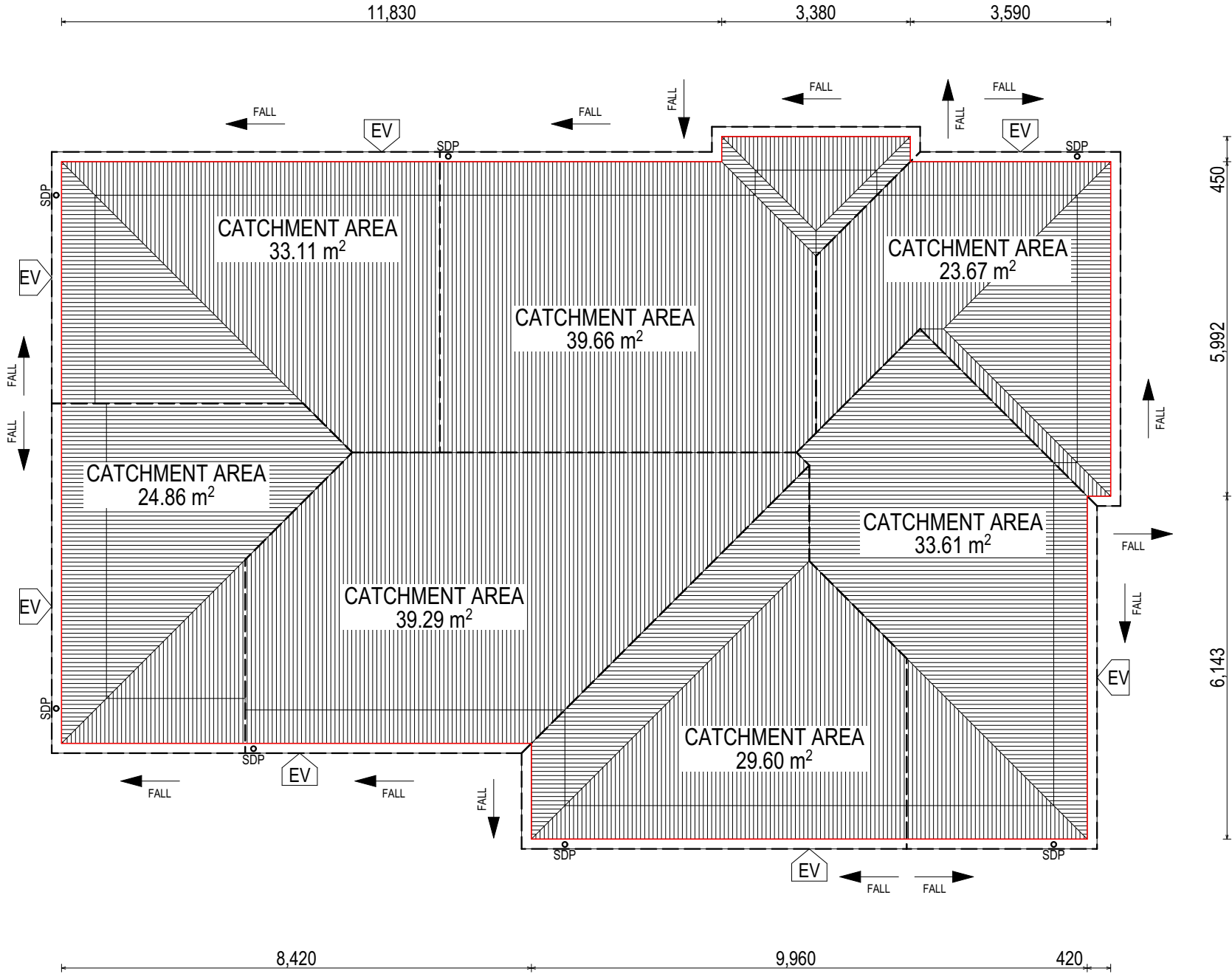
AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	212.64	Flat Roof Area (excluding gutter and slope factor) (m²)
	231.02	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	223.80	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	277.51	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.24 for 26° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	4.34	Ac / Acdp
Downpipes Provided	7	

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COPYRIGHT:		4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:			FACADE DESIGN:			FACADE CODE:		
© 2025		5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011			COUNTRY			F-WDNCMN10CTRYA		
		6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:	714303
		7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554		GLENORCHY		ROOF DRAINAGE PLAN		8 / 20	1:100	



For Roofs With >15 - <75 Degree Roof Pitch.

Longest Horizontal Dimension of Roof (m)

Ventilation Surface Area Required (Eave Ventilation - 7,000mm2/ m)

Ventilation Surface Area Required (Ridge Ventilation - 5,000mm2 /m)

Ventilation Area (m2) per Whirlybird (if used)

Ventilation Area per Eave Vents (mm2) (min. 418 x 200mm)

Minimum required soffit ventilation (eave vents) NB: to be evenly spaced around soffit

Ridge ventilation to be provided by continuous gap to ridge cappings

AS3959 Compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones

EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN / LIVING / DINING	39.00 m²	D03, W08, W09	3.90 m²	6.43 m²	1.95 m²	4.74 m²
MASTER SUITE	11.20 m²	W01, W02	1.12 m²	1.44 m²	0.56 m²	1.76 m²
BED 2	9.30 m²	W05	0.93 m²	1.38 m²	0.47 m²	0.77 m²
BED 3	9.31 m²	W04	0.93 m²	1.38 m²	0.47 m²	0.77 m²
FAMILY	12.19 m²	D02	1.22 m²	4.51 m²	0.61 m²	2.50 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)
PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

ABCBC

National Construction Code

Calculator

Lighting

Class 1 & 10a buildings

Building name/description
714303 - ST HILL RESIDENCE

Classification
Class 1

Number of rows preferred in table below
13 (as currently displayed)

ID	Description	Type of space	Floor area of the space	Design lamp or illumination power load	Location	Adjustment factor			SATISFIES PART 13.7.6		
						Adjustment factors	Dimming % area	Dimming % of full power	Design lumen depreciation factor	Lamp or illumination power density	System share of % of aggregate allowance used
										System allowance	System design
1	ENTRY	Corridor	7.5 m²	14 W	Class 1 building					5.0 W/m²	1.9 W/m²
2	MASTER SUITE	Bedroom	11.2 m²	10 W	Class 1 building					5.0 W/m²	0.9 W/m²
3	WIR	Other	2.7 m²	7 W	Class 1 building					5.0 W/m²	2.6 W/m²
4	ENS	Bathroom	4.9 m²	10 W	Class 1 building					5.0 W/m²	2.1 W/m²
5	BED 2	Bedroom	9.3 m²	10 W	Class 1 building					5.0 W/m²	1.1 W/m²
6	BED 3	Bedroom	9.3 m²	10 W	Class 1 building					5.0 W/m²	1.1 W/m²
7	BATH	Bathroom	5.1 m²	10 W	Class 1 building					5.0 W/m²	2.0 W/m²
8	WC	Toilet	1.4 m²	7 W	Class 1 building					5.0 W/m²	4.9 W/m²
9	FAMILY	Lounge room	12.2 m²	10 W	Class 1 building					5.0 W/m²	0.8 W/m²
10	LAUNDRY	Laundry	2.4 m²	7 W	Class 1 building					5.0 W/m²	2.9 W/m²
11	OPEN DINING/ LIVING/ KITCHEN	Living room	39.0 m²	10 W	Class 1 building					5.0 W/m²	0.3 W/m²
12	WIP	Other	4.0 m²	7 W	Class 1 building					5.0 W/m²	1.8 W/m²
13	GARAGE	Other	38.7 m²	10 W	Class 1 building					5.0 W/m²	0.3 W/m²
			147.5 m²	122 W	Class 1 building			Allowance	Design average	5.0 W/m²	0.8 W/m²

If inputs are valid

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THIS LIGHTING CALCULATOR

By accessing or using this calculator, you agree to the following: While care has been taken in the preparation of this calculator, it may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website (abcb.gov.au). The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (howsoever caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, merchantability, fitness for any purpose or completeness of this publication or any information which may appear on any linked websites, or in other linked information sources, and all such representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.

