

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-24-304
PROPOSED DEVELOPMENT:	Alterations and Additions to Multiple Dwelling (Residential)
LOCATION:	3/10 Timsbury Road Glenorchy
APPLICANT:	Oramatis Studio
ADVERTISING START DATE:	14/11/2025
ADVERTISING EXPIRY DATE:	28/11/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **28/11/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **28/11/2025**, or for postal and hand delivered representations, by 5.00 pm on **28/11/2025**.



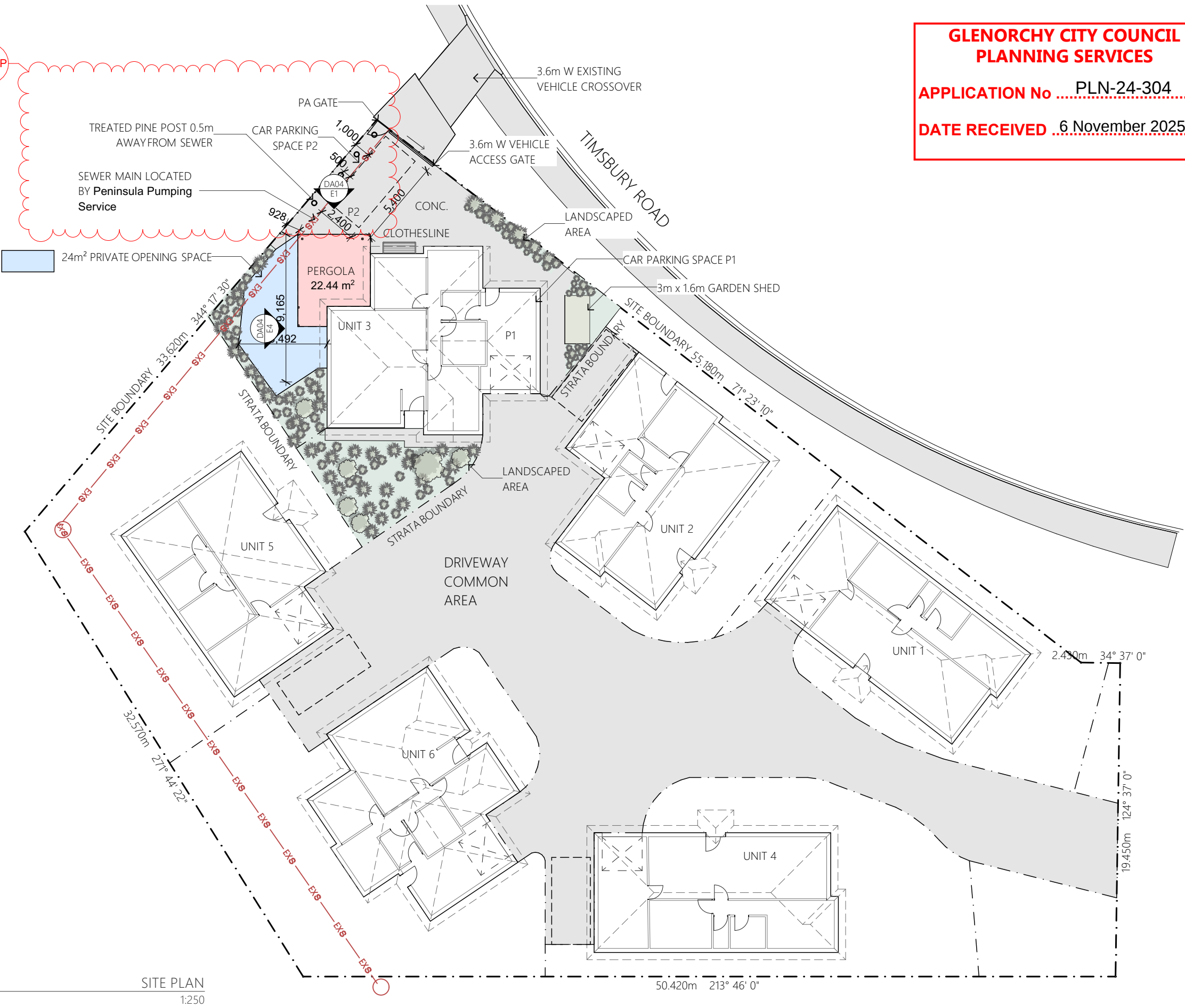
ORAMATIS



DEVELOPMENT APPLICATION

UNIT 3, 10 TIMSBURY ROAD, GLENORCHY

A - WIP



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No **PLN-24-304**

DATE RECEIVED .. **6 November 2025**

WORKS TO BE APPROVED FOR 3/10
TIMSBURY ROAD, GLENORCHY

1.) Private open space - The existing unit has 220sqm of dedicated total private open space in accordance with 8.4.3 A1. This includes an area to rear, defined on the site plan, that is 24sqm in one location that satisfies 8.4.3 A2.

2.) Landscaping - The originally approved landscaping has been modified. The current landscaped area has been defined on the site plan and achieves 78sqm of permeable planted area.

