

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-276
PROPOSED DEVELOPMENT:	Partial Demolition, Alterations and Partial Change of Use (Food Service)
LOCATION:	108 Chapel Street Glenorchy
APPLICANT:	Oramatis Studio
ADVERTISING START DATE:	11/11/2025
ADVERTISING EXPIRY DATE:	25/11/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **25/11/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **25/11/2025**, or for postal and hand delivered representations, by 5.00 pm on **25/11/2025**.



ORAMATIS



DEVELOPMENT APPLICATION

108 CHAPEL STREET, GLENORCHY

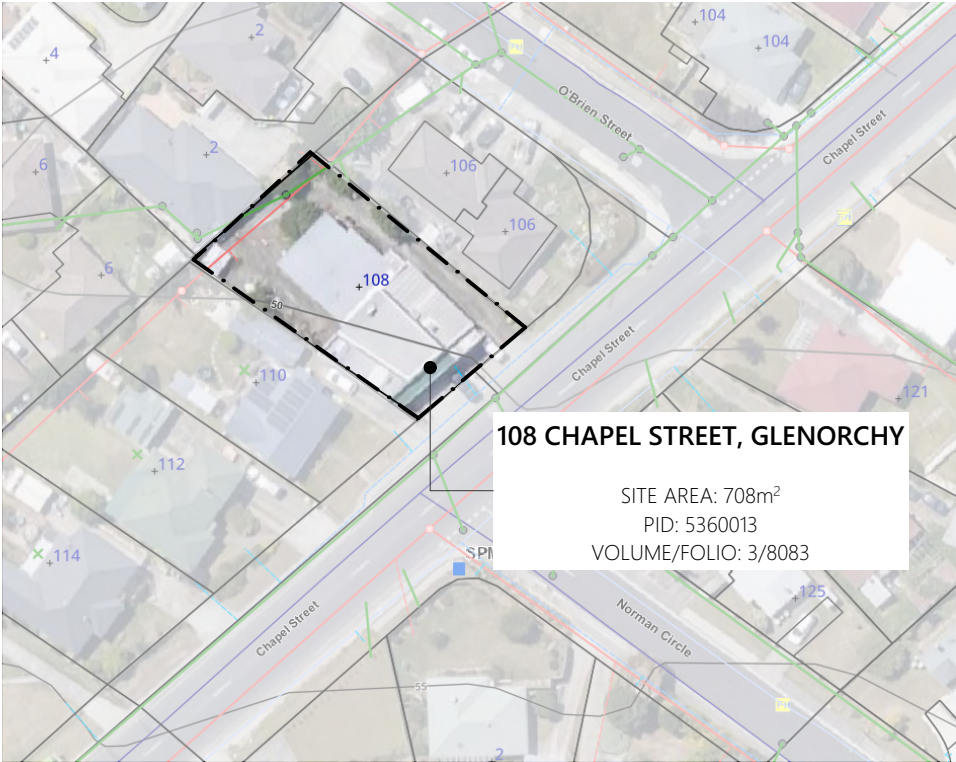
SHOP RENOVATION ADDITIONAL TENNACY

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-276

DATE RECEIVED: 29/10/2025

ID	NAME	REV
	COVER PAGE	
DA01	NOTES & SITE LOCATION PLAN	
DA02	SITE PLAN	
DA03	EXISTING FLOOR PLAN	
DA04	PROPOSED FLOOR PLAN	
DA05	ELEVATION	



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LOCATION PLAN/SATELLITE IMAGERY

1:1000

GENERAL NOTES

GENERAL
© REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 3/8083

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N2

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: M

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: N/A

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a



ORAMATIS STUDIO

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Version: 1, Version Date: 00/10/2025

GENERAL NOTES

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REV ID	DESCRIPTION	DATE
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PROJECT	108 CHAPEL STREET, GLENORCHY
CLIENT	Fabio Ditommaso