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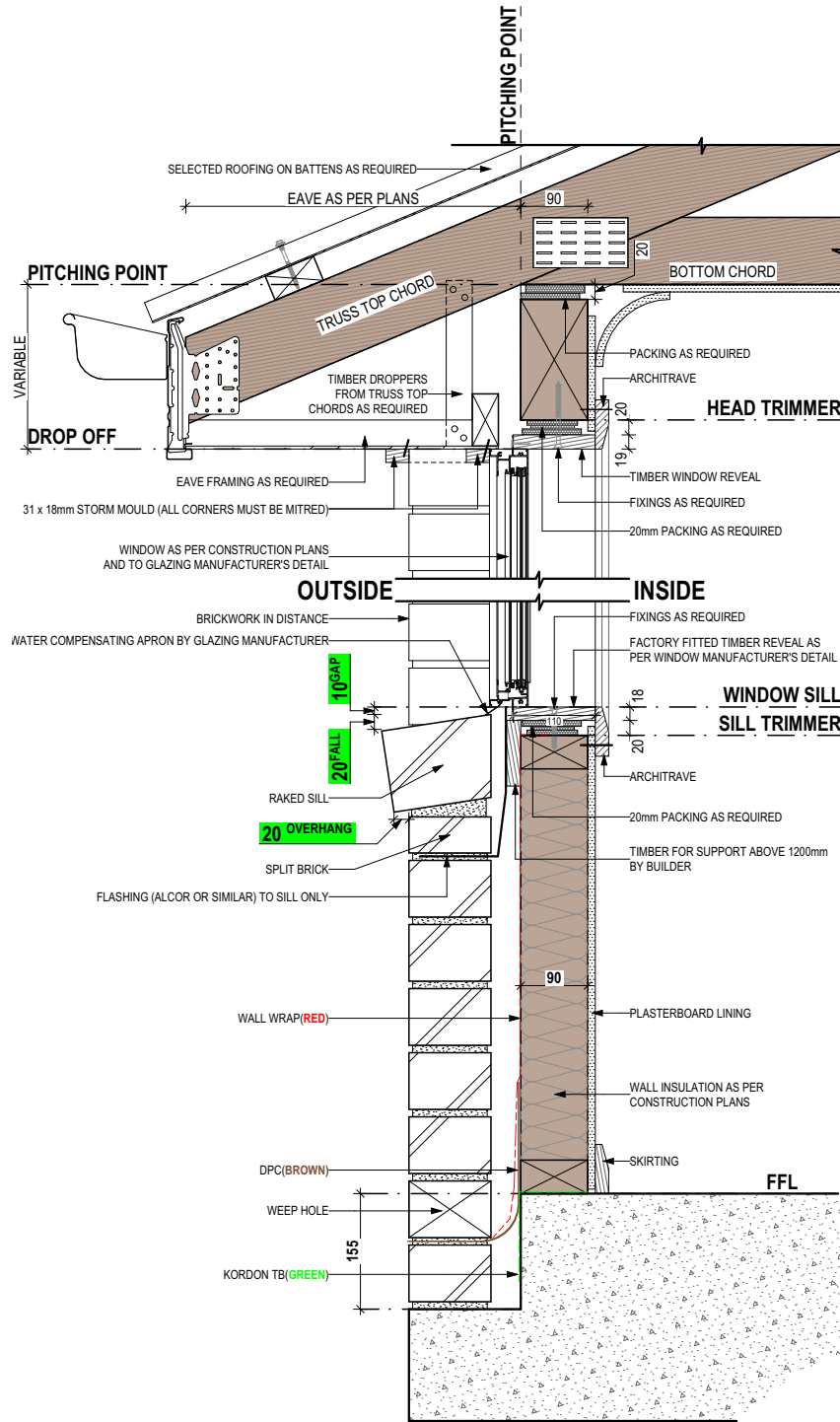
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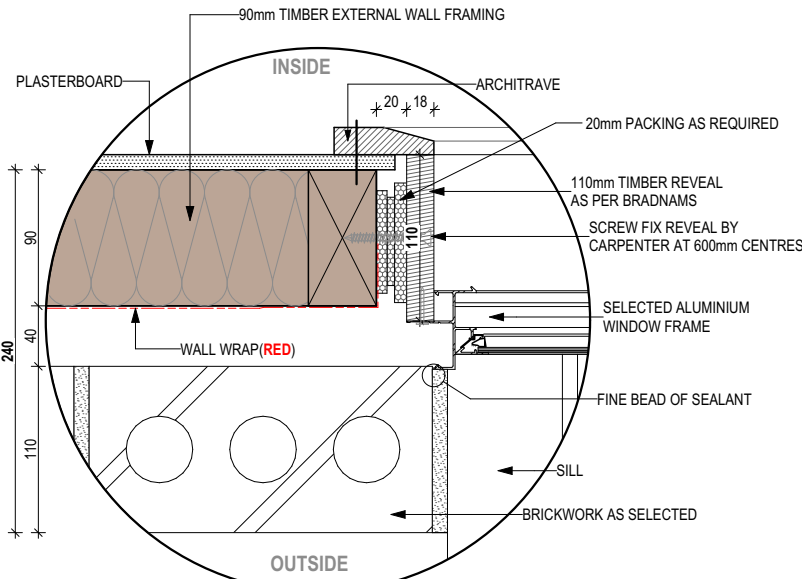
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- SITE CLASSIFICATION
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								SCALES:	714303



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:


SIGNATURE: DATE:

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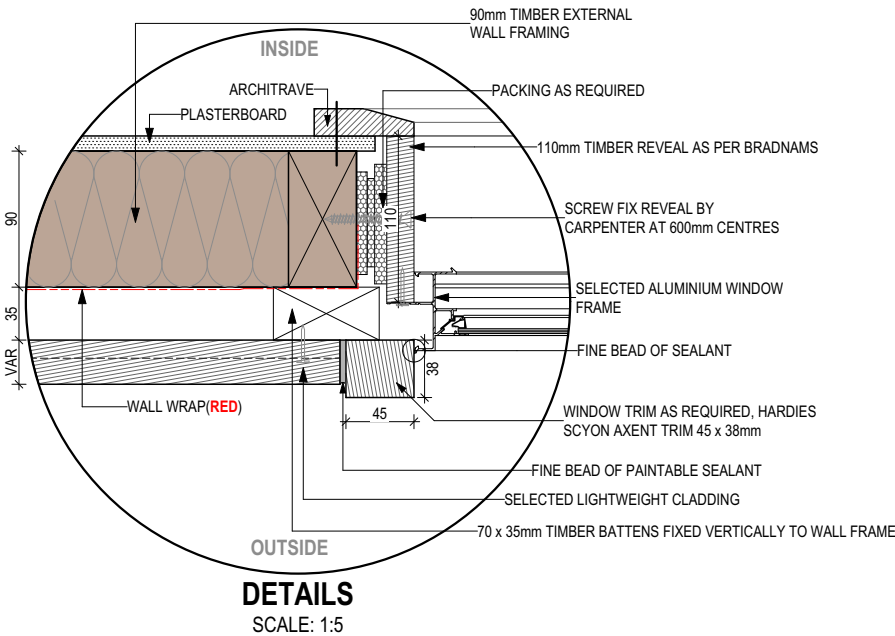
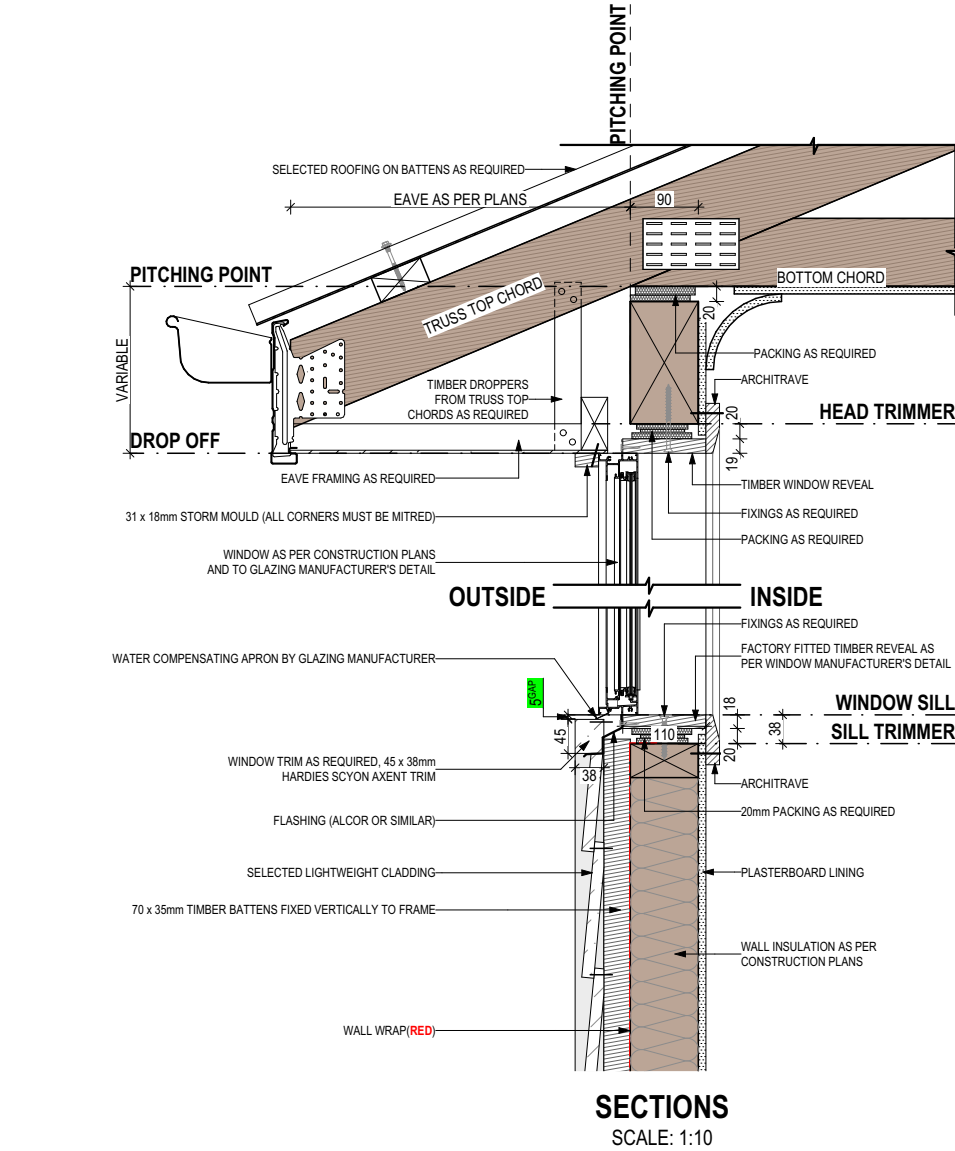
REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No ... PLN-25-177

