

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-247
PROPOSED DEVELOPMENT:	New dwelling & demolition of existing
LOCATION:	33 Pitcairn Street Glenorchy
APPLICANT:	SJM Property Developments
ADVERTISING START DATE:	21/10/2025
ADVERTISING EXPIRY DATE:	5/11/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **5/11/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **5/11/2025**, or for postal and hand delivered representations, by 5.00 pm on **5/11/2025**.

DRAWING INDEX		
DRAWING No.	REVISION	DRAWING TITLE
C000	A	TITLE PAGE
C100	A	DRIVEWAY NOTES AND LEGENDS
C101	A	DRIVEWAY SETOUT PLAN
C130	A	VEHICLE MOVEMENT DIAGRAM - B85
C135	A	VEHICLE MOVEMENT PLAN - B85
C255	A	CONSTRUCTION DETAILS - RESIDENTIAL DRIVEWAY

SJM PROPERTY DEVELOPMENTS

PROPOSED DWELLING

33 PITCAIRN STREET, GLENORCHY 7010

GENERAL NOTES:

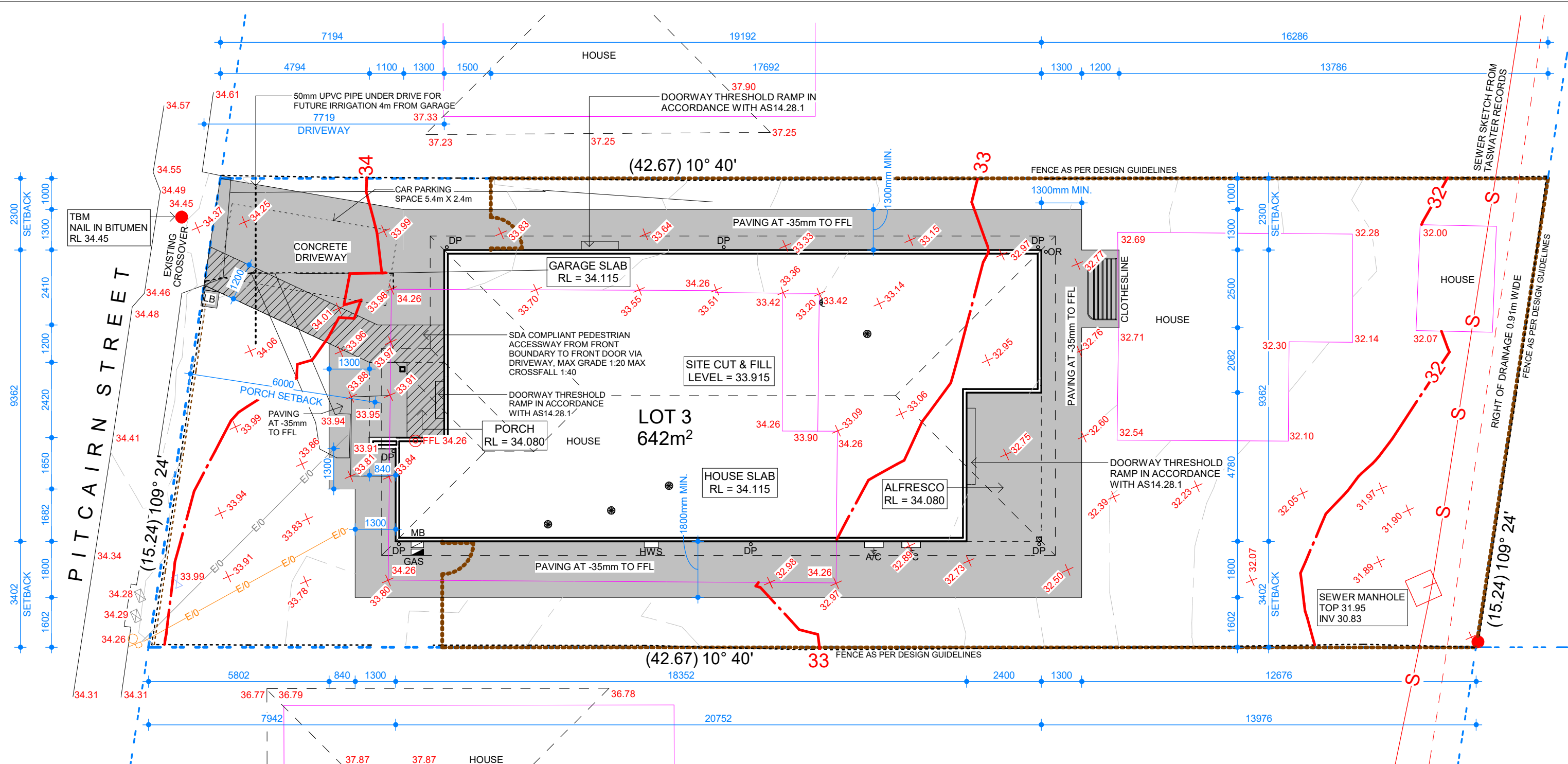
1. SURVEY DATA COMPLETED AND PROVIDED BY LEARY COX & CRIPPS LAND & ENGINEERING SURVEYORS, DATED 24/07/2025, REFERENCE No. 14534.
2. HORIZONTAL DATUM GDA2020, VERTICAL DATUM AHD83, CONTOUR INTERVALS AT 0.2m.
3. TITLE BOUNDARY AS PER SURVEYOR'S PLAN.
4. LOCATION OF EXISTING SERVICES AS PER SURVEY DATA, LIST DATA & BYDA DOCUMENTATION DATED 10/10/2025 UNLESS NOTED OTHERWISE.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-247

DATE RECEIVED: 14/10/2025

				JSA SCIENCE IN DESIGN 121 Sandy Bay Road, Sandy Bay TAS 7005 Phone (03) 6240 9911 www.jsa.com.au	CHECKED M. HORSHAM CC5865 I		SCALE AS SHOWN	SIZE A3	PROJECT SJM PROPERTY DEVELOPMENTS PROPOSED DWELLING 33 PITCAIRN STREET, GLENORCHY 7010	DRAWING TITLE TITLE PAGE		
					CIVIL ENGINEER/DESIGNER S. MARTININGUI		HYDRAULIC ENGINEER R. HORNER					
					STATUS PLANNING APPROVAL							
A	FOR PLANNING APPROVAL				S.M.	M.H.	13/10/2025	PROJECT NO 25E82-13		DWG NO C000	REV A	
REV	DESCRIPTION				BY	CHK	DATE					



SITE PLAN

1 : 125

- IMPORTANT NOTES:**
1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
 2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
 3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
 4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
 5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANOR AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
 6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-25-247**
DATE RECEIVED **01.09.2025**



1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

LEGEND			
	ROOF VENTILATION - TO NCC REQUIREMENTS		TITLE BOUNDARY
	SURFACE DRAIN		BANK TOP
	100mm UPVC STORMWATER PIPE TO GRADE TO LPOD, MINIMUM GRADE 1:100		EASEMENT BOUNDARY
	CLAY PLUG, INSTALLED IN ACCORDANCE WITH AS3500		HOUSE / BUILDING
	EXPANSION JOINT, INSTALLED IN ACCORDANCE WITH AS3500		KERB BACK / DRIVEWAY
	OVERFLOW RISER		FOOTPATH / CONCRETE SLAB
			RIDGELINES / GUTTER LIP
			CABLE TELSTRA OVERHEAD
			ELECTRICITY OVERHEAD
			FENCE
			NAIL
			NATURAL SURFACE
			FINISHED FLOOR LEVEL
			PYLON
			TELSTRA PIT
			SEWER MANHOLE
			METER WATER

NOTE:
HWS, A/C LOCATIONS ARE INDICATIVE ONLY.

EXHAUST FANS - FLOW RATES
- 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,
- 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.
ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR.
SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

EXHAUST FROM BATHROOM, SANITARY COMPARTMENT OR LAUNDRY
AS PER CLAUSE 10.8 OF NCC 2022 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 10.8.

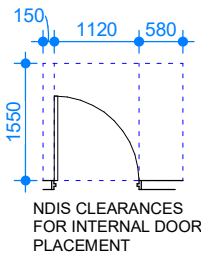
Home: **HPS-R-MAPLE-14.5(06Y.05)**
Client: **SJM**
Location: **33 PITCAIRN STREET (LOT 3), GLENORCHY TAS 7010**
Drawing: **SITE PLAN**

Facade: **C-BYRON
03-COCOA**

DRAWING DETAILS	
28/08/2025 1:53:17 pm	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	621N
Drwg No:	D01a
Issue	A03

ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

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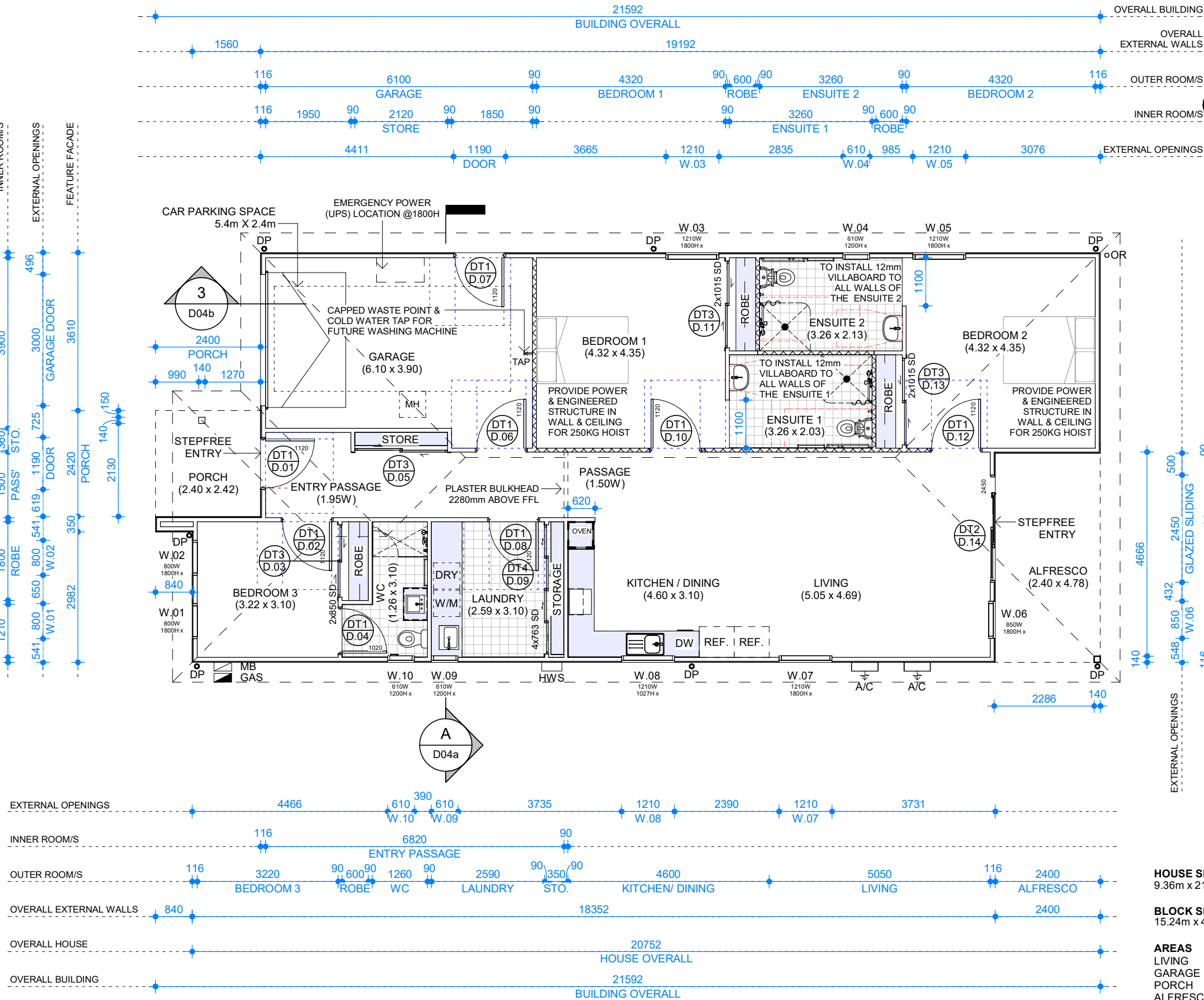
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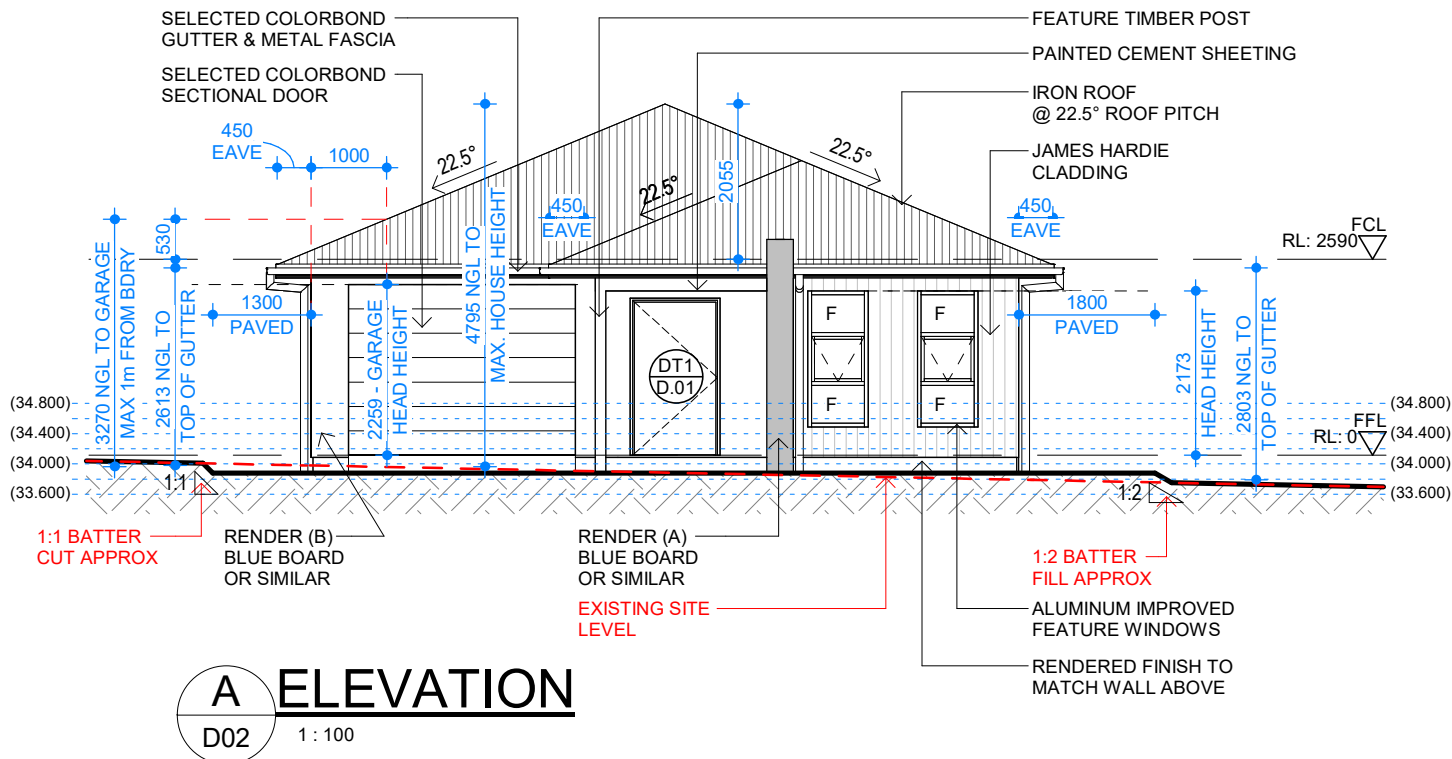
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Approx

All dimensions
to be verified
on site

DRAWING DETAILS	
28/08/2025 1:53:21 pm	
SCALE	SHEET SIZE
1 : 100	A3
JOB No: 621N	
Drwg No: D02	Issue A03



SITE COVERAGE 29.75%



LOT 3 GARAGE & HOUSE HEIGHTS & AREAS		
GARAGE ROOF HEIGHT AT BOUNDARY		
CEILING TO ROOF AT BOUNDARY	70	mm
CEILING HEIGHT OF HOUSE	2,590	mm
GARAGE SETDOWN	0	mm
RL OF GARAGE SLAB	34,115	mm
HIGHEST NGL RL OF GARAGE AT BOUNDARY	33,980	mm
LOWEST NGL RL OF GARAGE AT BOUDNARY	33,950	mm
AVERAGE NGL RL OF GARAGE AT BOUNDARY	33,965	mm
AVERAGE GARAGE HEIGHT AT BOUNDARY FROM NGL	2,810	mm
MAXIMUM GARAGE HEIGHT AT BOUNDARY FROM NGL	2,825	mm
ROOF RISE OVER 1m= 370mm (22.5°)	530	mm
GARAGE HT 1m IN FROM BOUNDARY FROM NGL	3,270	mm

HOUSE MAX HEIGHT	
CEILING LEVEL TO THE HIGHEST POINT	2,055 mm
MAX HEIGHT OF HOUSE FROM NGL	4,795 mm

PORCH MAX HEIGHT	
CEILING LEVEL TO THE HIGHEST POINT AT 6.0m SETBACK LINE	264 mm
NGL AT FORWARD MOST POINT (AT 6.0m SETBACK LINE)	33,860 mm
MAX HEIGHT OF PORCH FROM NGL	3,109 mm

LOT AREAS		
TOTAL SITE AREA	642.00	m ²
PERMITTED BUILDING AREA	385.20	m ²
TOTAL BUILDING AREA	191.00	m ² 29.75%
TOTAL NON-PERMEABLE AREA - DRIVEWAY AND CONCRETE PATHS	126.8	m ² 19.8%
TOTAL PERMEABLE AREA	324.2	m ² 50.5%

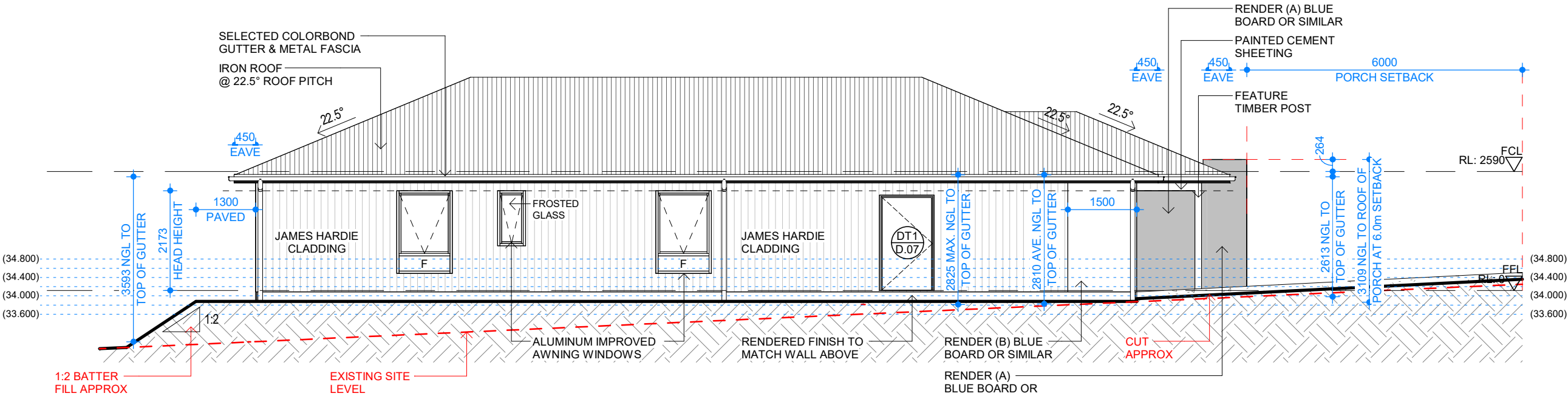
LEGEND - FINISHES	
	JAMES HARDIE CLADDING
	RENDER A BLUE BOARD OR SIMILAR
	RENDER B BLUE BOARD OR SIMILAR

LEGEND - SERVICES	
HWS	HOT WATER SERVICE
MB	METER BOX
GAS	GAS METER

NOTE:
NATURAL GROUND LEVELS
ARE SHOWN INDICATIVELY ONLY.