REVISION	DATE	22/10/2025
PROJECT ID	CHECKED BY	AH
2551		

SCALE	AS SHOWN @ A3
DRAWN BY	CL

PAGE	DA01	NORTH
DRAWING	NOTES & SITE LOCATION PLAN	

LEGEND

- WM

EXISTING WATER METER
- SLC

SEWER LOT CONNECTION
- SWLC

STORMWATER LOT CONNECTION
- EASEMENT SETBACK
- S

PROPOSED Ø100 UPVC SEWER LI
- SW

PROPOSED Ø100 UPVC STORMW/
- W

PROPOSED Ø100 UPVC WATER LI
- EXS

SEWER MAIN
- EXS

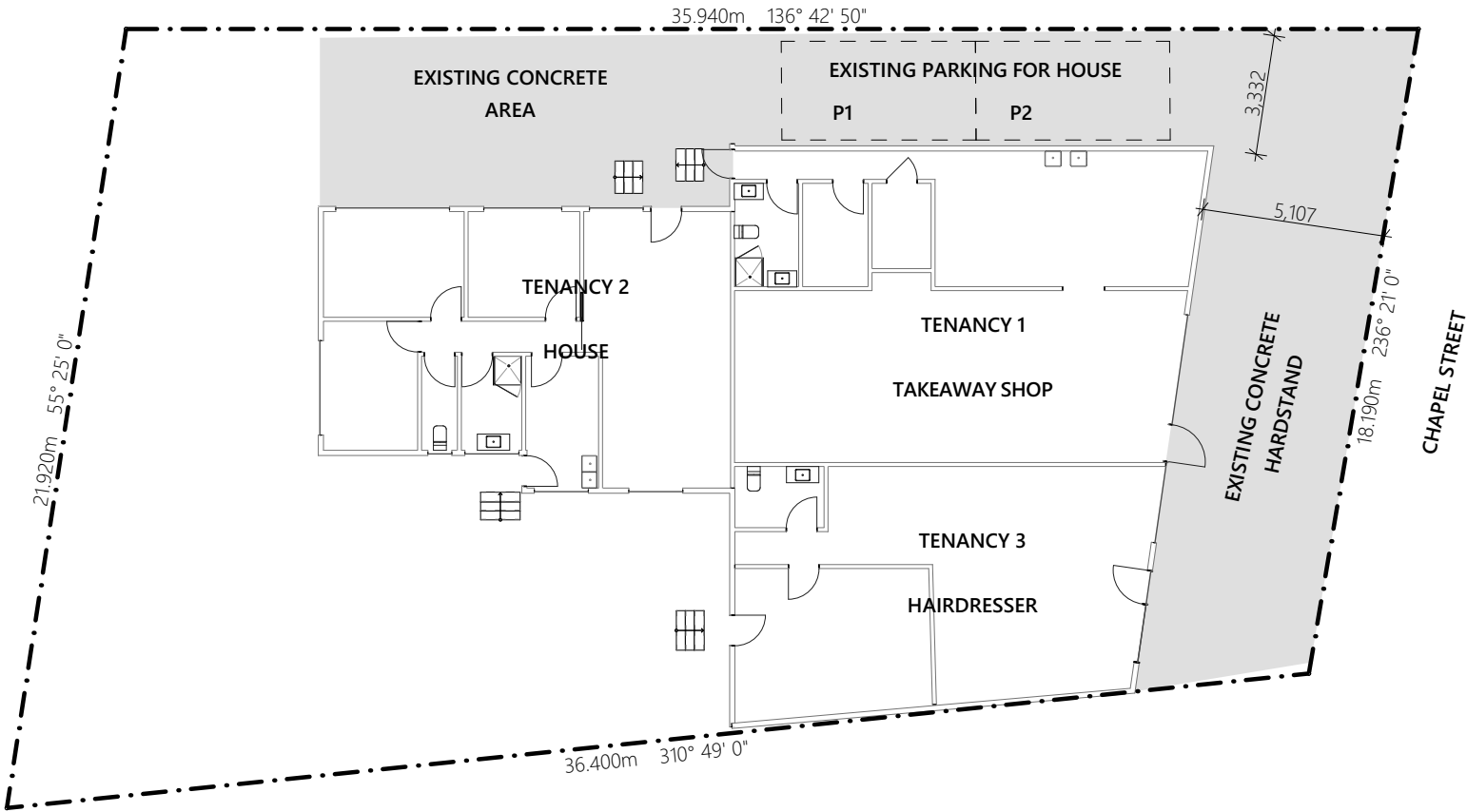
EXISTING SEWER LINE
- EXSW

STORMWATER MAIN
- EXSW

EXISTING STORMWATER LINE
- EXW

WATER MAIN
- EXW

EXISTING WATER LINE



2

SITE PLAN

1:200

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ADDITIONAL TENNACY 108 CHAPEL STREET, GLENORCHY		22/10/2025	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
Fabio Ditommaso	2551	AH	CL