DATE RECEIVED 24 September 2025

SHEET CLADDING



THIS DWELLING IS BEING CONSTRUCTED IN A BAL NOT RQRD AREA
RESTRICTIONS FOR CONSTRUCTION METHODS/MATERIALS APPLY. REFER TO NOTES

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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET
- LAMINATE
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)



SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

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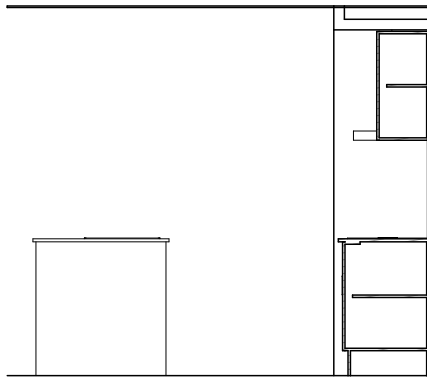
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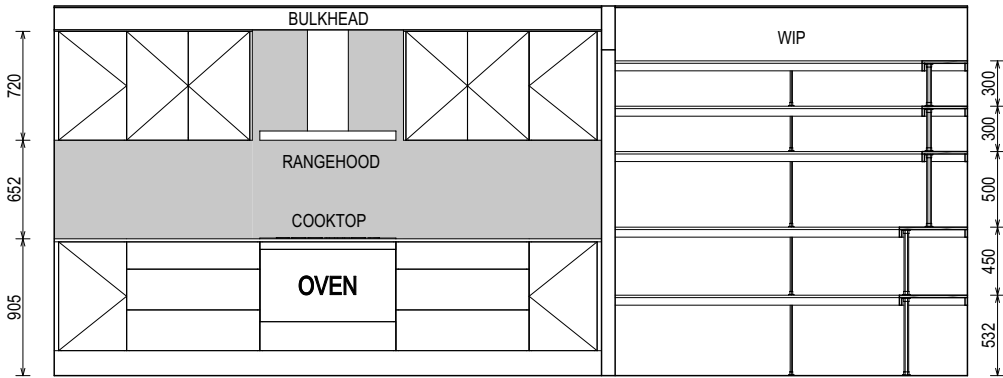
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	7	BA PLAN - INITIAL ISSUE - RFI		PL1	23/09/2025	158 / - / 181554		COUNCIL: GLENORCHY		12 / 20			1:100

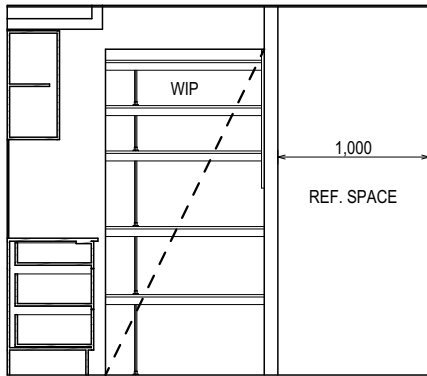


ELEVATION A
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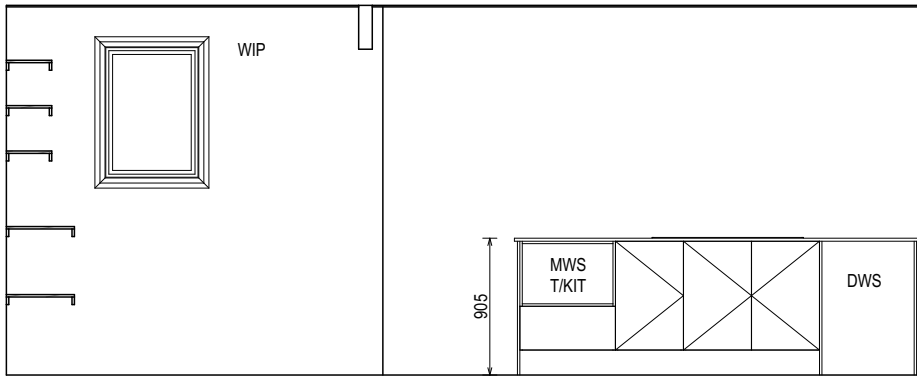


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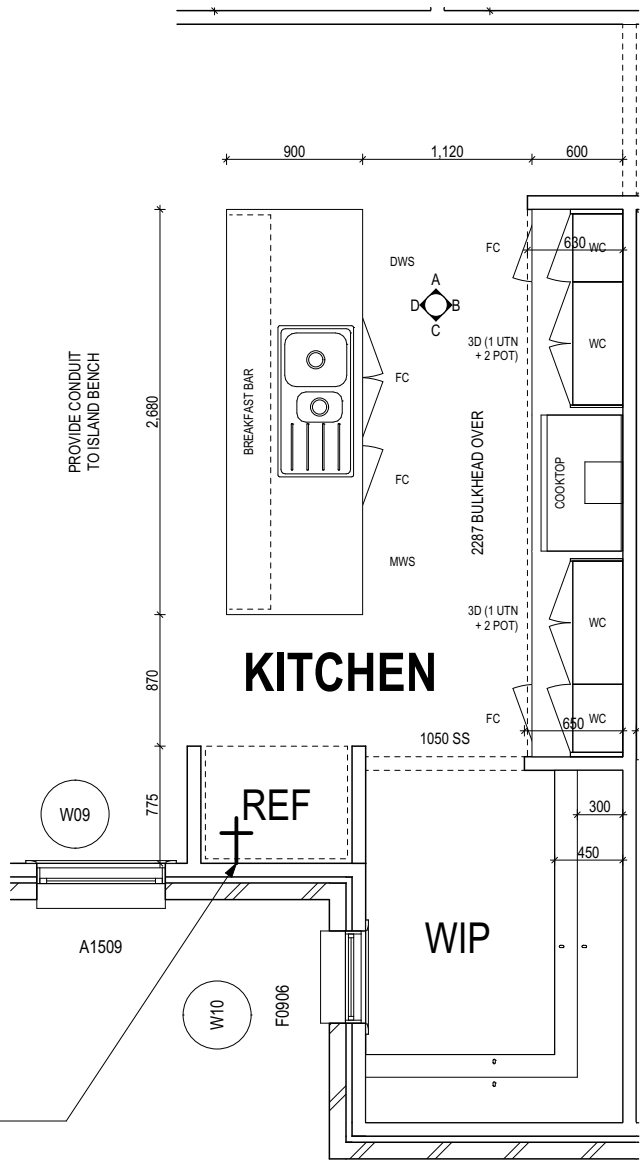
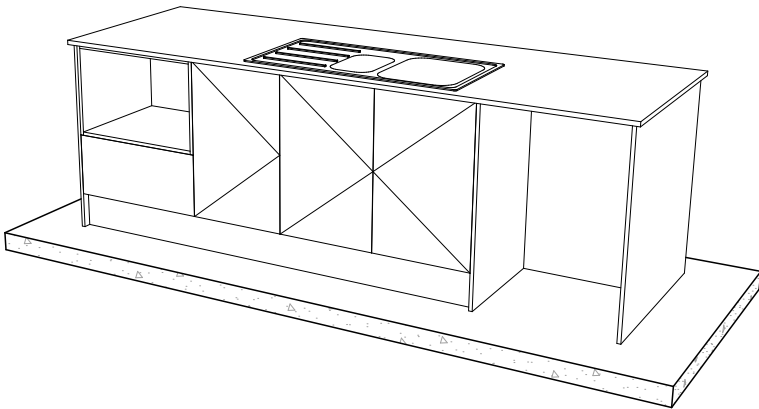
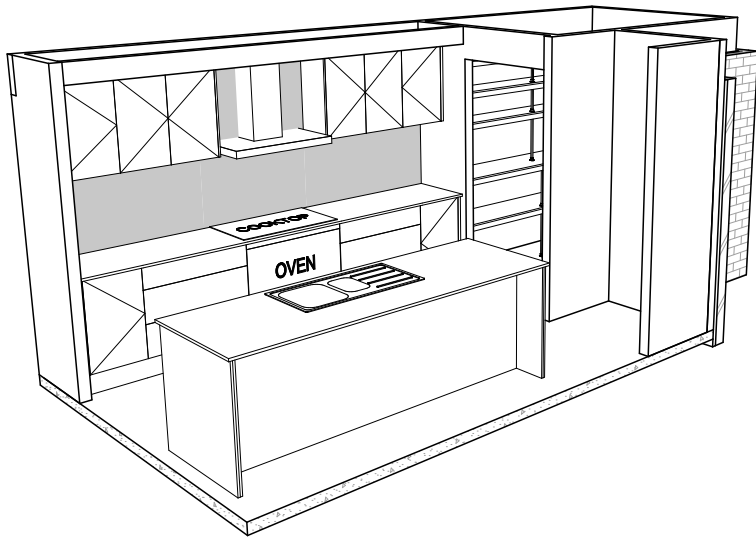
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-25-177
DATE RECEIVED 24 September 2025



