

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-224
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	10 Merton Street Glenorchy
APPLICANT:	Wilson Homes Tasmania Pty Ltd
ADVERTISING START DATE:	18/11/2025
ADVERTISING EXPIRY DATE:	2/12/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **2/12/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **2/12/2025**, or for postal and hand delivered representations, by 5.00 pm on **2/12/2025**.

DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

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TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR		
LIVING		115.53
PORCH		3.48
		119.01 m²

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	NO
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N2 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC3
TOPOGRAPHIC CLASSIFICATION	T1
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	5.00km
ZONING	GENERAL RESIDENTIAL

BUILDING CONTROLS & COMPLIANCE

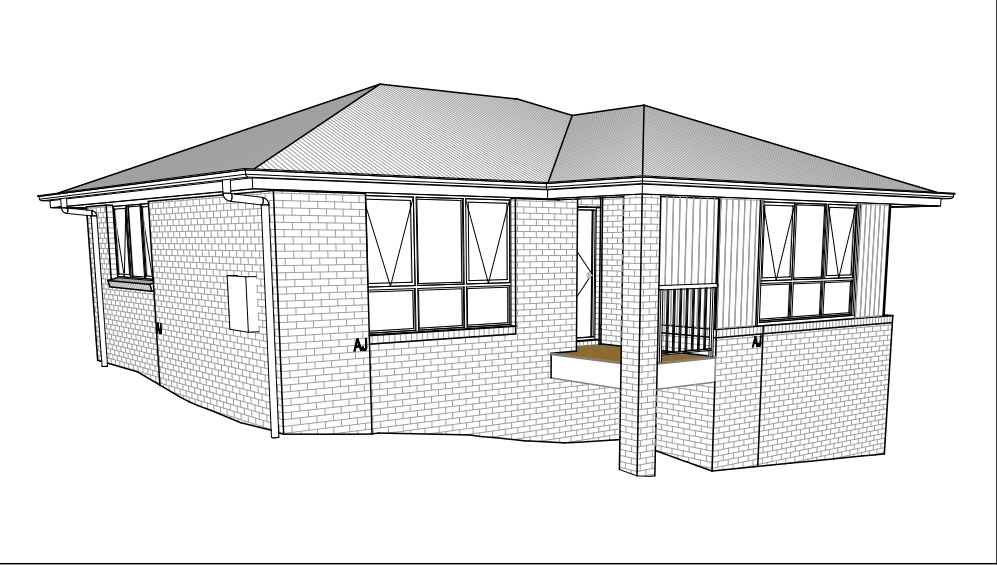
CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	4,761mm
SECONDARY	MIN. 3,000mm	4,605mm
SIDE	MIN. 1,500mm	2,163mm
REAR	MIN. 1,500mm	5,031mm
BULK & SCALE		
SITE AREA	450m²	
SITE COVERAGE	MAX. 50%	26.45%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	929mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

PRELIMINARY PLAN SET

10	PRELIMINARY PLAN SET - PLAN UPDATE AS PER RF2- DRIVEWAY, PRIVACY, VAR REF 005	ALL	2025.11.06	CLG	
9	PRELIMINARY PLAN SET - PLAN UPDATE AS PER RFI-1 DRIVEWAY, PRIVACY	ALL	2025.10.03	CLG	
8	PRELIMINARY PLAN SET -UPDATE	ALL	2025.09.08	HMI	
7	PRELIMINARY PLAN SET - DRIVEWAY UPDATE - AS PER CONSTRUCTION EMAIL	ALL	2025.08.11	RT2	
6	PRELIMINARY PLAN SET - COLOUR AND VARIATION REF.001 UPDATE	ALL	2025.07.30	TNG	CLG
5	PRELIMINARY PLAN SET - UPDATE AS PER ENGINEERING MARKUPS	ALL	2025.07.17	RT2	
4	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.06.21	TDI	DKZ
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)	2445mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	3-PHASE
GAS SUPPLY	BOTTLED LPG
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	LIGHT
WALL MATERIAL	BRICK VENEER CLADDING
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	AIRCELL FOR B&J

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: TBA
ACCESSIBLE SHOWER LOCATION: TBA

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-224

DATE RECEIVED: 06/11/2025

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

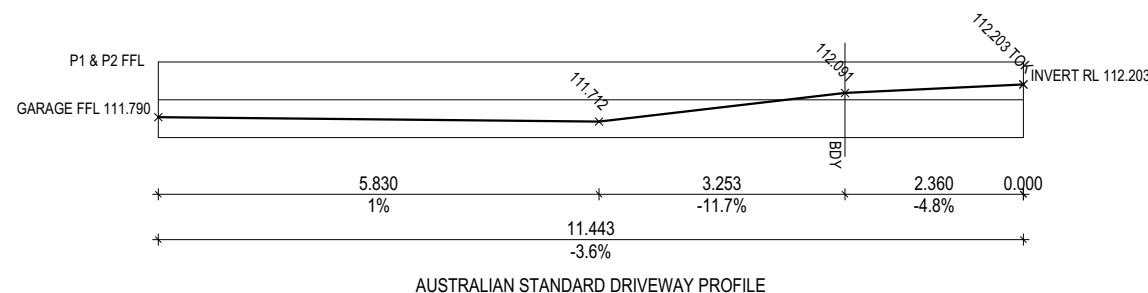
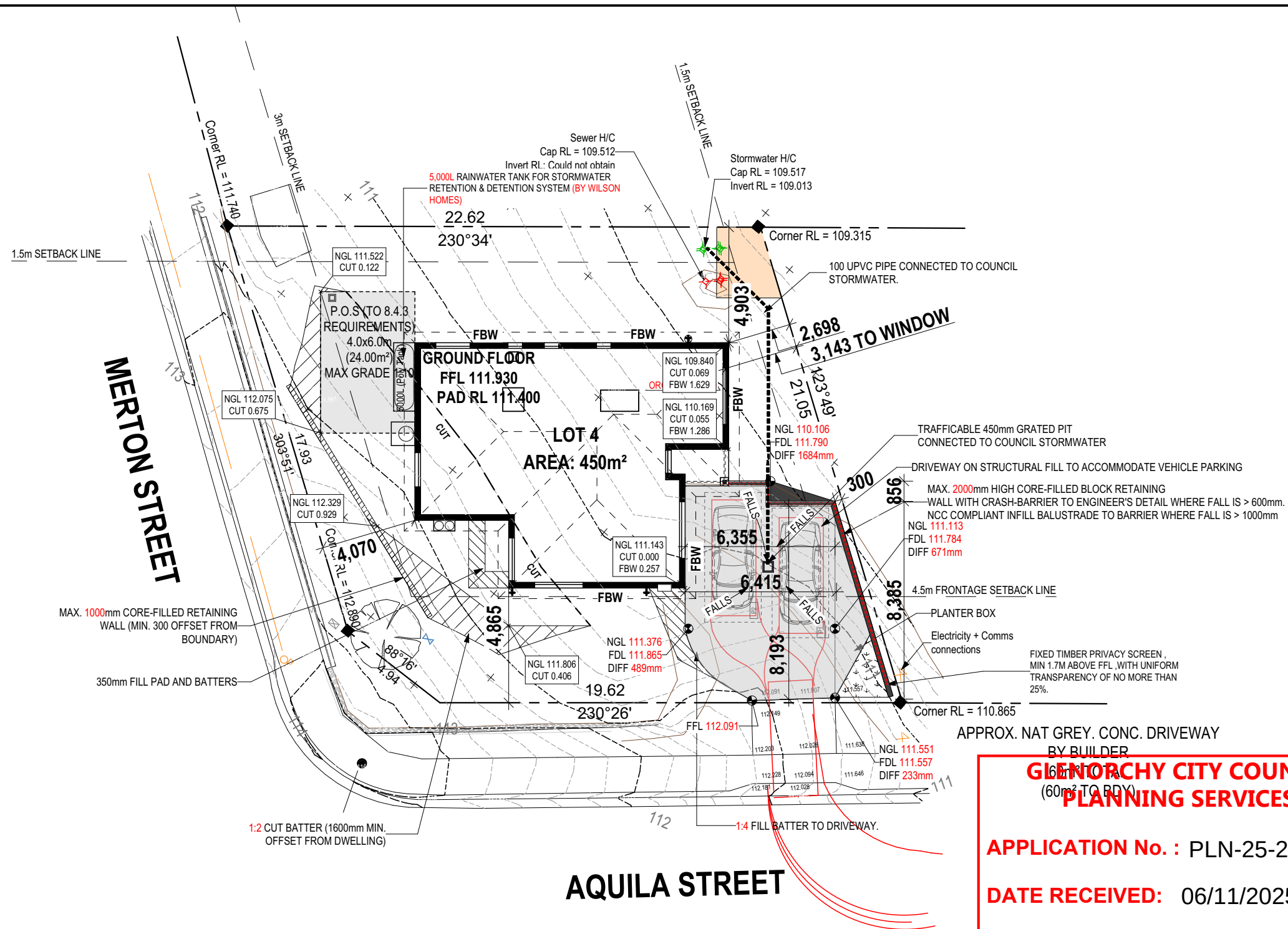


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COPYRIGHT: © 2025	6 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TNG 30/07/2025	DILSHAD SAMRA	ASCOT 12	H-WDCASC10SA	
	7 PRELIM PLANS- DRIVEWAY DETAIL UPDATE	RT2 11/08/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
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	9 PRELIM PLANS- PLANNING RFI	CLG 03/10/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	10 PRELIM PLANS- PLANNING RFI 2	CLG 06.11.2025	4 / - / 187107	GLENORCHY	1 / 16	714272
					SCALES:	
					1:100	

APPROX. CUT/FILL		
CUT	24.90m³	56.03
FILL	1.20m³	2.70
DIFFERENCE	23.70m³	53.33

53 TONNES OF EXPORT FILL

5000L RAINWATER TO BE CONNECTED TO NON-POTABLE WATER FIXTURES WITH THE DWELLING, INCLUDING ONE TOILET CISTERN AND TO GARDEN WATERING TAPS, SO THAT RE-USE OCCURS. TANK TO BE CONNECTED TO RETICULATED WATER SUPPLY SO THAT THE TANK IS TOPPED UP FROM RETICULATED WATER SUPPLY.



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714272

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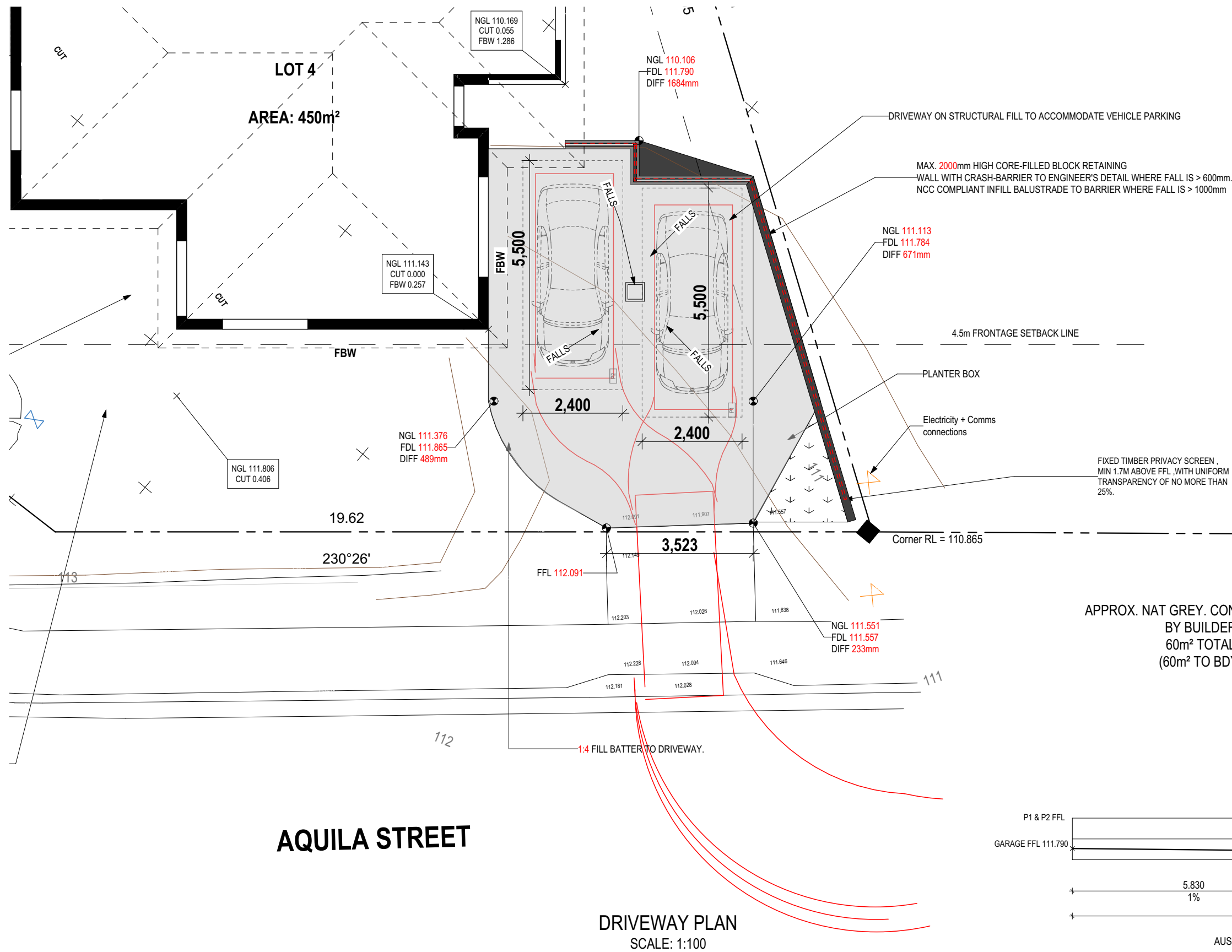
The logo for Wilson Homes, featuring a stylized orange 'W' icon followed by the text 'WILSON' in bold black uppercase letters and 'HOMES' in a lighter grey uppercase font below it.

