

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-297
PROPOSED DEVELOPMENT:	Proposed Additions
LOCATION:	64A Coleman Street Moonah
APPLICANT:	G Hills & Partners Architects
ADVERTISING START DATE:	31/10/2025
ADVERTISING EXPIRY DATE:	14/11/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **14/11/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **14/11/2025**, or for postal and hand delivered representations, by 5.00 pm on **14/11/2025**.

PROPOSED ADDITION & MODIFICATIONS

for: A. Bradley & J. Bootsma
at: 64A Coleman St, MOONAH

Project No. **22520**
Date: May. 2025

DESIGN DEVELOPMENT DRAWINGS

Drawing Schedule

- DD01 Existing Site Plan
- DD02 Proposed Site Plan
- DD03 Existing Floor Plan
- DD04 Existing Elevations 1
- DD05 Existing Elevations 2
- DD06 Demolition Floor Plan
- DD07 Proposed Floor Plan
- DD08 Proposed Elevations 1
- DD09 Proposed Elevations 2
- DD10 Proposed Roof Plan

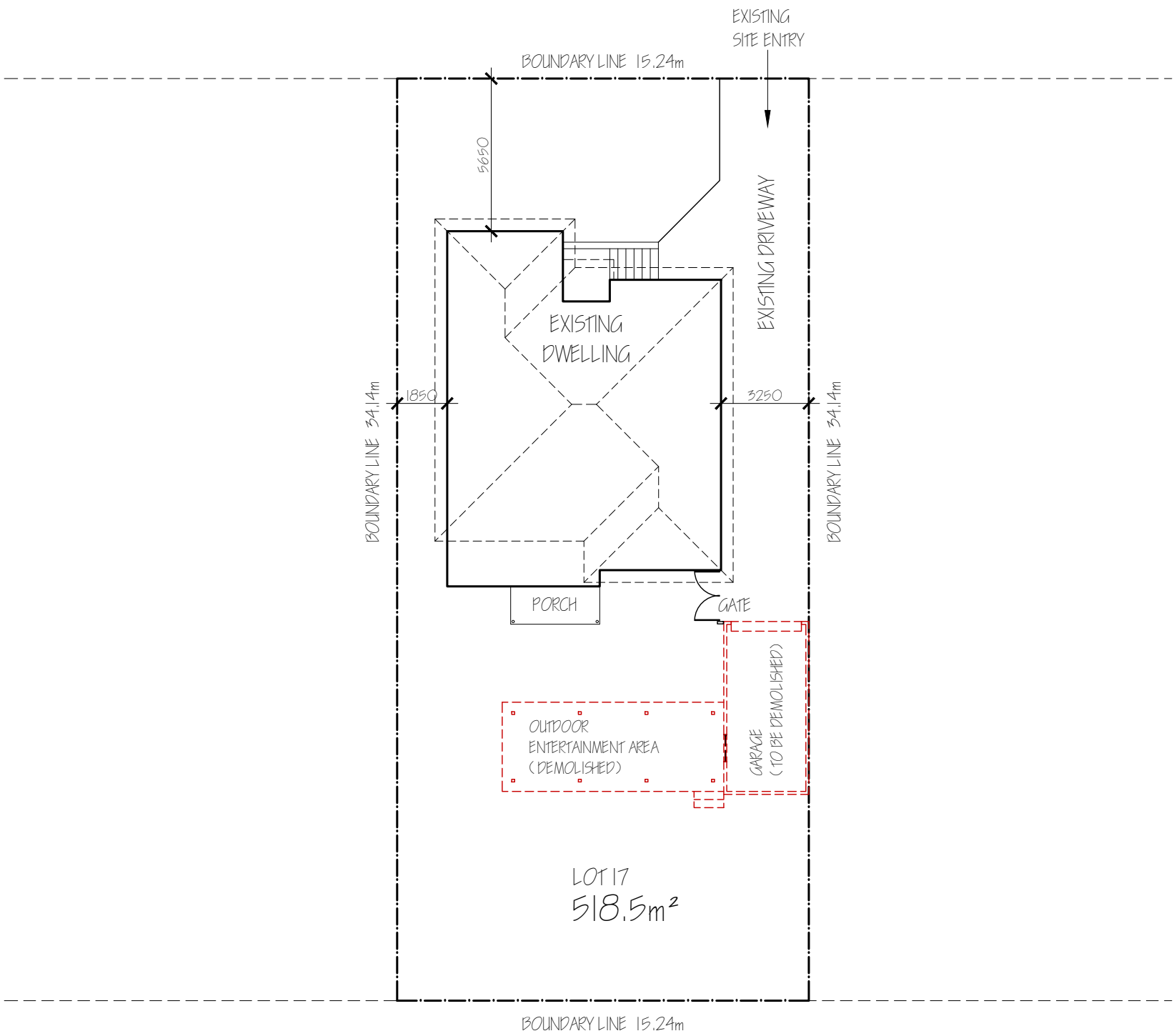
Prepared by:

G.Hills&Partners ARCHITECTS



P.O. Box 910, Kingston, Tas 7051
Ph: (03) 6229 1799 Mob: 0419 883 370
Email: graham.hills@bigpond.com
Tas Building Practitioner No. CC2367B

COLEMAN STREET



EXISTING SITE PLAN
1: 200

AREA:	
Existing Dwelling	= 118.72m ²
Existing Garage	= 25.62m ²
Outdoor Area	= 27.00m ²
Total	= 171.38m ²



NOTES:
* Do not scale the drawings.
* Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
* Materials / workmanship to comply with AS codes, BCA & relevant regulations.

Copyright © 2025
"This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."