AVERAGE GARAGE WALL HEIGHT	
WALL LENGTH:	6.33m
WALL AREA:	17.79m ²
AVERAGE WALL HEIGHT:	2.81m

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-25-247
DATE RECEIVED 01.09.2025



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P +61 3 6289 6601

Home: HPS-R-MAPLE-14.5(06Y.05)
Client: SJM
Location: 33 PITCAIRN STREET (LOT 3), GLENORCHY TAS 7010
Drawing: ELEVATIONS A & B

Facade: C-BYRON
03-COCOA



All dimensions
to be verified
on site

DRAWING DETAILS

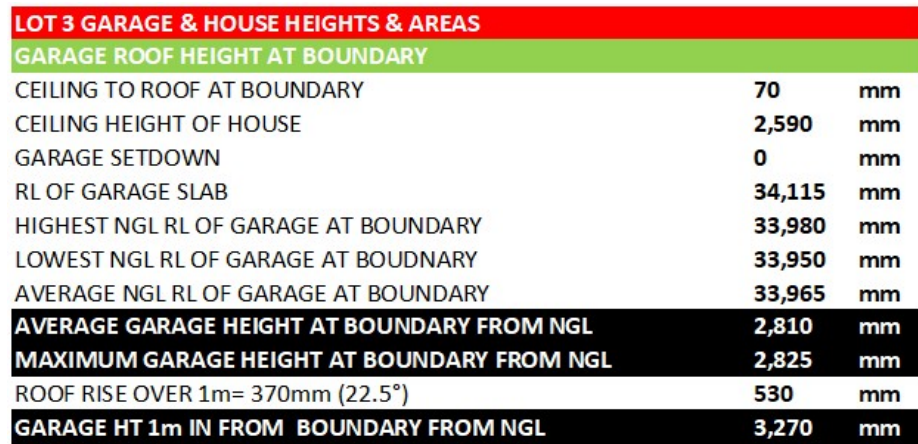
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SCALE SHEET SIZE

1 : 100 A3

JOB No: 621N

Drwg No: D03a Issue A03



LEGEND - FINISHES	
	JAMES HARDIE CLADDING
	RENDER A BLUE BOARD OR SIMILAR
	RENDER B BLUE BOARD OR SIMILAR

<u>LEGEND - SERVICES</u>	
HWS	HOT WATER SERVICE
MB	
	METER BOX
GAS	
	GAS METER

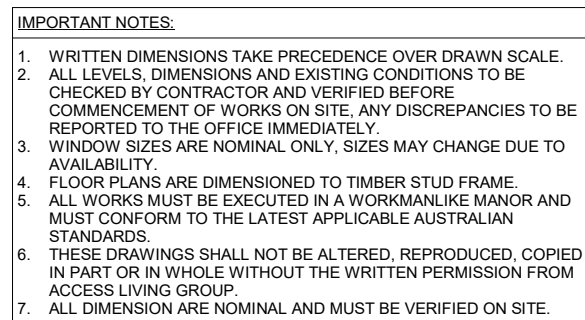
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<u>AVERAGE GARAGE WALL HEIGHT</u>	
WALL LENGTH:	6.33m
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GLENORCHY CITY COUNCIL
PLANNING SERVICES
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PORCH MAX HEIGHT		
CEILING LEVEL TO THE HIGHEST POINT AT 6.0m SETBACK LINE	264	mm
NGL AT FORWARD MOST POINT (AT 6.0m SETBACK LINE)	33,860	mm
MAX HEIGHT OF PORCH FROM NGL	3,109	mm

LOT AREAS			
TOTAL SITE AREA	642.00	m ²	
PERMITTED BUILDING AREA	385.20	m ²	
TOTAL BUILDING AREA	191.00	m²	29.75%
TOTAL NON-PERMEABLE AREA - DRIVEWAY AND CONCRETE PATHS	126.8	m²	19.8%
TOTAL PERMEABLE AREA	324.2	m²	50.5%

The logo for SJM Property Developments, featuring the letters 'SJM' in a large, bold, blue font, with the words 'property' and 'developments' stacked below it in a smaller, black, sans-serif font.

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Drawing:	ELEVATIONS C & D

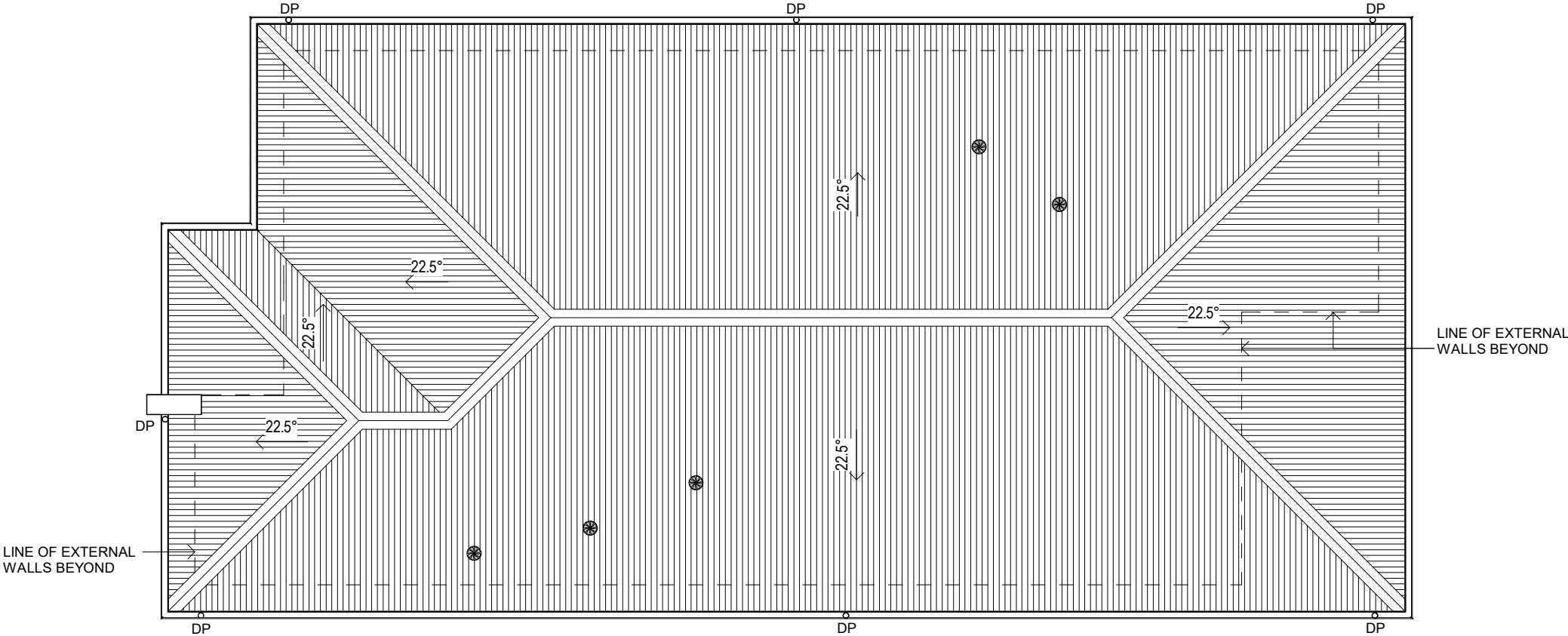
Facade: **C-BYRON**
03-COCOA



DRAWING DETAILS	
28/08/2025 1:53:23 pm	
SCALE	SHEET SIZE
1 : 100	A3
JOB No: 621N	
Drwg No: D03b	Issue A03

LEGEND	
	ROOF VENTILATION - TO NCC REQUIREMENTS

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-25-247
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ROOF PLAN

1 : 100

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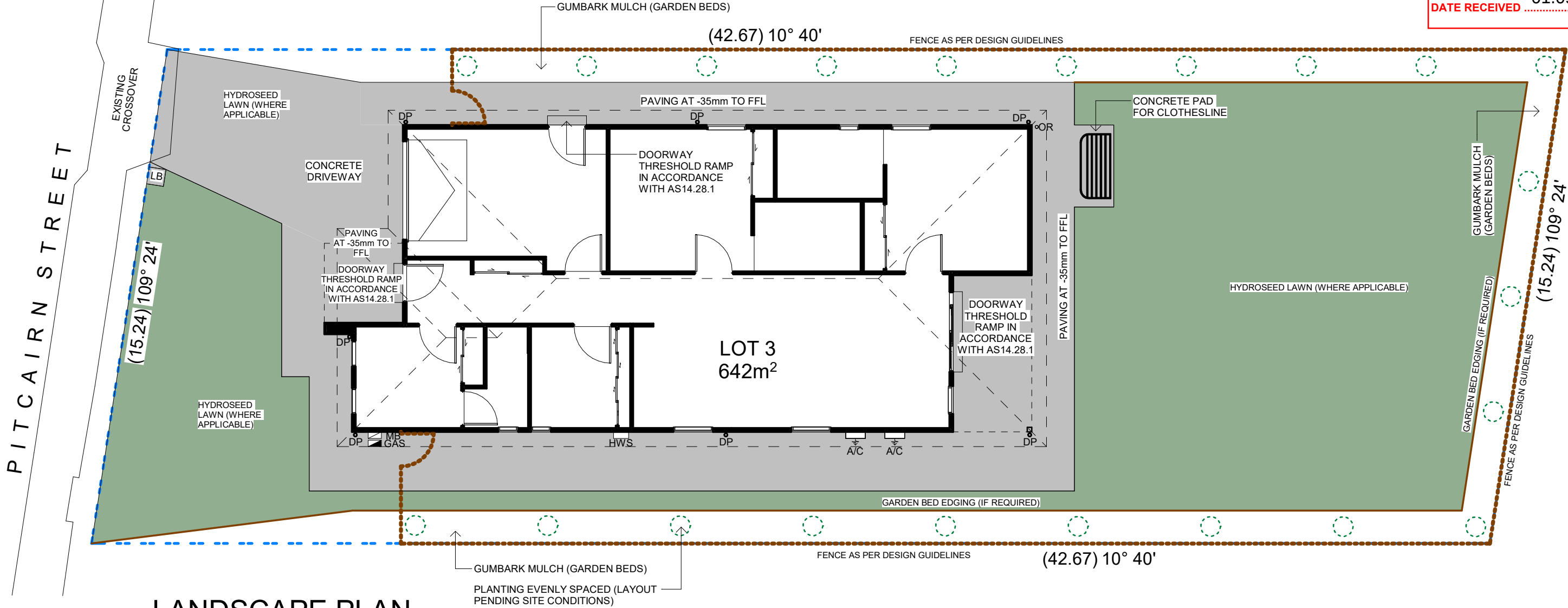
Home: HPS-R-MAPLE-14.5(06Y.05)
Client: SJM
Location: 33 PITCAIRN STREET (LOT 3), GLENORCHY TAS 7010
Drawing: ROOF PLAN

Facade: C-BYRON
03-COCOA



All dimensions
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on site

DRAWING DETAILS	
28/08/2025 1:53:33 pm	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	621N
Drwg No:	D08
Issue	A03



LANDSCAPE PLAN

1 : 125

PLANTING:

22 X LOMANDRA TANIKA
7 X LOMADRA LIME TUFF
1 X PITTOSPORUM SCREEN BETWEEN

NOTE: PLANTING TO BE SPACED EVENLY AROUND THE PROPERTY

LANDSCAPING NOTES:
GRASSED AREAS TO BE HYDRO-SEEDED LAWN (LEVEL AREAS ONLY)
GUM BARK MULCH TO BE PLACED IN THE FOLLOWING AREAS:
- SLOPED EMBANKMENTS
- TOP SIDE OF ANY WALLS OR LAWN EDGING
- WHERE MOWING IS IMPRACTICAL

TREATED PINE LAWN EDGING WHERE REQUIRED

NOTE: THIS DRAWING IS A PRELIMINARY INDICATION OF GENERAL LANDSCAPING LAYOUT. FINAL LAYOUT MAY CHANGE DUE TO SITE SPECIFIC LIMILATIONS.

