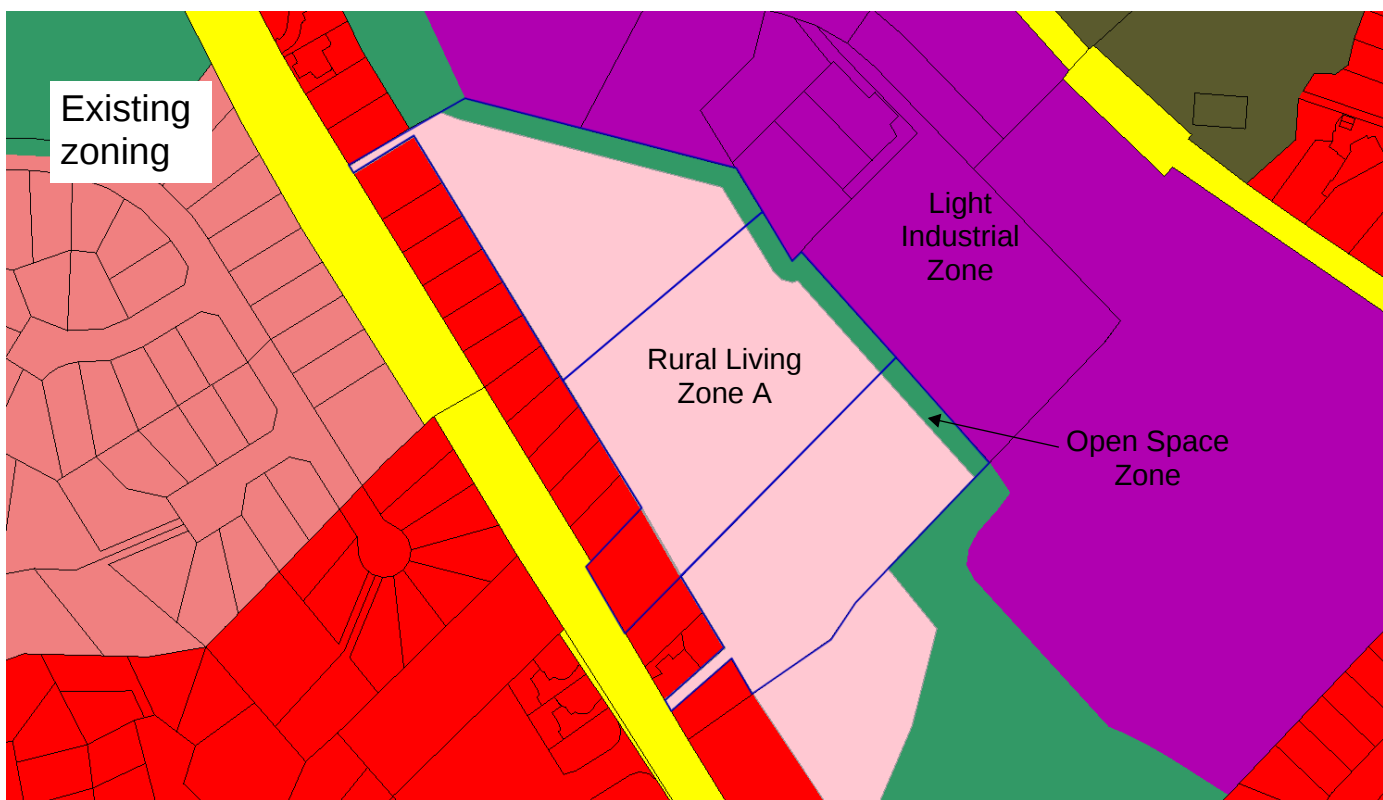




Site Plan - 43 multiple dwellings - 271 Main Road, Austins Ferry with associated works in the road reserve and at 273 Main Road, Austins Ferry



**GLENORCHY LOCAL PROVISIONS SCHEDULE
AMENDMENT PLAM-24/02**

The Glenorchy Local Provisions Schedule is amended as follows:

Land affected by this amendment: 263, 271 and 293 Main Road, Austins Ferry

The planning scheme maps are amended by:

1. Modifying the zoning maps, as shown in the image below, to include 263, 271 and 293 Main Road, Austins Ferry in a General Residential Zone.