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	10	PRELIM PLANS- PLANNING RFI 2		CLG	06.11.2025	4 / - / 187107	GLENORCHY	SITE PLAN	2 / 16 1:200	
										714272

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Last Published: Thursday, 6 November 2025 12:13 PM

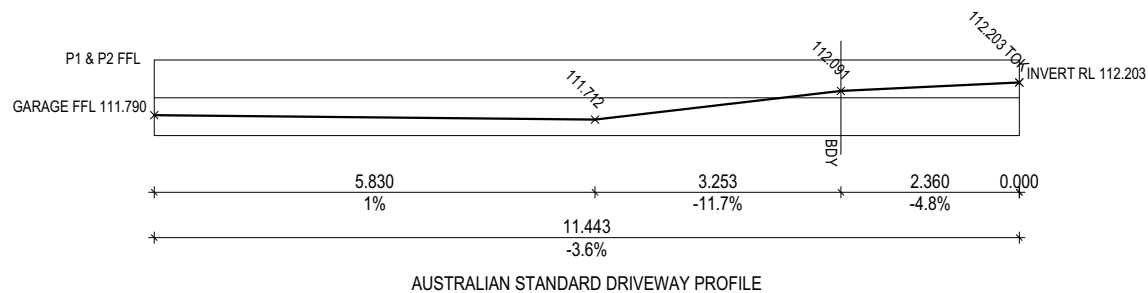
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

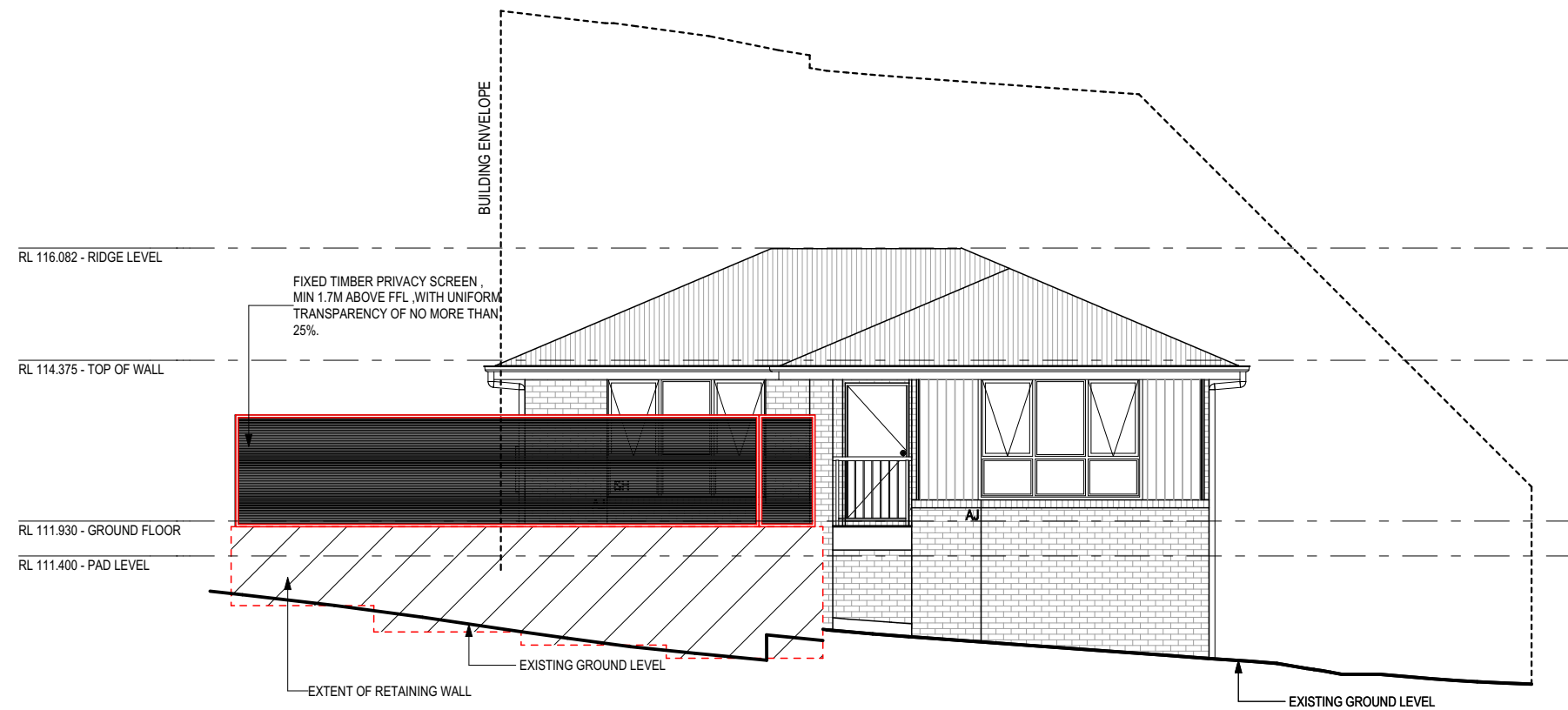
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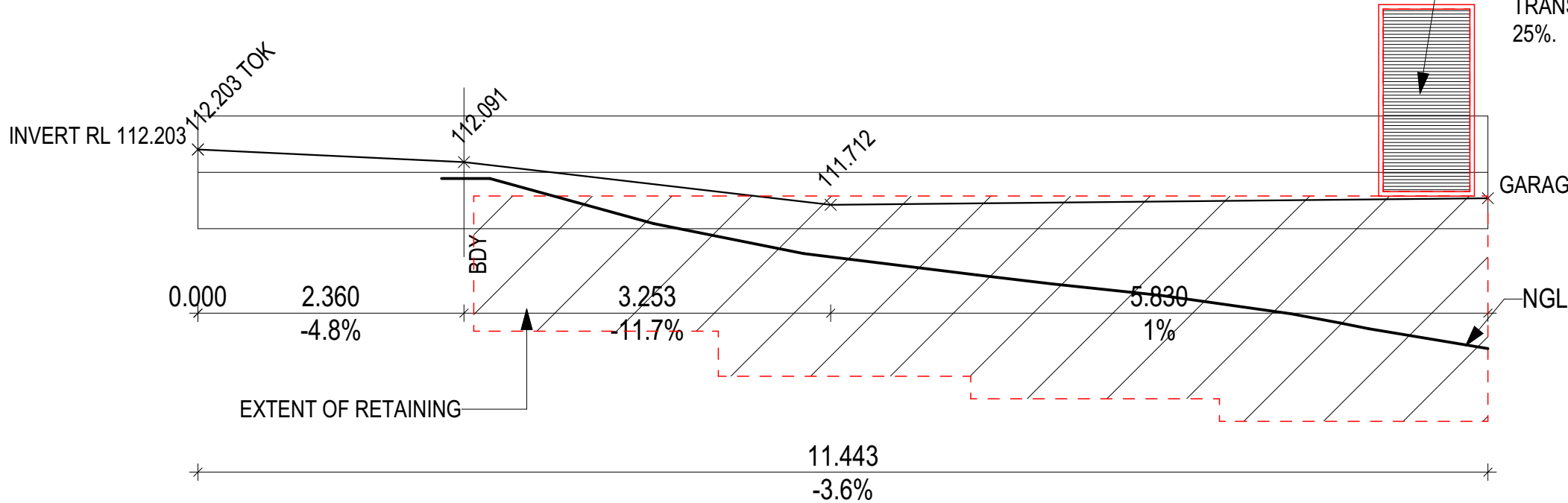
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			7	PRELIM PLANS- DRIVEWAY DETAIL UPDATE	RT2	11/08/2025	LOT / SECTION / CT: 4 / - / 187107				COUNCIL: GLENORCHY				SHEET TITLE: DRIVEWAY PLAN		
			8	PRELIM PLANS - UPDATE	HMI	08/09/2025					SHEET No.: 3 / 16				SCALES: 1:100		
			9	PRELIM PLANS- PLANNING RFI	CLG	03/10/2025											
			10	PRELIM PLANS- PLANNING RFI 2	CLG	06.11.2025											



E05 DRIVEWAY ELEVATION
SCALE: 1:100

FIXED TIMBER PRIVACY SCREEN ,
MIN 1.7M ABOVE FFL ,WITH UNIFORM
TRANSPARENCY OF NO MORE THAN
25%.



DRIVEWAY LONG SECTION
SCALE: 1:50

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ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

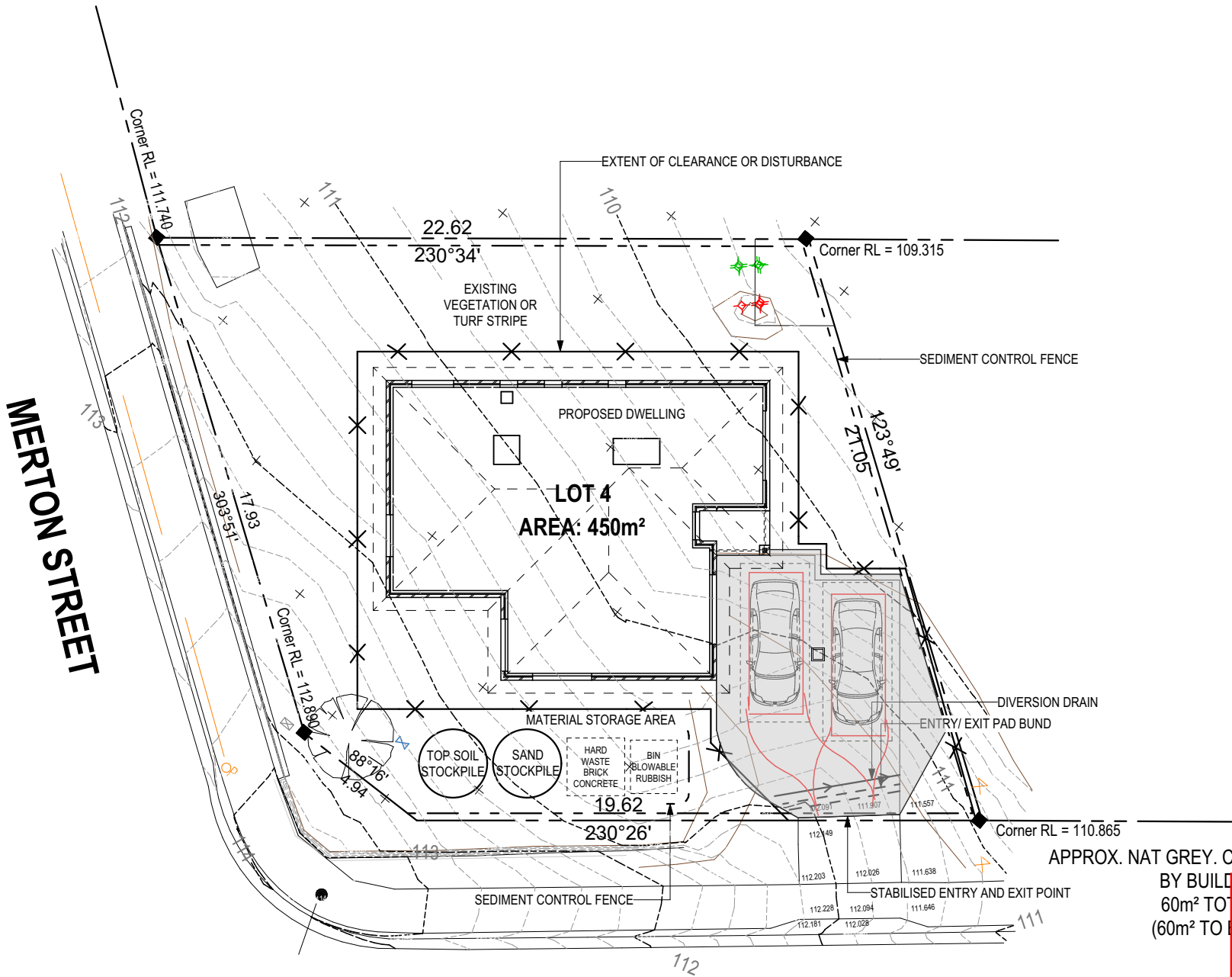
OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMAMENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.

