

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-225
PROPOSED DEVELOPMENT:	Retaining Wall (Residential)
LOCATION:	18 Russell Road Claremont
APPLICANT:	Another Perspective Drafting Design
ADVERTISING START DATE:	31/10/2025
ADVERTISING EXPIRY DATE:	14/11/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **14/11/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **14/11/2025**, or for postal and hand delivered representations, by 5.00 pm on **14/11/2025**.

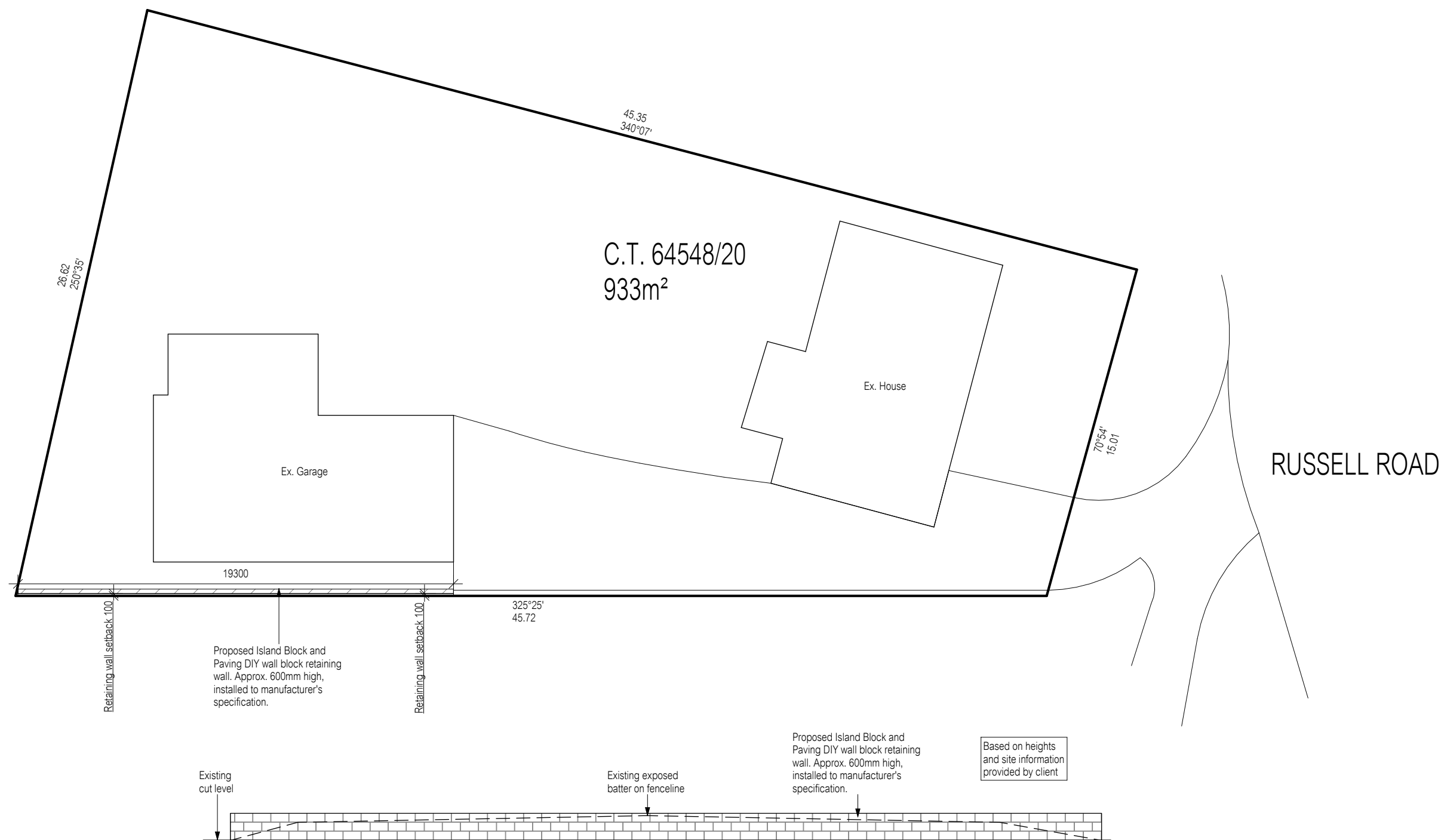


AP2025-2452 - PROPOSED RETAINING WALL
18 Russell Road,
CLAREMONT

SHEET		DRAWING TITLE
01	D	SITE PLAN
02	C	DRAINAGE PLAN

D	Council RFI - Provide elevation of proposed retaining wall.	21 Oct. 25	ST	SF	01
C	Update drainage to retaining wall to reflect actual stormwater infrastructure location.	15 Aug. 2025	RJ	SF	02
B	Increased retaining wall length to run to corner of property.	07 Aug. 2025	SW	SF	01 - 02
A	Note MegaFlo ag drain and move retaining wall 100mm off the boundary.	17 June 2025	ST	SF	01 - 02
	DA PLAN SET	26 May 2025	ST	CK	01 - 02
No.	Amendment	Date	Drawn	Checked	Sheet

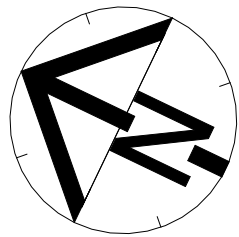
Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info	Soil Classification: N/A	COVER SHEET		
	ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED RETAINING WALL 18 Russell Road, CLAREMONT	Title Reference: CT64548/20			
			Floor Areas: N/A	AP2025-2452		
			Porch / Deck Areas: N/A	Date	26 May 2025	Sheet 00/02
			Wind Speed: N/A	Scale		
Climate Zone: 7						
Alpine Zone: N/A						
Corrosion Environment: N/A						
Certified BAL: N/A						
Designed BAL: N/A						
(Refer to Standard Notes for Explanation)						