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER


SIGNATURE: _____ DATE: _____

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		6	BA PLANS - INITIAL ISSUE		MLG	20/09/2025	LOT / SECTION / CT:		COUNCIL:	SHEET TITLE:		SHEET No.:		SCALES:	
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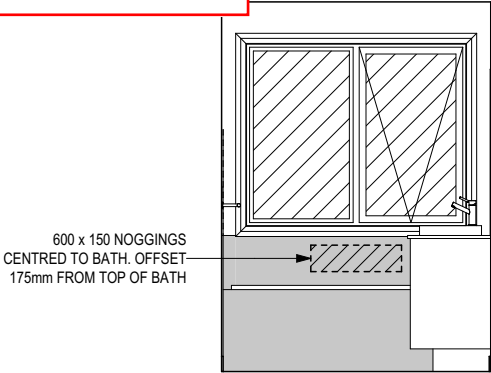
REFER TO THE FOLLOWING DETAILS:
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WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

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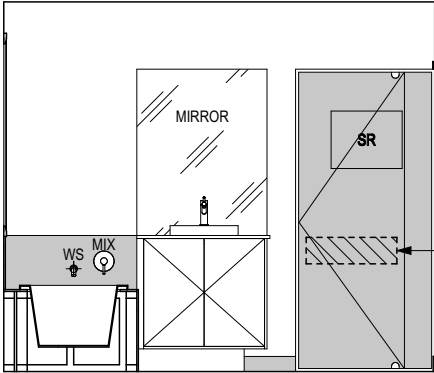
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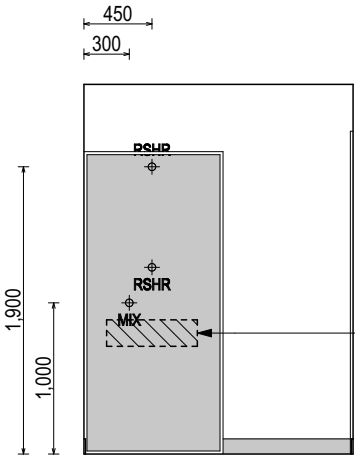
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW
CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



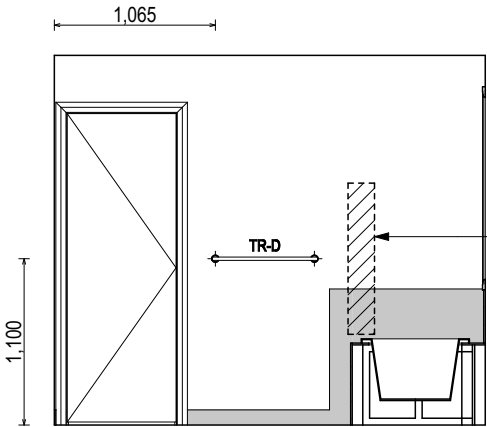
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SCALE: 1:50



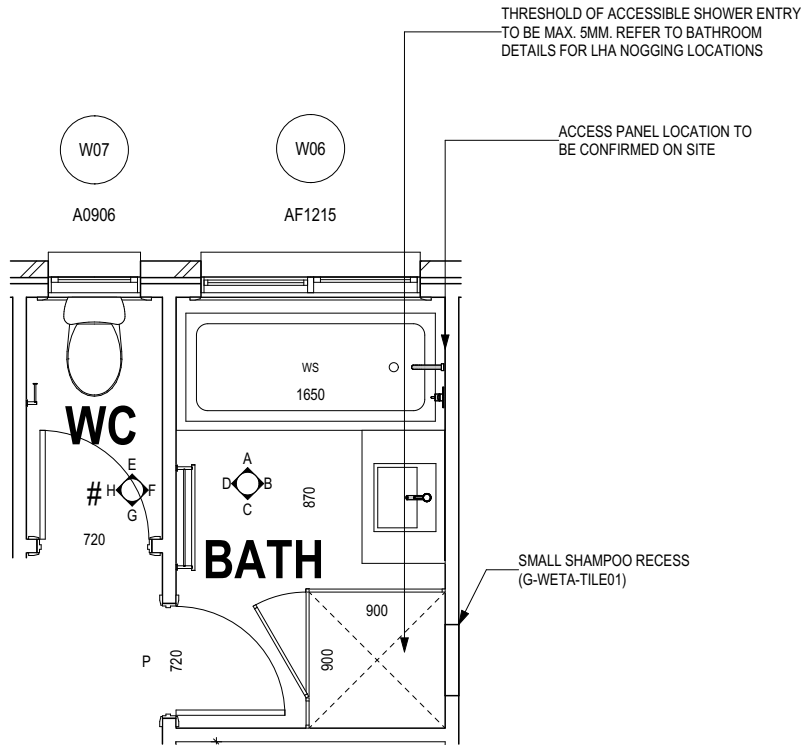
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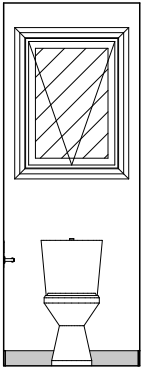
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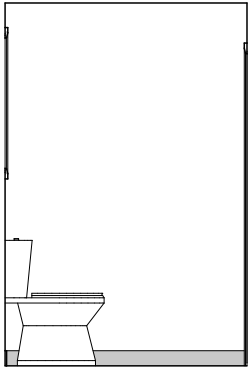
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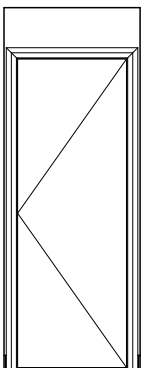
BATHROOM PLAN
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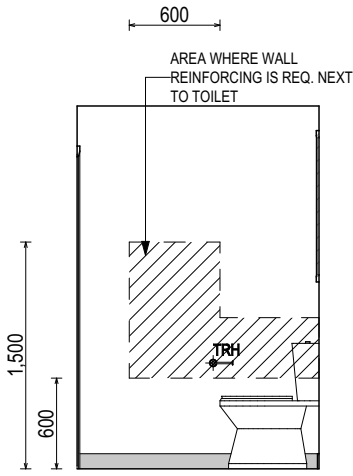
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SCALE: 1:50



ELEVATION F
SCALE: 1:50



ELEVATION G
SCALE: 1:50



ELEVATION H
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSIONS

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COPYRIGHT: © 2025		3 PRELIM PLANS - INITIAL ISSUE	TDI	22/06/2025	BRENDAN WILLIAM ST HILL & JOANNE VIVIAN DALY	FACADE DESIGN: COUNTRY		FACADE CODE: F-WDNCMN10CTRYA	
		4 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025					
		5 PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011	SHEET TITLE: BATHROOM DETAILS		SHEET No.: 14 / 20	SCALES: 1:50
		6 BA PLANS - INITIAL ISSUE	MLG	20/09/2025					
		7 BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554	COUNCIL: GLENORCHY			

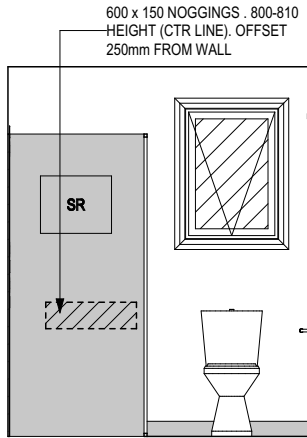
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

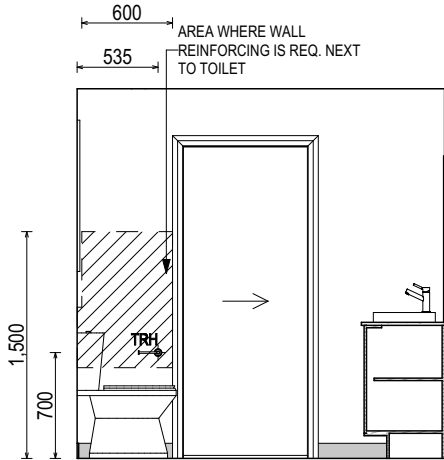
DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