REVISION NOTES		
No.	Revision/Issue	Date

G.Hills&PartnersARCHITECTS

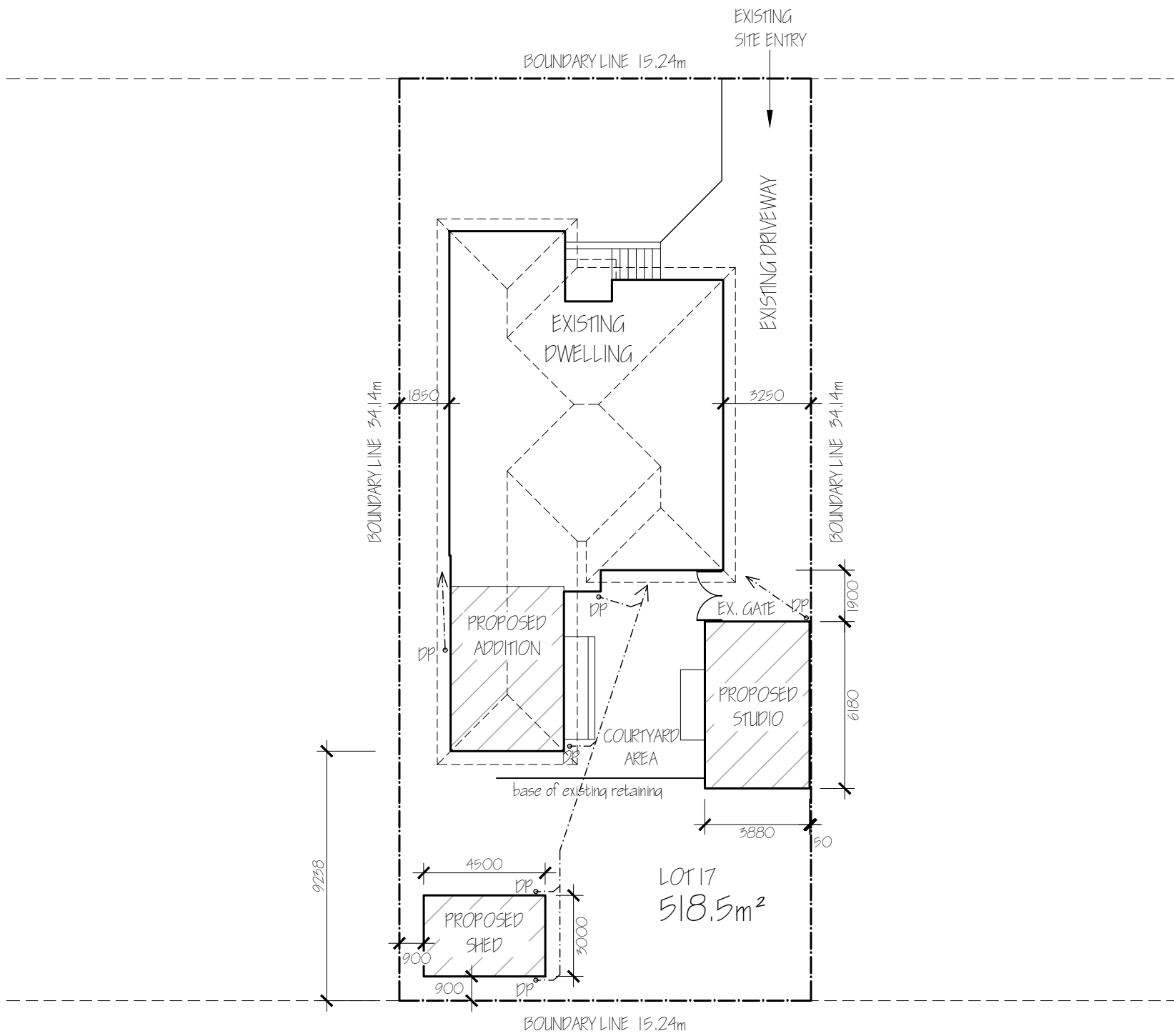
PO Box 910, KINGSTON, TAS 7051
P 03 6229 1799 E graham.hills@bigpond.com
Building Designer Accreditation No. CC2367B

Project Name and Address
PROPOSED ADDITION & MODIFICATIONS
64A Coleman St, MOONAH

Drawing Title
EXISTING SITE PLAN
Client
A. Bradley & J. Bootsma

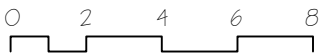
DRAWING TYPE Design Dev' Drawings		PROJECT No. 22520	
Date	8-May-25	SHEET	DD01
Scale	1:200	CHECKED	G. HILLS
Size	A3	DESIGN	G. HILLS
		DRAWN	M. Kamankesh

COLEMAN STREET



NOTE:
CONNECT STORMWATER TO EXISTING HOUSE LINE

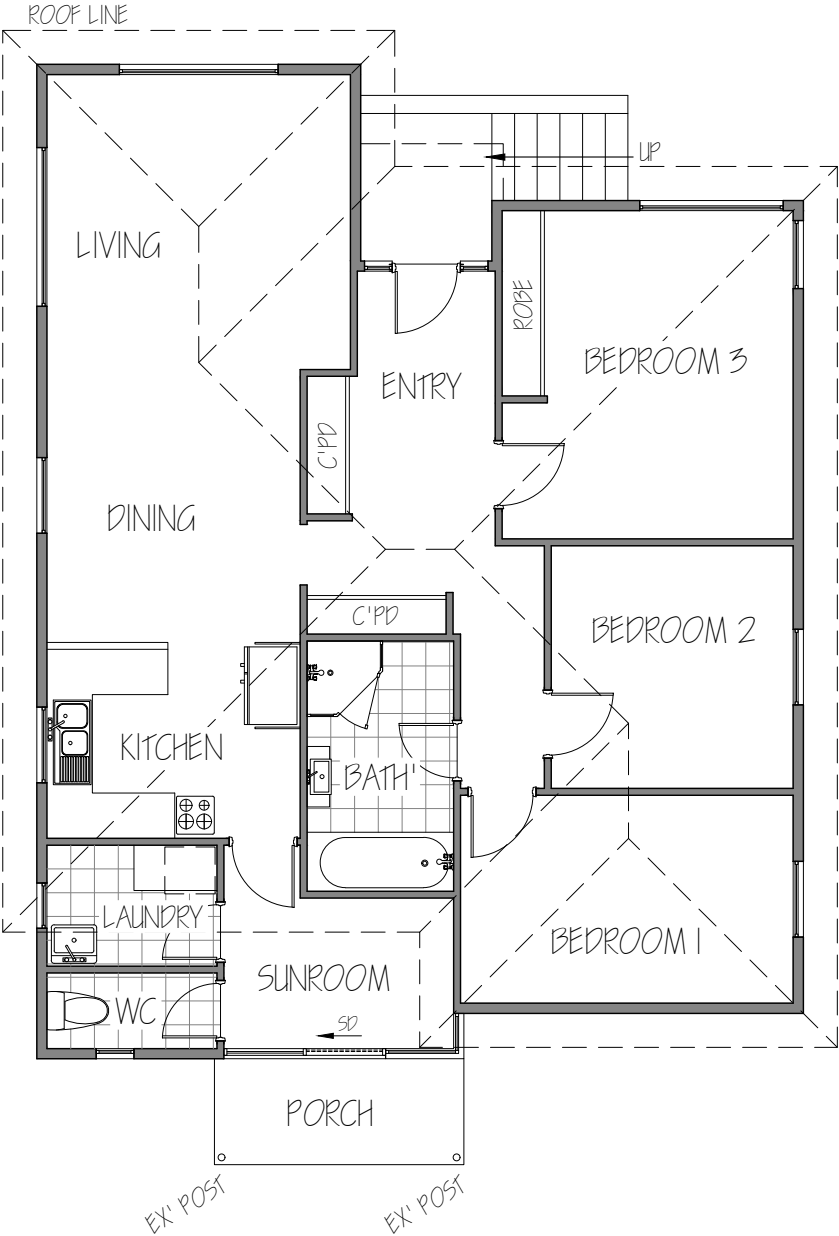
PROPOSED SITE PLAN 1: 200



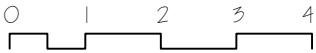
AREA:	
Existing Dwelling	= 118.72m ²
Proposed Addition	= 25.85m ²
Proposed Studio	= 24.00m ²
Proposed Shed	= 13.50m ²
Total	= 182.07m ²
Site Coverage	= 35%