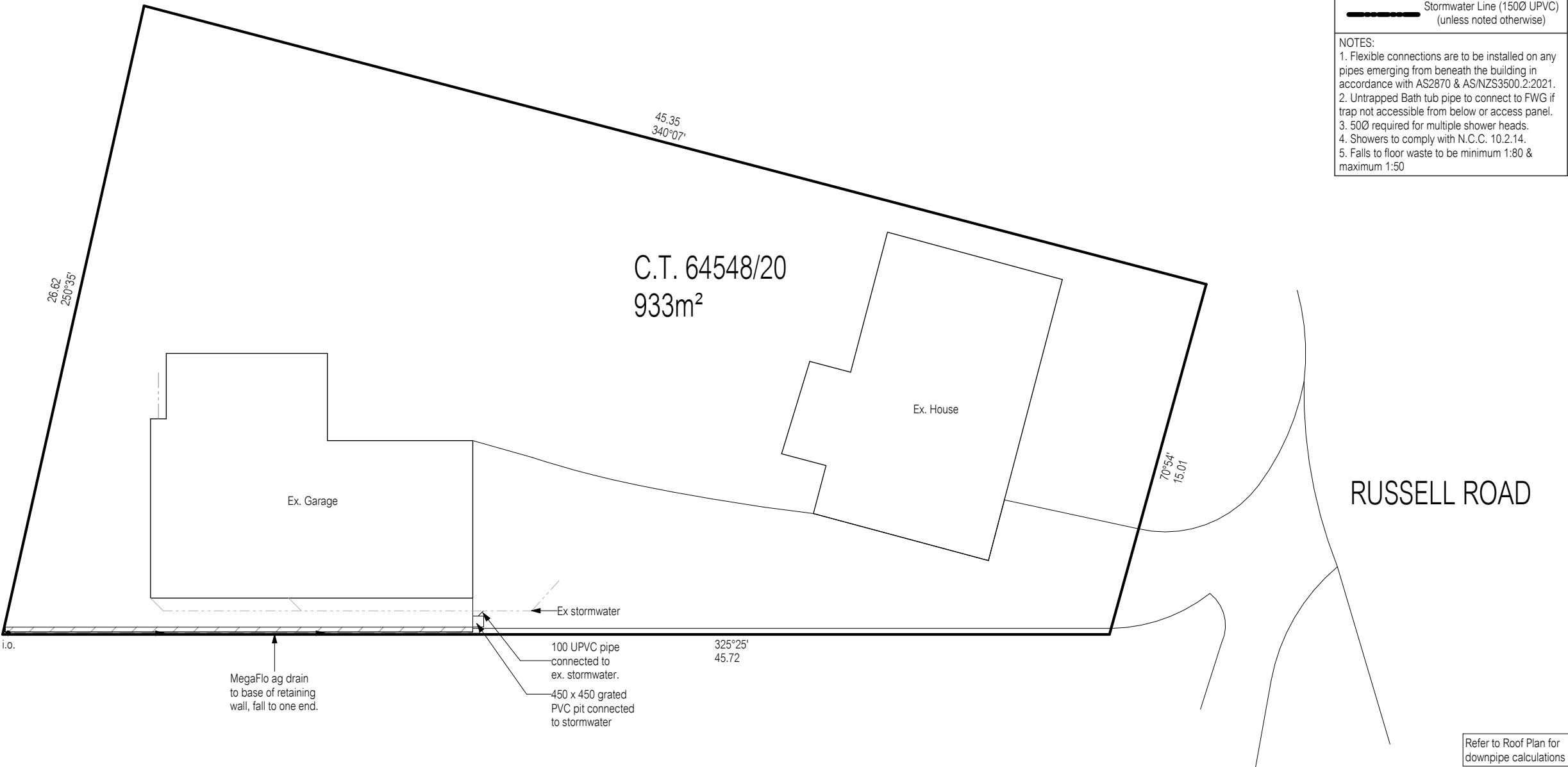
SCALE: 1 : 100



Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		SITE PLAN		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Survey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED RETAINING WALL 18 Russell Road, CLAREMONT		Drawn	ST	AP2025-2452
					Date	26 May 2025	Sheet
					Scale	As indicated	01/02



DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	40Ø
Bth	Bath	40Ø (incl. trap)
Shr	Shower	40Ø (Note 3)
S	Sink	50Ø
Tr	Trough	40Ø
WC	Water Closet Pan	100Ø
d.p.	Downpipe	90Ø
ORG	Overflow Relief Gully	100Ø
FWG	Floor Waste Gully	65Ø (Note 2)
----- Sewer Line (100Ø UPVC) (unless noted otherwise)		
----- Stormwater Line (100Ø UPVC) (unless noted otherwise)		
----- Stormwater Line (150Ø UPVC) (unless noted otherwise)		
NOTES:		
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.		
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.		
3. 50Ø required for multiple shower heads.		
4. Showers to comply with N.C.C. 10.2.14.		
5. Falls to floor waste to be minimum 1:80 & maximum 1:50		



Refer to Roof Plan for downpipe calculations

All works are to in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

ROOF DRAINAGE NOTE:
Min. medium rectangular gutter & min. 90Ø downpipe specified as per N.C.C. part 7.4. These sizes and downpipe quantities are based on a max. roof catchment area of 70m²



C	15 Aug. 2025	RJ
B	07 Aug. 2025	SW
A	17 June 2025	ST
No.	Date	Int.

Soil classification:	N/A	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		DRAINAGE PLAN		
Refer to Soil Report for nominated founding depth and description of founding material.			ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED RETAINING WALL 18 Russell Road, CLAREMONT		Drawn	ST	AP2025-2452
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3						Date	26 May 2025	Sheet
Amendment changes as per cover sheet						Scale	1 : 200	02/02