

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-244
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	49 Kiewa Rise Lenah Valley
APPLICANT:	Cunic Homes
ADVERTISING START DATE:	24/10/2025
ADVERTISING EXPIRY DATE:	07/11/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **07/11/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **07/11/2025**, or for postal and hand delivered representations, by 5.00 pm on **07/11/2025**.

PROPOSED RESIDENCE

49 KIEWA RISE, LENAH VALLEY

A. PHIPPS

PD25179



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-244

DATE RECEIVED: 14/10/2025

PLANNING

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	CUT/FILL PLAN
04	LOCALITY PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	FLOOR FINISHES PLAN
11	ELECTRICAL/REFLECTED CEILING PLAN
12	RETAINING WALLS ELEVATION
13	DESIGN AND LAYOUT OF PARKING AREAS
14	PERSPECTIVES



GENERAL PROJECT INFORMATION

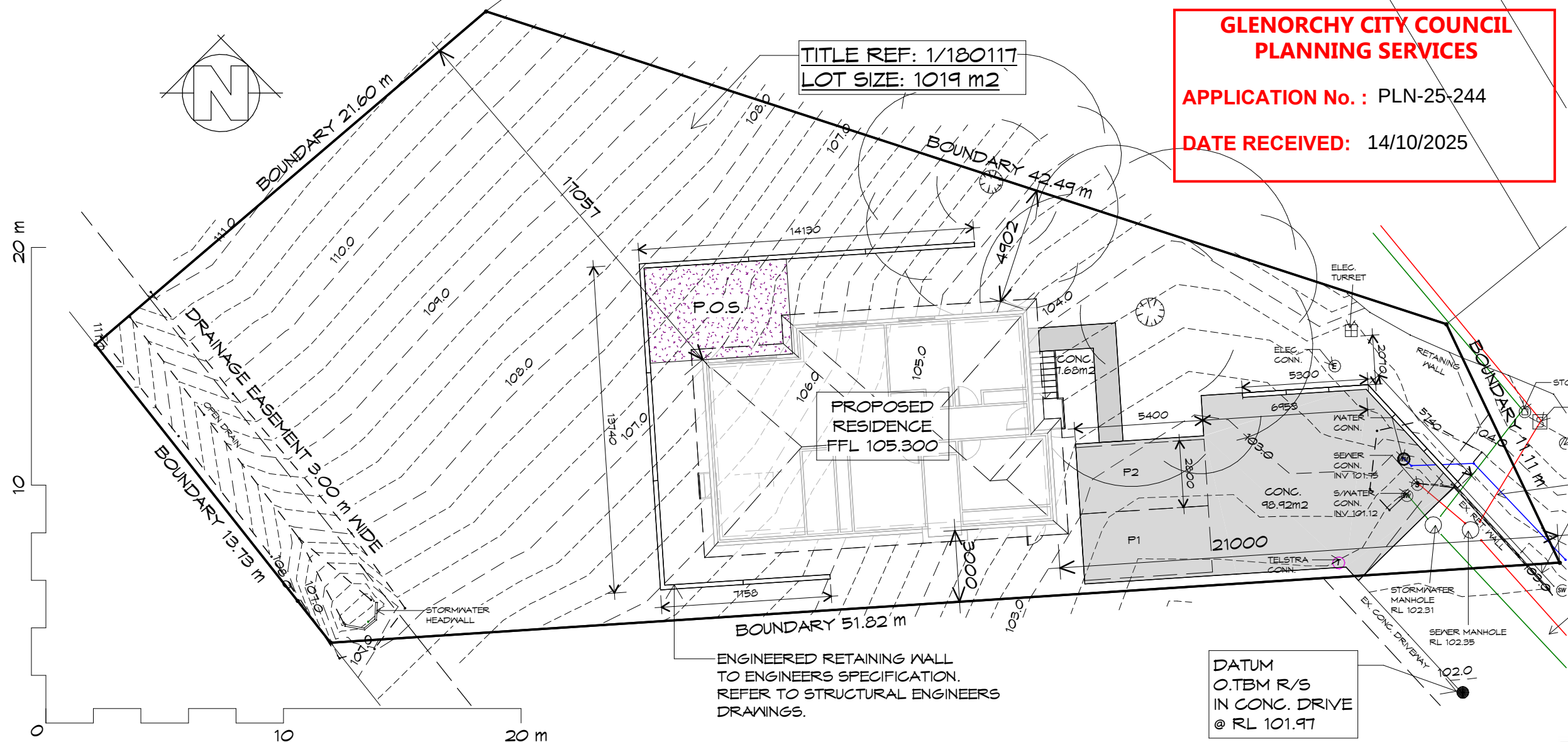
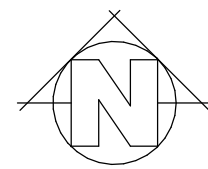
TITLE REFERENCE: 1/180117
SITE AREA: 1019 m²
DESIGN WIND SPEED: N2
SOIL CLASSIFICATION: M
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: N/A
BAL RATING: TBC
OTHER KNOWN HAZARDS: FLOOR PRONE AREA, LOW
LANDSLIP HAZARD BAND, PRIORITY VEGETATION,
WATERWAY AND COASTAL PROTECTION AREA

FLOOR AREA	123.43 m ²	(13.29 SQUARES)
TOTAL AREA	123.43 m ²	13.29 SQUARES



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Accredited Building Practitioner: Frank Geskus -No CC246A

OCTOBER 2025



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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DRIVEWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

**KIEWA
RISE**

SITE PLAN
1 : 200

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SETBACKS
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

SITE COVERAGE
BUILDING FOOTPRINT 123.43 m² / SITE AREA 1092 m² = 0.113
TOTAL SITE COVERAGE 11%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

SURVEY NOTES

- "THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
- SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER AS-CONSTRUCTED" HAVE BEEN IMPORTED FROM EXISTING AS-CONSTRUCTED DRAWINGS FROM THIS SUBDIVISION. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
- IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.
- THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

CONTOUR INTERVAL: 0.25m
BEARING DATUM: MGA2020
VERTICAL DATUM: AHD83

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST



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Project:
PROPOSED RESIDENCE
49 KIEWA RISE,
LENAH VALLEY