NOTES: * Do not scale the drawings. * Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer. * Materials / workmanship to comply with AS codes, BCA & relevant regulations. Copyright © 2025 "This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."	REVISION NOTES			G.Hills&Partners ARCHITECTS PO Box 910, KINGSTON, TAS 7051 P 03 6229 1799 E graham.hills@bigpond.com Building Designer Accreditation No. CC2367B	Project Name and Address PROPOSED ADDITION & MODIFICATIONS 64A Coleman St, MOONAH	Drawing Title PROPOSED SITE PLAN Client A. Bradley & J. Bootsma	DRAWING TYPE Design Dev' Drawings		PROJECT No. 22520	
	No.	Revision/Issue	Date				Date 8-May-25	SHEET DD02	CHECKED G. HILLS	
							Scale 1:200	Size A3	DESIGN G. HILLS	
									DRAWN M. Kamankesh	



EXISTING FLOOR PLAN



AREA:
Existing Area = 118.72m²

1:100



NOTES:
* Do not scale the drawings.
* Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
* Materials / workmanship to comply with AS codes, BCA & relevant regulations.

Copyright © 2025
"This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."

REVISION NOTES		
No.	Revision/Issue	Date

G.Hills&PartnersARCHITECTS

PO Box 910, KINGSTON, TAS 7051
P 03 6229 1799 E graham.hills@bigpond.com
Building Designer Accreditation No. CC2367B

Project Name and Address

PROPOSED ADDITION & MODIFICATIONS

64A Coleman St, MOONAH

Drawing Title

EXISTING FLOOR PLAN

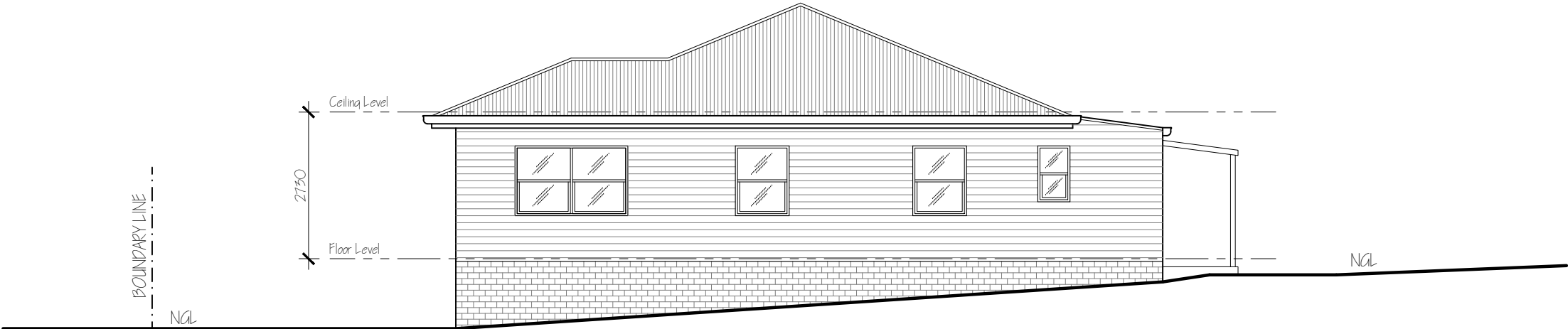
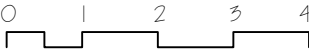
Client

A. Bradley & J. Bootsma

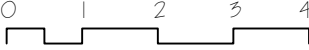
DRAWING TYPE		PROJECT No.	
Design Dev' Drawings		22520	
Date		SHEET	DD03
8-May-25		CHECKED	G. HILLS
Scale	Size	DESIGN	G. HILLS
1:100	A3	DRAWN	M. Kamankesh



NORTHEAST ELEVATION 1:100



NORTHWEST ELEVATION 1:100



NOTES:
* Do not scale the drawings.
* Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
* Materials / workmanship to comply with AS codes, BCA & relevant regulations.

Copyright © 2025
"This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."

REVISION NOTES		
No.	Revision/Issue	Date

G.Hills

Partners

ARCHITECTS

PO Box 910, KINGSTON, TAS 7051

P 03 6229 1799 E graham.hills@bigpond.com

Building Designer Accreditation No. CC2367B

Project Name and Address
PROPOSED ADDITION & MODIFICATIONS
64A Coleman St, MOONAH

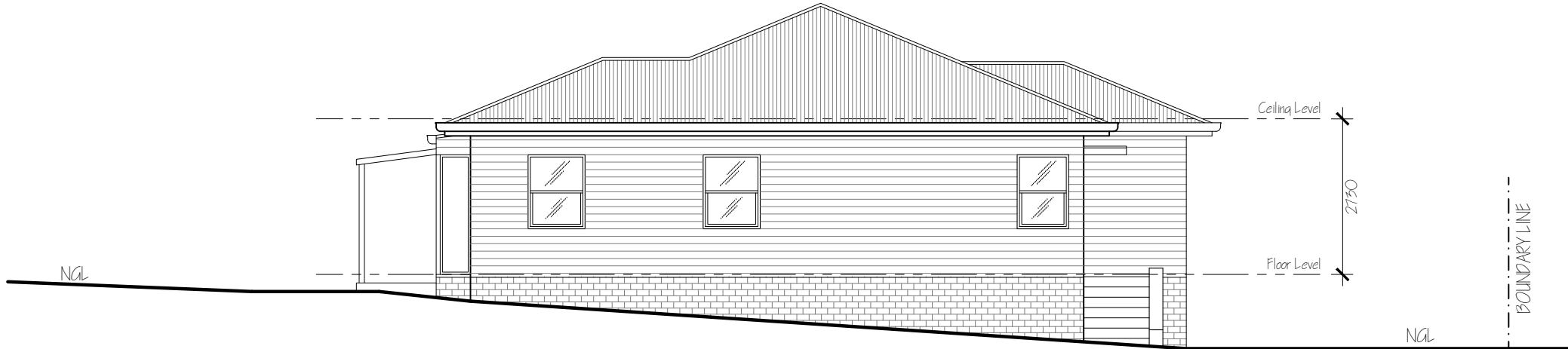
Drawing Title
EXISTING ELEVATIONS 1
Client
A. Bradley & J. Bootsma

DRAWING TYPE		PROJECT No.	
Design Dev' Drawings		22520	
Date	8-May-25	SHEET	DD04
Scale	1:100	CHECKED	G. HILLS
Size	A3	DESIGN	G. HILLS
		DRAWN	M. Kamankesh



SOUTHWEST ELEVATION 1:100

0 1 2 3 4



SOUTHEAST ELEVATION 1:100

0 1 2 3 4

NOTES:
* Do not scale the drawings.
* Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
* Materials / workmanship to comply with AS codes, BCA & relevant regulations.

Copyright © 2025
"This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."