PAGE	NORTH
DA02	
DRAWING	
SITE PLAN	

FLOOR PLAN LEGEND

- B

BR

BT

CT

DW

DR

F

Fr

P

RH

S

SH

ST

TR

V

WM
- BASIN

BROOM CLOSET

BATH TUB

COOKTOP

DISHWASHER

DRYER

FRIDGE

FRYER

PANTRY

RANGEHOOD

SINK

SHOWER CABIN

STORAGE

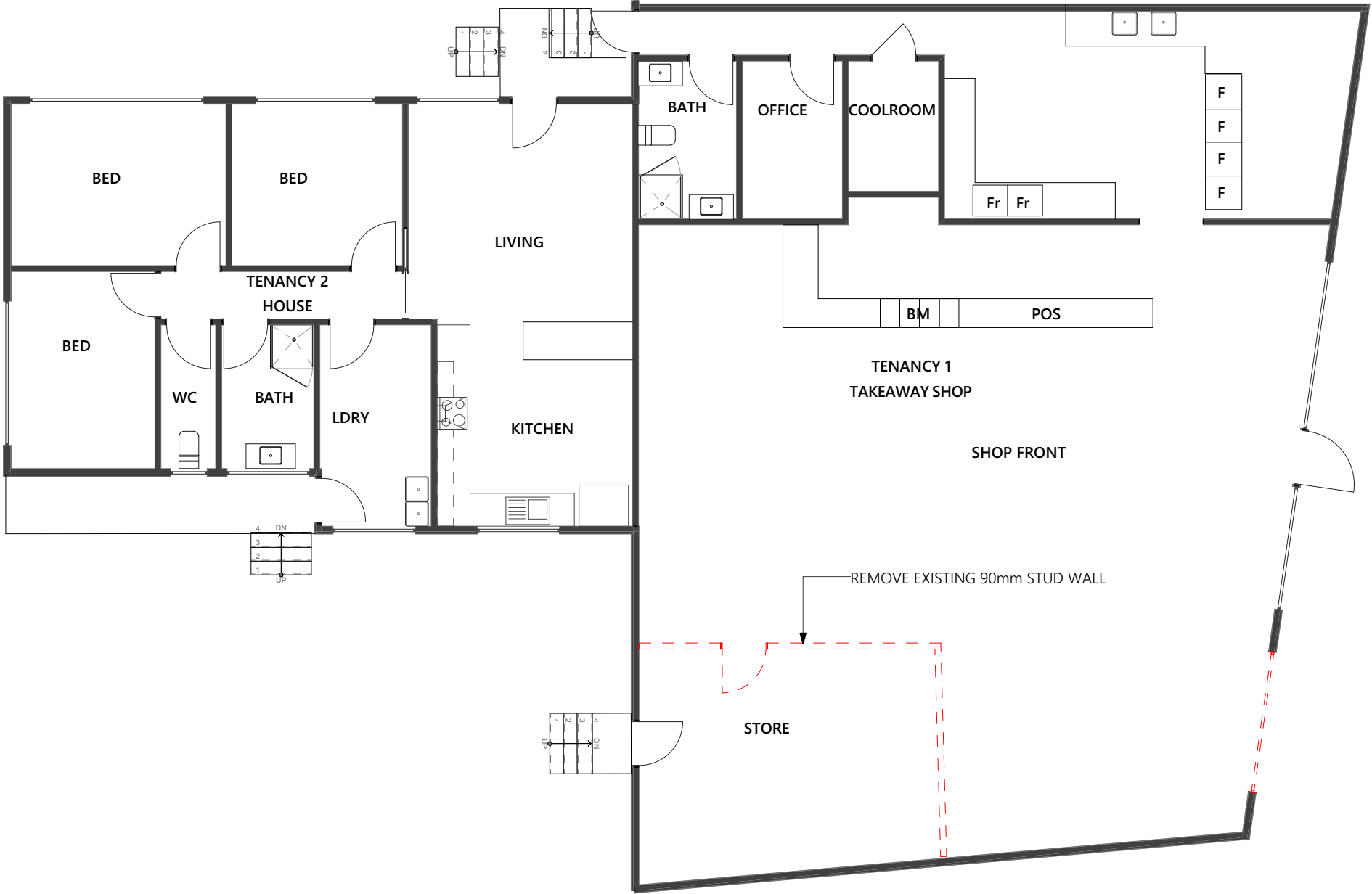
LAUNDRY TROUGH

VANITY

WASHING MACHINE

LEGEND