LEGEND

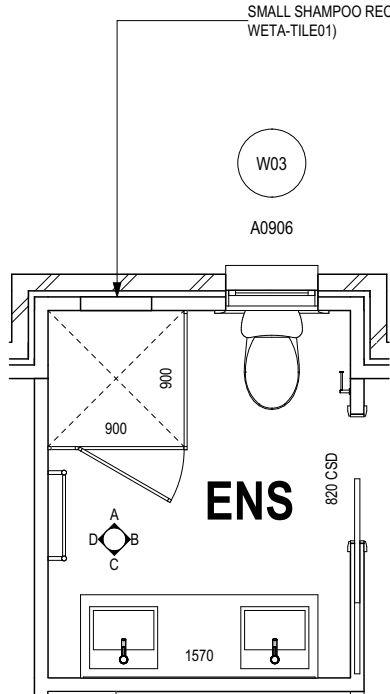
- | | |
|------|----------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW
CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



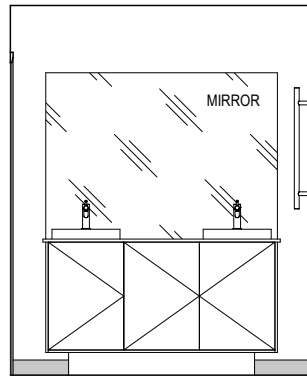
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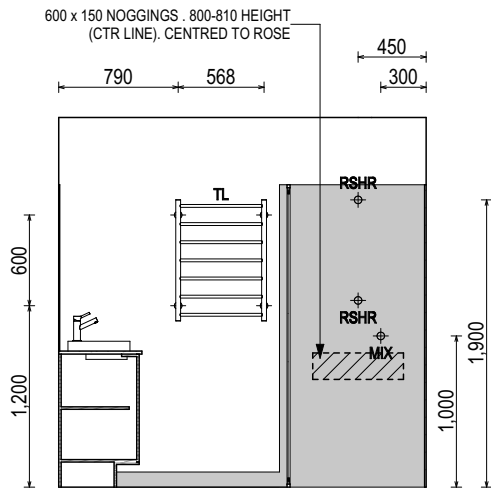
ELEVATION B
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
"SMALL"	470 x 380mm	WIDTH 548mm	HEIGHT 446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

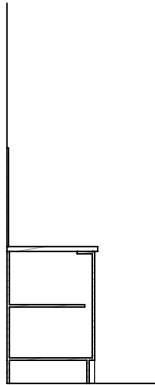
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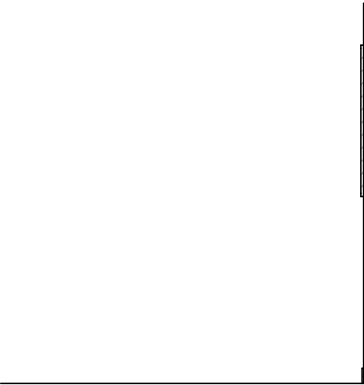
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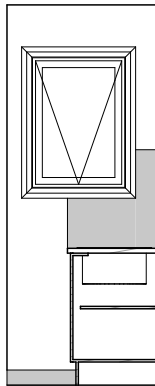
SPECIFICATION: DESIGNER	3	PRELIM PLANS - INITIAL ISSUE	TDI	22/06/2025	CLIENT: BRENDAN WILLIAM ST HILL & JOANNE VIVIAN DALY	HOUSE DESIGN: CREMORNE	HOUSE CODE: H-WDNCMN10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714303
COPYRIGHT: © 2025	4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS: 84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011	FACADE DESIGN: COUNTRY	FACADE CODE: F-WDNCMN10CTRYA	
	5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	LOT / SECTION / CT: 158 / - / 181554	SHEET TITLE: ENSUITE DETAILS	SHEET No.: 15 / 20	
	6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	COUNCIL: GLENORCHY		SCALES: 1:50	
	7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025				



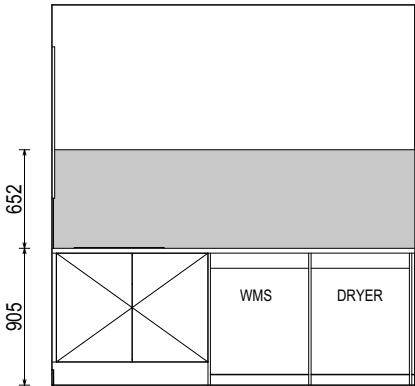
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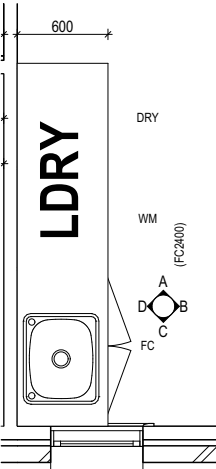
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