REVISION NOTES		
No.	Revision/Issue	Date

G.Hills

&Partners

ARCHITECTS

PO Box 910, KINGSTON, TAS 7051

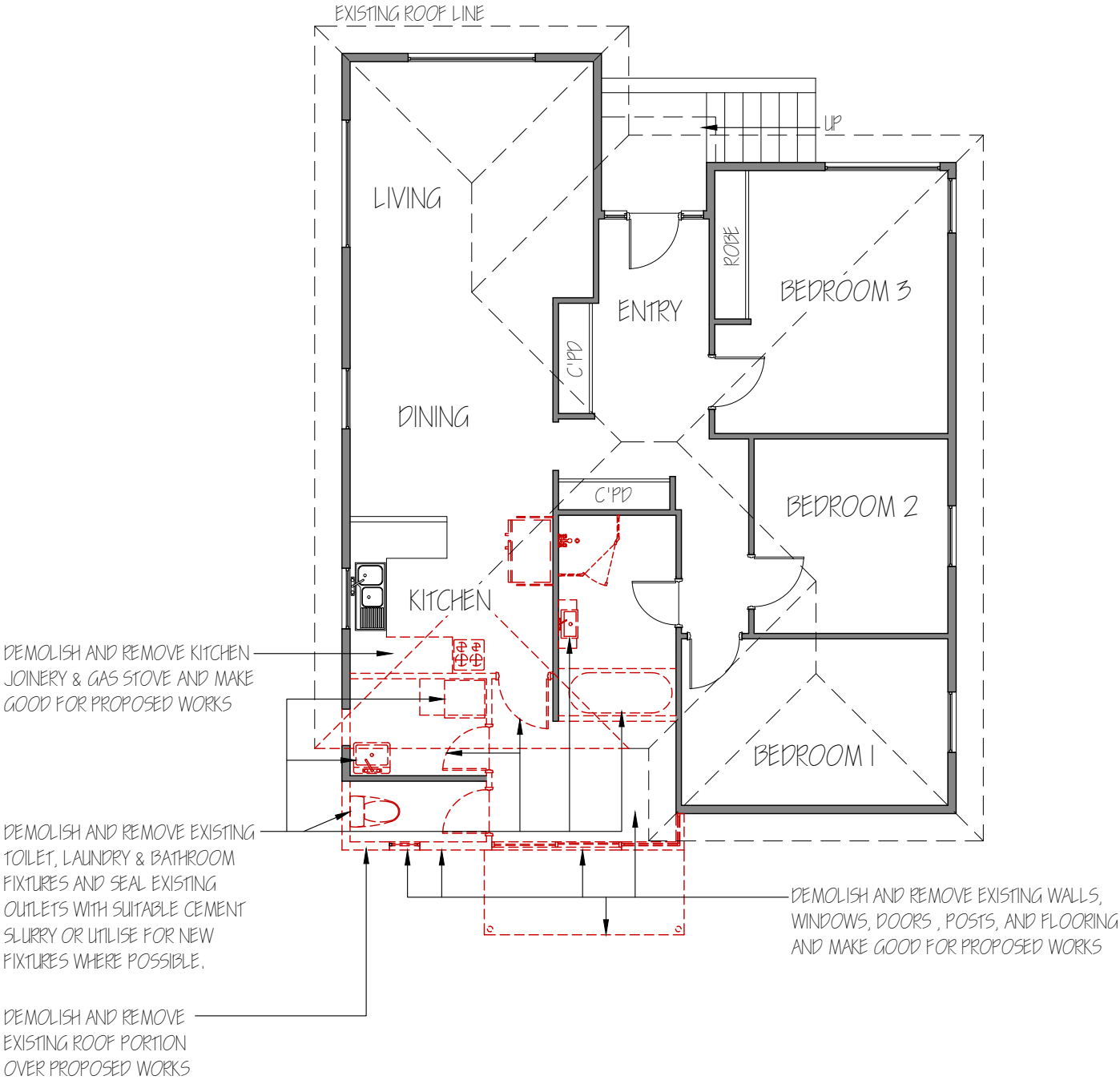
P 03 6229 1799 E graham.hills@bigpond.com

Building Designer Accreditation No. CC2367B

Project Name and Address
PROPOSED ADDITION & MODIFICATIONS
64A Coleman St, MOONAH

Drawing Title
EXISTING ELEVATIONS 2
Client
A. Bradley & J. Bootsma

DRAWING TYPE Design Dev' Drawings		PROJECT No. 22520	
Date	8-May-25	SHEET	DD05
Scale	1:100	CHECKED	G. HILLS
Size	A3	DESIGN	G. HILLS
		DRAWN	M. Kamankesh



DEMOLITION FLOOR PLAN

1: 100

0 1 2 3 4



NOTES:
* Do not scale the drawings.
* Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
* Materials / workmanship to comply with AS codes, BCA & relevant regulations.

Copyright © 2025
"This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."

REVISION NOTES		
No.	Revision/Issue	Date

G.Hills&Partners

ARCHITECTS

PO Box 910, KINGSTON, TAS 7051
P 03 6229 1799 E graham.hills@bigpond.com
Building Designer Accreditation No. CC2367B

Project Name and Address

PROPOSED ADDITION & MODIFICATIONS

64A Coleman St, MOONAH

Drawing Title

DEMOLITION FLOOR PLAN

Client

A. Bradley & J. Bootsma

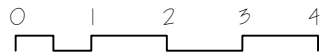
DRAWING TYPE		PROJECT No.	
Design Dev' Drawings		22520	
Date	8-May-25	SHEET	DD06
Scale	1:100	CHECKED	G. HILLS
Size	A3	DESIGN	G. HILLS
		DRAWN	M. Kamankesh

WINDOW & DOOR SCHEDULE

	HEIGHT	WIDTH	DESCRIPTION
W1	600	1000	AWNING - HIGHLIGHT
W2	600	2400	AWNING - HIGHLIGHT
W3	600	1800	FIXED - HIGHLIGHT
W4	1000	1200	AWNING
W5	1000	600	AWNING
W6	1500	900	AWNING
D1	2100	3600	DUAL SLIDING DOOR
D2	2100	2400	SLIDING DOOR

NOTE: ALUMINIUM WINDOW AND DOOR GLAZING SHALL BE DOUBLE GLAZED THROUGHOUT.