6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

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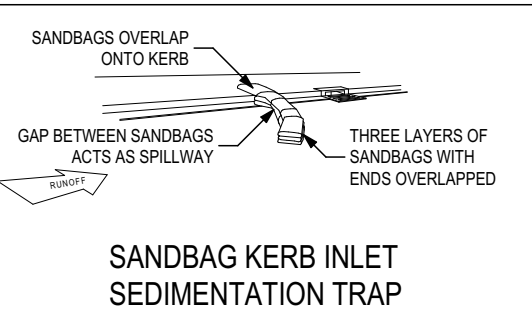
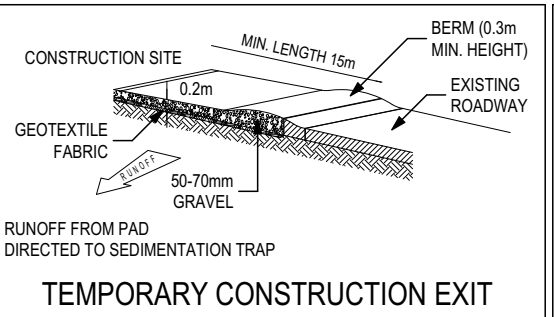
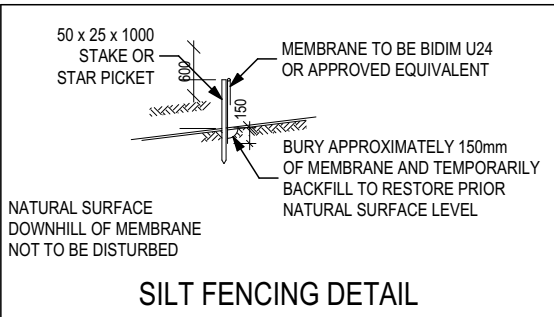
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(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

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			COUNCIL:		SCALES:	
			GLENORCHY		1:200	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

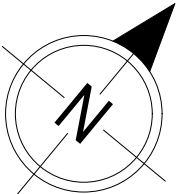
FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

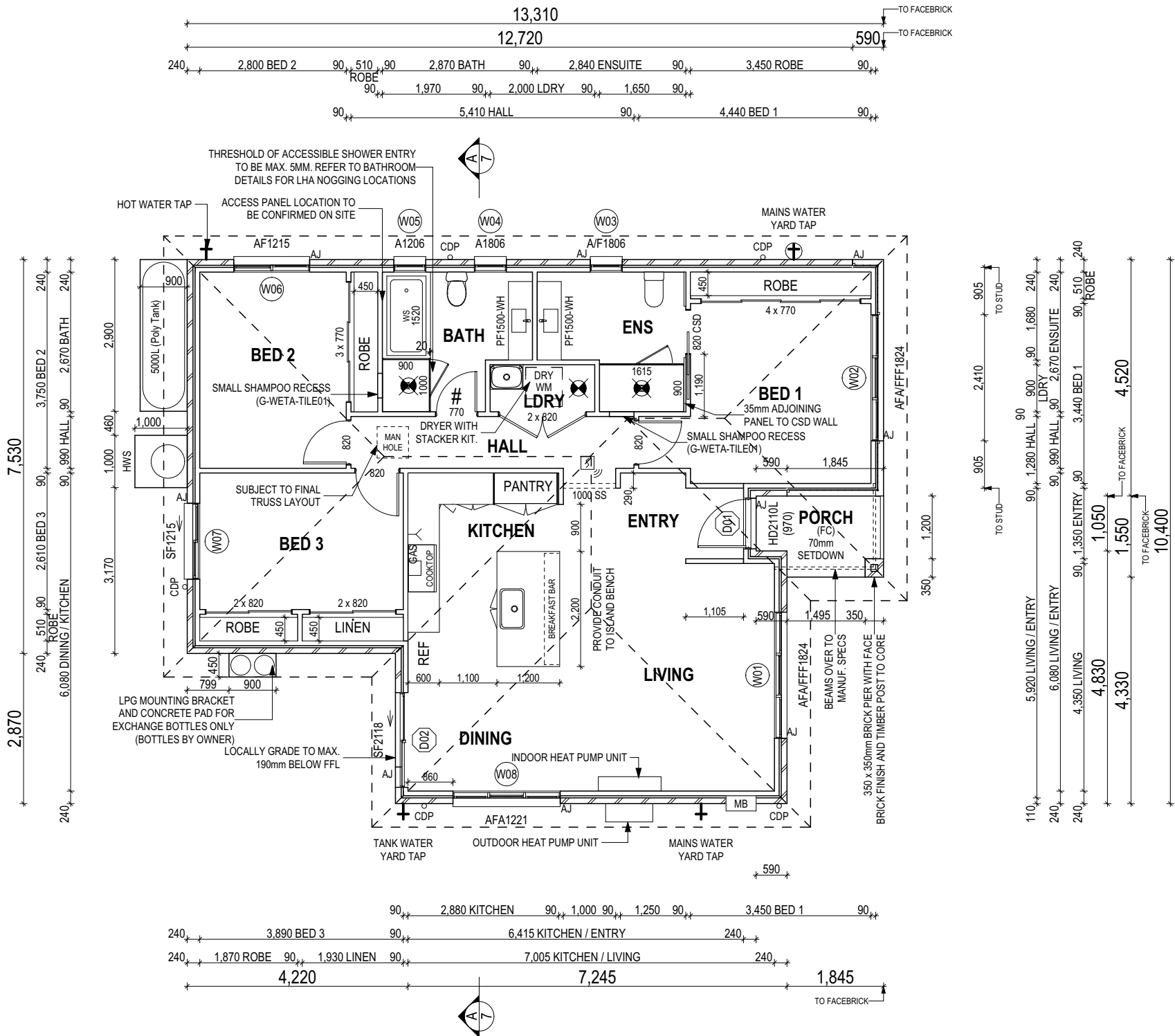
UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

- | | |
|---------|---------------------------|
| HS / WS | HOB SPOUT / WALL SPOUT |
| | FACE BRICK / COMMON BRICK |
| | RENDER |
| | SOUND INSULATION |
| AJ | BRICK ARTICULATION JOINT |
| SDP | STANDARD DOWNSPIPE |
| CDP | CHARGED DOWNSPIPE |
| 3D | DENOTES DRAWER SIDE |
| | MECHANICAL VENTILATION |
| L.B.W | LOAD BEARING WALL |
| PB | PLASTERBOARD |
| FC | FIBRE CEMENT |
| | THIS DOOR OPENS FIRST |
| | SMOKE ALARM |
| # | LIFT OFF HINGE |
| + | WATER POINT |
| | FLOOR WASTE |
| | GAS BAYONET |

MAIN DWELLING, GROUND FLOOR		
LIVING		115.53
PORCH		3.48
		119.01 m²



ALL DIMENSIONS ARE FRAME DIMENSIONS

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ANY PART OF THE FASCIA, GUTTERING OR DOWNSPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-224

DATE RECEIVED: 06/11/2025

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



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	6	PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE	TNG	30/07/2025						
	7	PRELIM PLANS- DRIVEWAY DETAIL UPDATE	RT2	11/08/2025						
	8	PRELIM PLANS - UPDATE	HMI	08/09/2025						
	9	PRELIM PLANS- PLANNING RFI	CLG	03/10/2025						
	10	PRELIM PLANS- PLANNING RFI 2	CLG	06.11.2025						

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-224

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

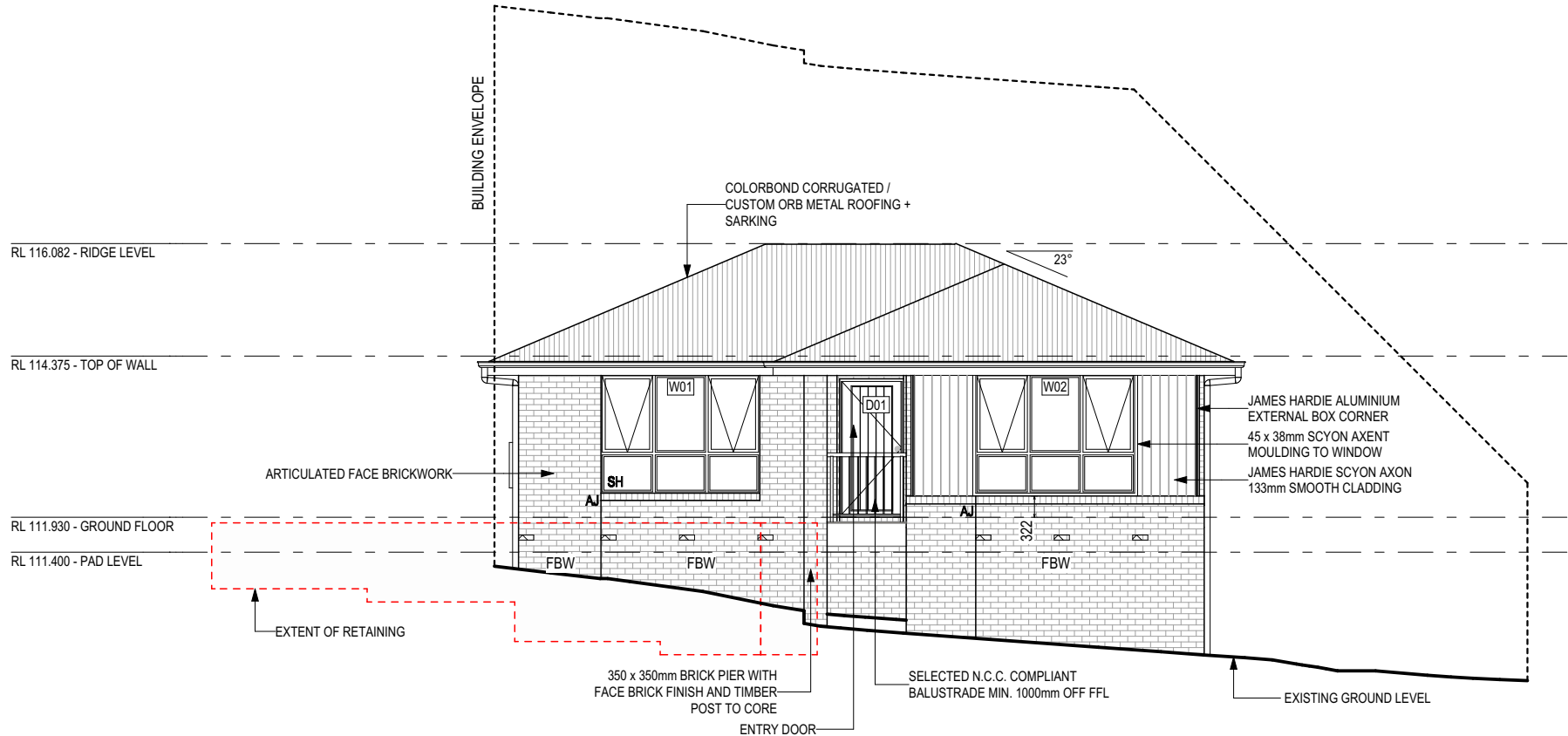
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SH = SNAP HEADER SILL

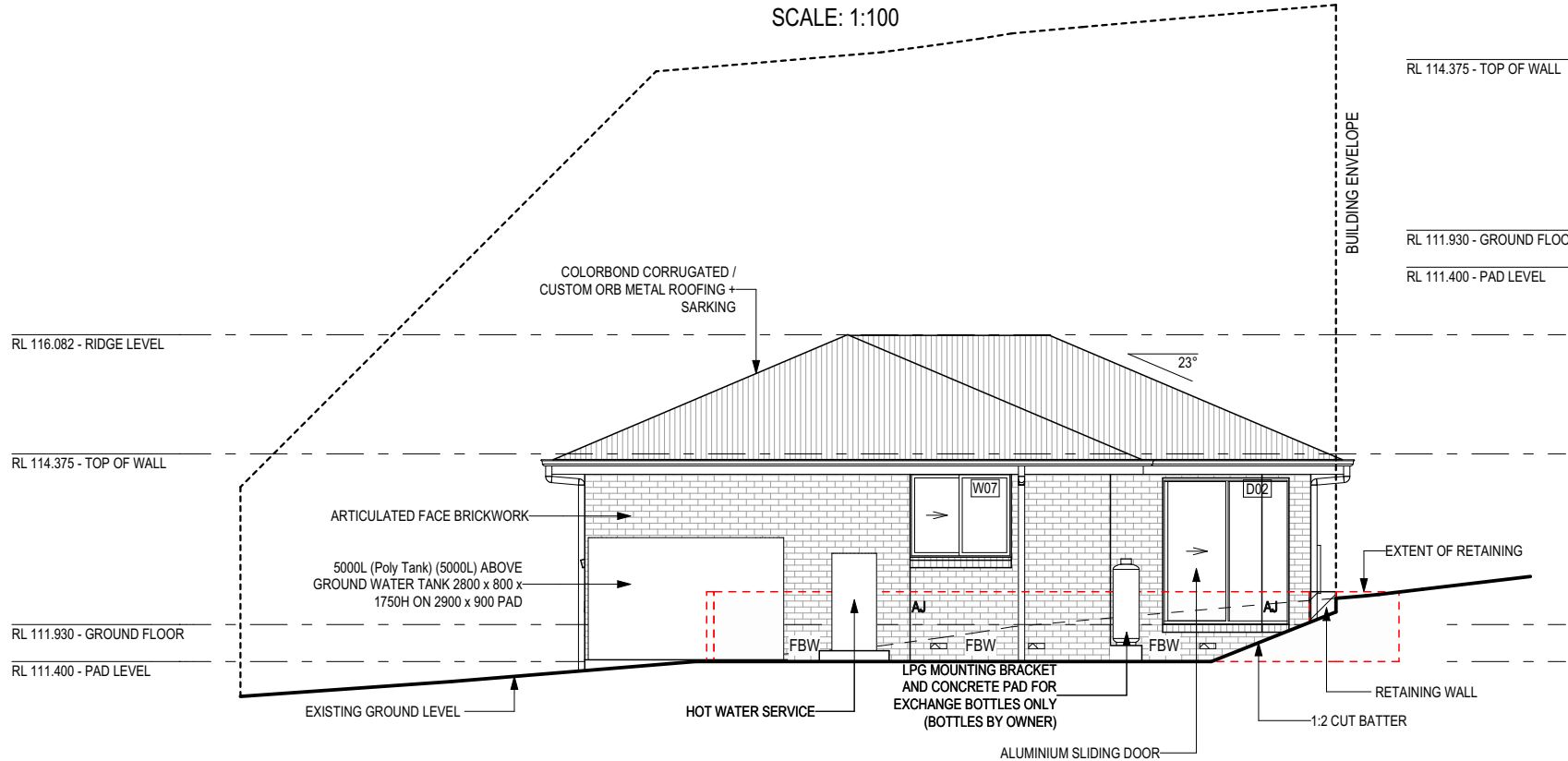
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001

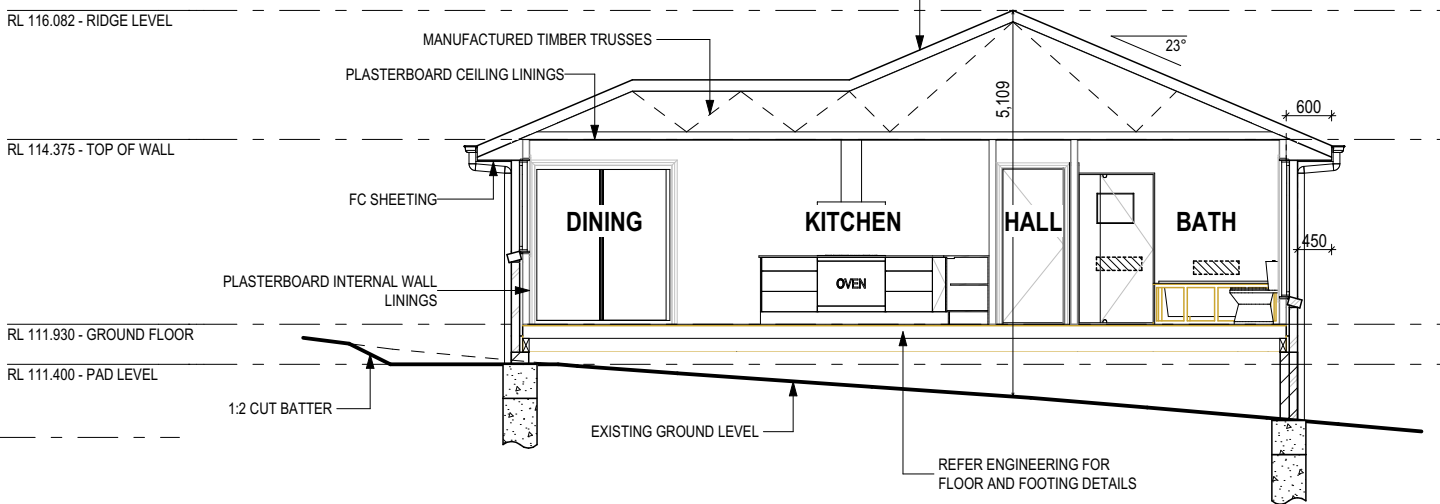


NORTH-EAST ELEVATION
SCALE: 1:100



SOUTH-WEST ELEVATION
SCALE: 1:100

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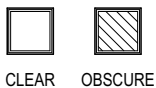


SECTION A-A
SCALE: 1:100

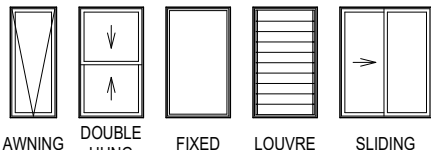
GROUND CLEARANCE IN ACCORDANCE WITH NCC TABLE 3.4.1.2 FOR CLIMATIC ZONE C TO BE 150mm FOR THE FIRST 2m THEN 400mm CLEARANCE FOR ACCESS TO SERVICES.