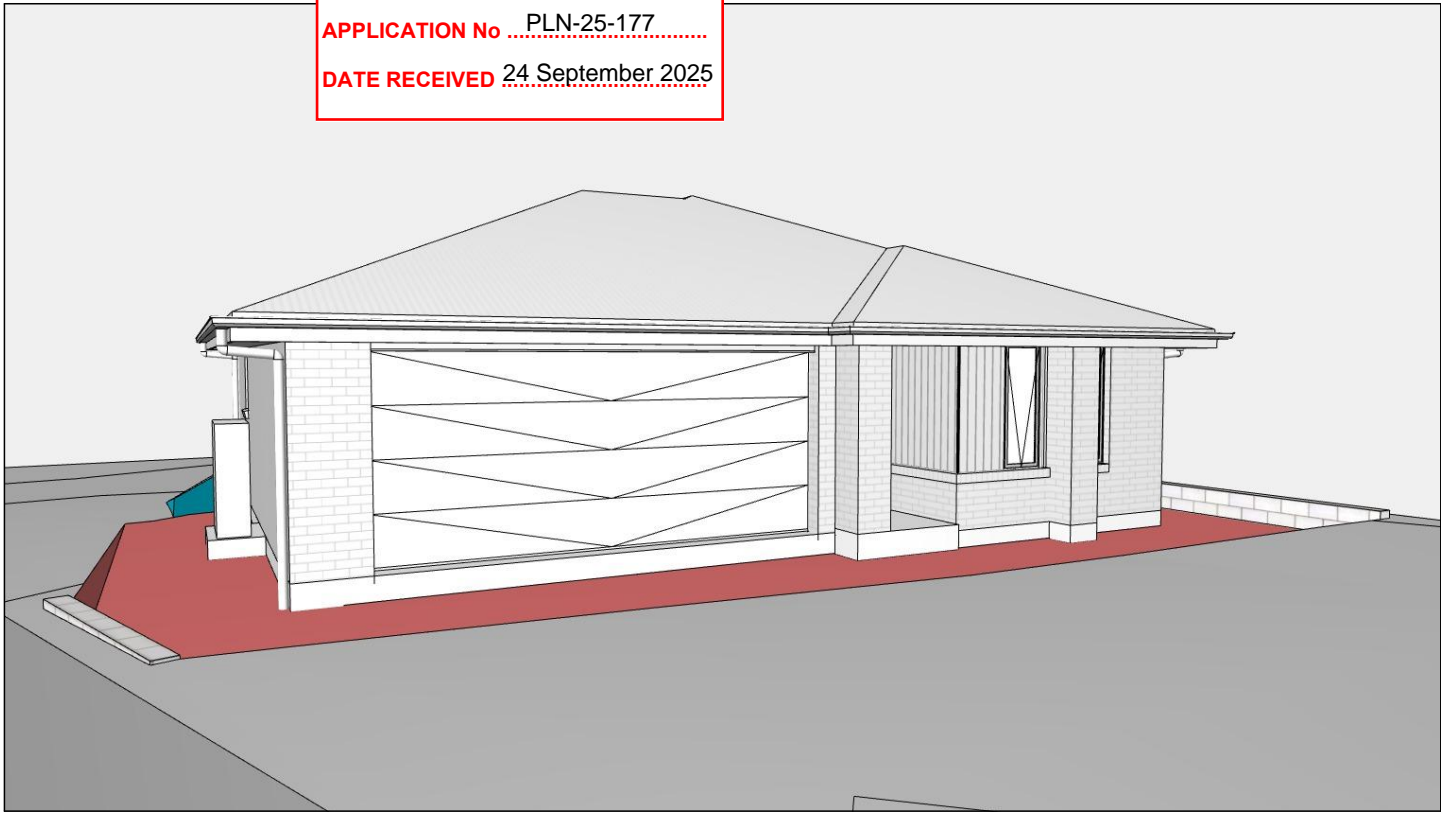
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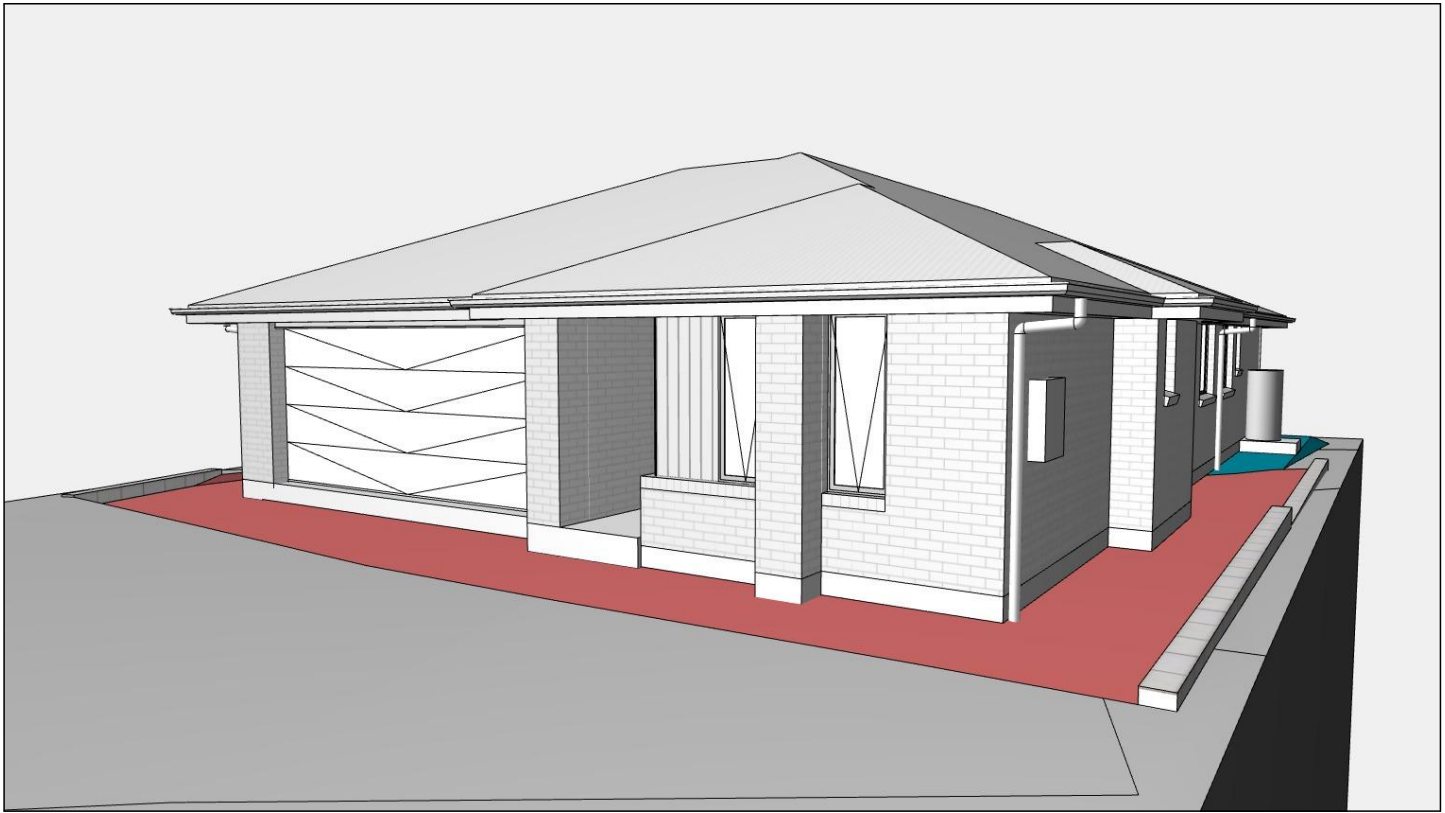
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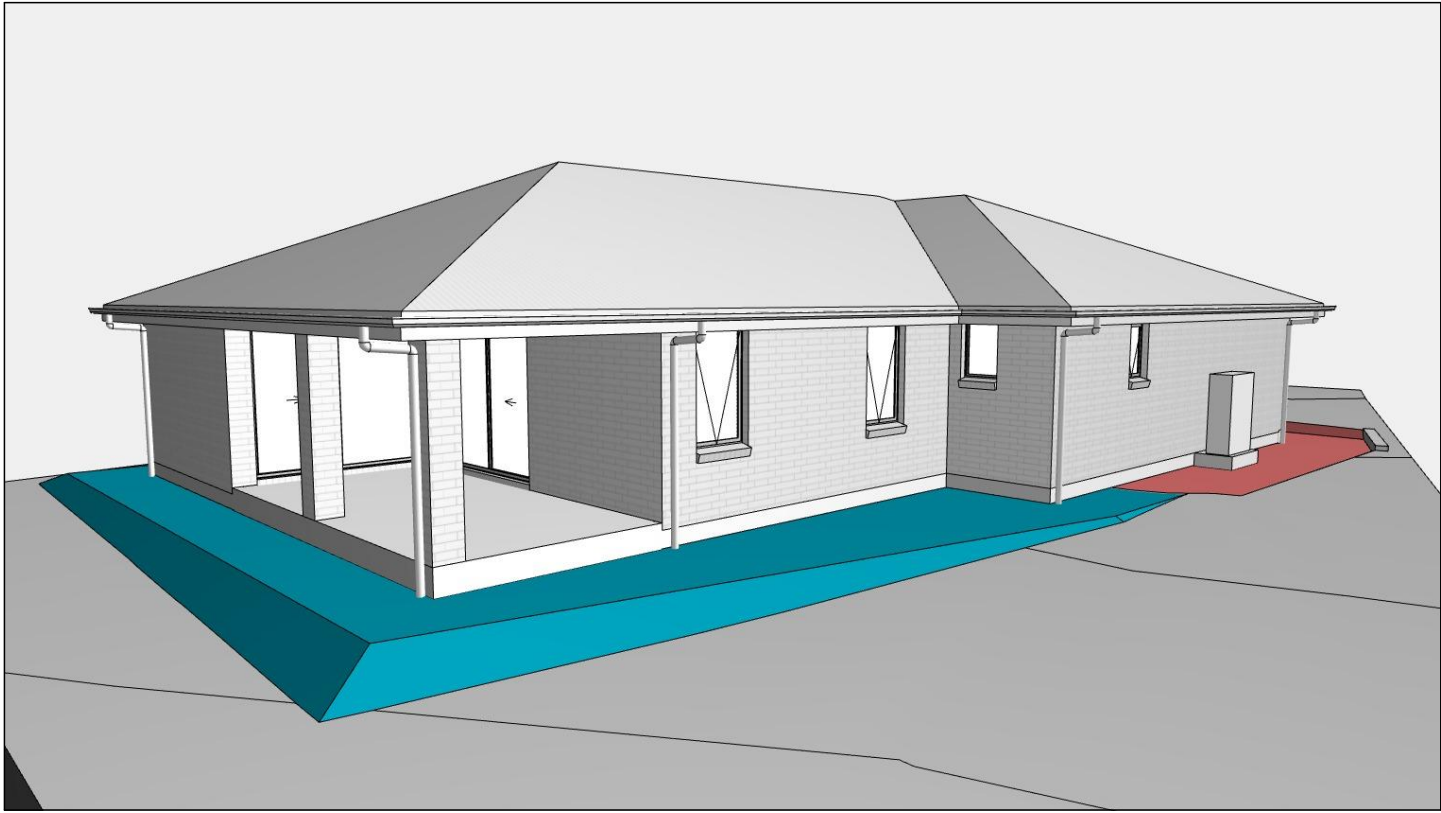
<div><div>WILSON HOMES</div></div>	SPECIFICATION:				CLIENT:	HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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	COPYRIGHT:	4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:		FACADE CODE:	
	© 2025	5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011		F-WDNCMN10CTRYA	
		6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:
		7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554	GLENORCHY	LAUNDRY DETAILS	16 / 20
								SCALES:	1:50
									714303