Client name:
A. PHIPPS

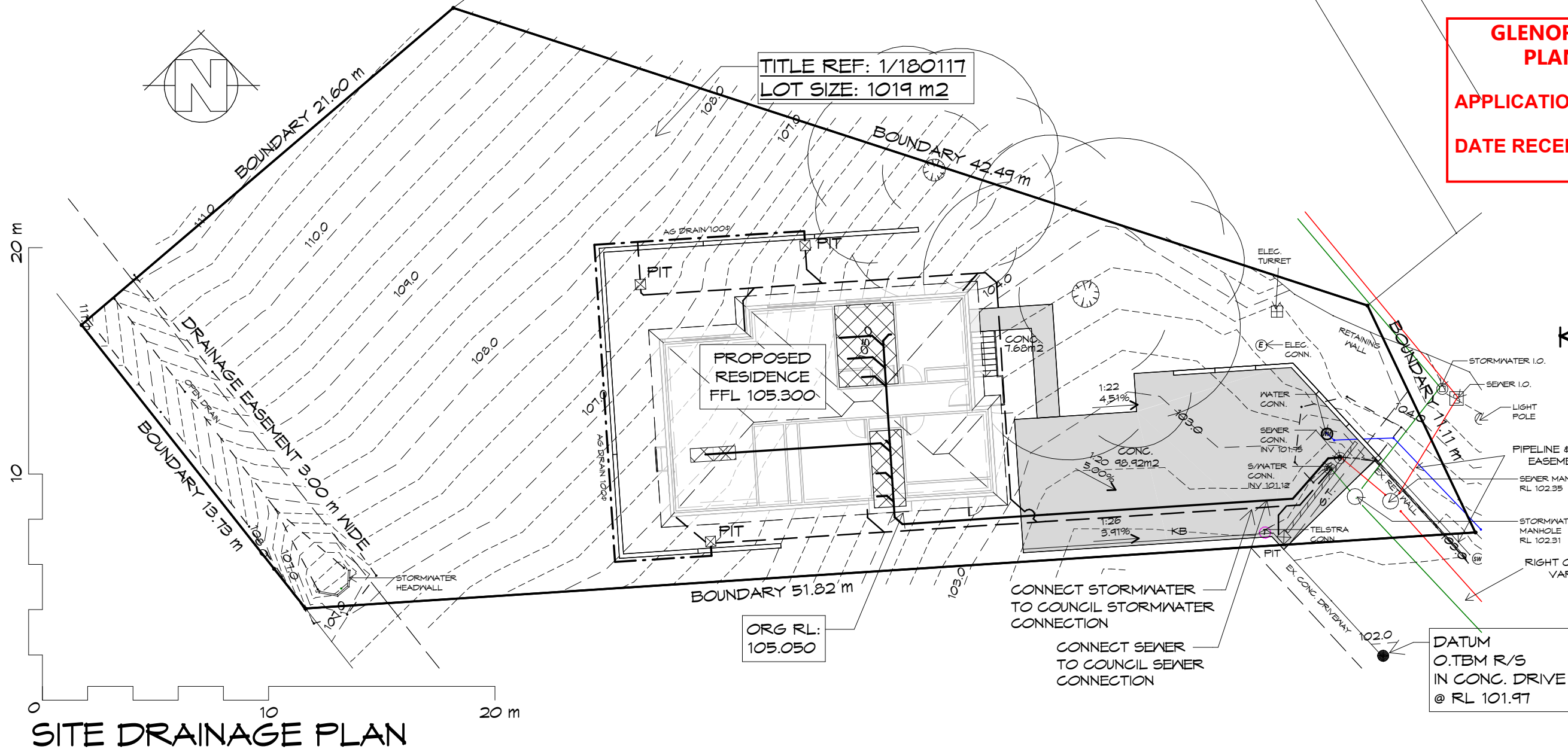
Drawing:
SITE PLAN

Drafted by:	Approved by:
L.L.	Approver
Date:	Scale:
14.10.2025	1 : 200

Project/Drawing no:	Revision:
PD25179 -01	03
Accredited building practitioner: Frank Geskus -No CC246A	

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



SITE DRAINAGE PLAN

1 : 200

LEGEND

- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100mm AG DRAIN
- 450X 450 SURFACE DRAINAGE PIT
- G.T. GRATED TRENCH; 150mm WIDE
- K.B. KERB - 150mm

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY

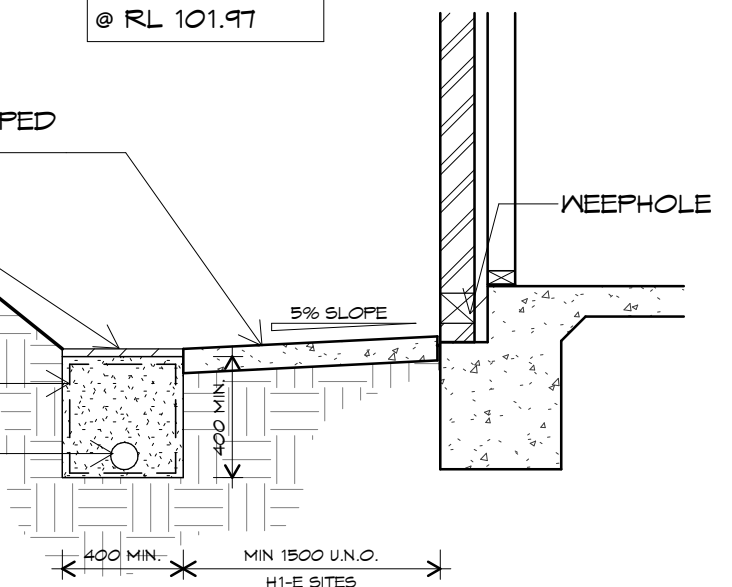
IMPERVIOUS SURFACE SLOPED AWAY FROM BUILDING

TRENCH BACKFILL PER TABLE

EMBANKMENT

GEOTEXTILE FILTER

AG DRAIN @ MIN. 1% GRADIENT



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Drafted by:
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Approved by:
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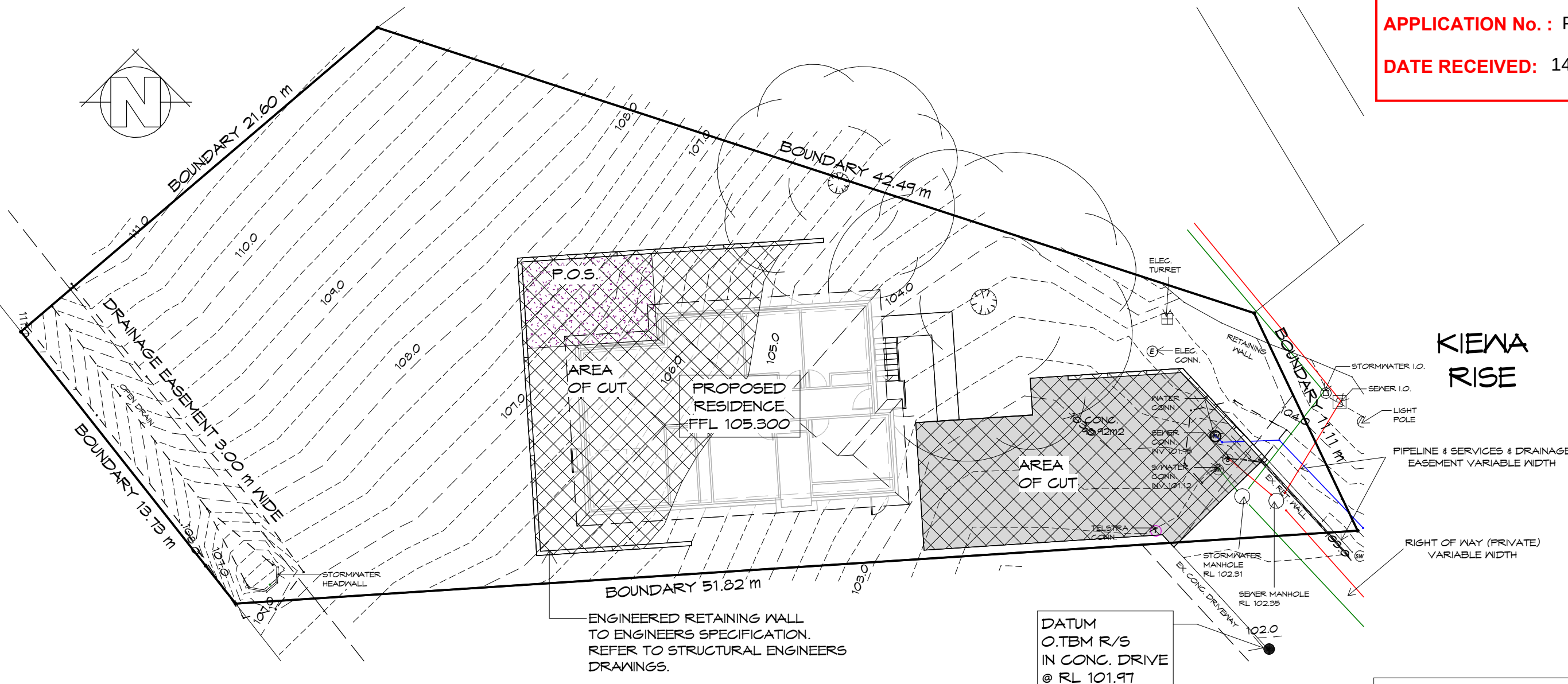


Drawing:
SITE DRAINAGE PLAN

Date: 14.10.2025 Scale: As indicated

Project/Drawing no: PD25179 -02 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



KIEWA
RISE

CUT/FILL SCHEDULE	
CUT VOLUME (m3)	FILL VOLUME (m3)
201.22	0.00

NOTE:
THE CUT AND FILL VOLUMES CALCULATED BY
REVIT ARE APPROXIMATE, GENERALLY
PROVIDING RESULTS WITH +/- 1% TO 2%
ACCURACY



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LENAH VALLEY

Client name:
A. PHIPPS

Drafted by:
L.L.