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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	7 PRELIM PLANS- DRIVEWAY DETAIL UPDATE	RT2 11/08/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	8 PRELIM PLANS - UPDATE	HMI 08/09/2025	10 MERTON STREET, GLENORCHY TAS 7010	BOARDWALK	F-WDCASC10BWLKA	
	9 PRELIM PLANS- PLANNING RFI	CLG 03/10/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	10 PRELIM PLANS- PLANNING RFI 2	CLG 06.11.2025	4 / - / 187107	ELEVATIONS / SECTION	7 / 16	
			COUNCIL:		SCALES:	
			GLENORCHY		1:100	
						714272

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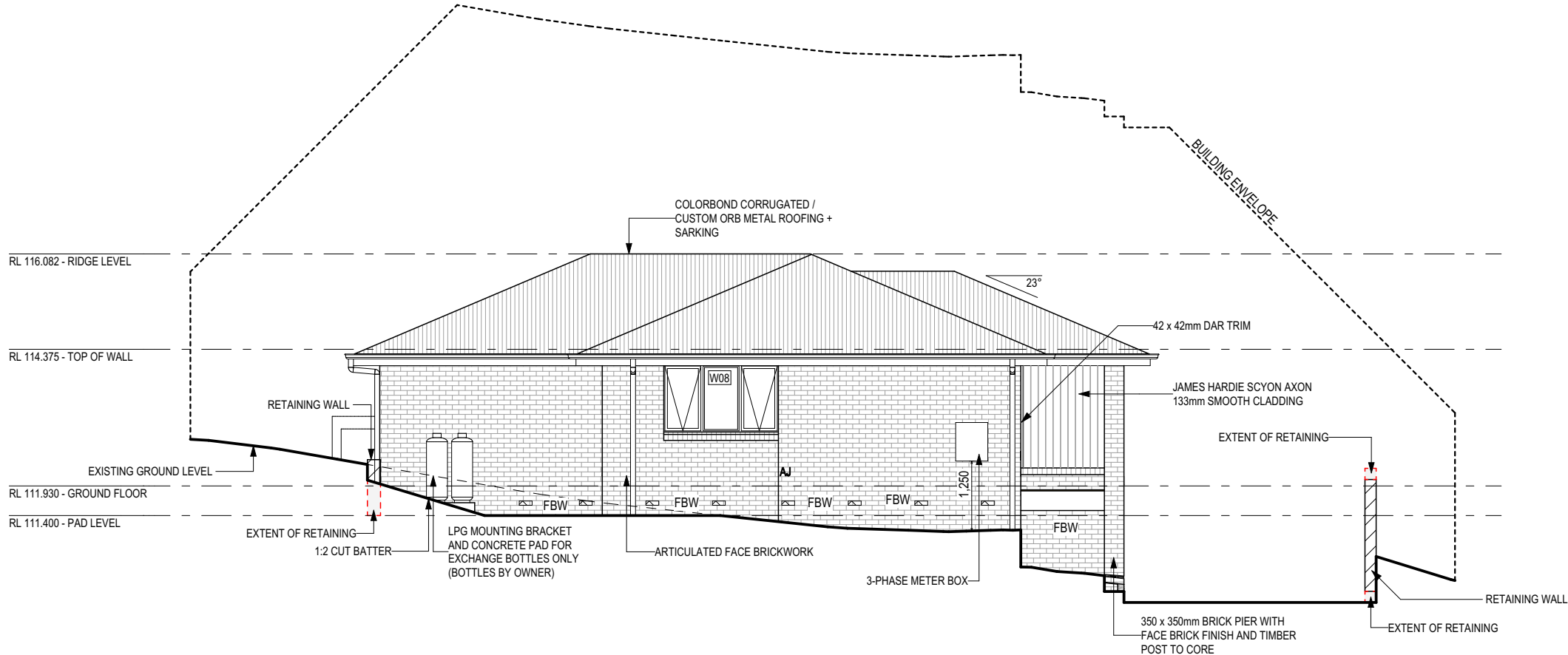
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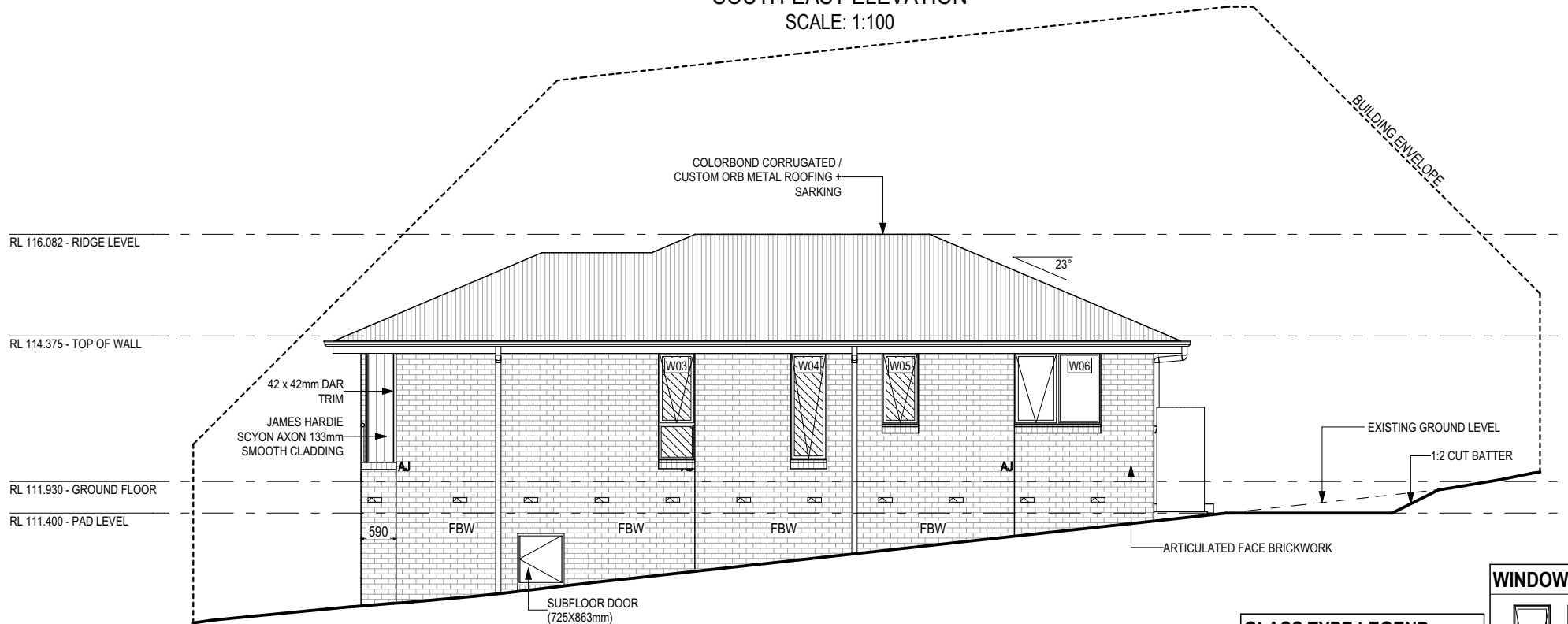
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REFER TO THE FOLLOWING DETAILS: BRICK COURSING W-BRIC-001



SOUTH-EAST ELEVATION
SCALE: 1:100



NORTH-WEST ELEVATION
SCALE: 1:100

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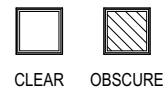
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-224

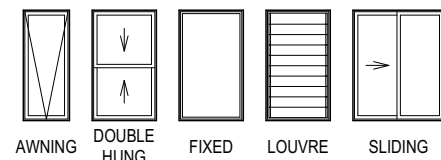
DATE RECEIVED: 06/11/2025

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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	9	PRELIM PLANS- PLANNING RFI		CLG	03/10/2025	LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:		
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										SCALES:		714272
										1:100		

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AFA/FFF1824	AWNING	LIVING	1,800	2,410	8,420	4.34	ALUMINIUM	N/A	SNAP HEADER	NE	3.43	CLEAR, DOUBLE GLAZED	BP 600, MP 803-803/803-803
GROUND FLOOR	W02	AFA/FFF1824	AWNING	BED 1	1,800	2,410	8,420	4.34	ALUMINIUM	N/A	NONE	NE	3.43	CLEAR, DOUBLE GLAZED	BP 600, MP 803-803/803-803
GROUND FLOOR	W03	A/F1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	N/A	ANGLED	NW	0.80	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600
GROUND FLOOR	W04	A1806	AWNING	BATH	1,800	610	4,820	1.10	ALUMINIUM	N/A	ANGLED	NW	0.81	OBSCURE, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W05	A1206	AWNING	BATH	1,200	610	3,620	0.73	ALUMINIUM	N/A	ANGLED	NW	0.52	OBSCURE, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W06	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	ANGLED	NW	1.38	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W07	SF1215	SLIDING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	ANGLED	SW	1.50	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W08	AFA1221	AWNING	DINING	1,200	2,050	6,500	2.46	ALUMINIUM	N/A	ANGLED	SE	1.88	CLEAR, DOUBLE GLAZED	MP 683-683
								17.55					13.75		
DOOR															
GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	N/A	SNAP HEADER	NE	1.41	N/A	
GROUND FLOOR	D02	SF2118	SLIDING	DINING	2,100	1,810	7,820	3.80	ALUMINIUM	N/A	SNAP HEADER	SW	3.31	CLEAR, DOUBLE GLAZED, TOUGHENED	
								5.84					4.72		
								23.39					18.47		

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-224

DATE RECEIVED: 06/11/2025

Manufacturer - Dowell Windows

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
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INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
GROUND FLOOR	2	2 x 820	ROBEMAKER SLIDING	2,040	1,660	N/A	
GROUND FLOOR	1	2 x 820	SWINGING	2,040	1,640	N/A	
GROUND FLOOR	1	3 x 770	ROBEMAKER SLIDING	2,040	2,310	N/A	
GROUND FLOOR	1	4 x 770	ROBEMAKER SLIDING	2,040	3,060	N/A	
GROUND FLOOR	1	770	SWINGING	2,040	770	N/A	LIFT-OFF HINGES
GROUND FLOOR	3	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	1	820 CSD	CAVITY SLIDING	2,040	820	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
-----	------	--------	-------	-----------

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	7 PRELIM PLANS- DRIVEWAY DETAIL UPDATE	RT2 11/08/2025	ADDRESS: 10 MERTON STREET, GLENORCHY TAS 7010	FACADE DESIGN: BOARDWALK	FACADE CODE: F-WDCASC10BWLKA	
	8 PRELIM PLANS - UPDATE	HMI 08/09/2025	LOT / SECTION / CT: 4 / - / 187107	SHEET TITLE: WINDOW & DOOR SCHEDULES	SCALES:	
	9 PRELIM PLANS- PLANNING RFI	CLG 03/10/2025	COUNCIL: GLENORCHY	SHEET No.: 9 / 16		
	10 PRELIM PLANS- PLANNING RFI 2	CLG 06.11.2025				