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Home: HPS-R-MAPLE-14.5(06Y.05)
Client: SJM
Location: 33 PITCAIRN STREET (LOT 3), GLENORCHY TAS 7010
Drawing: LANDSCAPE PLAN

Facade: C-BYRON
03-COCOA



All dimensions
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on site

DRAWING DETAILS	
28/08/2025 1:53:38 pm	
SCALE	SHEET SIZE
1 : 125	A3
JOB No:	621N
Drwg No:	D14
Issue	A03

- | | | | |
|--|------------------------|---|----------------------|
|  | EASEMENT BOUNDARY |  | NAIL |
|  | BOUNDARY PRELIMINARY |  | NATURAL SURFACE |
|  | BANK TOP |  | FINISHED FLOOR LEVEL |
|  | KERB BACK |  | PYLON |
|  | FOOTPATH |  | TELSTRA PIT |
|  | DRIVEWAY |  | SEWER MANHOLE |
|  | CONCRETE SLAB |  | METER WATER |
|  | HOUSE | | |
|  | BUILDING | | |
|  | WALL | | |
|  | RIDGELINES | | |
|  | GUTTER LIP | | |
|  | ELECTRICITY OVERHEAD | | |
|  | CABLE TELSTRA OVERHEAD | | |
|  | FENCE | | |

NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

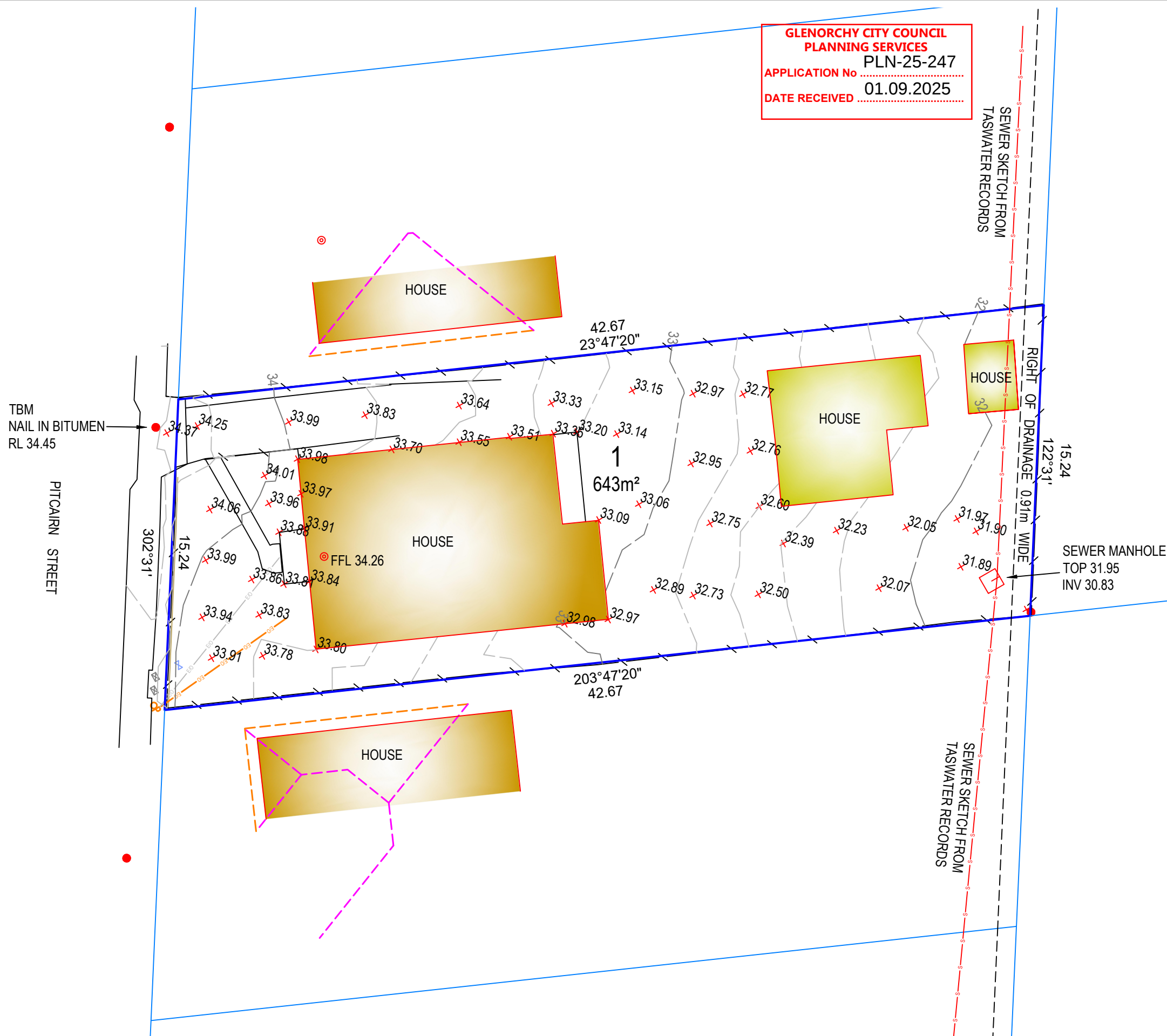
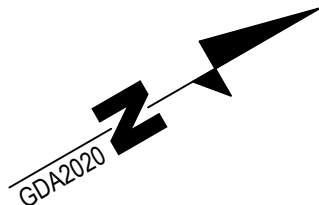
Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

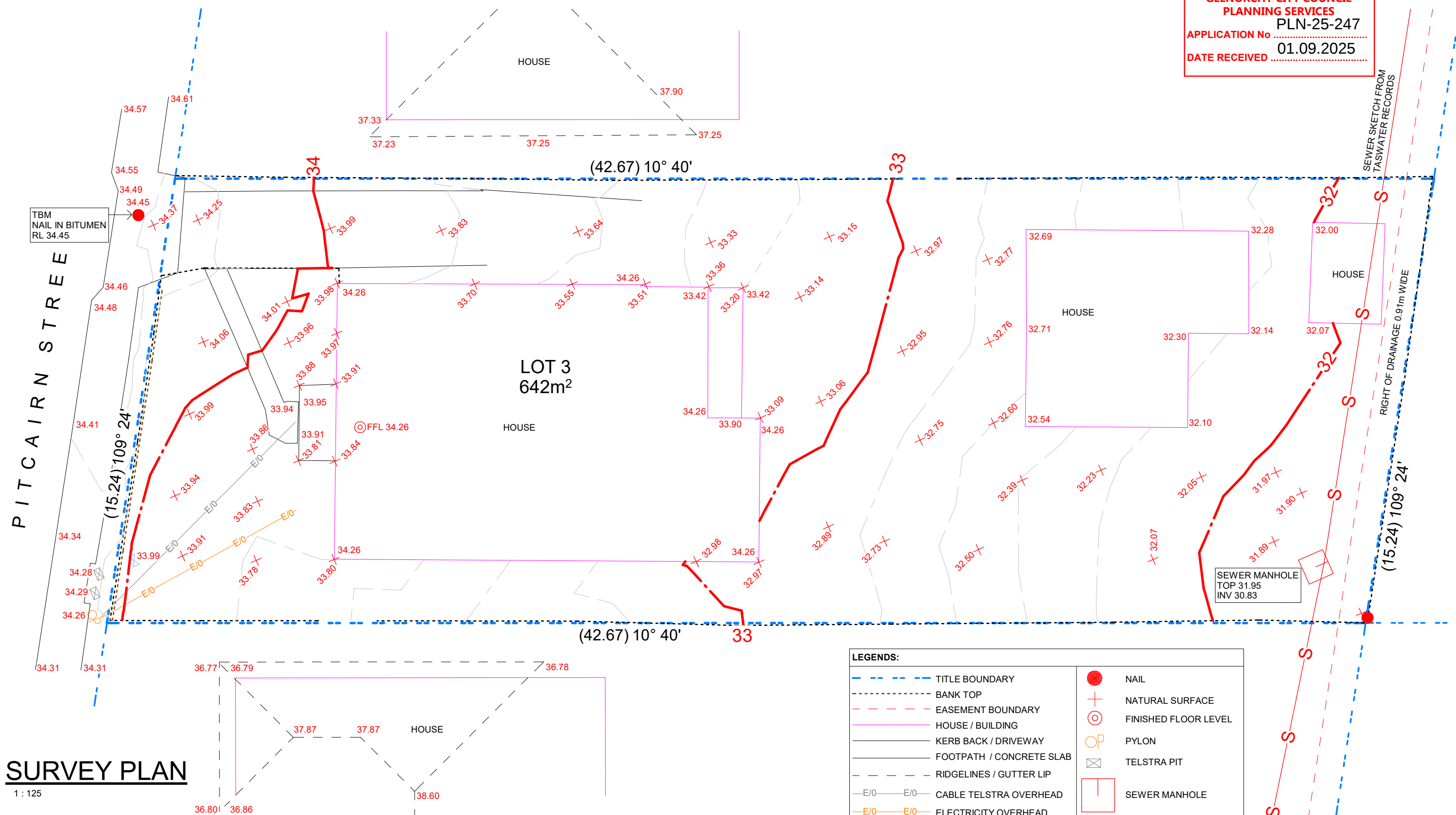
DATUM - Vertical : AHD per SPM1192 with reputed AHD level of 37.173
from SURCOM on 17-7-2025