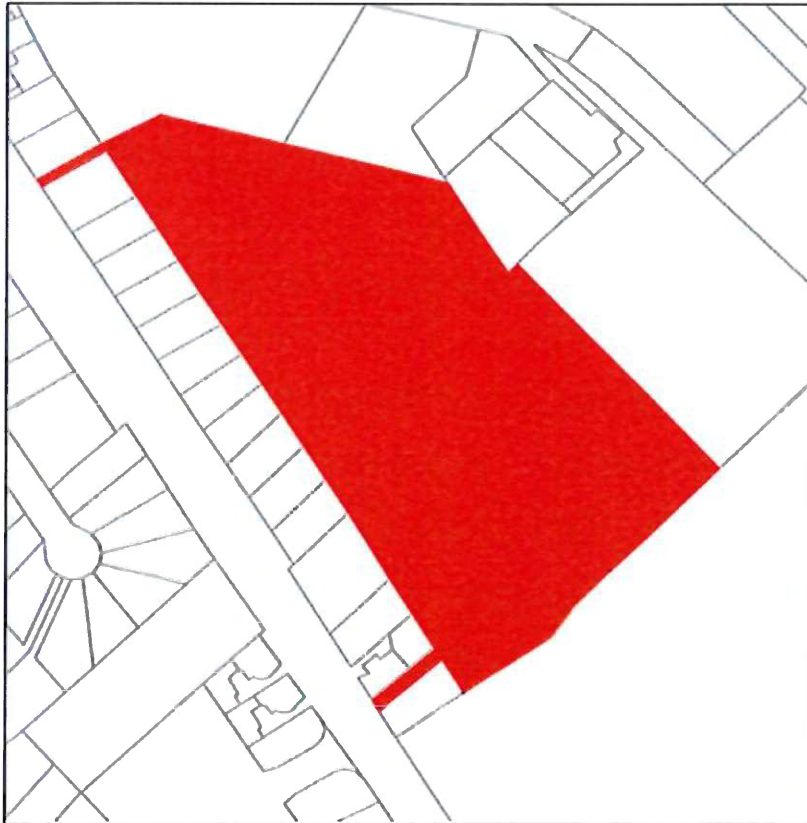


Figure 1 - Zoning map

2. Modifying the general overlay map, as shown in the images below, to include the GLE-S15.0 Ten Mile Ridge Specific Area Plan in the Specific Area Plan layer and S15.2.3 Precincts 1, 2 and 3 in the Precincts and Defined Areas layer.