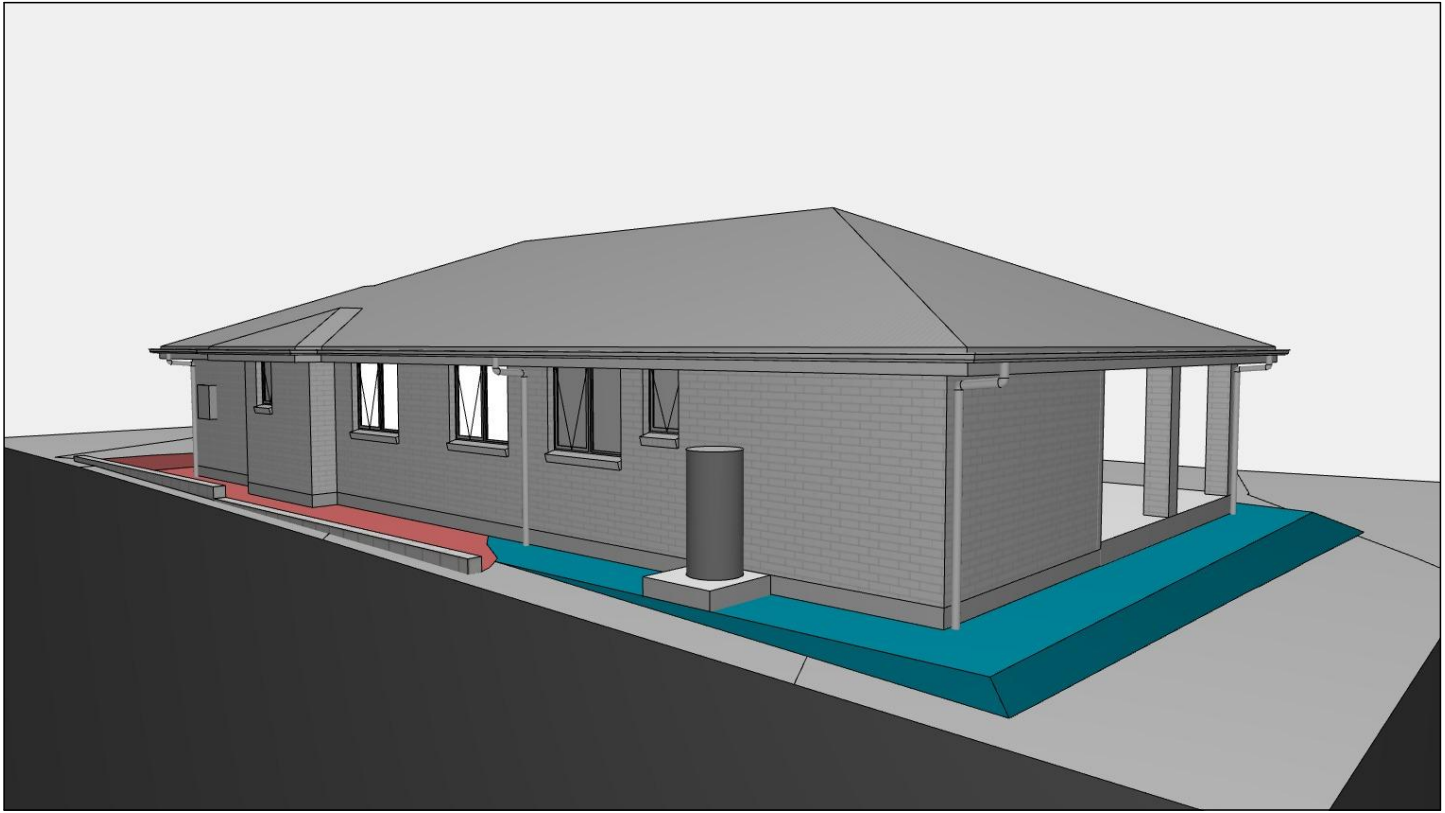
FRONT LEFT



FRONT RIGHT



REAR LEFT



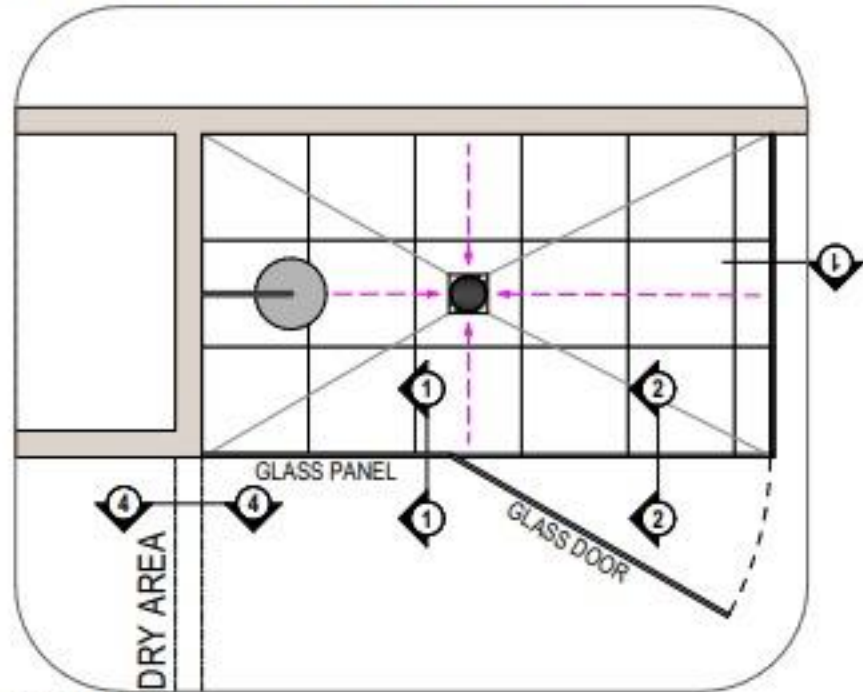
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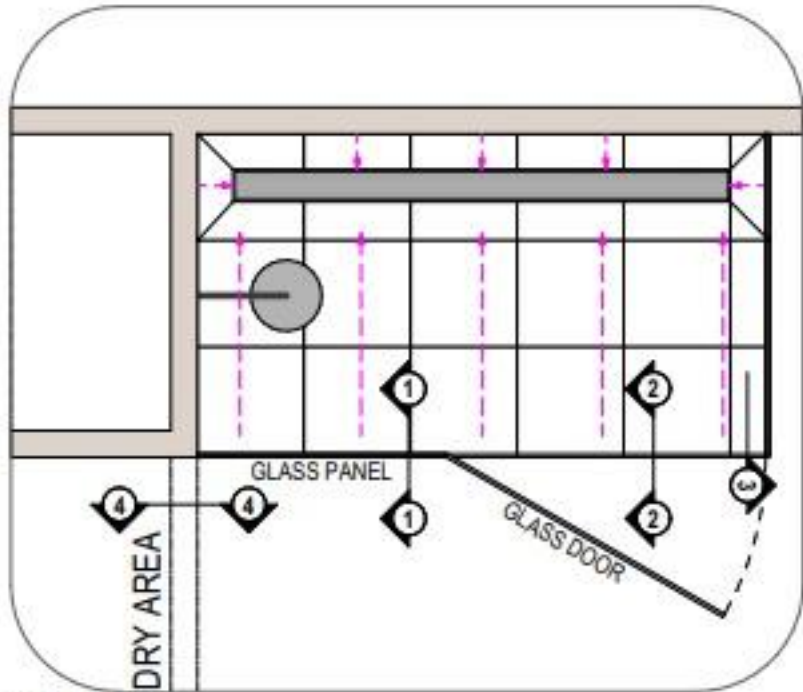
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	DESIGNER		3	PRELIM PLANS - INITIAL ISSUE	TDI	22/06/2025	BRENDAN WILLIAM ST HILL & JOANNE VIVIAN DALY		CREMORNE		H-WDNCMN10SA		
	COPYRIGHT:		4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2025		5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	84 STONY POINT DRIVE, AUSTINS FERRY TAS 7011		COUNTRY		F-WDNCMN10CTRYA		
			6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	714303	
			7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025	158 / - / 181554	GLENORCHY	3D VIEWS	17 / 20			