- ELEMENTS TO BE DEMOLISHED & REMOVED
- EXISTING ELEMENTS TO BE RETAINED
- PROPOSED WORKS



1

EXISTING & DEMOLITION FLOOR PLAN

1:100

FLOOR PLAN LEGEND

- B

BR

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RH

S

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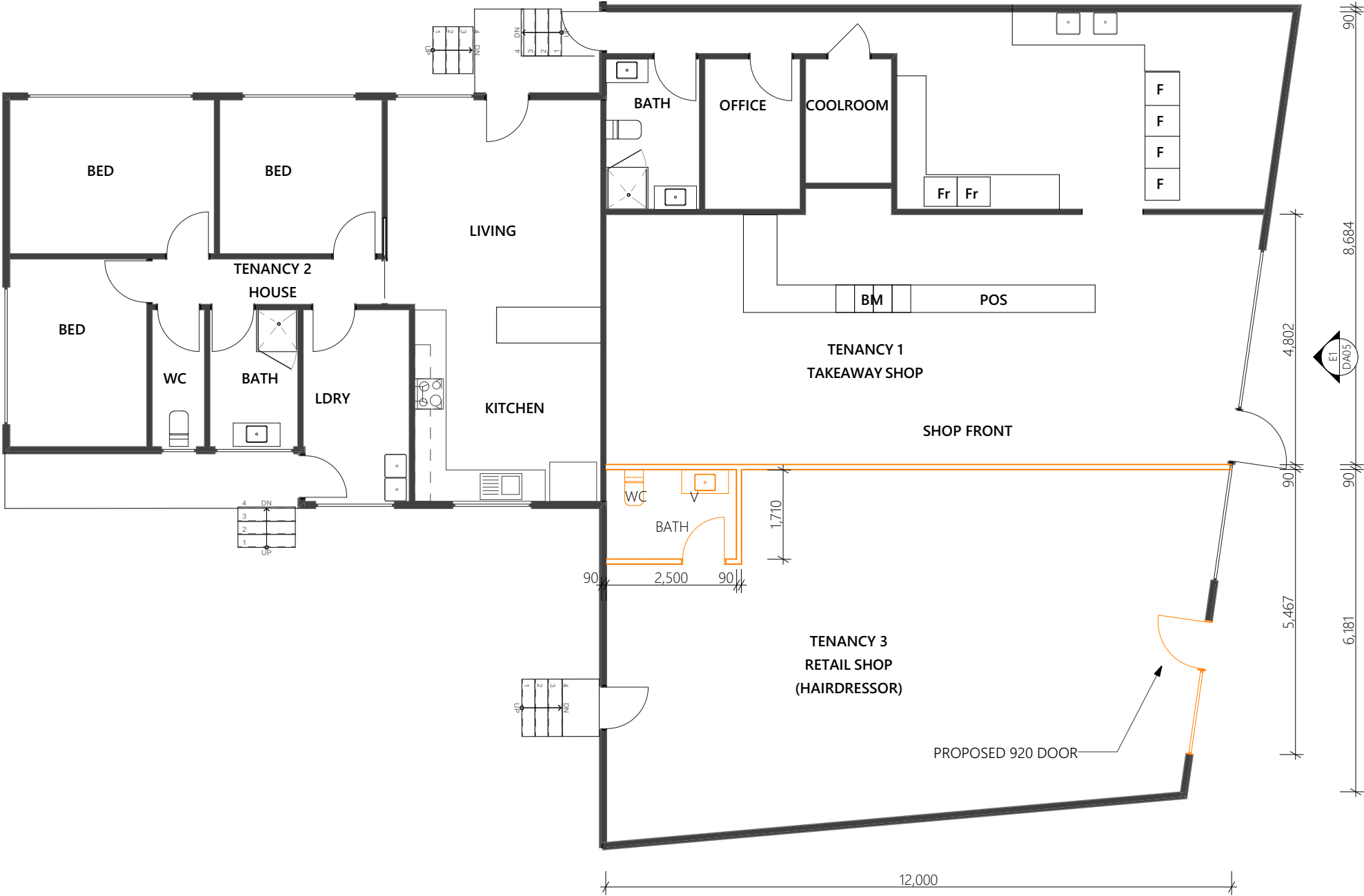
LAUNDRY TROUGH