PROPOSED FLOOR PLAN



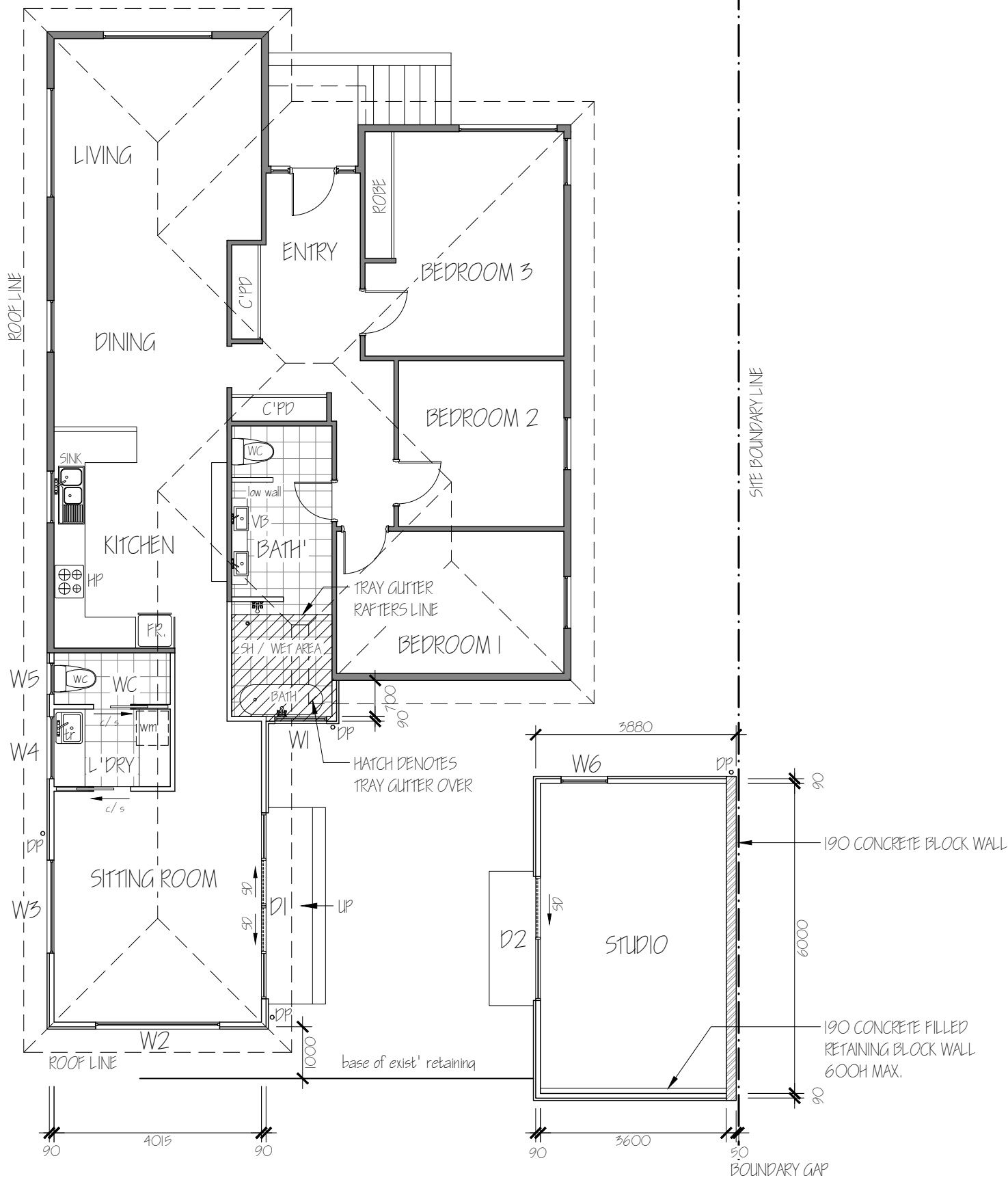
AREA:

Proposed Addition	= 25.85m ²
Proposed Studio	= 24.00m ²
Total	= 49.85m ²

1:100

EXISTING DWELLING

SITE BOUNDARY LINE



NOTES:
* Do not scale the drawings.
* Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
* Materials / workmanship to comply with AS codes, BCA & relevant regulations.

Copyright © 2025
"This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."

REVISION NOTES		
No.	Revision/Issue	Date

G.Hills&Partners

ARCHITECTS

PO Box 910, KINGSTON, TAS 7051
P 03 6229 1799 E graham.hills@bigpond.com
Building Designer Accreditation No. CC2367B