714272

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

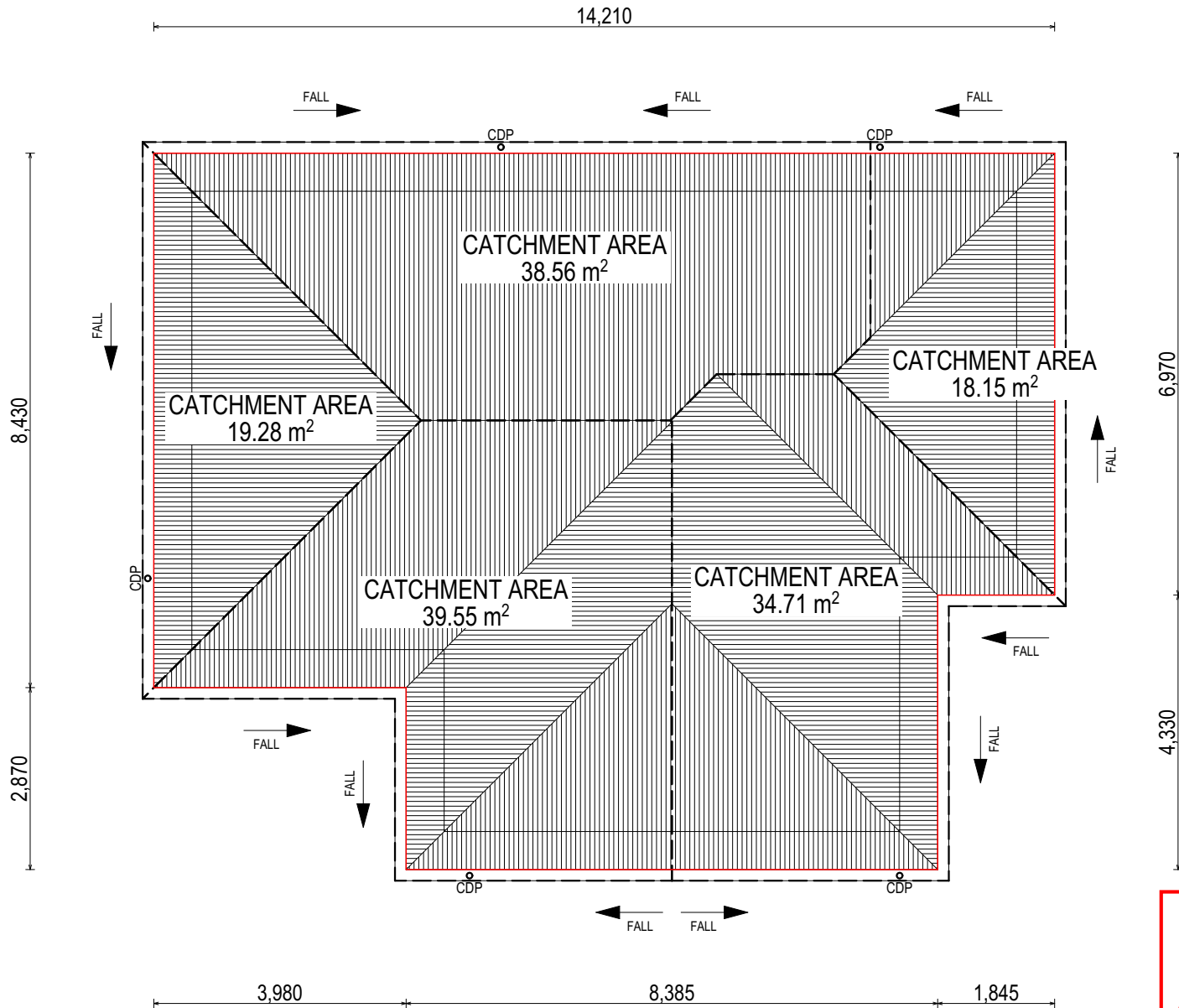
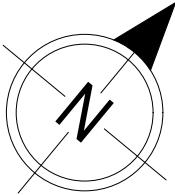
POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	141.16	Flat Roof Area (excluding gutter and slope factor) (m ²)
	153.35	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	150.25	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	181.80	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	2.84	Ac / Acdp
Downpipes Provided	5	

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-224

DATE RECEIVED: 06/11/2025

EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

COVER GRADE CONCRETE

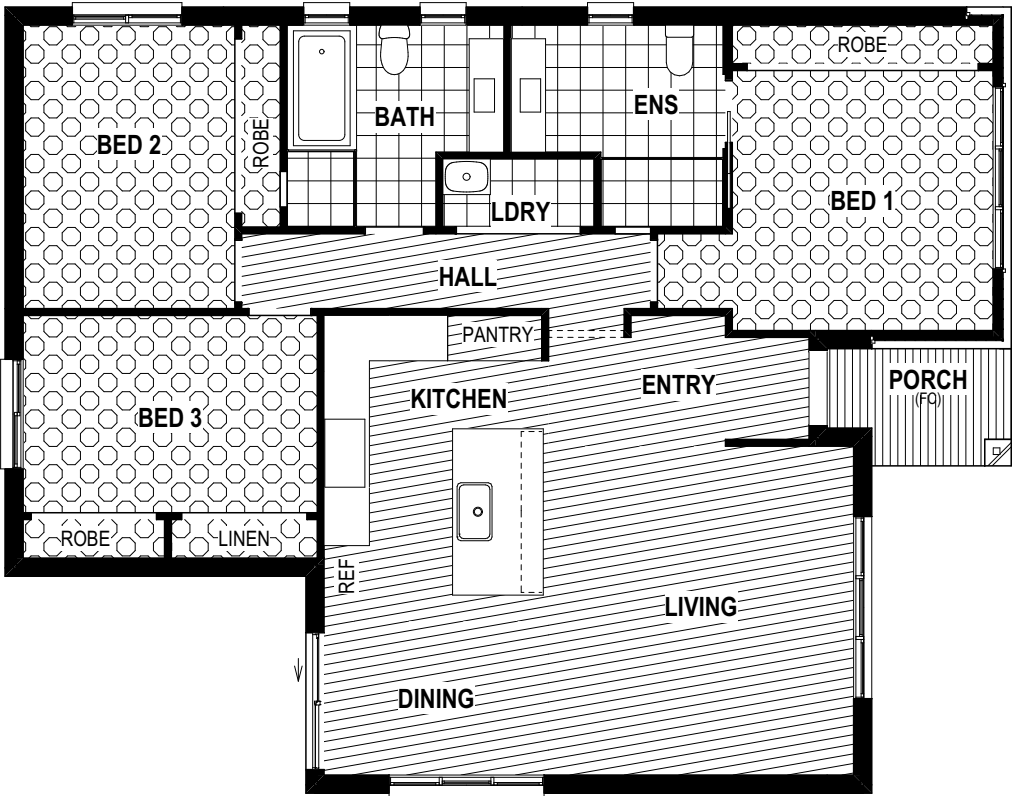
CARPET

LAMINATE

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)

DECKING



GLENORCHY CITY COUNCIL
PLANNING SERVICES

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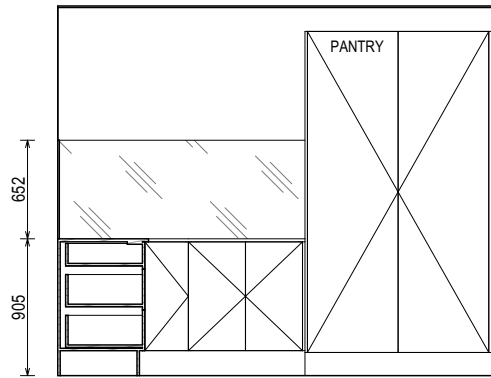
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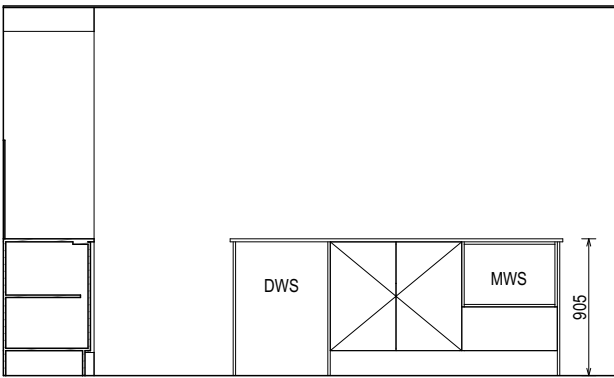
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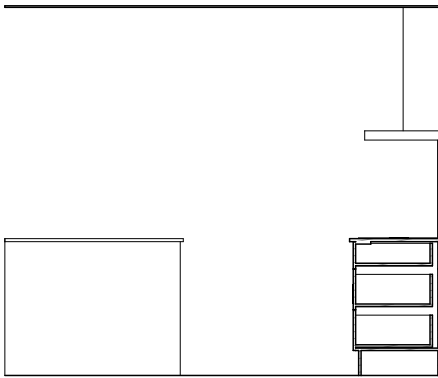
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	9	PRELIM PLANS- PLANNING RFI	CLG 03/10/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	SCALES:	714272
	10	PRELIM PLANS- PLANNING RFI 2	CLG 06.11.2025	4 / - / 187107	COUNCIL: GLENORCHY	11 / 16	1:100	



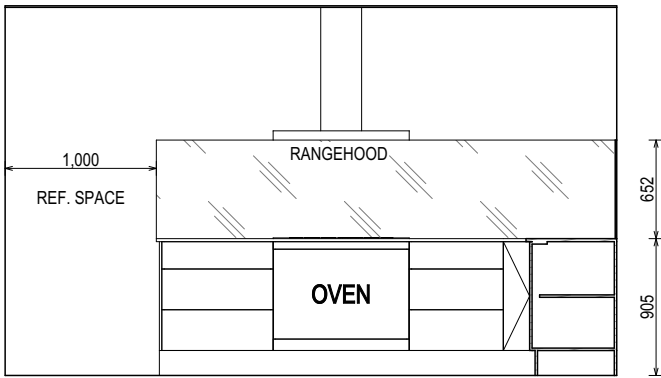
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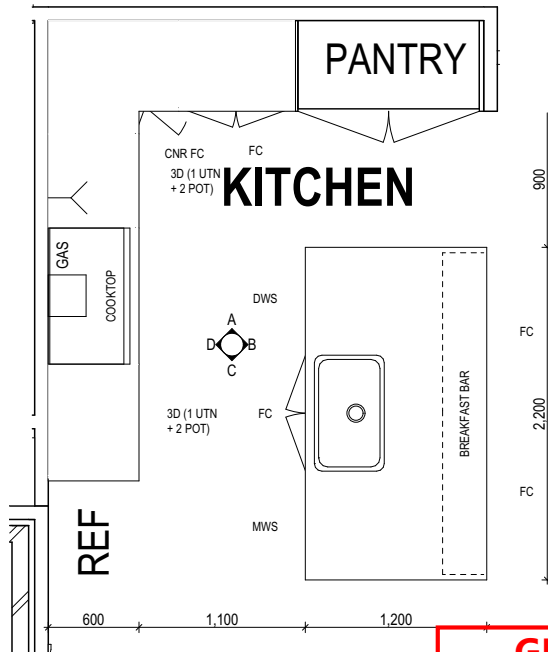
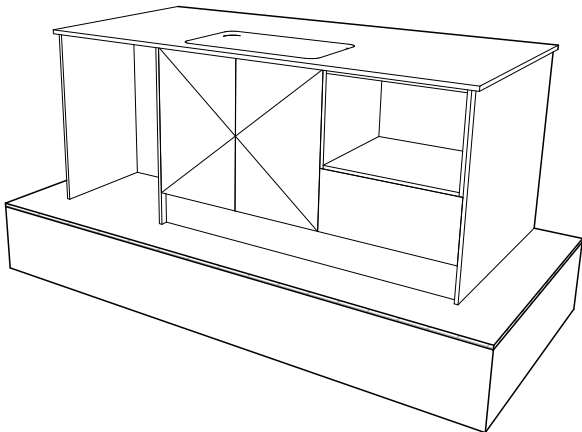
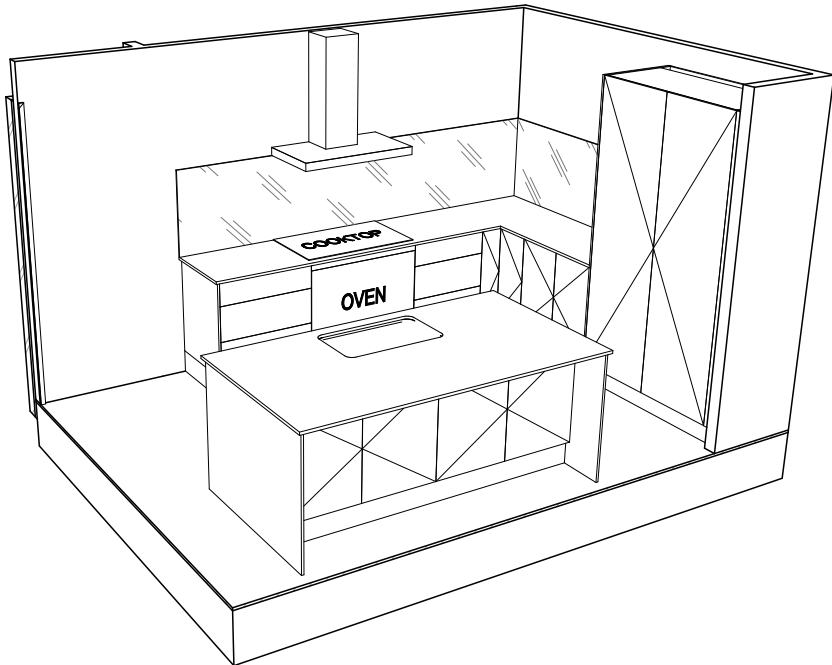
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SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.

GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-224

DATE RECEIVED: 06/11/2025

**SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

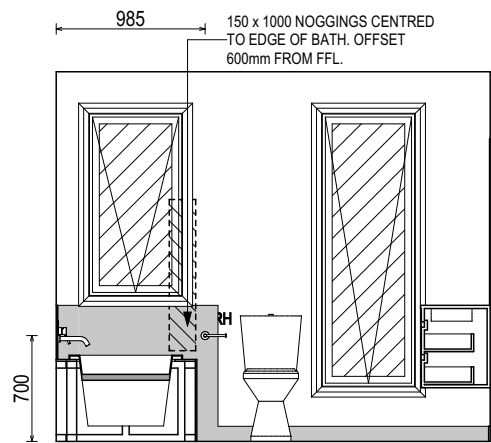
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSIONS

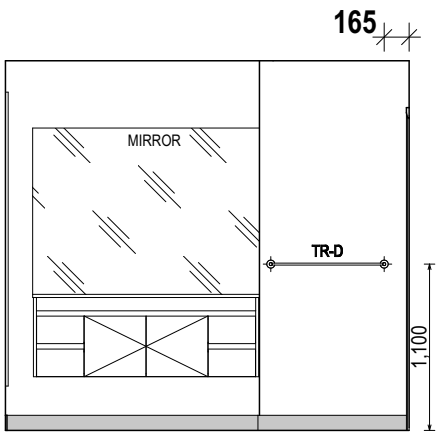
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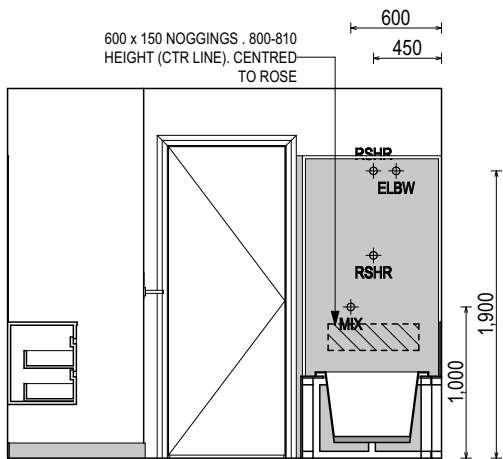
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COPYRIGHT:		7	PRELIM PLANS- DRIVEWAY DETAIL UPDATE	RT2	11/08/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
© 2025		8	PRELIM PLANS - UPDATE	HMI	08/09/2025	10 MERTON STREET, GLENORCHY TAS 7010		BOARDWALK		F-WDCASC10BWLKA		
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		10	PRELIM PLANS- PLANNING RFI 2	CLG	06.11.2025	4 / - / 187107		COUNCIL:		12 / 16		714272
						GLENORCHY		KITCHEN DETAILS		1:50		



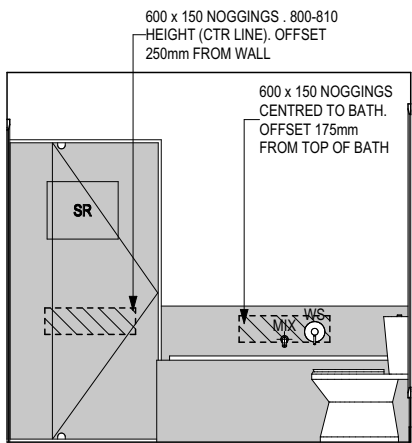
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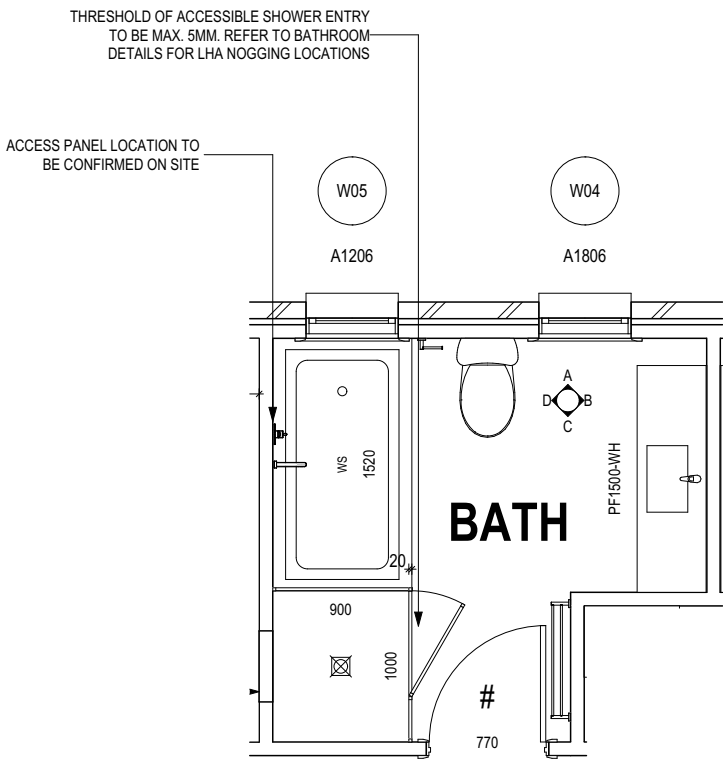
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ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50

REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

SUBJECT TO NCC 2022
(1 OCTOBER 2024)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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GLENORCHY CITY COUNCIL
PLANNING SERVICES

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						GLENORCHY		BATHROOM DETAILS		1:50		

ELEVATION A

SCALE: 1:50

ELEVATION B

SCALE: 1:50

ELEVATION C

SCALE: 1:50

ELEVATION D

SCALE: 1:50

ENS

SCALE: 1:50

GLENORCHY CITY COUNCIL
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SHAMPOO RECESS SIZE

STRUCTURAL DIMENSIONS

"SMALL"

470 x 380mm

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878mm

446mm

"LARGE"

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1578mm

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WILSON
HOMES

SPECIFICATION:
DISCOVERY

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REVISION

DRAWN

CLIENT:

HOUSE DESIGN:

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6 PRELIM PLANS - COLOUR AND VARIATION REF.001 UPDATE

TNG 30/07/2025

DILSHAD SAMRA

ASCOT 12

H-WDCASC10SA

7 PRELIM PLANS- DRIVEWAY DETAIL UPDATE

RT2 11/08/2025

ADDRESS:

FACADE DESIGN:

FACADE CODE:

8 PRELIM PLANS - UPDATE

HMI 08/09/2025

10 MERTON STREET, GLENORCHY TAS 7010

BOARDWALK

F-WDCASC10BWLKA

9 PRELIM PLANS- PLANNING RFI

CLG 03/10/2025

LOT / SECTION / CT:

SHEET TITLE:

SHEET No.:

SCALES:

10 PRELIM PLANS- PLANNING RFI 2

CLG 06.11.2025

4 / - / 187107

GLENORCHY

14 / 16

1:50

714272

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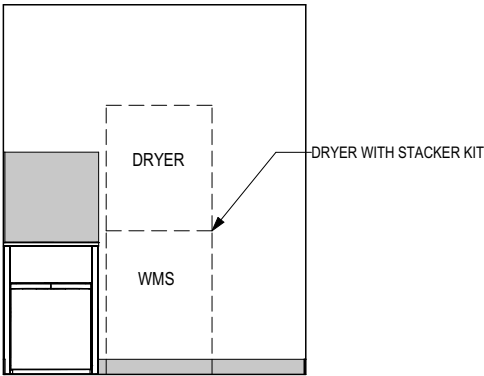
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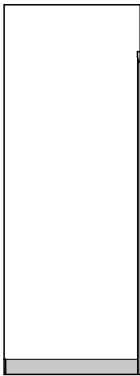
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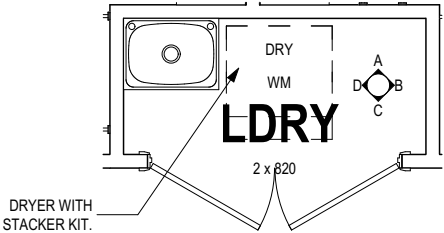
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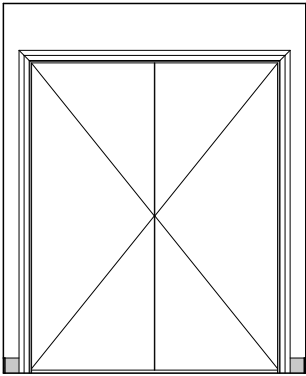
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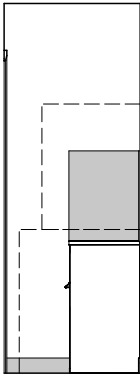
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SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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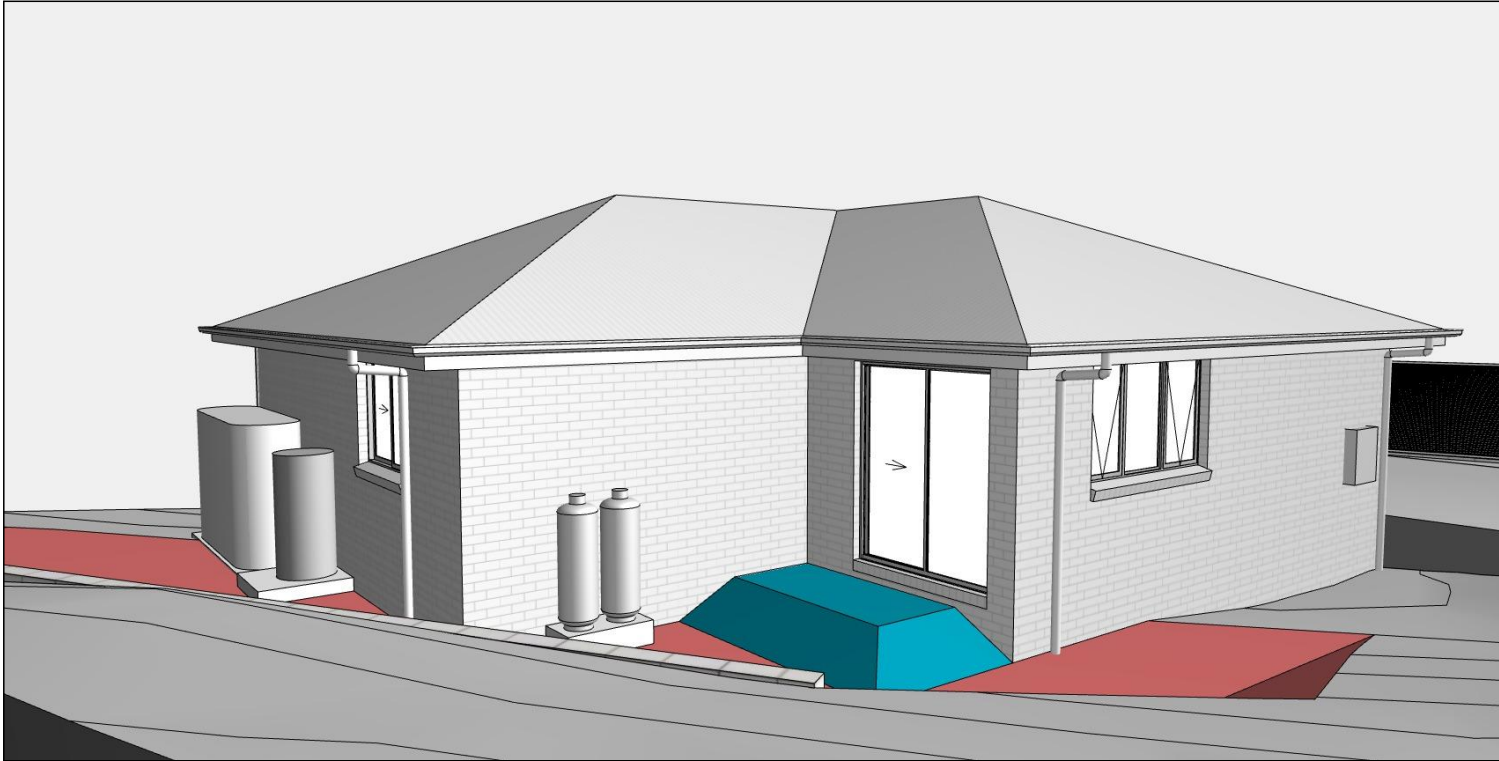
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	COPYRIGHT:	7	PRELIM PLANS- DRIVEWAY DETAIL UPDATE	RT2	11/08/2025	ADDRESS:				FACADE DESIGN:				FACADE CODE:		
	© 2025	8	PRELIM PLANS - UPDATE	HMI	08/09/2025	10 MERTON STREET, GLENORCHY TAS 7010				BOARDWALK				F-WDCASC10BWLKA		
		9	PRELIM PLANS- PLANNING RFI	CLG	03/10/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:			
		10	PRELIM PLANS- PLANNING RFI 2	CLG	06.11.2025	4 / - / 187107		GLENORCHY		LAUNDRY DETAILS		15 / 16	1:50			
															714272	



FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

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	8 PRELIM PLANS - UPDATE	HMI 08/09/2025	10 MERTON STREET, GLENORCHY TAS 7010	BOARDWALK	F-WDCASC10BWLKA	
	9 PRELIM PLANS- PLANNING RFI	CLG 03/10/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	10 PRELIM PLANS- PLANNING RFI 2	CLG 06.11.2025	4 / - / 187107	GLENORCHY	3D VIEWS	16 / 16
						714272

SAMRA RESIDENCE - 714272
10 MERTON STRET,
GLENORCHY, TASMANIA, 7010

DRAWING INDEX

DRG No.	DRAWING TITLE	REV.	ISSUE DATE
H001	DRAWING INDEX	1	20.10.2025
H002	DRAWING NOTES	1	20.10.2025
H100	STORMWATER DRAINAGE PLAN	1	20.10.2025
H400	DETAILS 1	1	20.10.2025
H401	DETAILS 2	1	20.10.2025

LEGEND

	EX W		EX W	EXISTING WATER SUPPLY EXTERNAL TO BUILDING		HWU	HOT WATER UNIT
	EX S		EX S	EXISTING SEWER DRAIN			GRADED STORMWATER PIT
	S		S	PROPOSED SEWER DRAIN		EJ	EXPANSION JOINT
	EX SW		EX SW	EXISTING STORMWATER DRAIN		SEJ	SWIVEL EXPANSION JOINT
	SW		SW	PROPOSED STORMWATER DRAIN			
	SW C		SW C	PROPOSED STORMWATER DRAIN (CHARGED)			
	SS		SS	PROPOSED DN100 SUB-SOIL DRAIN AND GEOFABRIC SOCK			
				PROPERTY BOUNDARY LINE			
				STRUCTURAL BIAx POD/WAFFLE POD			

GLENORCHY CITY COUNCIL
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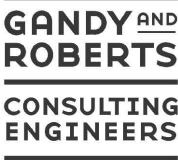
ABBREVIATIONS

AAV	AIR ADMITTANCE VALVE
F/A	FROM ABOVE
F/B	FROM BELOW
FFL	FINISHED FLOOR LEVEL
IL	INVERT LEVEL
T/A	TO ABOVE
T/B	TO BELOW
UNO	UNLESS NOTED OTHERWISE



LOCALITY PLAN

NTS



159 DAVEY STREET, HOBART
TASMANIA, AUSTRALIA 7000
www.gandyandroberts.com.au
mail@gandyandroberts.com.au
ph 03 6223 8877

SAMRA RESIDENCE - 714272
10 MERTON STREET, GLENORCHY, TASMANIA
DRAWING TITLE
DRAWING INDEX

0	50mm	SCALE - @ A3
DESIGNED JK	DRAWN JK	CHECKED SP
PROJECT 25.0209	DRAWING H001	REVISION 1

BUILDING HYDRAULIC NOTES

GENERAL

- G1.