At the time of this survey, C.T.16449/3 was owned by ANDIE XU

Date of Survey : 17-7-2025



AMENDMENTS			 Unit G04 40 Molle Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com	Project Name and Address		Drawing Title		SCALE  0 1 2 3 4 6 8 1:200 at A3		Contour Interval 0.20m Date 24-7-2025		FILE REF: 14534			
No.	Revision/Issue	Date		33 PITCAIRN ST GLENORCHY TAS 7010		DETAIL PLAN		Client SJM PROPERTY DEVELOPMENTS THIS DOCUMENT IS, AND SHALL REMAIN, THE PROPERTY OF LEARY, COX & CRIPPS, LAND & ENGINEERING SURVEYORS. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THE DOCUMENT IN ANY WAY IS PROHIBITED.		SHEET		1 of 1		Geocivil Ref 1453401	
										AutoCAD Ref 1453401					
										DRAWN MC		DATUM Horz: GDA2020			
										CHK'D		Ver: AHD83			



SURVEY PLAN

1 : 125

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P +61 3 6289 6601

Home: **HPS-R-MAPLE-14.5(06Y.05)**

Client: SJM

Location: 33 PITCAIRN STREET (LOT 3), GLENORCHY TAS 7010

Drawing: **SURVEY PLAN**

Facade: **C-BYRON**
03-COCOA



All dimensions
to be verified
on site

DRAWING DETAILS

28/08/2025 1:53:20 pm

SCALE
As indicated

SHEET SIZE
A3

JOB No: 621N

Drwg No:	D01d	Issue	A03
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NOTES:

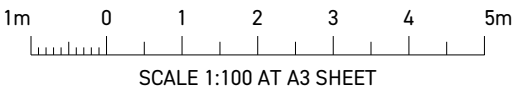
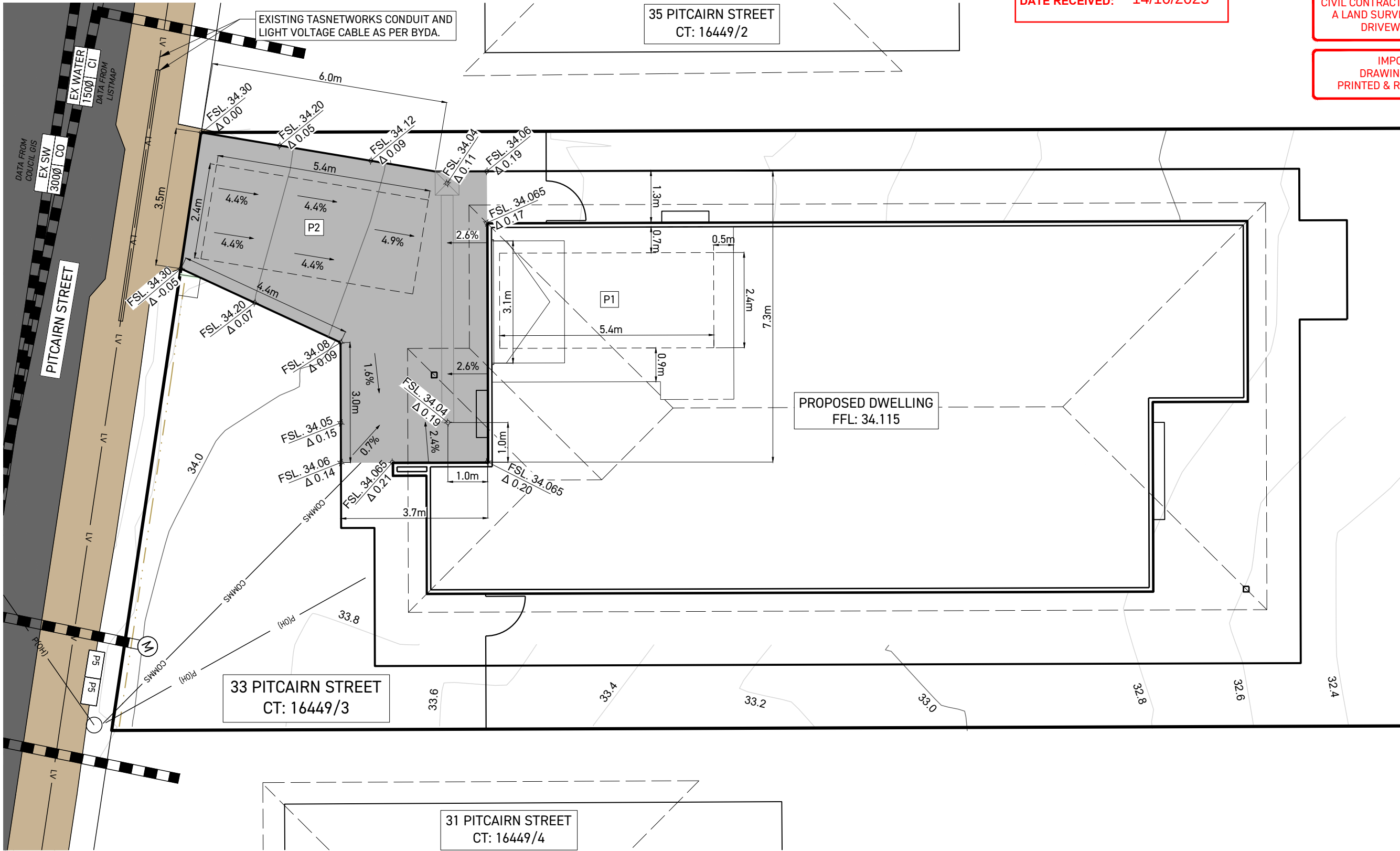
1. REFER TO C101 FOR DRIVEWAY NOTES AND LEGENDS.
2. PROPOSED STORMWATER GRATED PIT AND GRATED CHANNEL ARE INDICATIVE ONLY. REFER TO ARCHITECTURAL DRAWINGS BY SJM FOR DRAINAGE DETAILS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-247
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NOT FOR
CONSTRUCTION

CIVIL CONTRACTOR SHALL ENGAGE
A LAND SURVEYOR TO SETOUT
DRIVEWAY LEVELS

IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR



REV	DESCRIPTION	BY	CHK	DATE
A	FOR PLANNING APPROVAL	S.M.	M.H.	13/10/2025



CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER/DESIGNER S. MARTININGUI	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT
SJM PROPERTY DEVELOPMENTS
PROPOSED DWELLING
33 PITCAIRN STREET, GLENORCHY 7010

DRAWING TITLE DRIVEWAY SETOUT PLAN		
PROJECT NO 25E82-13	DWG NO C101	REV A

- NOTES:
1.

PROPOSED CONTOURS AT 0.1m INTERVALS.
2.

REFER TO C255 FOR TYPICAL DRIVEWAY CROSS SECTION.
3.

3.0m MINIMUM DRIVEWAY WIDTH/DESIGN OF DOMESTIC DRIVEWAY AS PER AS/NZS 2890.1-2004 - SECTION 2.6
4.

P1 - MIN. 3.0m WIDE. DOORWAY WIDTH TO SINGLE VEHICLE ENCLOSED GARAGE MIN. 3.0m AS PER AS/NZS 2890.1 CLAUSE 5.4.a.
5.

P2 - MIN 2.4x5.4m AS PER AS/NZS 2890.1 CLAUSE 2.4.1.

HATCH LEGEND

- 

CONCRETE DRIVEWAY WITH PROPOSED CONTOURS SHOWN.
120 THICK, SL82 CENTRAL. REFER TO C255 FOR DETAILS.
- 

EXISTING ROAD
- 

EXISTING FOOTPATH

- DRIVEWAY NOTES:
1.

EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2.

FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED OTHERWISE.
3.

FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- 3.1.

TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.
- 3.2.

THE SUB GRADE SHALL BE CHECKED FOR A MINIMUM BEARING CAPACITY OF 50 kPa.
- 3.3.

FILL IN EMBANKMENTS SHALL BE KEYED 150mm INTO NATURAL GROUND.
- 3.4.

THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 150mm.
- 3.5.

EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95%, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
4.

WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO DEMONSTRATE COMPACTION PRIOR TO THE PLACEMENT OF BASE OR SUB-BASE COURSES.
5.

UNREINFORCED CONCRETE KERBS AND CHANNELS SHALL HAVE TROWELLED JOINTS AT NOT MORE THAN 3.0m CRS

CONTROLLED FILL:

CONTROLLED FILL SHALL BE LAID IN STRICT ACCORDANCE WITH AS2870 AND AS3798 REQUIREMENTS. THE FOLLOWING METHOD IS APPROVED:

1.

FILL MATERIAL SHALL BE WELL GRADED FCR OR SITE ROCK REVIEWED DURING EXCAVATION.
2.

THE SUB GRADE SHALL BE CHECKED FOR BEARING CAPACITY WHICH IS A MINIMUM OF 50kPa FOR SLABS AND A MINIMUM OF 100kPa FOR FOOTINGS.
3.

THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 150mm.
4.

THE FILL SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% FOR RESIDENTIAL APPLICATIONS. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS LEVEL OF COMPACTION IS ACHIEVED. IMPORTED MATERIAL, CONTRARY TO THE ABOVE SPECIFICATION, INTENDED FOR USE AS STRUCTURAL FILL SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO USE.

CONCRETE:

1.

CONCRETE SHALL BE NOT LESS THAN N25 GRADE, WITH 20mm NOMINAL MAXIMUM AGGREGATE SIZE, SLUMP SHALL BE SELECTED TO SUIT THE CONSTRUCTION CONDITIONS. UNLESS NOTED OTHERWISE THE MINIMUM APPROPRIATE SPECIFICATIONS FROM AS3600 AND AS2870 SHALL BE ADOPTED.
2.

SAWN CONTROL JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELING THE JOINT, GENERALLY THIS SHALL BE WITHIN 48 HOURS.
3.

CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS USING CURRENT BEST PRACTICE METHODS. SPRAY APPLIED CURING COMPOUNDS ARE GENERALLY NOT DEEMED SATISFACTORY AS SOLE CURING METHOD.
4.

CONCRETE SHALL BE MECHANICALLY VIBRATED U.N.O.
5.