Project Name and Address

PROPOSED ADDITION & MODIFICATIONS

64A Coleman St, MOONAH

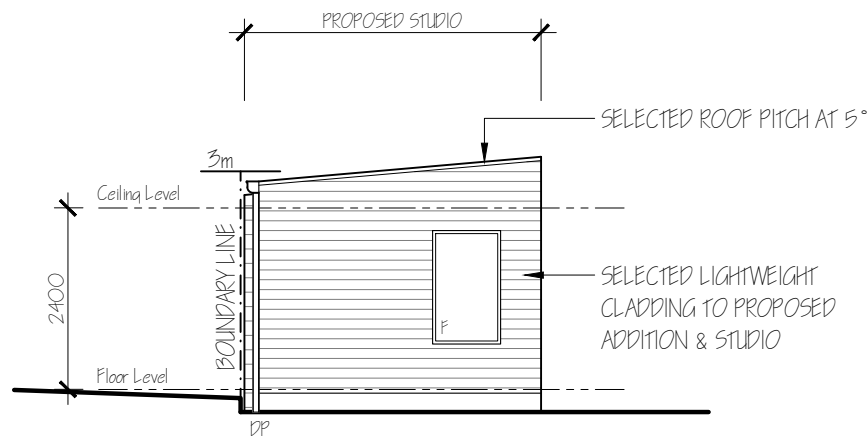
Drawing Title

PROPOSED FLOOR PLAN

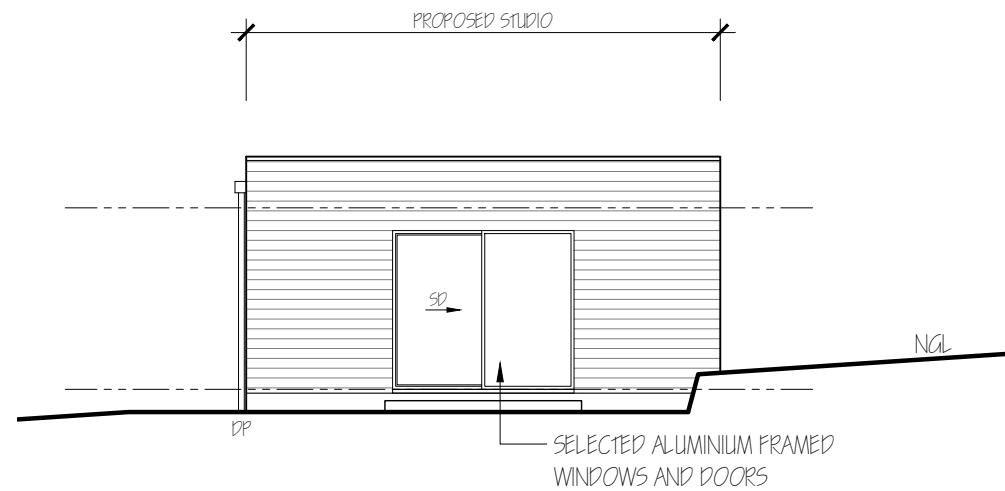
Client

A. Bradley & J. Bootsma

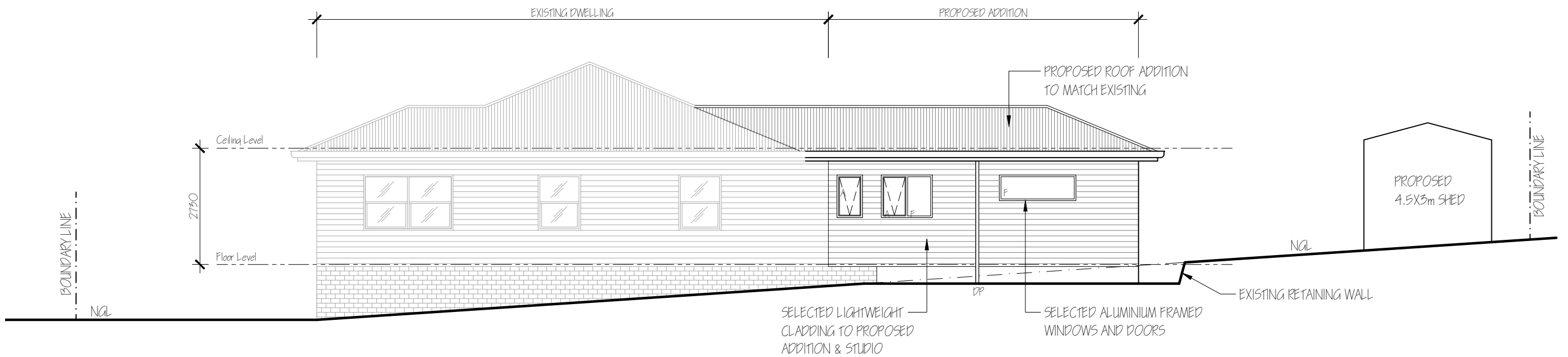
DRAWING TYPE		PROJECT No.	
Design Dev' Drawings		22520	
Date	8-May-25	SHEET	DD07
Scale	1:100	CHECKED	G. HILLS
Size	A3	DESIGN	G. HILLS
		DRAWN	M. Kamankesh



NORTHEAST ELEVATION 1:100



NORTHWEST ELEVATION 1:100



NORTHWEST ELEVATION 1:100

NOTES: * Do not scale the drawings. * Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer. * Materials / workmanship to comply with AS codes, BCA & relevant regulations. Copyright © 2025 "This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."	REVISION NOTES		
	No.	Revision/Issue	Date

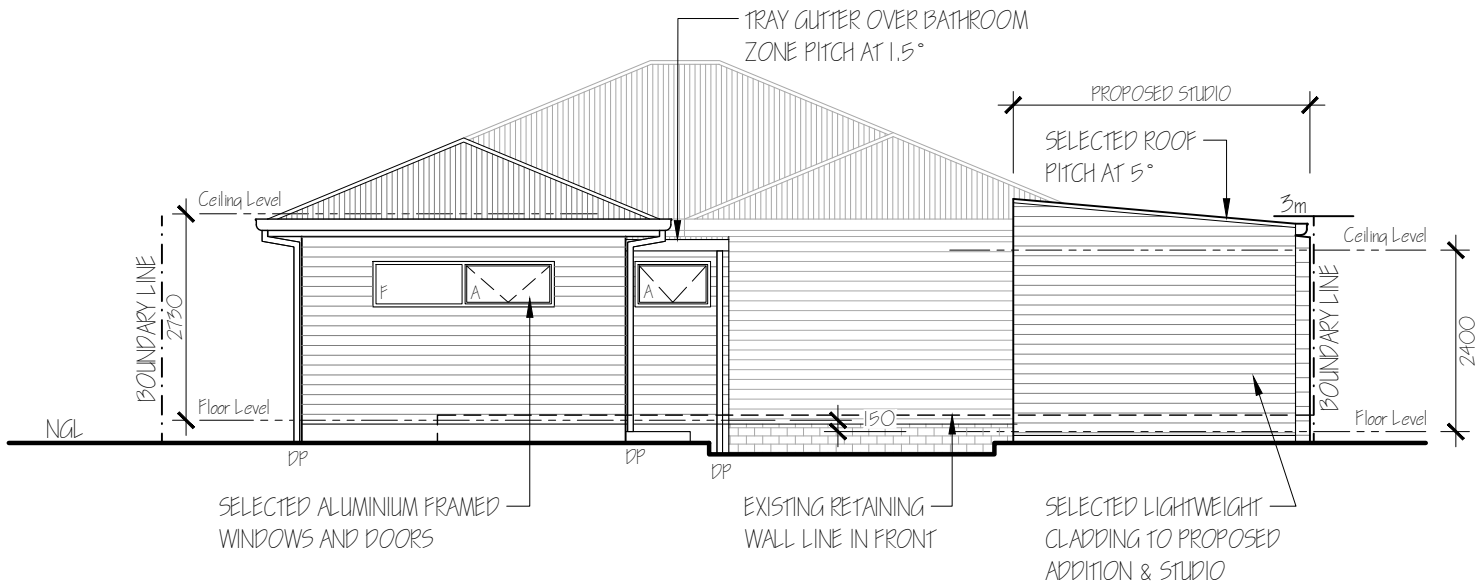
G.Hills&Partners ARCHITECTS

PO Box 910, KINGSTON, TAS 7051
P 03 6229 1799 E graham.hills@bigpond.com
Building Designer Accreditation No. CC2367B

Project Name and Address
PROPOSED ADDITION & MODIFICATIONS
64A Coleman St, MOONAH

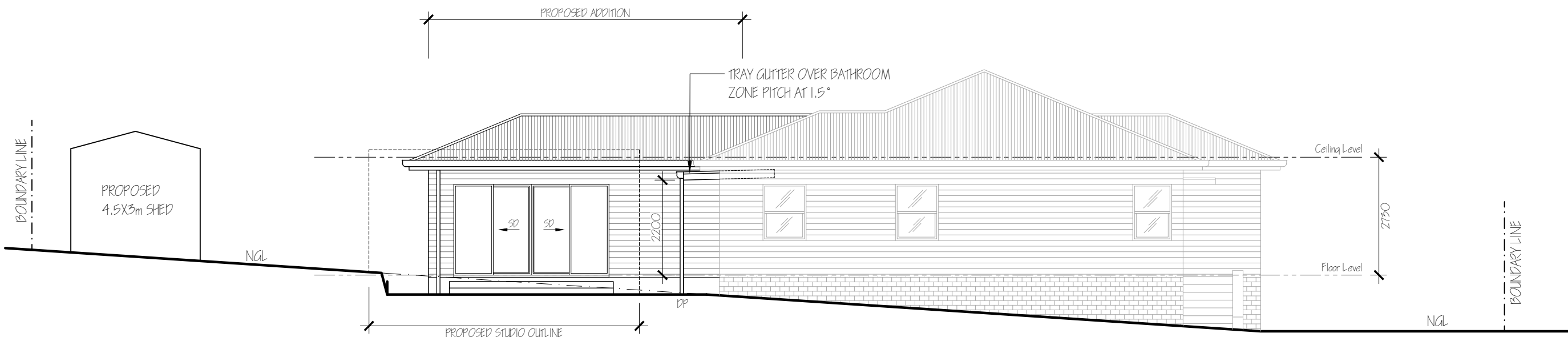
Drawing Title
PROPOSED ELEVATIONS 1
Client
A. Bradley & J. Bootsma

DRAWING TYPE Design Dev' Drawings		PROJECT No. 22520	
Date	8-May-25	SHEET	DD08
Scale	1:100	CHECKED	G. HILLS
Size	A3	DESIGN	G. HILLS
		DRAWN	M. Kamankesh



SOUTHWEST ELEVATION 1:100

0 1 2 3 4



SOUTHEAST ELEVATION 1:100

0 1 2 3 4

NOTES:
* Do not scale the drawings.
* Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
* Materials / workmanship to comply with AS codes, BCA & relevant regulations.