THESE DRAWING ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND LANDSCAPE ARCHITECTURAL DRAWINGS, PROJECT CONTRACT AND PROJECT SPECIFICATIONS.
- G2.

ALL WORKS ARE TO BE DONE BY THE CONTRACTOR UNLESS NOTED OTHERWISE. CONTRACTOR MUST ALSO MAKE AN ALLOWANCE FOR WORKS BY OTHERS (EG. SERVICE CONNECTIONS).
- G3.

WHERE THERE IS A CONTRACT FOR THIS PROJECT THAT HAS A ROLE FOR A SUPERINTENDENT, IN THESE NOTES THE “ENGINEER” IS THIS SUPERINTENDENT.
- G4.

THE COUNCIL FOR THIS PROJECT IS GLENORCHY CITY COUNCIL, AND THEY SHOULD BE CONTACTED FOR REQUIRED INSPECTIONS OF PUBLIC ROADS, PUBLIC STORMWATER, PRIVATE CAR PARKS AND DRIVES WITH THE ENGINEER, AND ALSO FOR PRIVATE BUILDING/PLUMBING WORKS. THE SEWER AND WATER AUTHORITY IS TASWATER CORPORATION, THEY SHOULD BE CONTACTED FOR REQUIRED INSPECTIONS OF MUNICIPAL SEWER AND WATER INFRASTRUCTURE DURING CONSTRUCTION.
- G5.

LOCATE ALL EXISTING GAS, ELECTRICAL, TELECOMMUNICATIONS, WATER MAINS, SEWER MAINS AND STORMWATER MAINS ETC. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND ADVISE THE ENGINEER OF ANYTHING THAT APPEARS NOT BE HAVE BEEN CONSIDERED IN THE DESIGN.
- G6.

CONFIRM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- G7.

CONTRACTOR IS TO ALLOW FOR ALL SET OUT REQUIREMENTS.
- G8.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES CAUSED BY THEM OR THEIR SUB-CONTRACTORS, ANY SERVICE DAMAGED IS TO BE REINSTATED IMMEDIATELY.
- G9.

REMOVE ALL SURPLUS MATERIALS FROM SITE.
- G10.

FOLLOWING AGREEMENT WITH THE ENGINEER, TERMINATE AND ABANDON REDUNDANT EXISTING SERVICES DISCOVERED DURING CONSTRUCTION AND MAKE A NOTE ON AS-CONSTRUCTED DRAWING.
- G11.

ON COMPLETION OF WORKS PROVIDE THREE SETS OF AS-CONSTRUCTED DRAWINGS TO AS1100.401 BY A REGISTERED SURVEYOR (MEASUREMENT OF BUILDING SERVICE HYDRAULICS CLOSE TO AND WITHIN A PERMANENT BUILDING CAN BE UNDERTAKEN BY AN EXPERIENCED PLUMBER) AND FULL SERVICE MANUAL ALONG WITH ELECTRONIC DRAWING FILES IN DXF OR DWG FORMATS SUITABLE FOR READING WITH A RECENT VERSION OF AUTOCAD TO THE ENGINEER. RESULTS OF TESTS WITH ASSOCIATED COMMISSIONING REPORTS AND AS CONSTRUCTED SURVEY ARE REQUIRED TO ALLOW THE ENGINEER TO CONFIRM IN WRITING TO THE LOCAL AUTHORITY THAT CONSTRUCTION HAS BEEN SUBSTANTIALLY COMPLETED IN ACCORDANCE WITH THE DESIGN DRAWINGS AND ARE PART OF THE WORKS, AND SHOULD FORM PART OF THE SERVICE MANUAL.
- G12.

IT IS ASSUMED THAT ADJACENT TO THE DEVELOPMENT SITE IS ADEQUATE INFRASTRUCTURE PROVIDED BY THE LOCAL AUTHORITY AND OTHER STATUTORY AUTHORITIES TO SUPPLY ROAD ACCESS, WATER, POWER, TELECOMMUNICATIONS AND GAS AS REQUIRED BY THIS DESIGN; AND THERE IS ADEQUATE INFRASTRUCTURE OR ENVIRONMENTAL CAPACITY TO RECEIVE STORMWATER AND SEWERAGE DRAINAGE.
- G13.

ANY DEPARTURES FROM THE DESIGN DRAWINGS ARE TO BE AT THE WRITTEN APPROVAL OF THE ENGINEER, AND APPROVAL FROM AUTHORITY – EXCEPT DURING EMERGENCIES WHEN TEMPORARY CHANGES CAN BE MADE PRIOR TO SEEKING APPROVAL FOR A PERMANENT CHANGE. CHANGES INCLUDES CONFLICTS WITH EXISTING SERVICES. REWORK TO MAKE INSTALLED SYSTEM COMPLY THE THE DESIGN WILL BE AT THE CONTRACTOR’S EXPENSE.
- G14.

PRIOR TO THE CONNECTION OF NEW SERVICES TO ANY PART OF AN EXISTING DRAINAGE SYSTEM OR WATER SUPPLY, THE CONTRACTOR SHALL CONFIRM THAT THE PIPEWORK BEING CONNECTED TO IN IN APPROVED WORKING ORDER AND FIT FOR PURPOSE.

APPROVALS

- A1.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS. WHERE WORK IS WITHIN A ROAD RESERVE, A ROAD OPENING PERMIT MUST BE OBTAINED FROM LOCAL COUNCIL PRIOR TO WORK. WORKPLACE STANDARDS APPROVAL MUST ALSO BE GAINED WHERE APPROPRIATE.
- A2.

THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING ALL SITE INSPECTIONS AND OBSERVING ALL HOLD POINTS NOMINATED WITHIN THE CONTRACT, BY THE BUILDING SURVEYOR OR PLUMBING SURVEYOR.
- A3.

A MINIMUM OF ONE WORKING DAY OF NOTICE IS REQUIRED FOR THE ENGINEER TO ATTEND THE SITE. DO NOT RELY UPON FACSIMILE OR EMAIL TO COMMUNICATE REQUESTS – MAKE CONTACT WITH OUR OFFICE TO CONFIRM ATTENDANCE.
- A4.

PHOTOGRAPHIC DOCUMENTATION IS NOT AN ADEQUATE BASIS TO PROCEED BEYOND A HOLD POINT UNLESS APPROVED BY THE ENGINEER.

WORK HEALTH AND SAFETY

- HS1.

THE MAIN CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT, REGULATIONS, AND ALL RELEVANT CODES OF PRACTICE.
- HS2.

THE GANDY AND ROBERTS DESIGN SAFETY REPORT 25.0209 FORMS AN INTEGRAL PART OF THIS DOCUMENTATION. THIS REPORT IDENTIFIES SAFETY RISKS AND PROPOSES CONTROL MEASURES TO BE FOLLOWED BY THE CONTRACTOR AND THE BUILDING OPERATOR. CONTROLS AND HAZARDS REQUIRING MORE EXPLANATION THAN IN THE SAFETY REPORT ARE HIGHLIGHTED IN OUR DRAWINGS WITH AN EXCLAMATION MARK IN THE TRIANGLE SYMBOL SHOWN:
- HS3.

SHOULD THE MAIN CONTRACTOR OR SUB CONTRACTORS IDENTIFY OMISSIONS OR ERRORS IN THE REPORT RELATED TO THE SCOPE OF GANDY AND ROBERT’S WORK ON THE PROJECT, OR HAVE SAFER WAYS OF WORKING, THEY SHOULD CONTACT GANDY AND ROBERTS PRIOR TO CONSTRUCTION.
- HS4.

SHOULD THE MAIN CONTRACTOR PROPOSE AN ALTERNATIVE DESIGN, THEY NEED TO PRESENT THESE WITH APPROPRIATE SAFETY RISK PLANNING TO GANDY AND ROBERTS FOR REVIEW.



BUILDING HYDRAULICS

- H1.

ALL MATERIALS AND WORKMANSHIP SHALL BE DONE IN ACCORDANCE WITH AS3500, THE TASMANIAN PLUMBING CODE AND LOCAL COUNCIL REQUIREMENTS.
- H2.

ALL DRAINAGE PIPEWORK SHALL BE UPVC CLASS SWHD, ALL WASTE AND VENT SHALL BE DWV CLASS PIPE UNLESS NOTED OTHERWISE.
- H3.

SUPPLY AND INSTALL ALL FIXTURES, VALVES, TAPWARE AND SUNDRY ITEMS AS SCHEDULED WITHIN THE SPECIFICATION.
- H4.

CONTRACT DRAWINGS ARE DIAGRAMMATIC AND AS SUCH SHOW THE INTENT OF DESIGN. INSTALLATION TO BE AS PER AS/NZS3500. ALLOW FOR ALL BENDS, OFFSETS AND OTHER MEASURES AS NECESSARY TO AVOID INTERFERENCE WITH THE STRUCTURE AND/OR OTHER BUILDING SERVICES.
- H5.

HOT WATER AT HIGH TEMPERATURE (65°C) TO KITCHEN AND LAUNDRY. HOT WATER TEMPERED TO 50°C TO BATHROOM FIXTURES. HOT WATER TEMPERED TO 45°C IN DISABLED, CHILD CARE AND AGED CARE FACILITIES.
- H6.

TEMPERED AND HOT WATER PIPEWORK SHALL BE LAGGED WITH 13mm BRADFLEX OR EQUIVALENT, HOT WATER CIRCULATING LINE TO BE LAGGED USING 25mm SECTIONAL ROCKWOOL WITH FOIL OUTER COVER. SOLAR FLOW AND RETURN PIPEWORK (INTERNAL AND EXTERNAL) SHALL BE LAGGED WITH 13mm ARMAFLEX SOLAR OR EQUIVALENT WITH WEATHER AND UV PROTECTION, R-VALUE OF 0.6, FOR PIPE TEMPERATURES UP TO 150°C, AND PVC FREE.
- H7.

CONCEAL ALL PIPEWORK IN CEILING SPACES, DUCTS, WALL CAVITIES, WALL CHASES, CUPBOARDS, ETC UNLESS OTHERWISE APPROVED.
- H8.

REFER TO ARCHITECTS DEMOLITION PLAN FOR REMOVAL OF EXISTING FIXTURES AND FITTINGS. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE AND VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS, ETC AND SEAL OFF EXISTING SERVICES. SEAL OFF AND MAKE GOOD ALL FLOOR, WALL AND ROOF PENETRATIONS.
- H9.

THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE. WHERE POSSIBLE, DETERMINE LOCATION OF EXISTING POWER, TELSTRA, WATER AND DRAINAGE SERVICES PRIOR TO COMMENCING NEW WORK.
- H10.

CO-ORDINATE ALL PIPEWORK WITH EXISTING SERVICES ON SITE.
- H11.

MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
- H12.

PLUMBING CONTRACTOR TO ARRANGE FOR ALL NEW WORKS BY LOCAL AUTHORITY AND FOR SEALING OFF AND MAKING GOOD EXISTING AS REQUIRED. PAY ALL FEES ASSOCIATED WITH THE WORKS.
- H13.

MAINTAIN SERVICES TO EXISTING FIXTURES AT ALL TIMES. WHERE CHANGEOVER IS REQUIRED, LIAISE WITH THE ARCHITECT PRIOR TO THE SHUTTING DOWN OF ANY SERVICE.
- H14.

ARRANGE WORK BY LOCAL AUTHORITY IN ACCORDANCE WITH THE BUILDERS WORKS PROGRAM.
- H15.

CONTRACTOR TO PROVIDE ALL DOCUMENTS, APPROVALS, CERTIFICATES, WARRANTIES, LOG BOOKS, ETC. UPON COMPLETION OF WORKS TO THE ARCHITECT. ALL FEES AND INSPECTIONS TO BE INCLUDED AND ARRANGED BY THE CONTRACTOR.
- H16.

CONFIRM ALL INVERT LEVELS PRIOR TO TRENCH EXCAVATION.
- H17.

THE PLUMBER SHALL ARRANGE FOR ALL INSPECTIONS AND TESTING OF SERVICES REQUIRED BY THE LOCAL AUTHORITY PRIOR TO CONCEALMENT.
- H18.

FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER; CLEAN OUT AERATORS, STRAINERS, FILTERS, ETC.; FLOW TEST ALL HYDRANTS AND HOSE REELS.
- H19.