3.) Carparking - The existing unit parking areas have been modified to include an additional parking area for 1x additional vehicles. This additional parking space is defined on the site plan.

4.) PERGOLA - A timber framed 22.5sqm pergola has been constructed to the rear of the unit. The pergola is clad with polycarbonate roofing. The maximum height of the pergola is 2.3m. It is considered to satisfy the TPS acceptable solution requirements

5.) GATES - A single personal access gate and a 3.6m wide sliding gate have replaced a section of the originally approved 1.8 high paling fence. There are no provisions for gates within the TPS for general residential zoned land.

SITE PLAN
1:250



214 Elizabeth Street, Hobart
p: (03) 6286 8440
e: admin@oramatis.com.au
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Document Set ID: 3555042
Version: 1, Version Date: 12/11/2025

GENERAL NOTES

CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.
CONTRACTORS SHALL SUBMIT SAMPLES AND SHOP DRAWINGS BEFORE COMMENCING WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. THESE DESIGNS, PLANS, SPECIFICATIONS AND THE COPYRIGHT HEREIN ARE THE PROPERTY OF ORAMATIS STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ORAMATIS STUDIO.

REV ID	DESCRIPTION	DATE
A - WIP	Change	Work in Progress

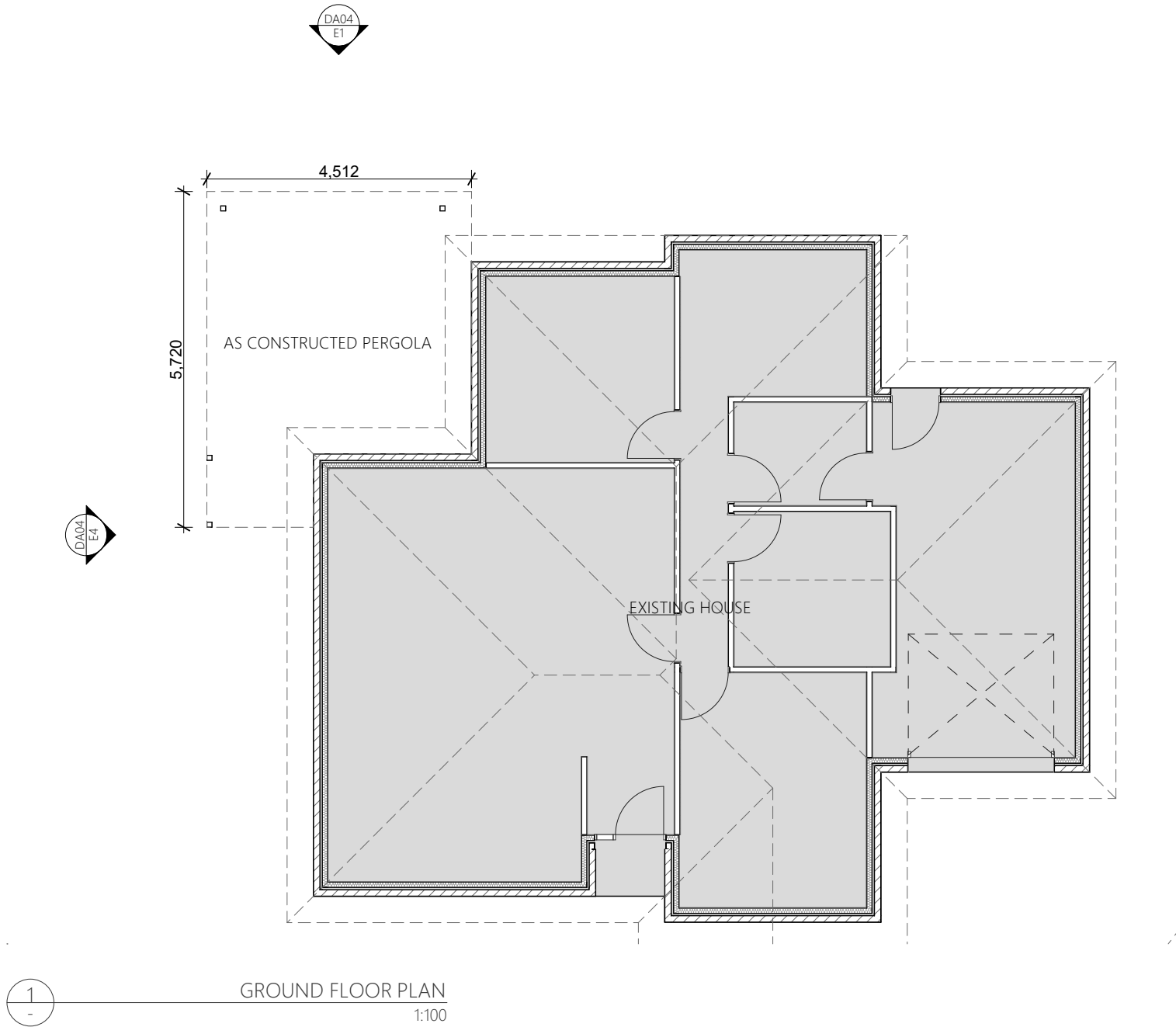
PROJECT
NEW POS UNIT3, 10 TIMSBURY ROAD, GLENORCHY
CLIENT
NGUYEN

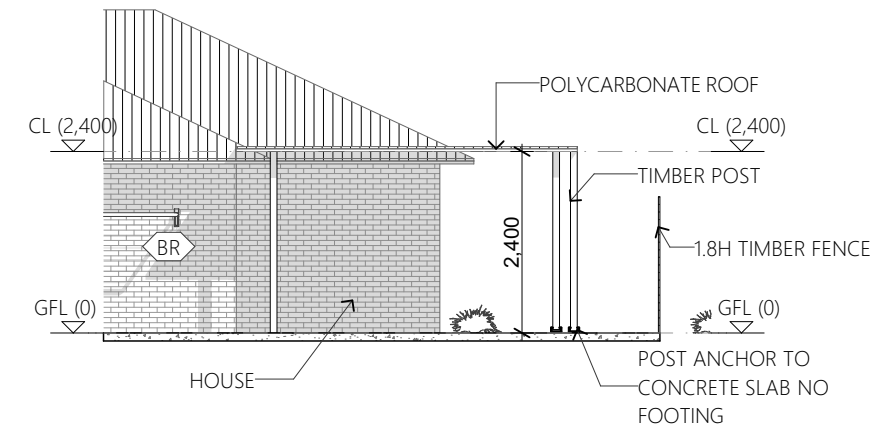
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A - WIP	6/11/2025
PROJECT ID	CHECKED BY
2412	A. HILL

SCALE	DRAWN BY
AS SHOWN @ A3	C. LI

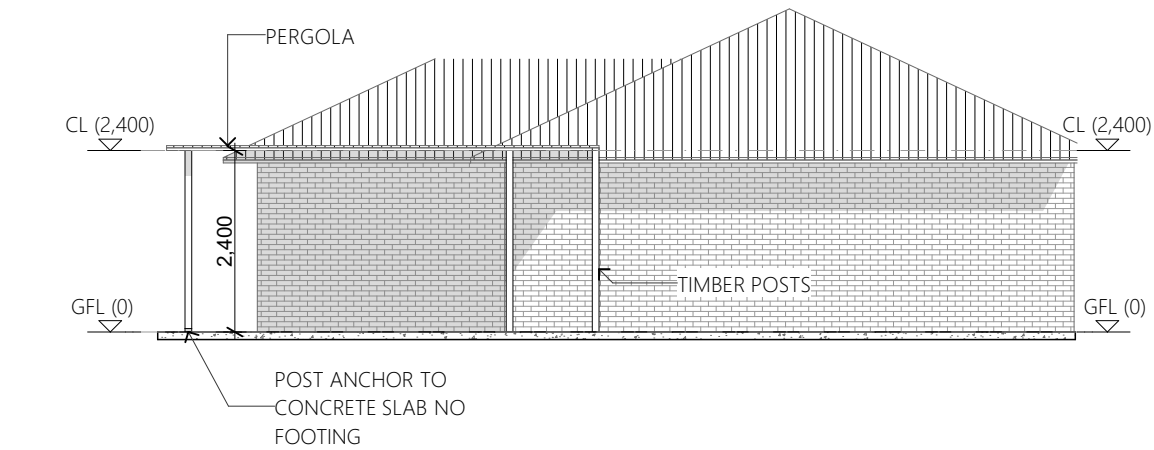
PAGE
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DRAWING
SITE PLAN







1 NORTH ELEVATION 1:100



2 WEST ELEVATION 1:100



EXISTING PATIOSTRUCTURE

MATERIAL & FINISHES

ROOF

- CO** CUSTOM ORB ROOF SHEET
COLOUR: *MONUMENT TBC*
- TD** TRIMDEK ROOF SHEET
COLOUR: *MONUMENT TBC*
- G1** COLORBOND QUAD GUTTER TYP.
COLOUR: *TO MATCH ROOF*
- G2** COLORBOND BOX GUTTER TYP.
COLOUR: *TO MATCH ROOF*
- D1** DOWNPIPES
COLOUR: *TO MATCH ROOF*

WALL

- BR-1** BRICK VENEER WALL
COLOUR: *BRICK SELECTION TBC*
- WF-1** EXTERNAL WALL PAINT
COLOUR: *SURFMIST TBC*
- WF-2** JAMES HARDIE PANEL
COLOUR: *MONUMENT TBC*

COLUMN

- C1** TIMBER CLADDLED COLUMN
FINISH: *2 COATS PRE OILED*

NOTE:

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

GLENORCHY CITY COUNCIL PLANNING SERVICES

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A. HILL

SCALE

AS SHOWN @ A3

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C. LI

PAGE

DA04

DRAWING

ELEVATION

NORTH