Copyright © 2025
"This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."

REVISION NOTES		
No.	Revision/Issue	Date

G.Hills&Partners

ARCHITECTS

PO Box 910, KINGSTON, TAS 7051

P 03 6229 1799 E graham.hills@bigpond.com

Building Designer Accreditation No. CC2367B

Project Name and Address

PROPOSED ADDITION & MODIFICATIONS

64A Coleman St, MOONAH

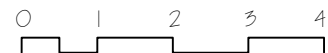
Drawing Title

PROPOSED ELEVATIONS 2

Client

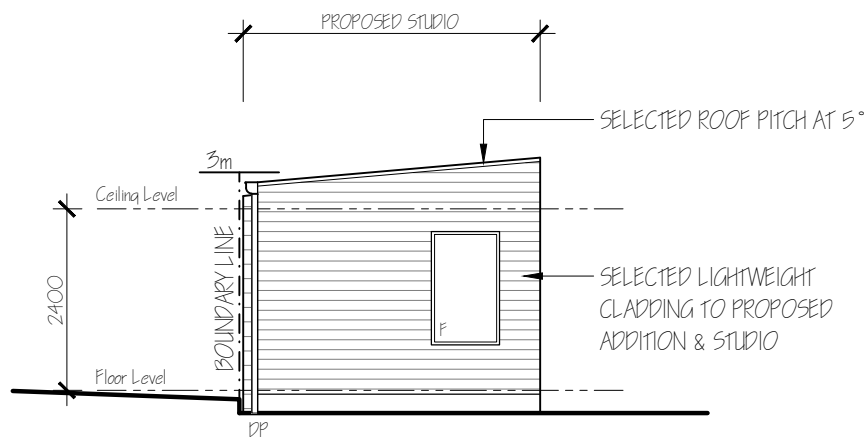
A. Bradley & J. Bootsma

DRAWING TYPE Design Dev' Drawings		PROJECT No. 22520	
Date	8-May-25	SHEET	DD09
Scale	1:100	CHECKED	G. HILLS
Size	A3	DESIGN	G. HILLS
		DRAWN	M. Kamankesh

--- · · · ---
SITE BOUNDARY LINE

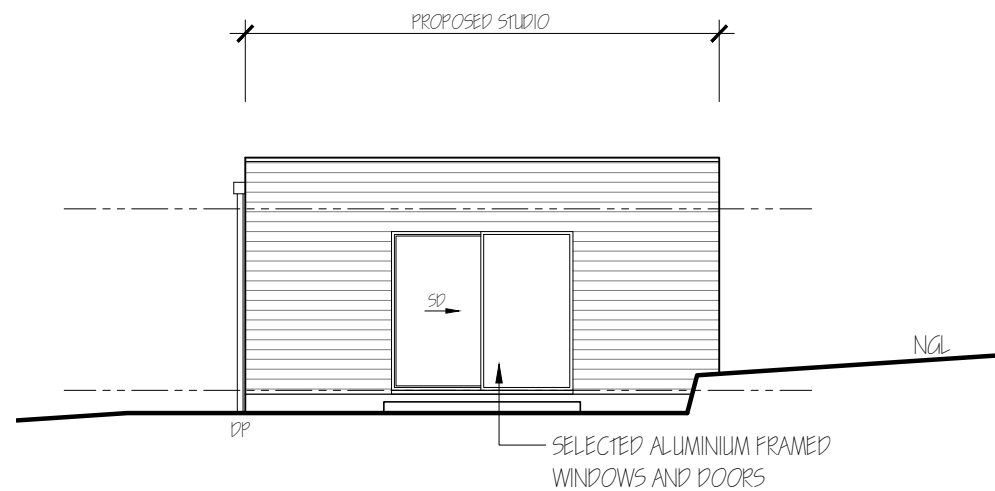
BOUNDARY GUTTER ON WALL

DRAWING TYPE Design Dev' Drawings		PROJECT No. 22520	
Date 8-May-25		SHEET	DD10
		CHECKED	G. HILLS
Scale 1:100	Size A3	DESIGN	G. HILLS
		DRAWN	M. Kamankesh