Approved by:
Approver



Drawing:
CUT/FILL PLAN

Date: 14.10.2025
Scale: 1 : 200

Project/Drawing no:
PD25179 -03

Revision:
03

Accredited building practitioner: Frank Geskus -No CC246A



LOCALITY PLAN

1 : 2000



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Client name:
A. PHIPPS

Drafted by:
L.L.

Approved by:
Approver



Date: 14.10.2025 Scale: 1 : 2000

Project/Drawing no: PD25179 -04 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-244

DATE RECEIVED: 14/10/2025
Drawing:
LOCALITY PLAN

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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Project:
PROPOSED RESIDENCE
49 KIEWA RISE,
LENAH VALLEY

Client name:
A. PHIPPS

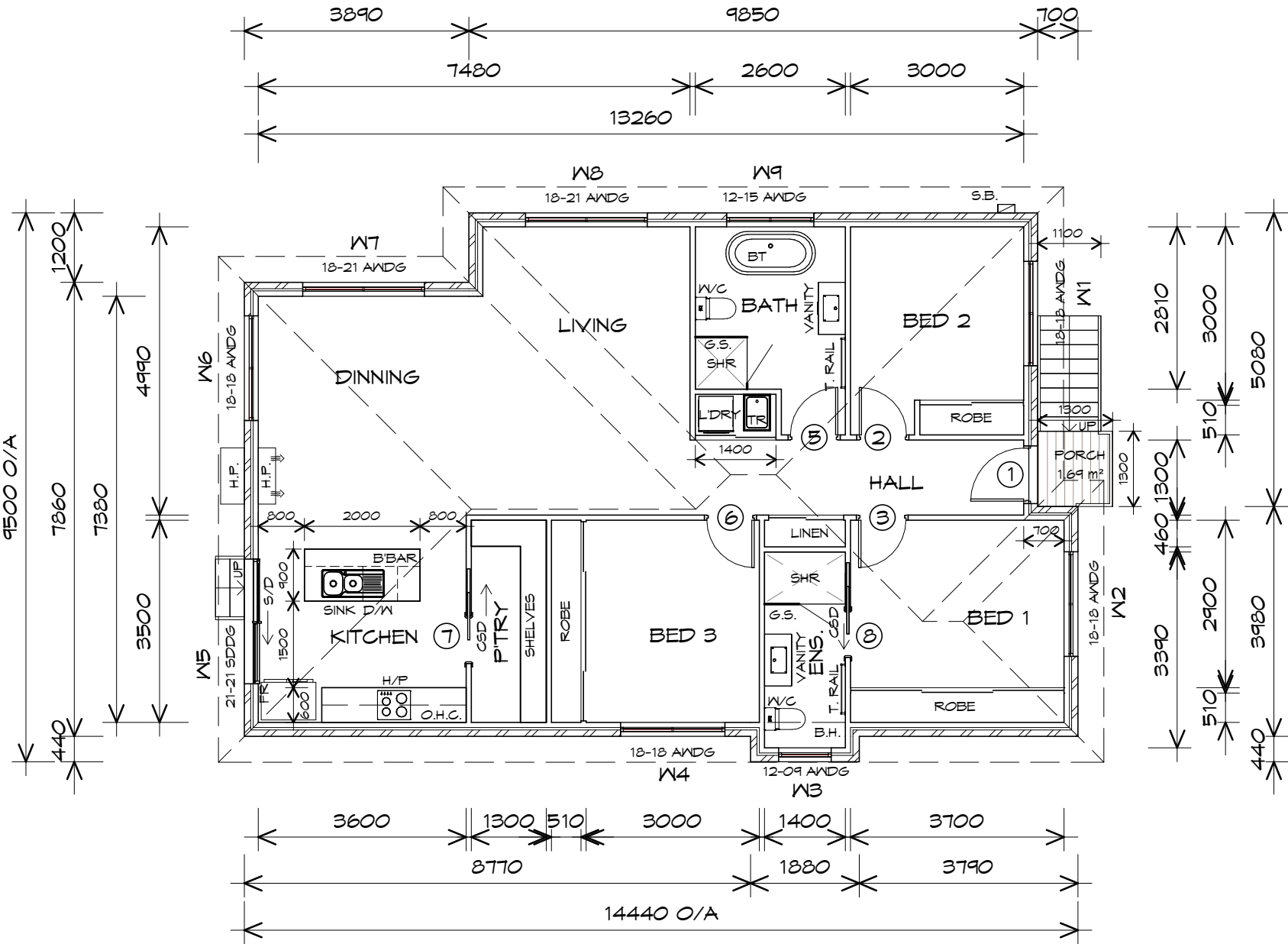
Drawing:
FLOOR PLAN

Drafted by: L.L.
Approved by: Approver
Date: 14.10.2025
Scale: 1 : 100

Project/Drawing no: PD25179 -05
Revision: 03
Accredited building practitioner: Frank Geskus -No CC246A



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



FLOOR PLAN

1 : 100

FLOOR AREA	123.43 m2	(13.29 SQUARES)
TOTAL AREA	123.43	13.29

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED
SEPARATELY.



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	CAVITY SLIDING DOOR	
8	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1800	1810	AWNING WINDOW	
W3	1200	910	AWNING WINDOW	OPAQUE
W4	1800	1810	AWNING WINDOW	
W5	2100	2160	SLIDING DOOR	
W6	1800	1810	AWNING WINDOW	
W7	1800	2110	AWNING WINDOW	
W8	1800	2110	AWNING WINDOW	
W9	1200	1510	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
 WITH FLY SCREENS TO SUIT ??? **BAL** RATING.
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
 PRIOR TO ORDERING

GLENORCHY CITY COUNCIL

PLANNING SERVICES

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Project:

PROPOSED RESIDENCE
49 KIEWA RISE,
LENAH VALLEY

Client name:

A. PHIPPS

Drafted by:

L.L.