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1
-
PROPOSED FLOOR PLAN
1:100

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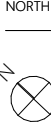
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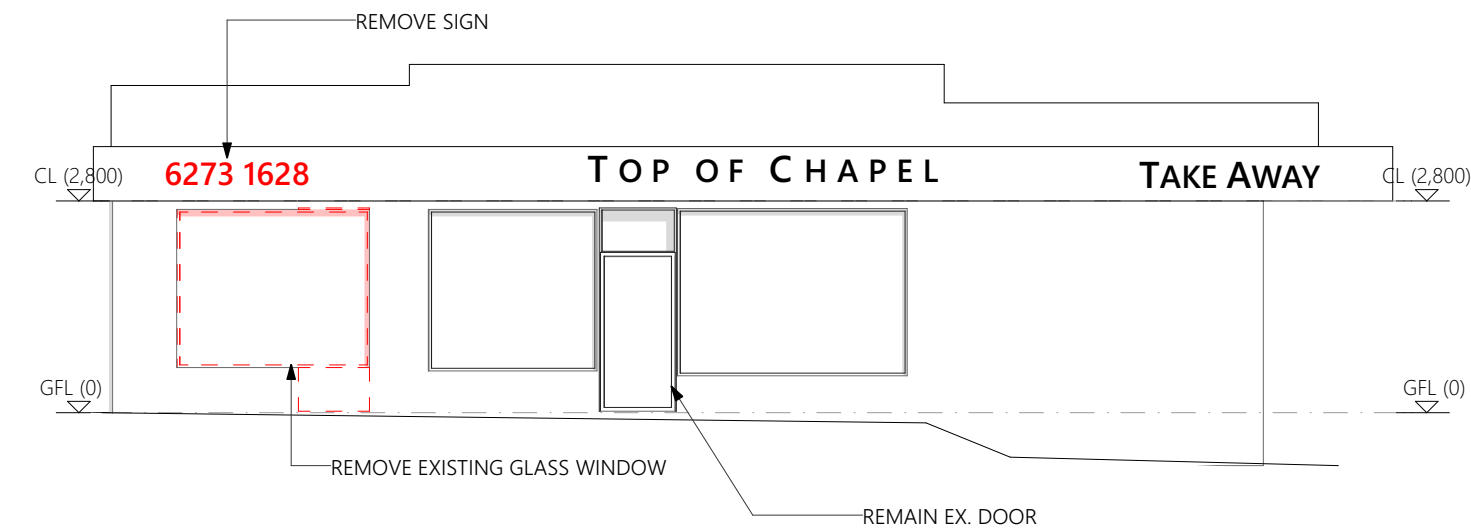
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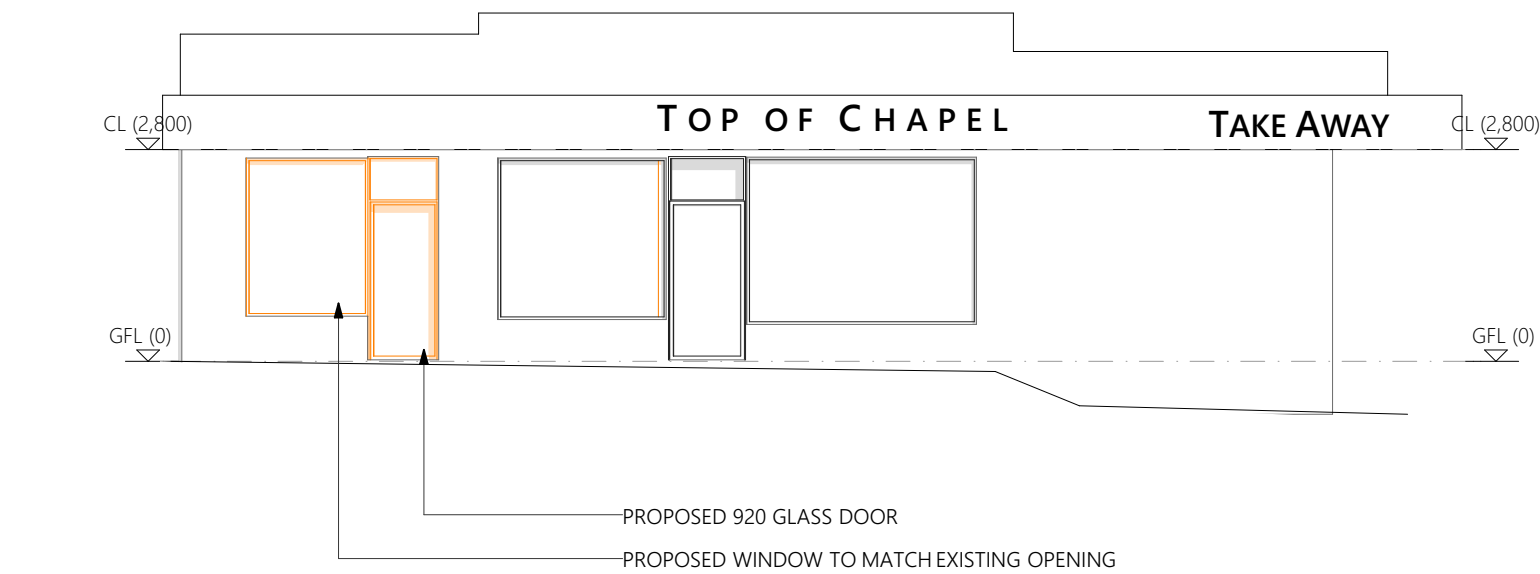
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DA04

DRAWING
PROPOSED FLOOR PLAN





1
-
EXISTING FRONT ELEVATION
1:100



2
-
PROPOSED FRONT ELEVATION
1:100

LEGEND

- ELEMENTS TO BE DEMOLISHED & REMOVED
- EXISTING ELEMENTS TO BE RETAINED
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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