ADDITIONAL WATER SHALL NOT BE ADDED TO THE CONCRETE ON SITE UNLESS SIGNED BY THE DRIVER AND APPROVED BY THE SUPPLIER.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-247

DATE RECEIVED: 14/10/2025

A	FOR PLANNING APPROVAL	S.M.	M.H.	13/10/2025
REV	DESCRIPTION	BY	CHK	DATE

JSA

SCIENCE IN DESIGN

121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsa.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER/DESIGNER S. MARTININGUI	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT
SJM PROPERTY DEVELOPMENTS
PROPOSED DWELLING
33 PITCAIRN STREET, GLENORCHY 7010

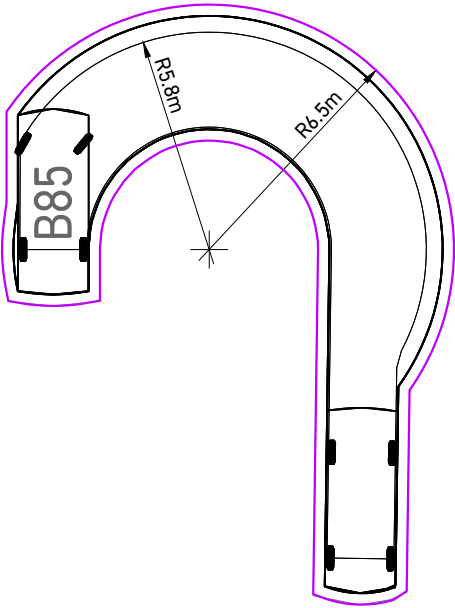
DRAWING TITLE DRIVEWAY NOTES AND LEGENDS		
PROJECT NO 25E82-13	DWG NO C100	REV A

LINE LEGEND

300mm OFFSET FROM VEHICLE EXTENTS

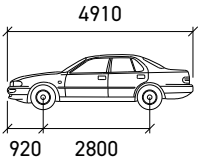
B85 VEHICLES DIMENSION AS PER AS/NZS 2890.1:2004 - APPENDIX B - FIGURE B2

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-247
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B85 VEHICLE MOVEMENT NOTES:

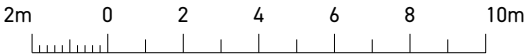
1. MOVEMENT TEMPLATES DEMONSTRATE ABILITY OF VEHICLES TO ENTER INTERSECTION IN A FORWARDS DIRECTION AND LEAVE IN A FORWARDS DIRECTION.
2. THE BASE DIMENSIONS OF THE CAR TEMPLATE REPRESENT THE B85 (85th PERCENTILE) VEHICLE
3. THE SWEEP PATH OF THE VEHICLE REPRESENT THE OUTER EXTENTS OF THE VEHICLE BODY
4. THE PATHS WERE GENERATED WITH A TURNING SPEED OF 5km/hr FROM THE STREET.



B85

Width : 1870
Track : 1770
Lock to Lock Time : 4.0
Turning Radius : 5.8

DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.



SCALE 1:200 AT A3 SHEET

A	FOR PLANNING APPROVAL	S.M.	M.H.	13/10/2025
REV	DESCRIPTION	BY	CHK	DATE

JSA
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121 Sandy Bay Road, Sandy Bay TAS 7005
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CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER/DESIGNER S. MARTININGUI	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT SJM PROPERTY DEVELOPMENTS PROPOSED DWELLING 33 PITCAIRN STREET, GLENORCHY 7010

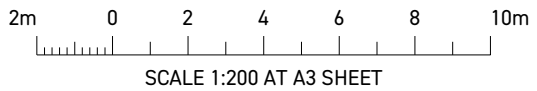
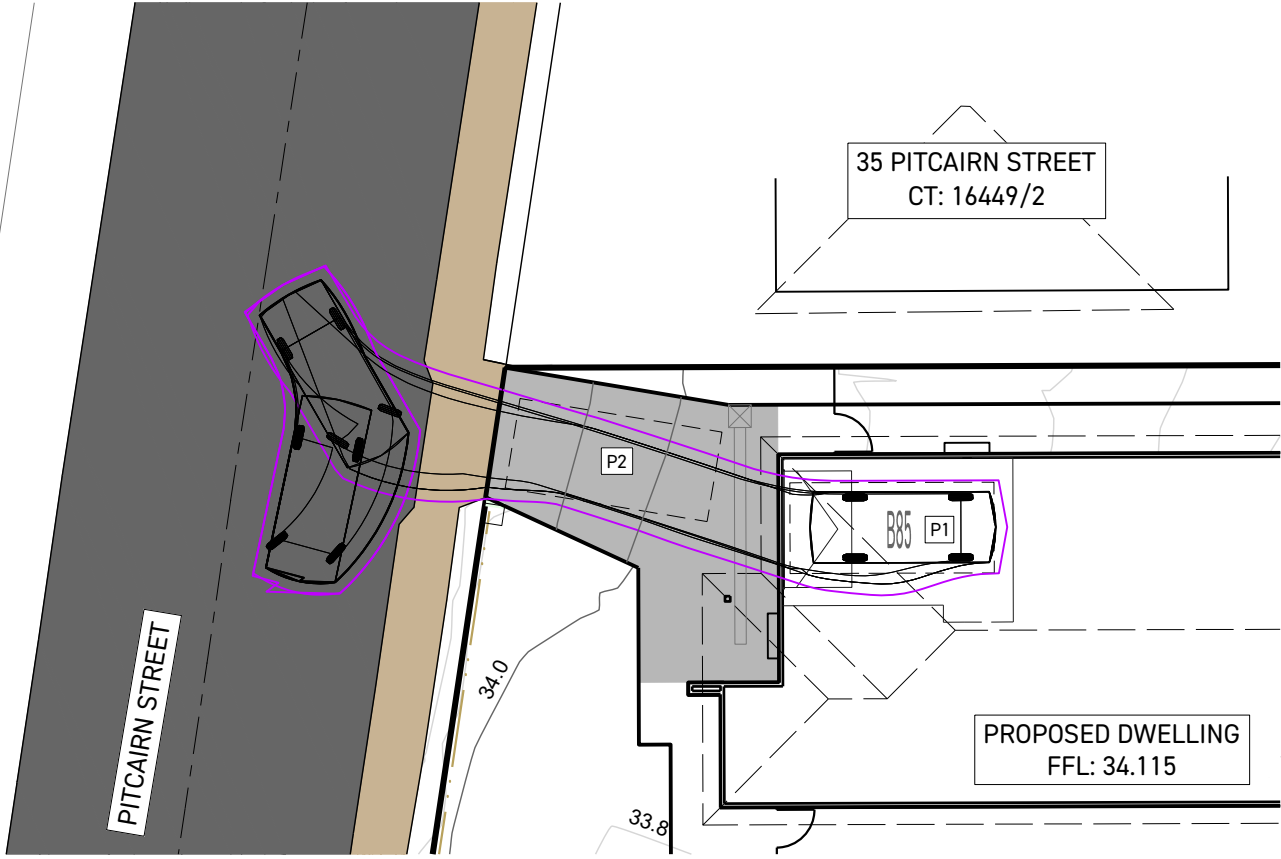
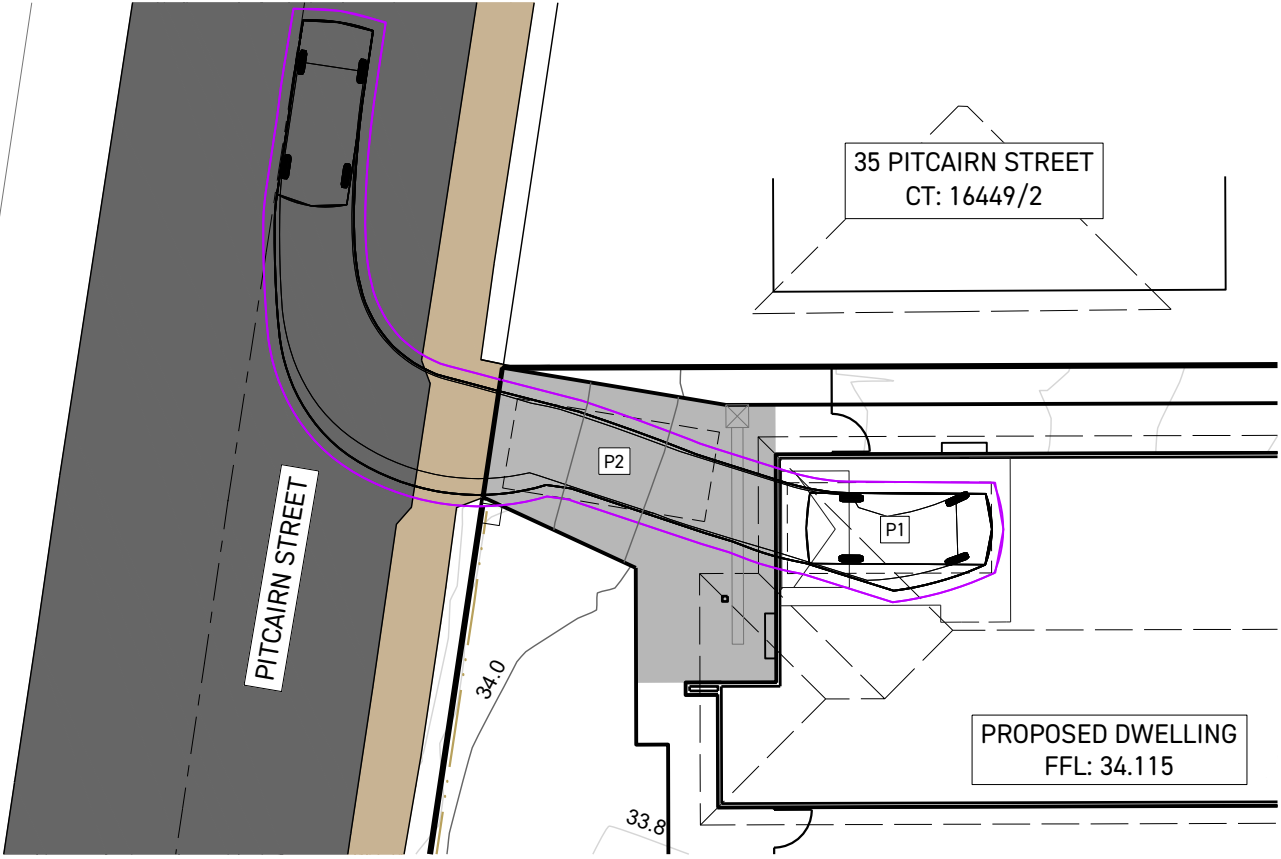
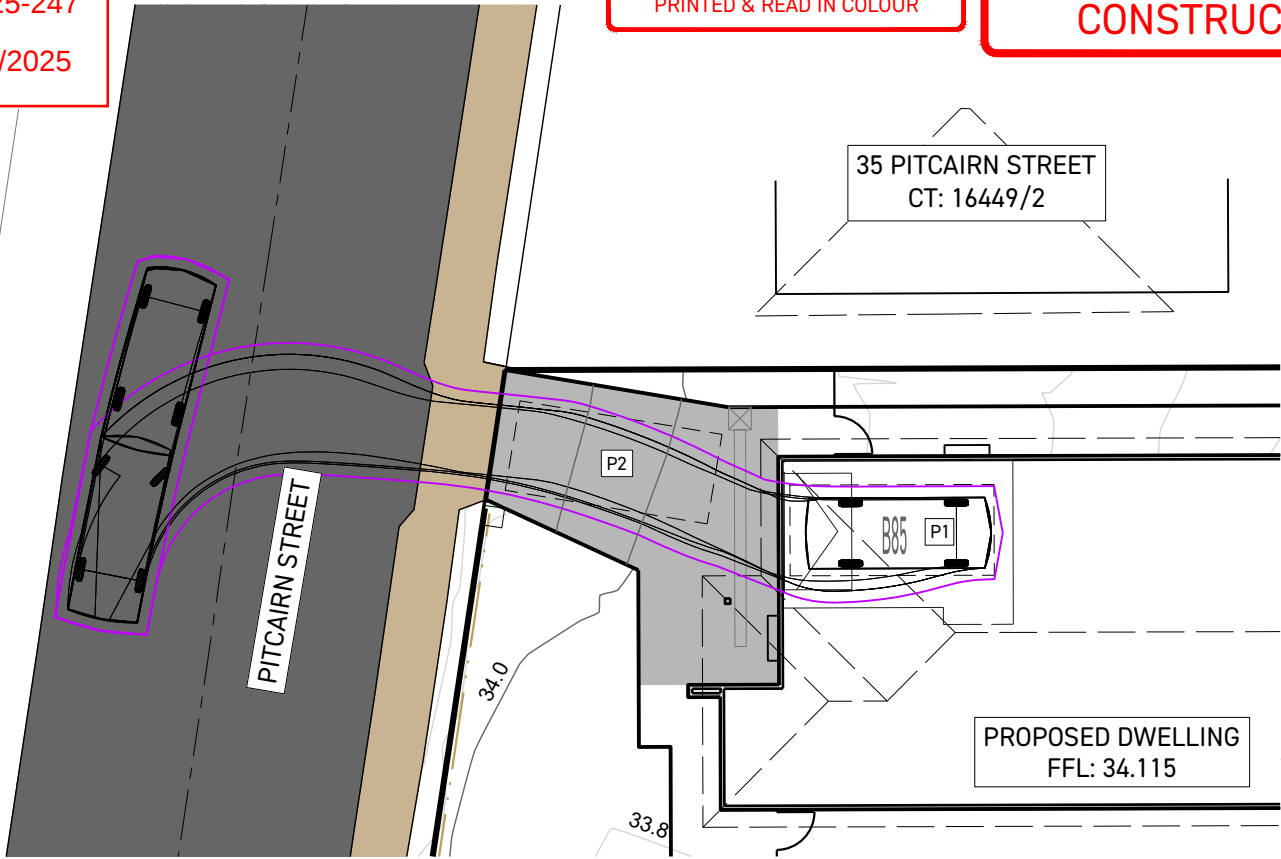
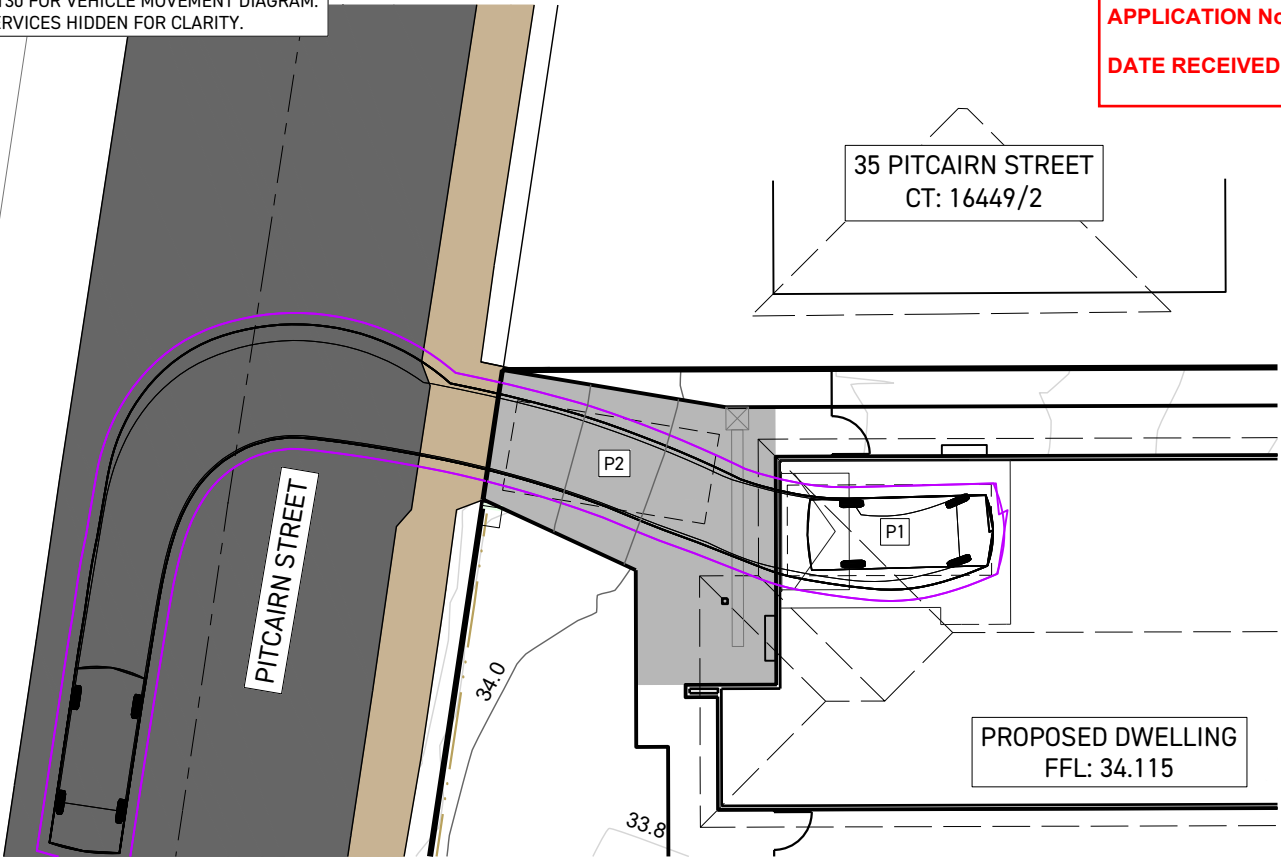
DRAWING TITLE VEHICLE MOVEMENT DIAGRAM B85		
PROJECT NO 25E82-13	DWG NO C130	REV A