Approved by:

Approver



Drawing:

DOOR AND WINDOW
SCHEDULES

Date:

14.10.2025

Scale:

Project/Drawing no:

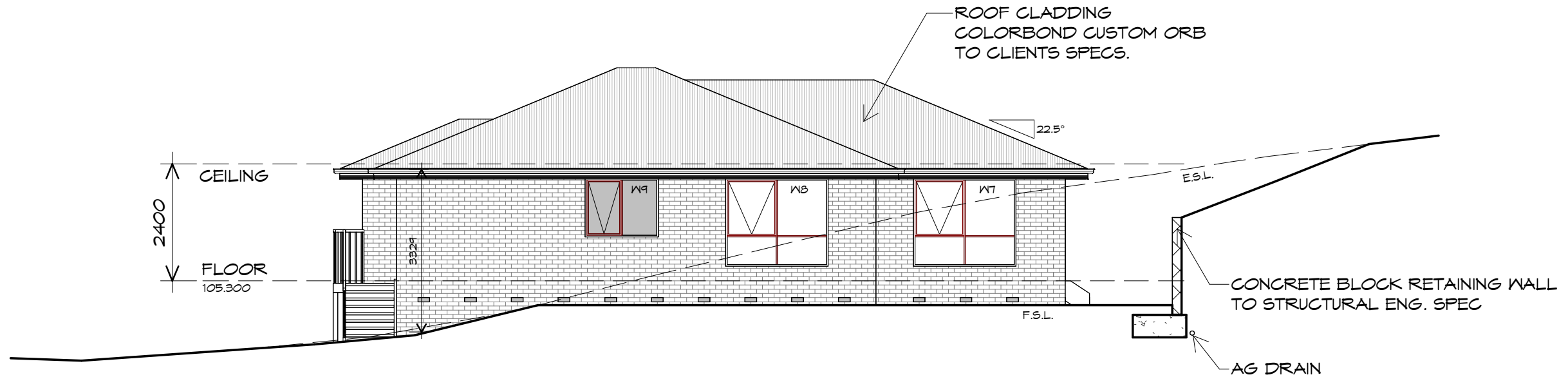
PD25179 -06

Revision:

03

Accredited building practitioner:

Frank Geskus -No CC246A



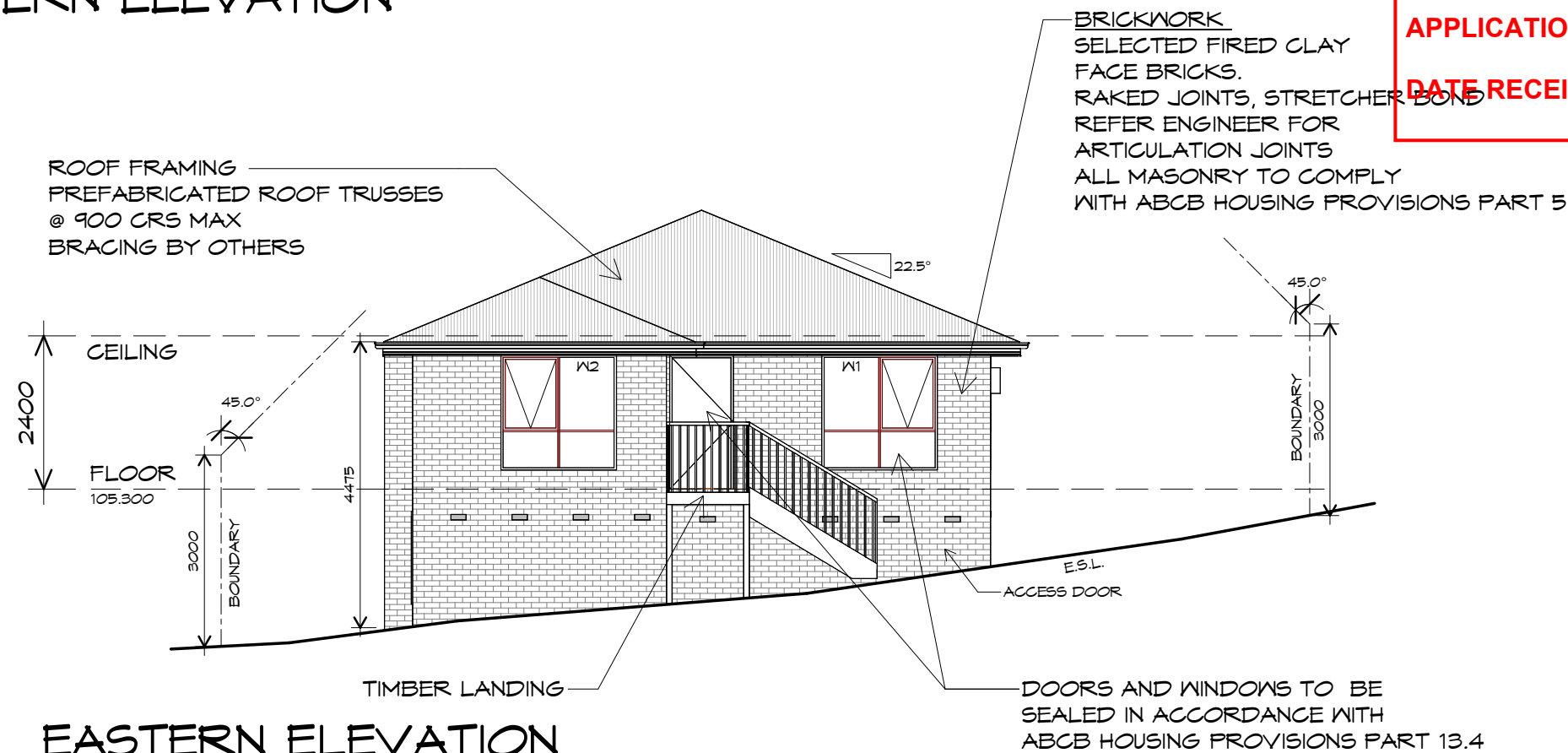
NORTHERN ELEVATION

1 : 100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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EASTERN ELEVATION

1 : 100

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Design**

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**PROPOSED RESIDENCE
49 KIEWA RISE,
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Client name:
A. PHIPPS