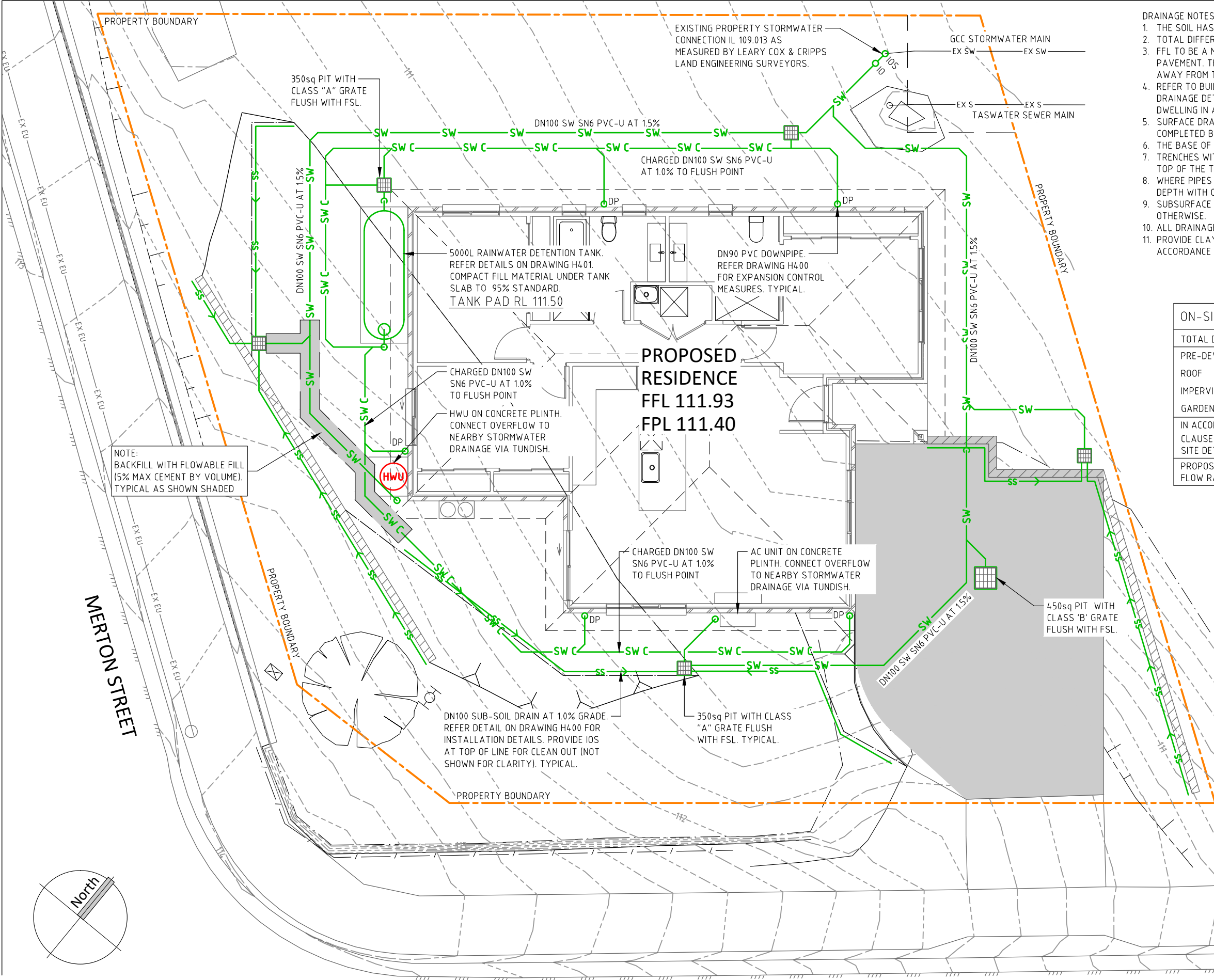
FOR CLASS M AND ABOVE SOIL TYPES ADDITIONAL REQUIREMENTS FOR DRAINAGE INSTALLATION SHALL BE IN ACCORDANCE WITH AS2870.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-224

DATE RECEIVED: 06/11/2025

				GANDY AND ROBERTS CONSULTING ENGINEERS 159 DAVEY STREET, HOBART TASMANIA, AUSTRALIA 7000 www.gandyandroberts.com.au mail@gandyandroberts.com.au ph 03 6223 8877	SAMRA RESIDENCE - 714272 10 MERTON STREET, GLENORCHY, TASMANIA DRAWING TITLE DRAWING NOTES	DESIGNED JK PROJECT 25.0209	DRAWN JK DRAWING H002	CHECKED SP REVISION 1
1	CONSTRUCTION ISSUE	SP	20.10.2025					
REV	DESCRIPTION	APP'D	DATE					



- DRAINAGE NOTES:
1. THE SOIL HAS BEEN CLASSIFIED AS 'M'
 2. TOTAL DIFFERENTIAL MOVEMENT OF 20-40mm.
 3. FFL TO BE A MINIMUM OF 150mm ABOVE ADJACENT FINISHED GROUND, LANDSCAPING OR PAVEMENT. THIS MAY BE REDUCED TO 50mm WHERE ADJOINING CONCRETE PAVEMENTS SLOPE AWAY FROM THE BUILDING.
 4. REFER TO BUILDING DESIGNERS DOCUMENTATION FOR SURFACE LEVELS AND SURFACE DRAINAGE DETAILS. SURFACES ADJACENT TO A BUILDING SHALL FALL AWAY FROM THE DWELLING IN ACCORDANCE WITH THE NCC. NOT LESS THAN 50mm IN THE FIRST METRE.
 5. SURFACE DRAINAGE SHALL BE CONTROLLED FROM THE START OF SITE PREPARATION AND BE COMPLETED BY FINISH OF CONSTRUCTION.
 6. THE BASE OF ALL TRENCHES SHALL SLOPE AWAY FROM THE BUILDING WHERE POSSIBLE.
 7. TRENCHES WITHIN 15m OF SLAB/FOOTINGS SHALL BE BACKFILLED WITH 300mm CLAY AT THE TOP OF THE TRENCH & COMPACTED.
 8. WHERE PIPES PASS BENEATH THE FOOTING OR SLAB THE TRENCH SHALL BE BACKFILLED FULL DEPTH WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER.
 9. SUBSURFACE DRAINS NOT PERMITTED WITHIN 15m OF SLAB/FOOTINGS UNLESS NOTED OTHERWISE.
 10. ALL DRAINAGE SHALL BE IN ACCORDANCE WITH AS/NZS 3500 AND AS2870 SECTIONS 5 AND 6.
 11. PROVIDE CLAY PLUG TO ALL SERVICE TRENCHES (INCLUDING POWER, WATER AND COMMS) IN ACCORDANCE WITH AS 2870.

AS2870 SOIL CLASSIFICATION: CLASS M (Y_s=20-40mm)

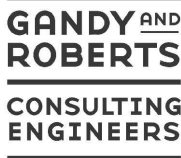
ON-SITE STORMWATER DETENTION			
TOTAL DEVELOPMENT AREA = 452 m ²			
PRE-DEVELOPMENT AREAS		DEVELOPMENT AREAS	
ROOF	0 m ²	ROOF	141 m ²
IMPERVIOUS	0 m ²	IMPERVIOUS	53 m ²
GARDEN	452 m ²	GARDEN	256 m ²
IN ACCORDANCE WITH GLENORCHY CITY COUNCIL STORMWATER MANAGEMENT POLICY CLAUSE 6(h) ADDITIONAL IMPERVIOUS SURFACE OF 150m ² TO 200m ² REQUIRES 3.5m ³ ON SITE DETENTION.			
PROPOSED ONSITE DETENTION TANK: 5000L ORION SLIMLINE TANK WITH CONTROLLED FLOW RATE WITH 25mm ORIFICE			

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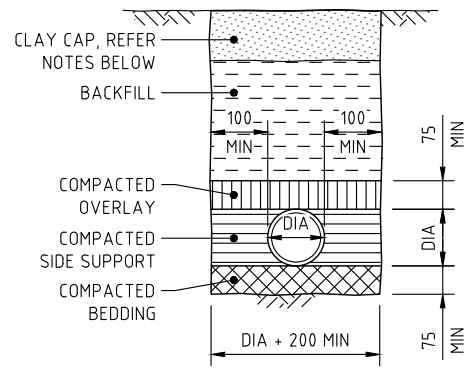
159 DAVEY STREET, HOBART
TASMANIA, AUSTRALIA 7000

www.gandyandroberts.com.au
mail@gandyandroberts.com.au
ph 03 6223 8877

SAMRA RESIDENCE - 714272
10 MERTON STREET, GLENORCHY, TASMANIA

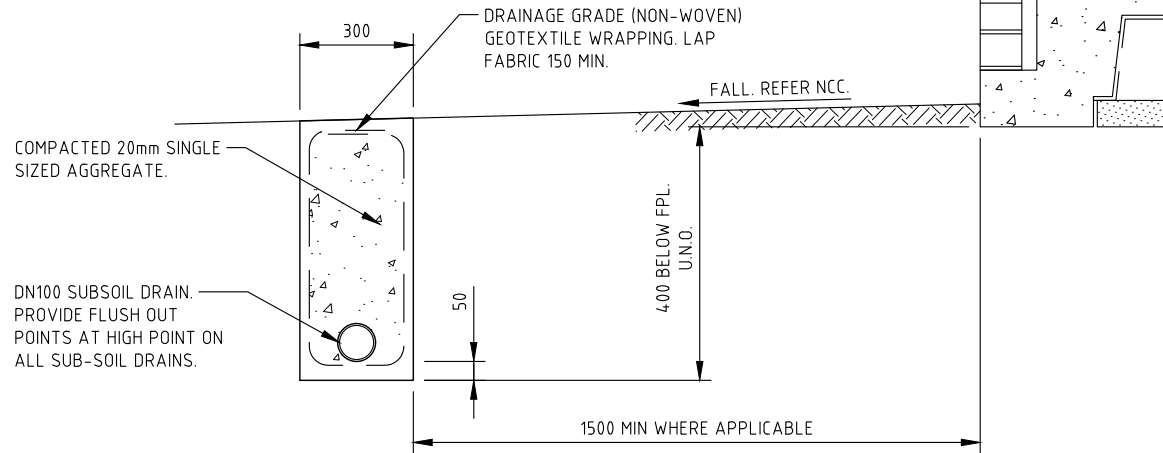
DRAWING TITLE
STORMWATER DRAINAGE PLAN

0 50mm SCALE 1:100 @ A3		
DESIGNED JK	DRAWN JK	CHECKED SP
PROJECT 25.0209	DRAWING H100	REVISION 1

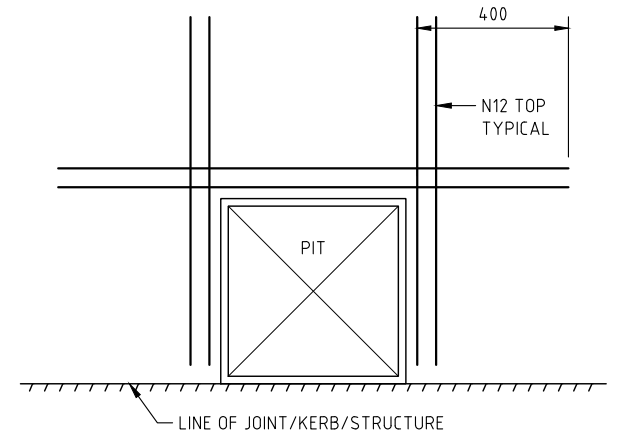


- NOTE:
- BEDDING, PIPE SUPPORT AND OVERLAY: PLUMBING/SW - 7 mm CLEAN CRUSHED AGGREGATE WATER - SAND OR FINE GRAINED SOIL
 - BACKFILL - MATERIAL EXCAVATED FROM TRENCH PROVIDING THAT THE MATERIAL IS FREE FROM BUILDER'S WASTE OR ROCKS/HARD MATTER LARGER THAN 25 mm, AND SOIL LUMPS LARGER THAN 75 mm
 - IN TRAFFICABLE AREAS TRENCH FILL SHALL BE PLACED IN LOOSE LAYERS NOT EXCEEDING 200 mm THICK AND COMPACTED TO NOT LESS THAN 90% STD MDD FOR CONCRETE PAVEMENTS OR 95% STD MDD FOR ASPHALT PAVEMENTS
 - 300 mm THICK CLAY CAP REQUIRED WHERE TRENCH WITHIN 1500 mm OF BUILDING

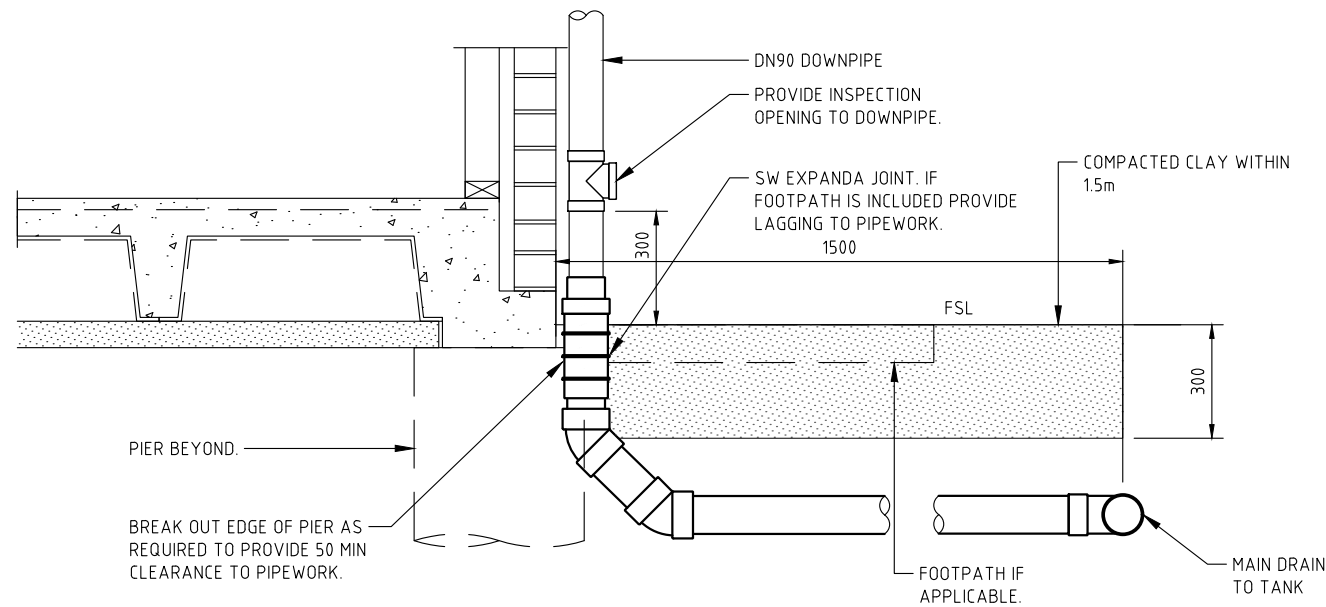
TYPICAL RESIDENTIAL SERVICES TRENCH DETAIL
NTS



TYPICAL SUBSOIL DRAIN DETAIL
NTS



TYPICAL REINFORCEMENT TO GRATED
PITS ADJACENT TO STRUCTURES/JOINTS
NTS



SCHEMATIC CHARGED STORMWATER DRAINAGE DETAIL
NOT TO SCALE

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mail@gandyandroberts.com.au
ph 03 6223 8877

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DRAWING TITLE
DETAILS 1

DESIGNED JK	DRAWN JK	CHECKED SP
PROJECT 25.0209	DRAWING H400	REVISION 1