- NOTES:
1. REFER TO C130 FOR VEHICLE MOVEMENT DIAGRAM.
 2. EXISTING SERVICES HIDDEN FOR CLARITY.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-247
DATE RECEIVED: 14/10/2025

IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR

NOT FOR
CONSTRUCTION



REV	DESCRIPTION	BY	CHK	DATE
A	FOR PLANNING APPROVAL	S.M.	M.H.	13/10/2025

JSA
SCIENCE IN DESIGN
121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsa.com.au

CHECKED
M. HORSHAM CC5865 I
CIVIL ENGINEER/DESIGNER
S. MARTININGUI
STATUS

SCALE
AS SHOWN
SIZE
A3
HYDRAULIC ENGINEER
R. HORNER

PROJECT
SJM PROPERTY DEVELOPMENTS
PROPOSED DWELLING
33 PITCAIRN STREET, GLENORCHY 7010

DRAWING TITLE			
VEHICLE MOVEMENT PLAN			
B85			
PROJECT NO	DWG NO	REV	
25E82-13	C135	A	

GENERAL

1.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE SERVICES AUTHORITY AND LOCATE EXISTING UNDER GROUND SERVICES PRIOR TO ANY EXCAVATION WORKS COMMENCING ON SITE.
2.

AREAS DISTURBED BY EARTHWORKS ARE TO BE STRIPPED OF TOPSOIL TO A DEPTH OF 100mm (OR AS DIRECTED BY THE SUPERINTENDENT). TOPSOIL IS TO BE STOCKPILED ON SITE AND RE-SPREAD AFTER EARTHWORKS ARE COMPLETE.
3.

A 100mm THICK LAYER OF SUB 2 40mm FCR MAY BE USED DURING CONSTRUCTION FOR TEMPORARY ACCESS. FOR WET GROUND WITH POOR DRAINAGE & BEARING CAPACITY, ADDITIONAL SUB GRADE REPLACEMENT USING 100mm SPALLS MAY BE REQUIRED. CONSULT ENGINEER.

DRIVEWAY NOTES:

4.

EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION,
5.

FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150MM IN DIAMETER UNLESS APPROVED OTHERWISE.
6.

FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

a.

TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100MM.

b.

THE SUB GRADE SHALL BE KEYED 150MM INTO NATURAL GROUND.

c.

THE FILL SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95%, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
7.

WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO DEMONSTRATE COMPACTION PRIOR TO THE PLACEMENT OF BASE OR SUB BASE COURSES.
8.

UNREINFORCED CONCRETE KERBS AND CHANNELS SHALL HAVE TROWELED JOINT AT NOT MORE THAN 3.0M CENTRES.
9.

FOR SPECIFICATIONS AND DETAILS NOT SHOWN WITH THIS DRAWING, THE BUILDER SHALL REFER TO AND COMPLY WITH CONSTRUCTION DETAIL PER AS3727.1 2016 PAVEMENTS PART 1: RESIDENTIAL.