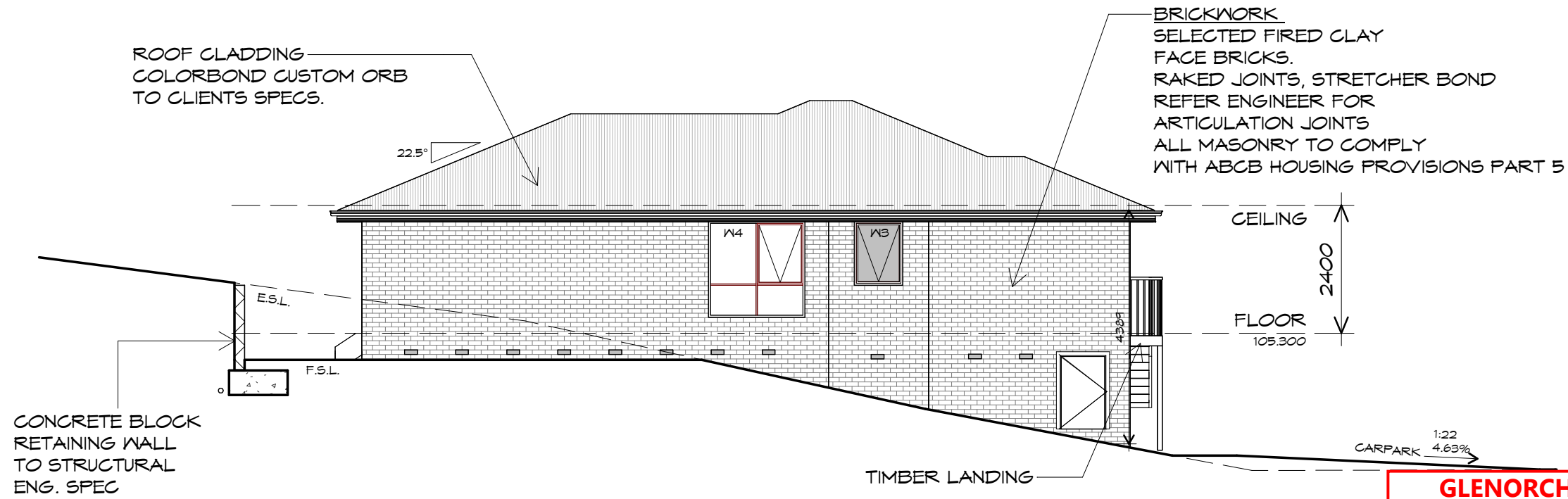
Drawing:
ELEVATIONS

Drafted by: L.L. Approved by: Approver

Date: 14.10.2025 Scale: 1 : 100

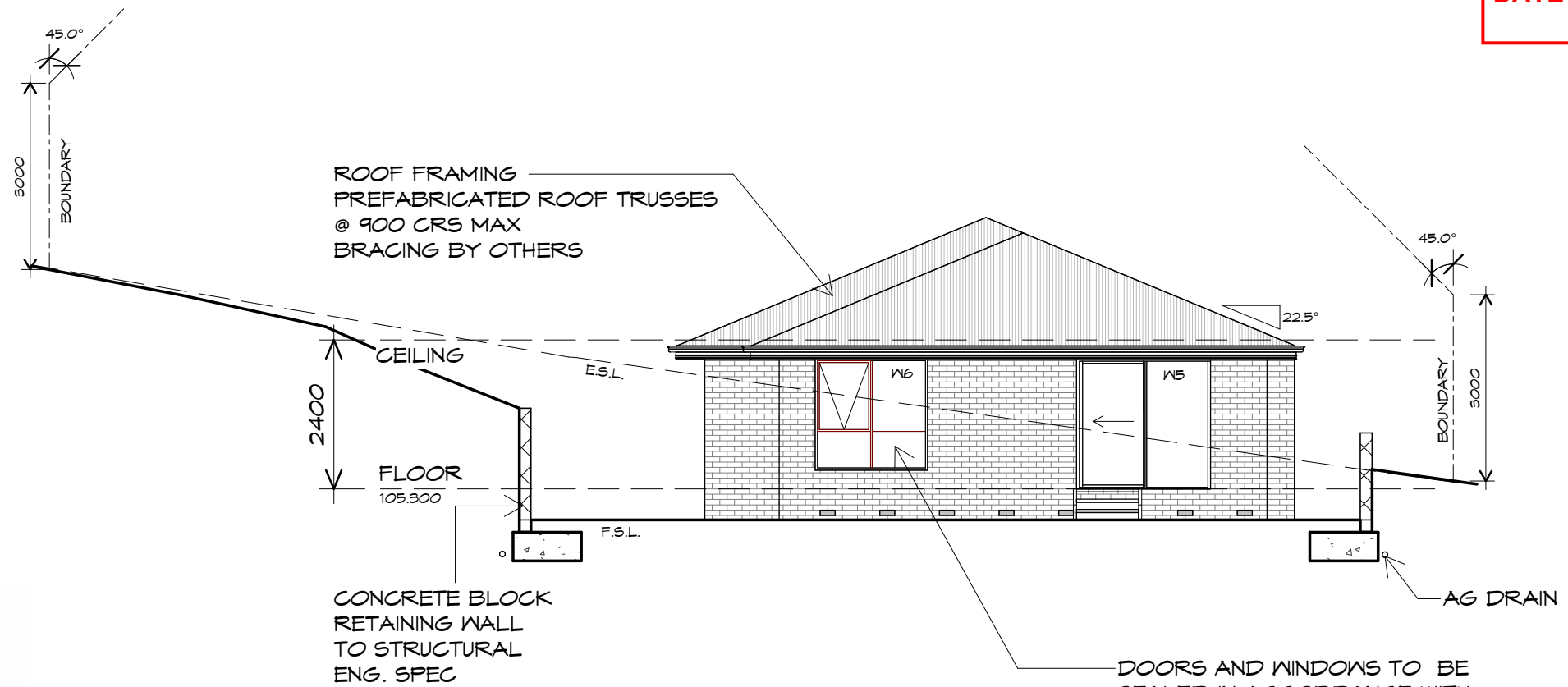
Project/Drawing no: PD25179 -07 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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**PROPOSED RESIDENCE
49 KIEWA RISE,
LENAH VALLEY**

Client name:
A. PHIPPS

Drawing:
ELEVATIONS

Drafted by:
L.L. Approved by:
Approver

Date:
14.10.2025 Scale:
1 : 100

Project/Drawing no:
PD25179 -08 Revision:
03

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

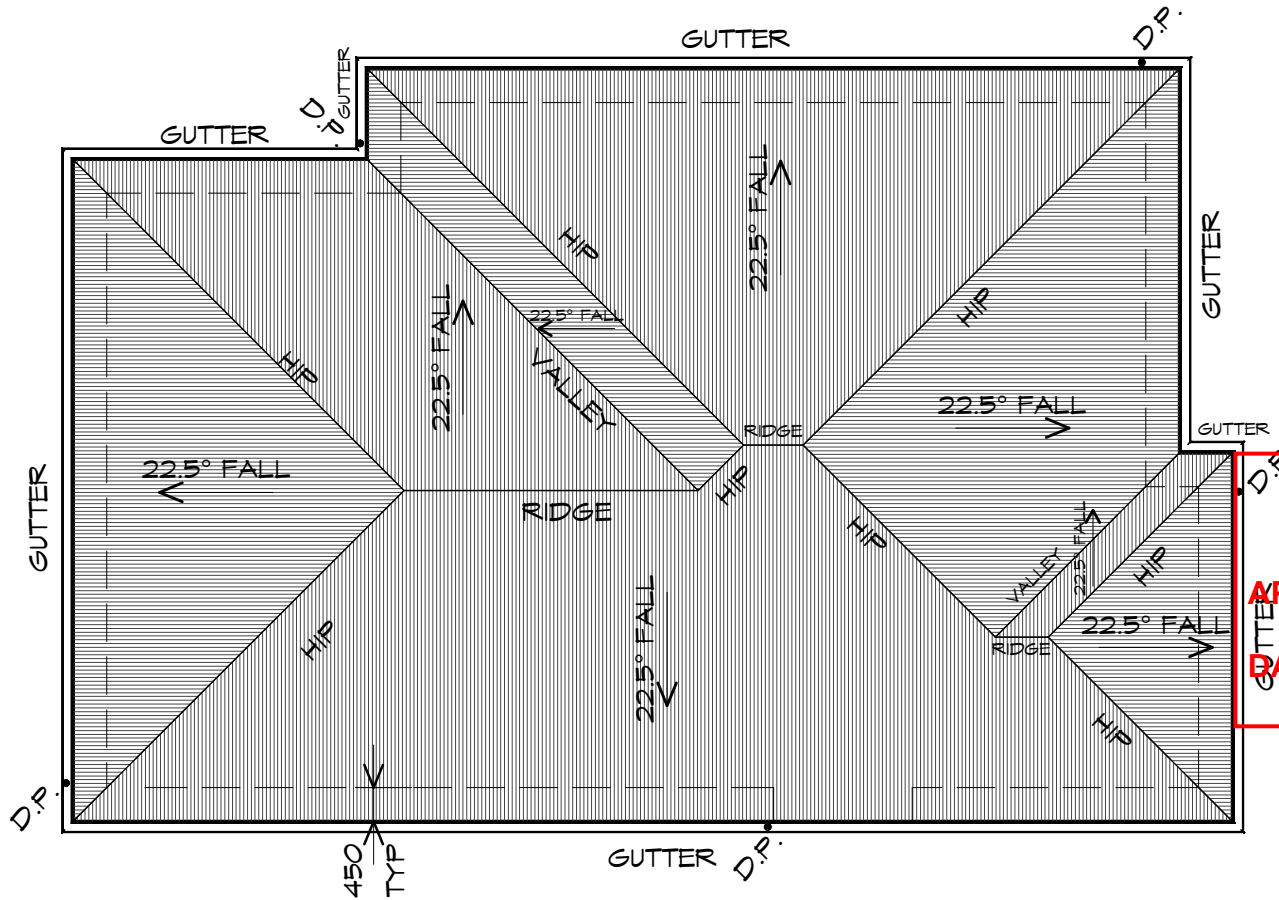
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