STANDARD SHOWER & WATERPROOFING DETAIL

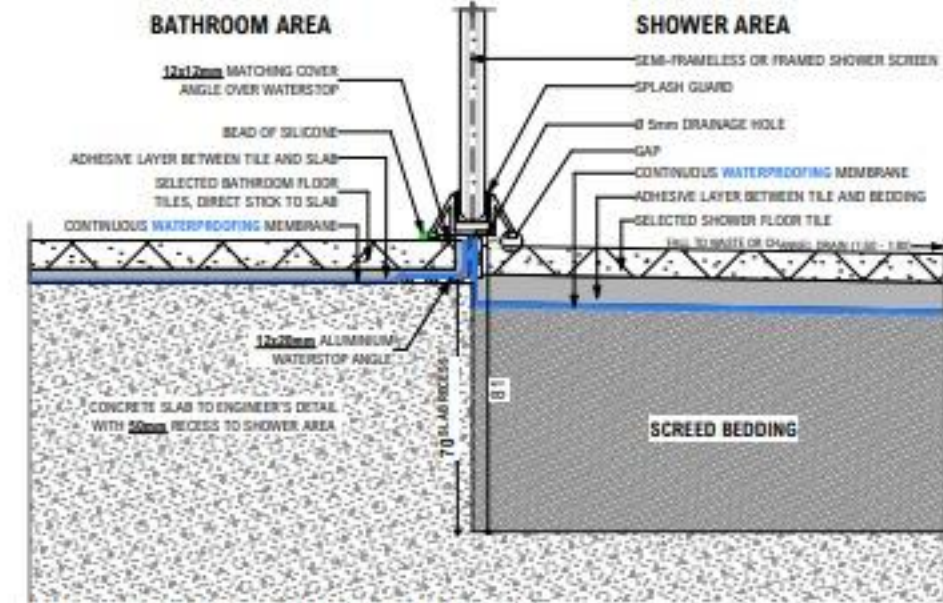
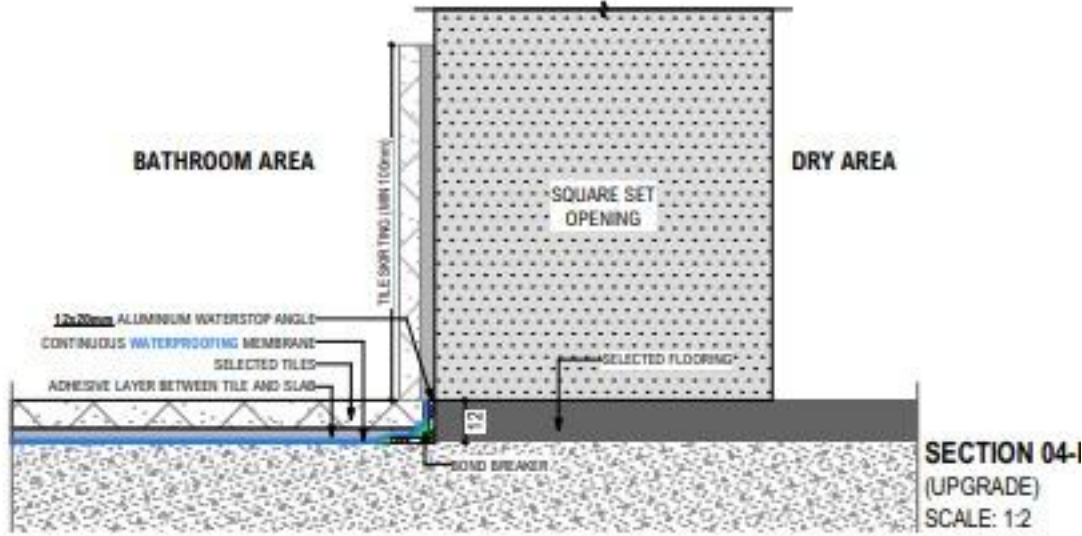
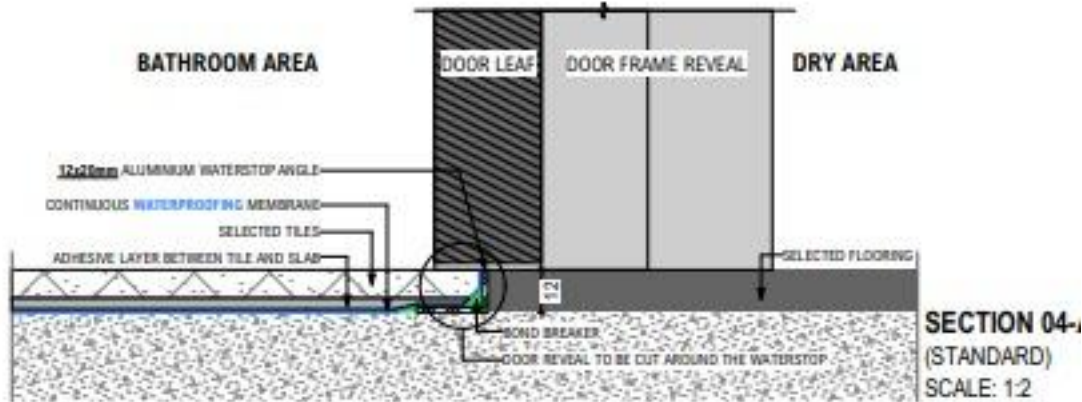
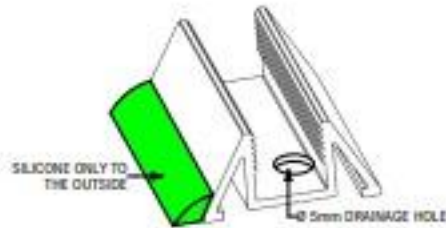
- ALL PLANS ARE DIAGRAMMATIC, REFER TO THE CONSTRUCTION PLANS FOR THE BATHROOM & SHOWER LAYOUTS
- DO NOT SILICONE THE BOTTOM OF THE FRAME ON THE SHOWER SIDE.



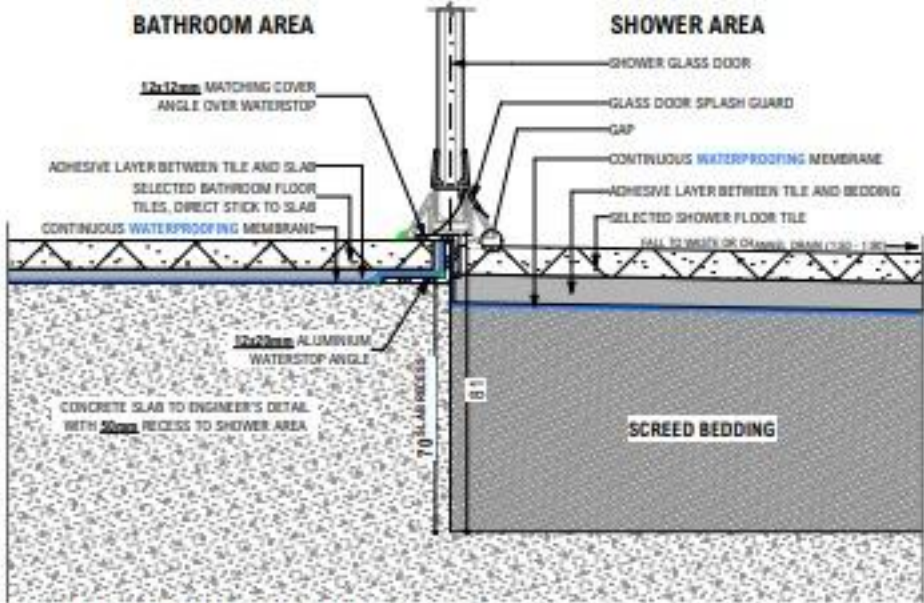
PLAN VIEW 1
(STANDARD FW)
SCALE: 1:20



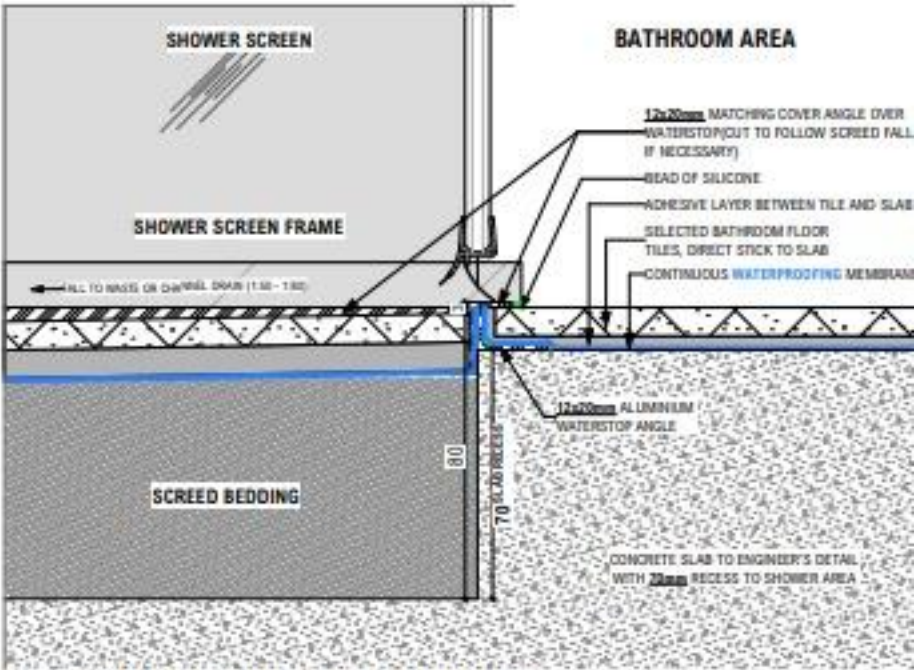
PLAN VIEW 2
(CHANNEL DRAIN)
SCALE: 1:20



SECTION 01 - THROUGH GLASS SCREEN
SCALE: 1:2



SECTION 02 - THROUGH GLASS DOOR
SCALE: 1:2



SECTION 03 - THROUGH GLASS SCREEN
SCALE: 1:2

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	3	PRELIM PLANS - INITIAL ISSUE	TDI	22/06/2025				
	4	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TDI	30/07/2025				
	5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025				
	6	BA PLANS - INITIAL ISSUE	MLG	20/09/2025				
	7	BA PLAN - INITIAL ISSUE - RFI	PL1	23/09/2025				

WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. PLN-25-177

DATE RECEIVED 24 September 2025

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE:DATE:

SIGNATURE:DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

WILSON HOMES

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		5	PRELIM PLANS - RFI UPDATE	DKZ	04/09/2025	LOT / SECTION / CT:	158 / - / 181554	COUNCIL:	GLENORCHY		SHEET TITLE:	WET AREA & ENERGY EFFICIENCY	SHEET No.:	19 / 20	
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