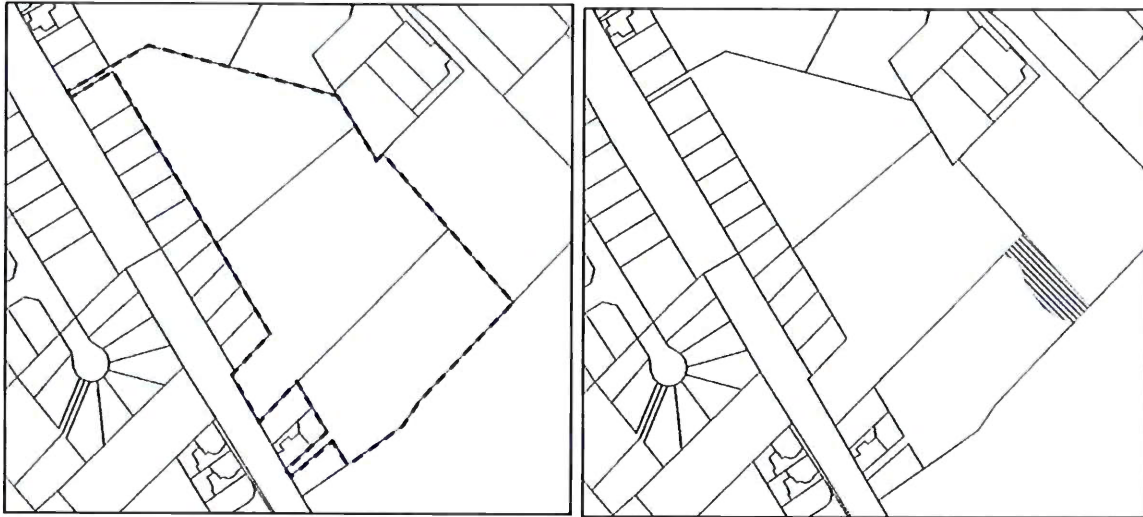


Figure 2 – Specific Area Plan layer (left) and Precincts and Defined Areas layer – Precinct 1 (right)

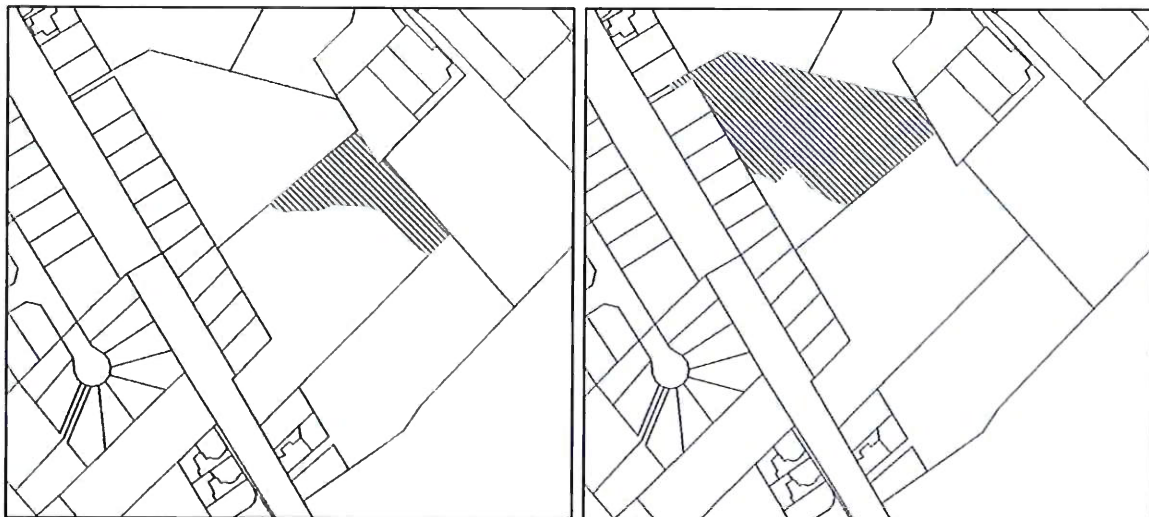


Figure 3 – Precincts and Defined Areas layer – Precinct 2 (left) and Precinct 3 (right)

The planning scheme ordinance is amended by:

1. Including the Ten Mile Ridge Specific Area Plan, as shown in Annexure 1, in the Glenorchy Local Provisions Schedule.



In witness whereof the common seal of Glenorchy

City Council has been affixed on the day of

2025 as authorised by Council in the presence of:

Council Delegate

GLENORCHY CITY COUNCIL

CERTIFICATION OF DRAFT AMENDMENT UNDER SECTION 40F OF THE LAND USE PLANNING AND APPROVALS ACT 1993

The Planning Authority has prepared the attached draft amendment, Amendment PLAM-24/02, to the Glenorchy Local Provisions Schedule.

The Planning Authority:

- has determined that it is satisfied that the draft amendment meets the LPS Criteria specified in Section 34 of the Land Use Planning and Approvals Act 1993 (LUPAA), and
- in accordance with Section 40F(2) of LUPAA, certifies that the draft amendment meets those requirements.



In witness whereof the common seal of Glenorchy
City Council has been affixed on the

day of 2025 as

authorised by Council in the presence of:

Council Delegate

Annexure 1

GLE-S15.0 Ten Mile Ridge Specific Area Plan

GLE-S15.1 Plan Purpose

The purpose of the Ten Mile Ridge Specific Area Plan is:

GLE-S15.1.1 To minimise the potential for sensitive uses in the General Residential Zone to conflict with or constrain industrial activities that generate noise in the Light Industrial Zone at Whitestone Drive, Granton.