TILE ROOF

ROOF TILES TO COMPLY WITH AS2049
ROOF PITCH NOT LESS THAN 15° AND NO MORE
THAN 35°. TILES TO BE FIXED IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.3.2.
TILE FLASHINGS IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.3.2.
SARKING IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.3.4 C/W ANTI-PONDING
DEVICE/BOARD AS PER ABCB HOUSING
PROVISIONS PART 7.3.5. TILES TO EAVES
GUTTER MUST OVERHANG MIN 35mm AS PER
ABCB HOUSING PROVISIONS PART 7.3.6



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

**GLENORCHY CITY COUNCIL
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Project:
**PROPOSED RESIDENCE
49 KIEWA RISE,
LENAH VALLEY**

Client name:
A. PHIPPS

Drawing:
ROOF PLAN

Drafted by:
L.L.
Date:
14.10.2025
Approved by:
Approver
Scale:
1 : 100

Project/Drawing no:
PD25179 -09
Revision:
03

Accredited building practitioner: Frank Geskus -No CC246A



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



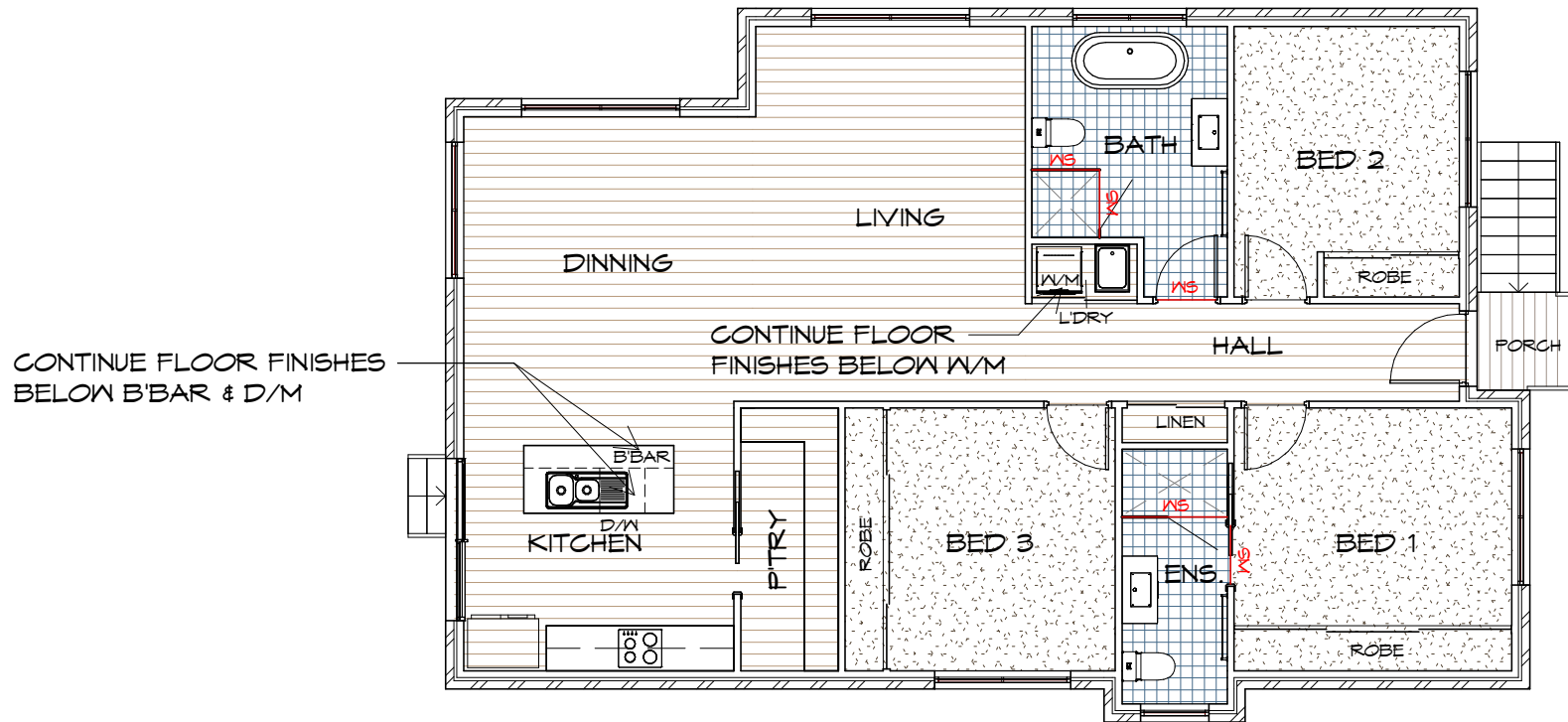
LEGEND

- CARPET
- TILES
- TIMBER
- TIMBER DECK
- WATERSTOP

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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FLOOR FINISHES PLAN

1 : 100

IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON FLOOR TYPES AS NOTED IN THE REPORT.

IF AN ALTERNATIVE FLOORING IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING PENETRATIONS.



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Client name:
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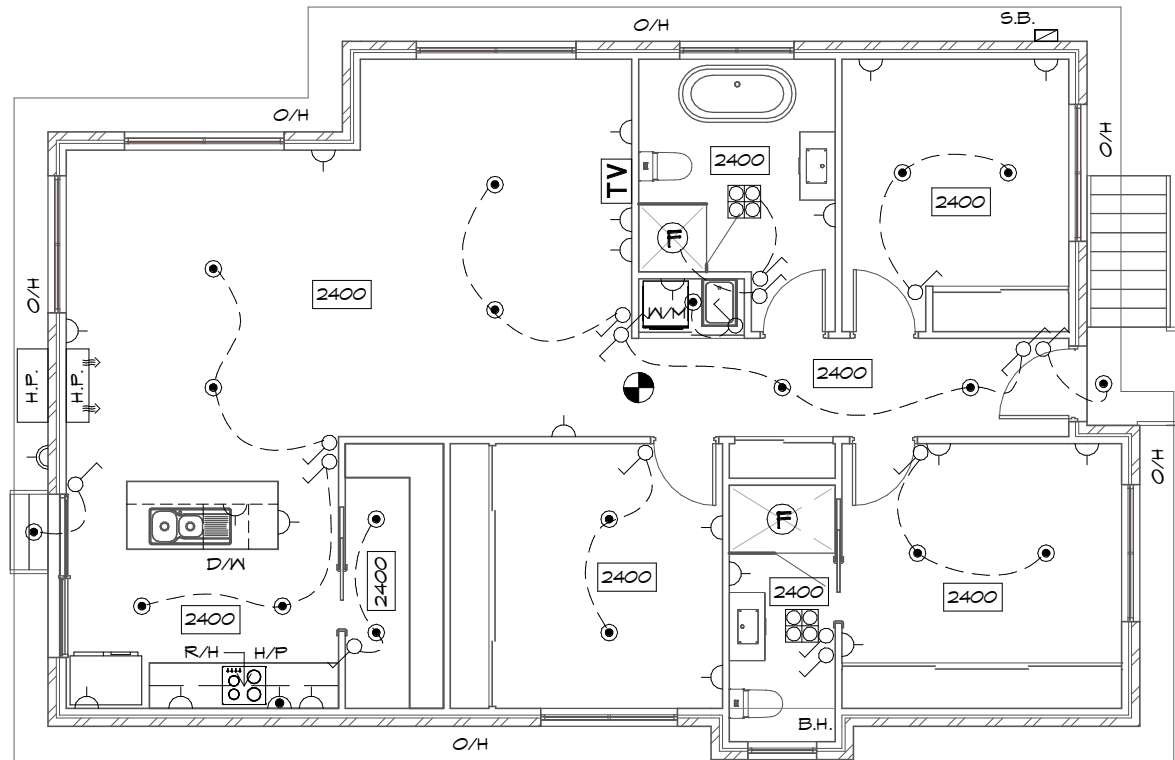
Drawing:
FLOOR FINISHES PLAN