GLENORCHY CITY COUNCIL

PLANNING SERVICES

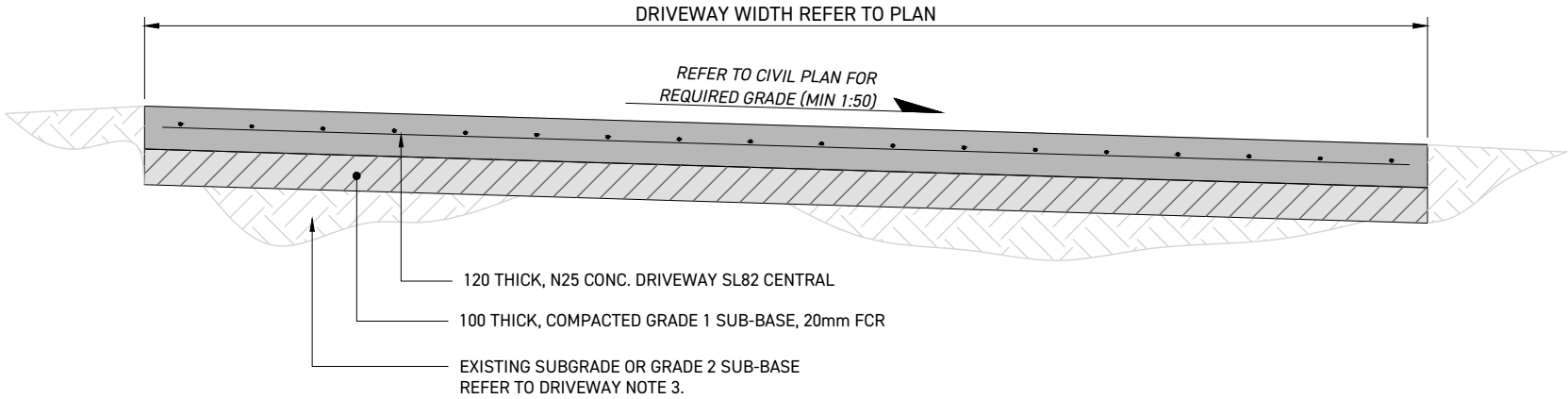
APPLICATION No. :

PLN-25-247

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14/10/2025

CONCRETE QUALITY					
ELEMENT	SLUMP	AGGREGATE (MAX. SIZE)	CEMENT TYPE	ADMIXTURE	F'c (MPa)
DRIVEWAY	100	20	SL	NIL	25



CONCRETE DRIVEWAY SECTION

SCALE: NTS

				JSA SCIENCE IN DESIGN 121 Sandy Bay Road, Sandy Bay TAS 7005 Phone (03) 6240 9911 www.jsa.com.au	CHECKED M. HORSHAM CC5865 I		SCALE AS SHOWN	SIZE A3	PROJECT SJM PROPERTY DEVELOPMENTS PROPOSED DWELLING 33 PITCAIRN STREET, GLENORCHY 7010	DRAWING TITLE CONSTRUCTION DETAILS RESIDENTIAL DRIVEWAY		
					CIVIL ENGINEER/DESIGNER S. MARTININGUI		HYDRAULIC ENGINEER R. HORNER					
					STATUS PLANNING APPROVAL							
A	FOR PLANNING APPROVAL			S.M.	M.H.	13/10/2025						
REV	DESCRIPTION			BY	CHK	DATE		PROJECT NO 25E82-13		DWG NO C255	REV A	

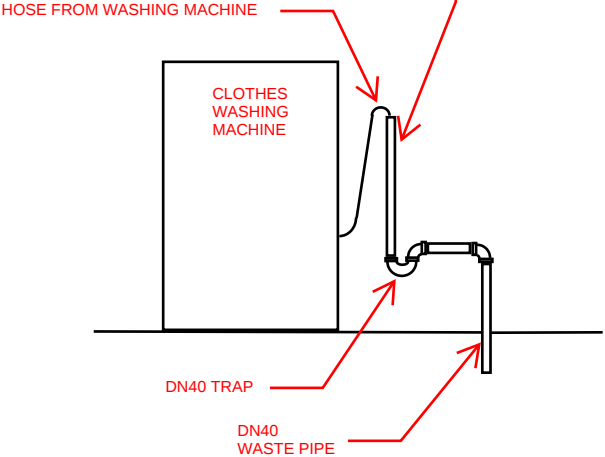
- FIXTURE LEGEND:**
- B BASIN (DN40)
 - CD 100mm CHANNEL DRAIN WITH CLASS 'B' TRAFFICABLE LID, 'ACO' K100 OR SIMILAR
 - CWM CLOTHES WASHING MACHINE (DN40)
 - DP DOWNPIPE (DN90 SN2)
 - DWM DISH WASHING MACHINE
 - GP 450 x 450 x 600 DEEP PRECAST STORMWATER PIT WITH TRAFFICABLE CLASS 'B' LID, 'ACO' TYPE 45 OR SIMILAR
 - ORG OVERFLOW RELIEF GULLY (DN100) + TAP OVER
 - S SINK (DN50)
 - SEJ SWIVEL EXPANSION JOINT, REFER TO JSA DRAWING S750
 - Shr SHOWER (DN50)
 - TD TUNDISH FOR A/C CONDENSATE (DN50)
 - Tr TROUGH (LAUNDRY) (DN40)
 - UV UPSTREAM VENT (DN50)
 - WC WATER CLOSET PAN (DN100)
- PIPE LEGEND:**
- SEWER DN100 uPVC SN6 (DWV) MIN 1:60 FALL
 - STORMWATER DN100 uPVC SN6 (DWV) MIN 1:100 FALL

PLUMBING NOTES AND DRAINAGE NOTES:

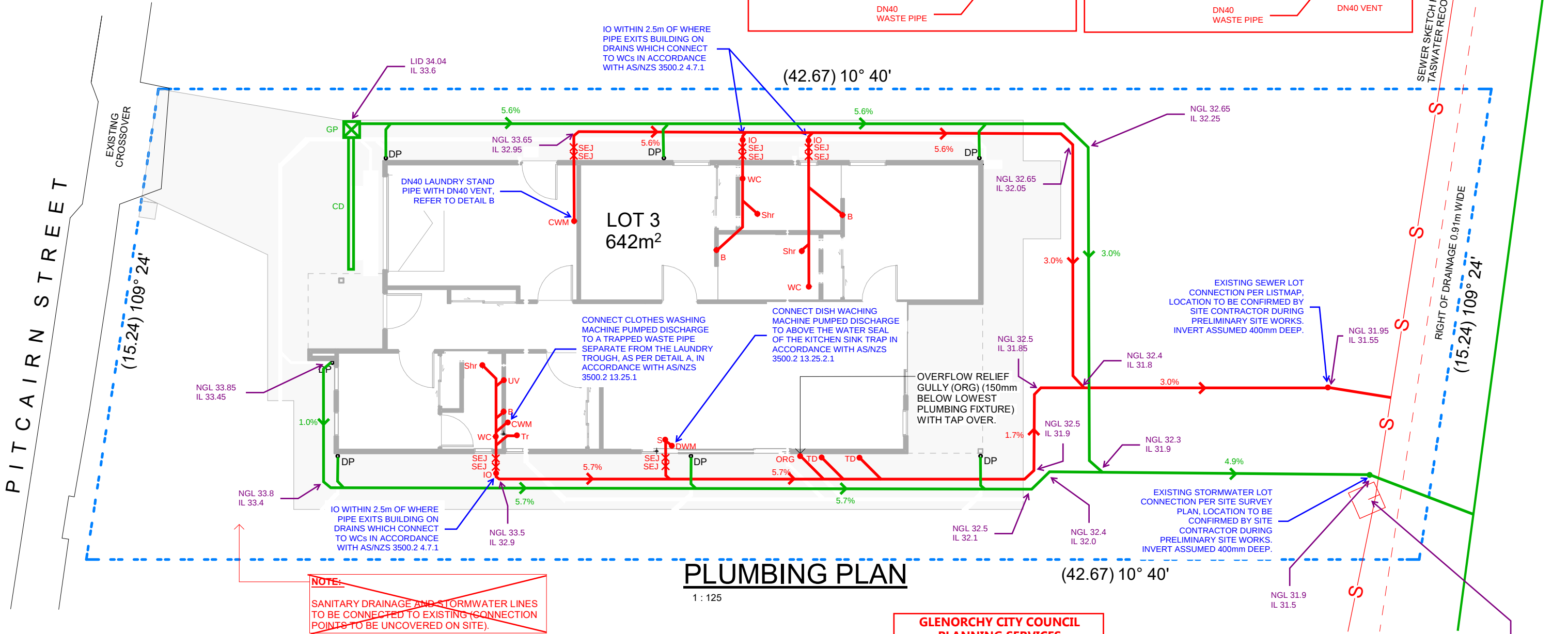
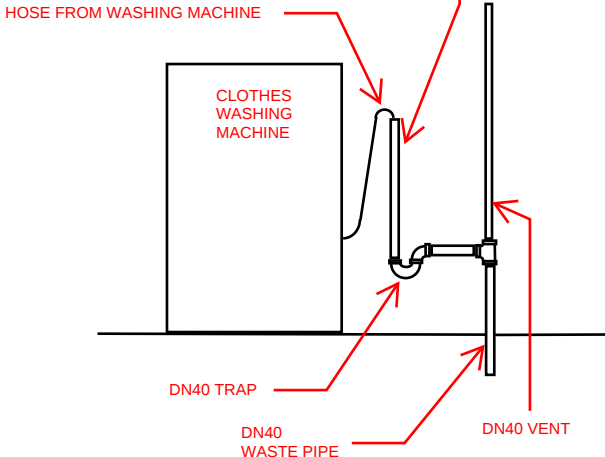
- VENTING OF DRAINS TO COMPLY WITH AS/NZS 3500.2 3.9.2.1 CLAUSE.
- BACKFLOW PROTECTION VALVE IS REQUIRED TO BE INSTALLED TO SHOWER HOSE ASSEMBLY WHERE SHOWER HOSE CAN REACH THE TOILET BOWL.
- HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50°C, KITCHEN & LAUNDRY SHALL BE 60°C TO COMPLY WITH REQUIREMENTS OF AS3500 2021. (TEMPERING VALVES TO BE INSTALLED TO SUIT).

- PROVIDE PLASTEC DN100 SWIVEL EXPANSION JOINTS AT ALL DOWNPIPES AND SEWER CONNECTIONS TO MAIN LINES. LOCATE WITHIN 1m OF BUILDING LINE.
- HERE PIPEWORK PENETRATES FOUNDATION OR SLAB EDGE PROVIDE 40mm LAGGING AROUND PIPEWORK.
- FOR CLASS 'H' AND 'E' SITES INSTALL PLASTEC DN100 SWIVEL EXPANSION JOINTS AT ALL CHANGES OF DIRECTION.
- FOR CLASS 'P' SITES INSTALL MIN 150mm OF COMPACTED FCR IN ALL TRENCHES BEFORE PLACING PIPEWORK.
- WHERE PIPEWORK PENETRATES SLAB VERTICALLY, PROVIDE 10mm LAGGAING.

DETAIL A: LAUNDRY STAND PIPE



DETAIL B: LAUNDRY STAND PIPE



PLUMBING PLAN

1 : 125

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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IMPORTANT NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
- ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANOR AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
- THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
- ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

sjm
property
developments

1/37 Ascot Dr, Huntingfield TAS 7055

P +61 3 6289 6601

Home: HPS-R-MAPLE-14.5(06Y.05)

Client: SJM

Location: 33 PITCAIRN STREET (LOT 3), GLENORCHY TAS 7010

Drawing: PLUMBING PLAN

Facade: C-BYRON
03-COCOA



All dimensions
to be verified
on site

DRAWING DETAILS

28/08/2025 1:53:34 pm

SCALE

As indicated

SHEET SIZE

A3

JOB

No:

621N

Drwg

No:

D10b

Issue

A03