GLE-S15.1.2 To protect the health, safety and amenity of occupants of sensitive uses in proximity to the Light Industrial Zone by mitigating the impacts of noise emissions.

GLE-S15.2 Application of this Plan

GLE-S15.2.1 This specific area plan applies to the area of land designated as GLE-S15.0 Ten Mile Ridge Specific Area Plan on the overlay maps and in Figure GLE-S15.1.

GLE-S15.2.2 In the area of land this plan applies to, the provisions of the specific area plan are in addition to the provisions of the:

- (a) General Residential Zone; and
 - (b) Attenuation Code,
- as specified in the relevant provision.

GLE-S15.2.3 The specific area plan is divided into the following precincts:

- (a) Precinct 1
- (b) Precinct 2
- (c) Precinct 3

GLE-S15.2.4 The extent of each precinct is shown in Figure GLE-S15.1.

GLE-S15.3 Local Objectives

This sub-clause is not used in this specific area plan.

GLE-S15.4 Definition of Terms

This sub-clause is not used in this specific area plan.

GLE-S15.5 Use Table

This sub-clause is not used in the specific area plan.

GLE-S15.6 Use Standards

GLE-S15.6.1 Use Standards for Sensitive Use

This sub-clause is in addition to General Residential Zone – Clause 8.3 Use Standards and C9.0 Attenuation Code - Clause C9.5.2 Sensitive use within an attenuation area.

Objective:	
To prevent sensitive use from unreasonably interfering with or constraining activities that generate noise emissions in the Light Industrial Zone at Whitestone Drive, Granton.	
Acceptable Solution	Performance Criteria
A1 A sensitive use in Precinct 1 or Precinct 2 must include an acoustic fence: (a) constructed as a continuous mass barrier using a panel system; (b) capable of achieving a sound transmission loss of not less than 20 dB at frequencies from the 125 Hz 1/1-octave band and above; (c) built to the height specified in Figure GLE-S15.1 along the boundary or boundaries of the site as shown; and (d) with a minimum height of 2.1 metres above existing ground level.	P1 A sensitive use on land in Precinct 1 or Precinct 2 must not unreasonably interfere with or constrain an activity in the Light Industrial Zone at Whitestone Drive, Granton, having regard to: (a) measures in the design, layout and construction of the development for the sensitive use to eliminate, mitigate or manage effects of noise emissions; (b) the type, intensity and frequency of existing or likely noise emissions from industrial activities; (c) the separation distance between the sensitive use and noise sources; (d) the site and surrounding topography; and (e) recommendations of an acoustic report prepared by a suitably qualified person.
A2 Sensitive use on land in Precinct 3 is only permitted if it is for: (a) a non-habitable building; or (b) alterations or additions to an existing building used for a sensitive use, provided the gross floor area does not increase by more than 50% or 100m ² , whichever is the greater, from that existing at the effective date of this Specific Area Plan.	P2 There is no Performance Criterion for this standard.

GLE-S15.7 Development Standards

GLE-S15.7.1 Development for Sensitive Use

This sub-clause is in addition to General Residential Zone – Clause 8.4 Development Standards for Dwellings.

Objective:	
That development for sensitive use:	
(a) does not unreasonably interfere with, or constrain, the operation of activities in the Light Industrial Zone at Whitestone Drive, Granton; and (b) achieves a reasonable level of amenity.	
Acceptable Solution	Performance Criteria
A1 A habitable room for a sensitive use in Precinct 1 or Precinct 2 must have a finished floor level at or below RL 28.5 AHD.	P1 A habitable room for a sensitive use with a finished floor level above RL 28.5 AHD must be sited and designed to achieve a reasonable level of amenity and avoid unreasonably interfering with, or constraining, activities on land in the Light Industrial Zone at Whitestone Drive, Granton, having regard to: (a) the siting, layout and construction of habitable rooms to minimise exposure to environmental noise; (b) the type, intensity and frequency of existing or likely noise emissions from activities in the Light Industrial Zone; (c) the effectiveness of acoustic treatments incorporated into the design; and (d) the recommendations of an environmental noise report prepared by a suitably qualified person.