Drafted by: L.L.	Approved by: Approver
Date: 14.10.2025	Scale: 1 : 100

Project/Drawing no: PD25179 -10	Revision: 03
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Accredited building practitioner: Frank Geskus -No CC246A





ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

ELECTRICAL INDEX

LIGHTING

- FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
- L.E.D. - SEALED DOWN LIGHT *
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

OTHER

- 240V SMOKE ALARM
- SWITCH BOX
- EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- R/H RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

CEILING

- xxxx DENOTES CEILING HEIGHT
- B.H. BULK HEAD
- O/H ROOF OVERHANG/EAVES

SWITCH TYPE

- ONE-WAY SWITCH
- TWO-WAY SWITCH

WALL OUTLETS

- GENERAL PURPOSE OUTLET (DOUBLE)
- WEATHER PROOF OUTLET
- HOTPLATE SAFETY CUT-OFF
- T.V. OUTLET

NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

HEATING

- HEAT PUMP
- HEAT PUMP, OUTDOOR UNIT

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IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS. ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT. IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - ?? REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

ARTIFICIAL LIGHTING
RESIDENCES TO BE IN COMPLIANCE WITH NCC 2019 PART 3.12.5.5.

- ARTIFICIAL LIGHTING MUST NOT EXCEED:
- 5W/m2 FOR CLASS 1 BUILDING
 - 4W/m2 FOR VERANDAHs & BALCONIES
 - 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

EXHAUST FANS

EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2



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Project:
**PROPOSED RESIDENCE
49 KIEWA RISE,
LENAH VALLEY**

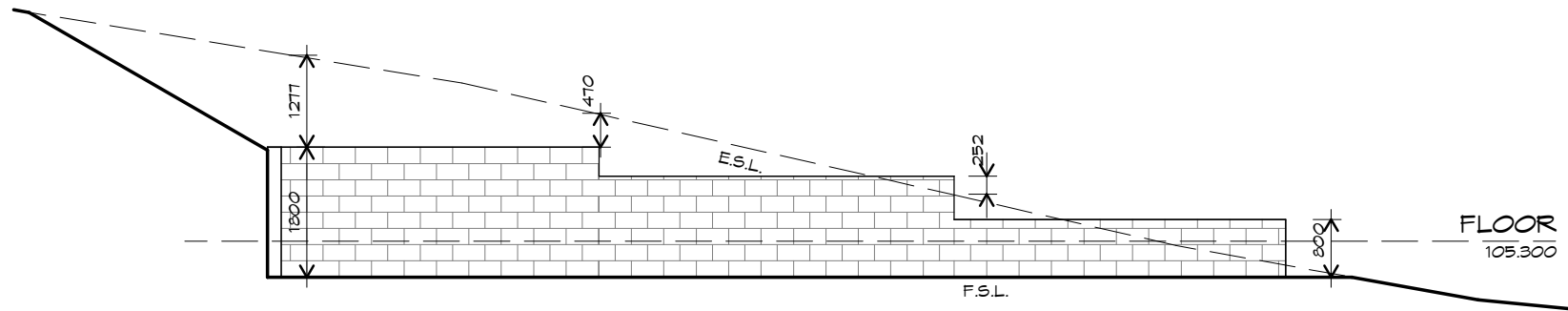
Client name:
A. PHIPPS

Drawing:
**ELECTRICAL/REFLECTED
CEILING PLAN**

Drafted by: L.L. Approved by: Approver
Date: 14.10.2025 Scale: 1 : 100

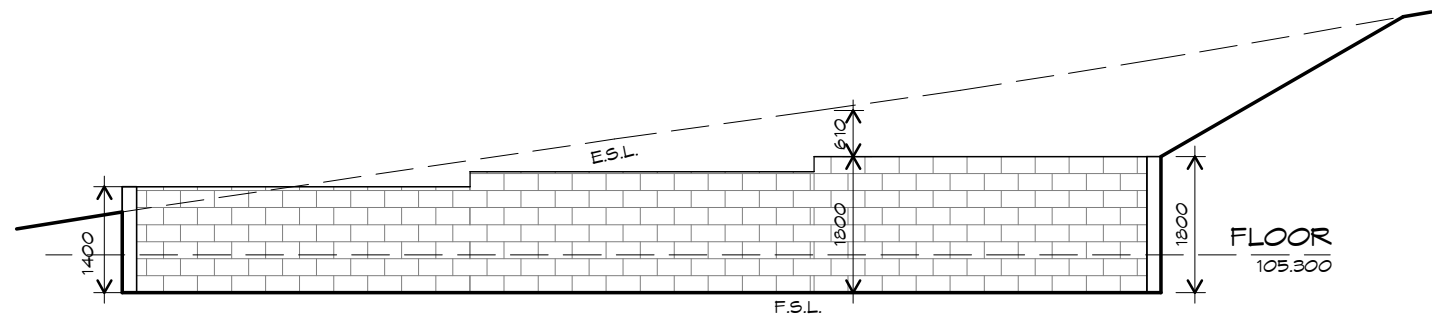
Project/Drawing no: PD25179 -11 Revision: 03
Accredited building practitioner: Frank Geskus -No CC246A





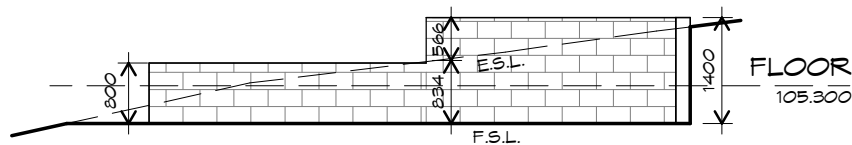
RET. WALL NORTH ELEVATION

1 : 100



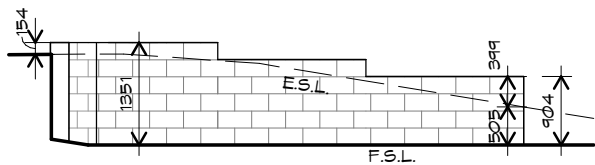
RET. WALL WEST ELEVATION

1 : 100



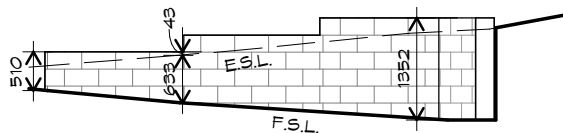
RET. WALL SOUTH ELEVATION

1 : 100



RET. WALL DRIVEWAY EAST ELEVATION

1 : 100



RET. WALL DRIVEWAY NORTH ELEVATION

1 : 100

PLANNING

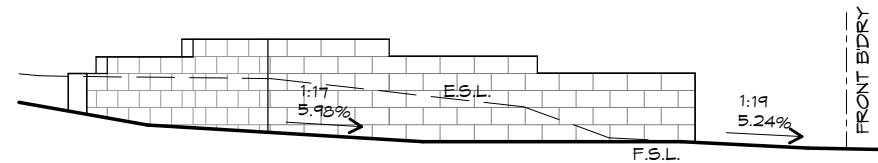
NOTE: DO NOT SCALE OFF DRAWINGS



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Design

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Project: PROPOSED RESIDENCE 49 KIEWA RISE, LENAH VALLEY		Drawing: RETAINING WALLS ELEVATION	
Client name: A. PHIPPS		Date: 14.10.2025	Scale: 1 : 100
Drafted by: L.L.	Approved by: Approver	Project/Drawing no: PD25179 -12	Revision: 03
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA		Accredited building practitioner: Frank Geskus -No CC246A	