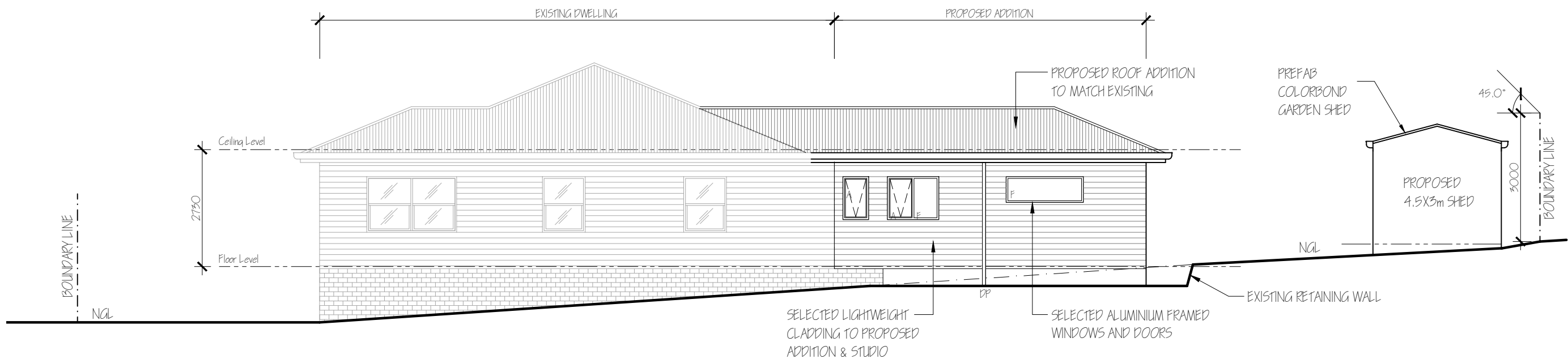
NORTHEAST ELEVATION 1:100

0 1 2 3 4



NORTHWEST ELEVATION 1:100

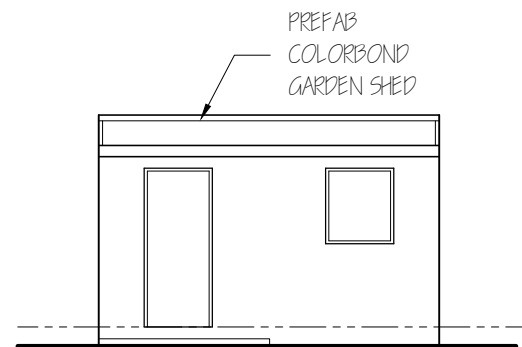
0 1 2 3 4



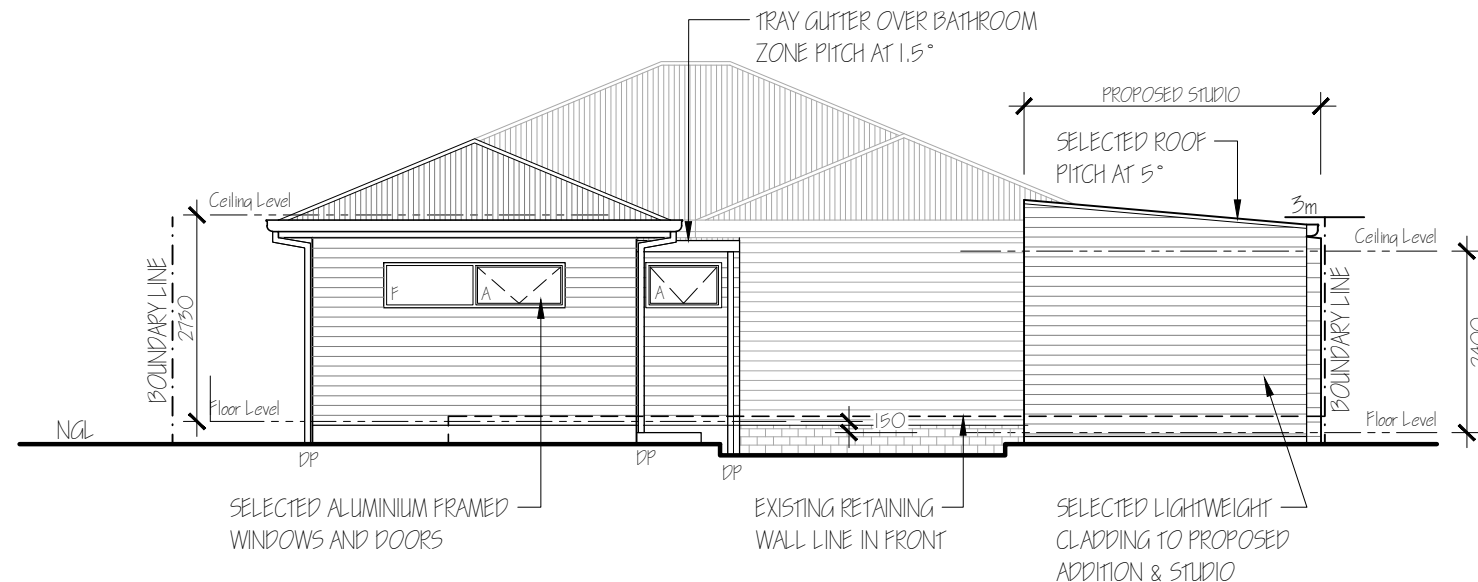
NORTHWEST ELEVATION 1:100

0 1 2 3 4

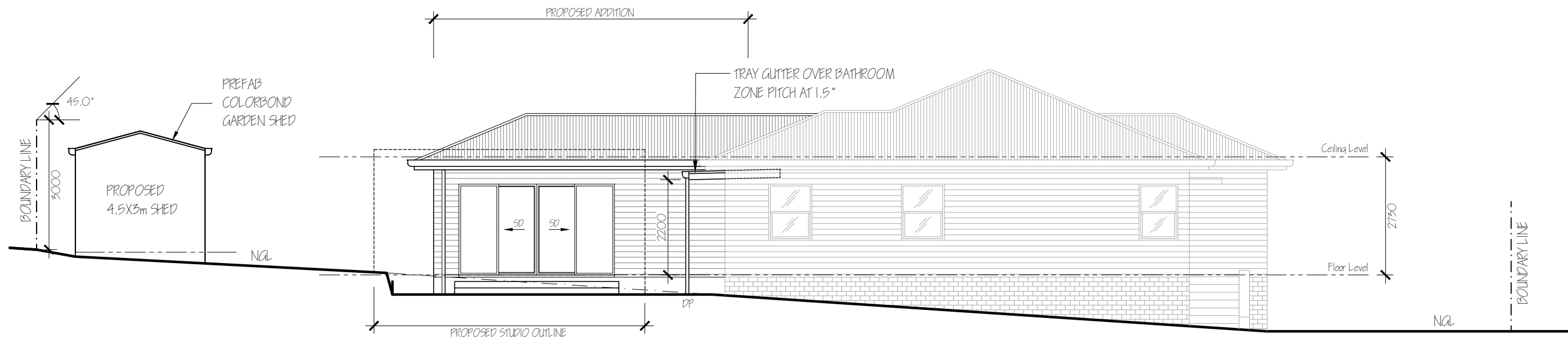
NOTES: * Do not scale the drawings. * Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer. * Materials / workmanship to comply with AS codes, BCA & relevant regulations. Copyright © 2025 This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. The document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited.	REVISION NOTES			G.Hills&Partners ARCHITECTS PO Box 910, KINGSTON, TAS 7051 P 03 6229 1799 E graham.hills@bigpond.com Building Designer Accreditation No. CC2367B	Project Name and Address PROPOSED ADDITION & MODIFICATIONS 64A Coleman St, MOONAH	Drawing Title PROPOSED ELEVATIONS 1 Client A. Bradley & J. Bootsma	DRAWING TYPE Design Dev' Drawings		PROJECT No. 22520	
	No.	Revision/Issue	Date				Date 22-Oct-25		SHEET DD08	G. HILLS G. HILLS M. Kamankesh
	B	Shed Elevations	Oct 25				Scale 1:100	Size A3	CHECKED	
									DESIGN	
									DRAWN	



SHED
N/E ELEVATION
1:100



SOUTHWEST ELEVATION
1:100



SOUTHEAST ELEVATION
1:100

NOTES: Do not scale the drawings. Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer. Materials / workmanship to comply with AS codes, BCA & relevant regulations. Copyright © 2025 This document is, and shall remain, the property of G HILLS & PARTNERS ARCHITECTS. the document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. unauthorised use of the document in any way is prohibited."	REVISION NOTES			G.Hills&Partners ARCHITECTS PO Box 910, KINGSTON, TAS 7051 P 03 6229 1799 E graham.hills@bigpond.com Building Designer Accreditation No. CC2367B	Project Name and Address PROPOSED ADDITION & MODIFICATIONS 64A Coleman St, MOONAH	Drawing Title PROPOSED ELEVATIONS 2 Client A. Bradley & J. Bootsma	DRAWING TYPE Design Dev' Drawings		PROJECT No. 22520		
	No.	Revision/Issue	Date				Date	22-Oct-25		SHEET	DD09
	B	Shed Elevations	Oct 25				Scale 1:100	Size A3	CHECKED	G. HILLS	
									DESIGN	G. HILLS	
									DRAWN	M. Kamankesh	