A2 Private open space areas for a sensitive use in Precinct 1 or Precinct 2 must not have a finished surface level above RL 28.5 AHD.	P2 Private open space for a sensitive use with a finished surface level above RL 28.5 AHD must be located and designed to achieve a reasonable level of amenity and avoid unreasonably interfering with, or constraining, activities on land in the Light Industrial Zone at Whitestone Drive, Granton, having regard to: (a) the siting, layout, orientation and screening of private open space to reduce exposure to environmental noise; (b) the type, intensity and frequency of existing or likely noise emissions from activities in the Light Industrial Zone; (c) the proximity of the private open space to noise sources; (d) any acoustic barriers or other physical measures proposed to mitigate noise impacts; (e) the recommendations of an environmental noise assessment prepared by a suitably qualified person.
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GLE-S15.8 Development Standards for Subdivision

GLE-S15.8.1 Lot Design

This sub-clause is in addition to General Residential Zone – Clause 8.6 Development Standards for Subdivision and in addition to Clause 9.6 Development Standards for Subdivision in C9.0 Attenuation Code – Clause 9.6.1 Lot Design.

Objective:
To provide for subdivision so that a lot intended for a sensitive use: (a) is located to minimise exposure to activities that generate noise emissions and enable a reasonable level of amenity; and (b) does not conflict with, interfere with, or constrain an existing activity with potential to cause noise emissions.

Acceptable Solution	Performance Criteria
A1 Each lot, or a lot in a plan of subdivision, must: (a) be for the creation of separate lots for existing buildings; or (b) be for the creation of a lot where a building area for a sensitive use can be located entirely outside the area of the Specific Area Plan shown on the overlay maps; or (c) not be for the creation of a lot intended for a sensitive use.	P1 The layout and design of a lot, or a lot proposed in a plan of subdivision, must allow for a sensitive use to be located in a way that achieves a reasonable level of amenity and avoids unreasonably interfering with, or constraining, existing activities on adjacent land in the Light Industrial Zone at Whitestone Drive, Granton, having regard to: (a) the size, shape, orientation and slope of the lot to facilitate the appropriate siting of habitable rooms and private open space; (b) the type, intensity and frequency of existing or likely noise emissions from adjacent industrial activities; (c) the extent to which acoustic mitigation measures can be incorporated through future design and siting of development; and (d) the recommendations of an acoustic assessment prepared by a suitably qualified person.

Acoustic fence follows 26m contour

Boundary

Boundary

Boundary

Acoustic fence follows 26m contour

Scale 1:400

Scale 1:2000

Precinct 1

Precinct 2

Precinct 3

Extent of SAP S5dBA Contour

Extent of SAP S5dBA Contour

MAIN ROAD

299, 297, 293, 291, 289, 287, 285, 283, 281, 279, 277, 275, 273, 271, 269, 267, 265, 263

Point A is located 171.0m from Point B

Acoustic fence height at points B-D-E-F-H at AHD 28.50

Acoustic fence height at points F-F2 at AHD 28.50

For a length of 15m

Acoustic fence height at points F2-G at AHD 30.00

For a length of 5m

Acoustic fence height at points B-C2 at AHD 28.50

For a length of 8m along boundary then changes direction at the 26m contour

Acoustic fence height at points C1-C2 at AHD 30.00

For a length of 36m

Acoustic fence height at points C-C1 at AHD 31.00

For a length of 22m

Acoustic fence to be no lower than 2.1m high and no lower than the indicated AHDs of 28.50, 30.00 & 31.00

2.5m high acoustic fence

2.1m high acoustic fence

Point C is located 85m from point B

Point G is located 30m from point F

Points A-B align the north boundary of 295 Main Road (CT 15144.0/2)

Point's B-D-E-F align the North Eastern boundary of 271 Main Rd (CT 19088/3)

Points F-H align the North Eastern boundary of 263 Main Road (CT 154966/4)

Point A is located 171.0m from Point B