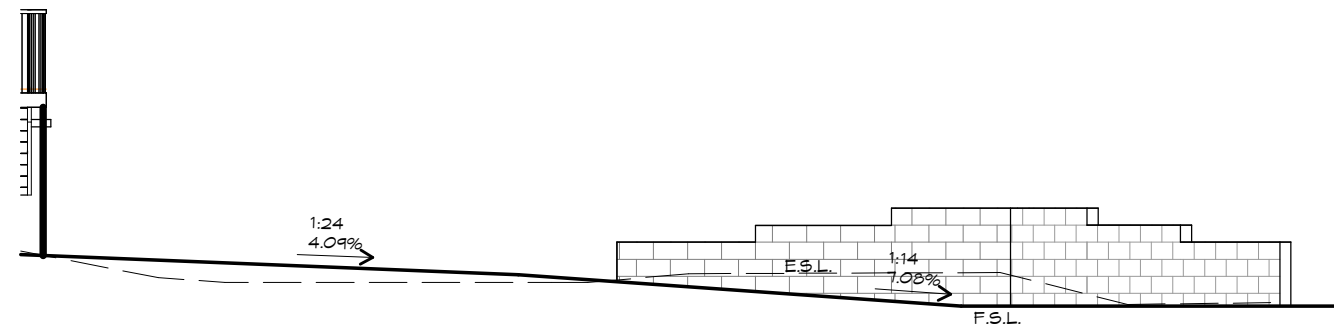
DRIVENWAY

1 : 100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-244

DATE RECEIVED: 14/10/2025



CAR PARKING

1 : 100



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Project:
PROPOSED RESIDENCE
49 KIEWA RISE,
LENAH VALLEY

Client name:
A. PHIPPS

Drafted by:
L.L.

Approved by:
Approver

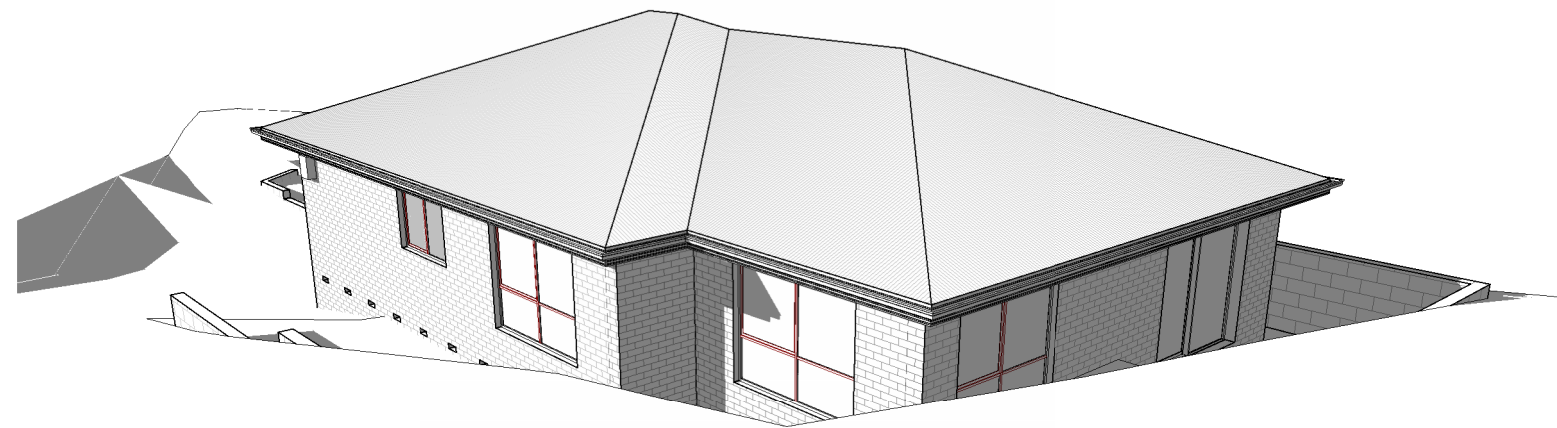
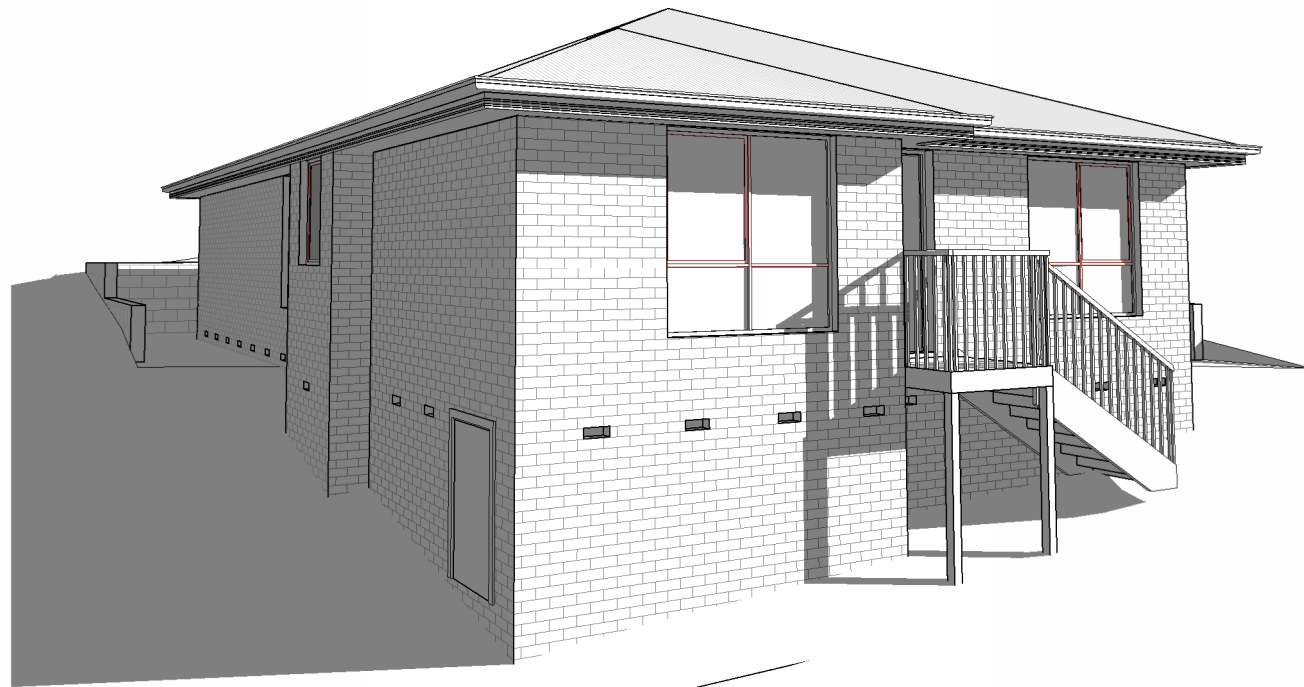


Drawing:
DESIGN AND LAYOUT OF
PARKING AREAS

Date: 14.10.2025
Scale: 1 : 100

Project/Drawing no: PD25179 -13
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-244

DATE RECEIVED: 14/10/2025

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Project:
**PROPOSED RESIDENCE
49 KIEWA RISE,
LENAH VALLEY**

Client name:
A. PHIPPS

Drawing:
PERSPECTIVES

Drafted by: L.L. Approved by: Approver

Date: 14.10.2025

Project/Drawing no: PD25179 -14 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A

