

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-138
PROPOSED DEVELOPMENT:	Residential (Dwelling)
LOCATION:	47 Kiewa Rise Lenah Valley
APPLICANT:	Cavalier Homes
ADVERTISING START DATE:	02/12/2025
ADVERTISING EXPIRY DATE:	16/12/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **16/12/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **16/12/2025**, or for postal and hand delivered representations, by 5.00 pm on **16/12/2025**.



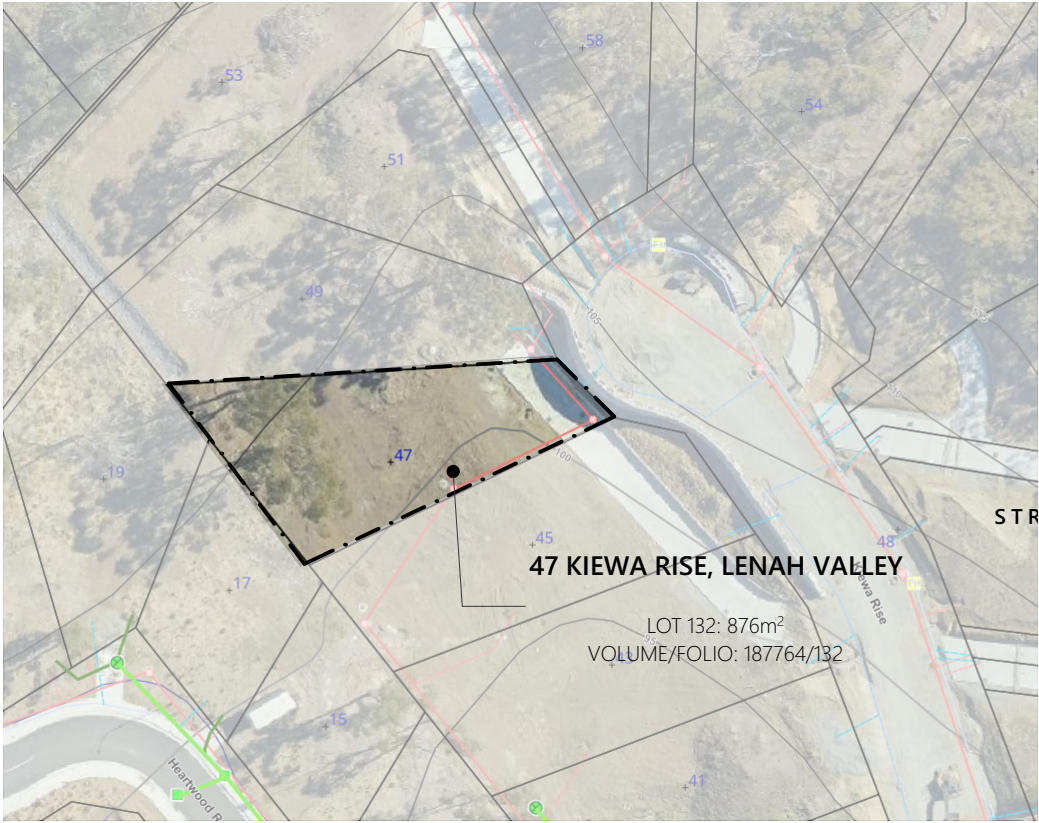
ORAMATIS

DEVELOPMENT APPLICATION

47 KIEWA RISE, LENA H VALLEY

PROPOSED HOUSE KIEWA RISE HOUSE

ID	NAME	REV
	COVER PAGE	
DA01	NOTES & SITE LOCATION PLAN	
DA02	SITE PLAN	
DA03	CAR TURNING	
DA04	FLOOR PLAN	
DA05	ELEVATION	
DA06	ELEVATION	



1 LOCATION PLAN/SATELLITE IMAGERY
- 1:1000

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-25-138

DATE RECEIVED 26-05-2025

GENERAL NOTES

GENERAL
© REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE
CONSENT OF ORAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS,
LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR
INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT
STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE
NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT
CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER
CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE
ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE
CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF
THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE
PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE
WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST
PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY
MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 187764/132

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N2

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: M

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: BAL-12.5

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a



ORAMATIS STUDIO

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Document Set ID: 3492238

Version: 3, Version Date: 26/05/2025

GENERAL NOTES

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REV ID	DESCRIPTION	DATE
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PROJECT	KIEWA RISE HOUSE 47 KIEWA RISE, LENA VALLEY
CLIENT	CAVALIER HOMES

REVISION	DATE
	16/04/2025
PROJECT ID	CHECKED BY
2514	A.HILL

SCALE	DRAWN BY
AS SHOWN @ A3	C.LI

PAGE	NORTH
DA01	
DRAWING	
NOTES & SITE LOCATION PLAN	

- LEGEND
- WM

EXISTING WATER METER
- SLC

SEWER LOT CONNECTION
- SWLC

STORMWATER LOT CONNECTION
- EASEMENT SETBACK
- S

PROPOSED Ø100 UPVC SEWER LINE
- SW

PROPOSED Ø100 UPVC STORMWATER LINE
- W

PROPOSED Ø100 UPVC WATER LINE
- EXS

SEWER MAIN
- EXS

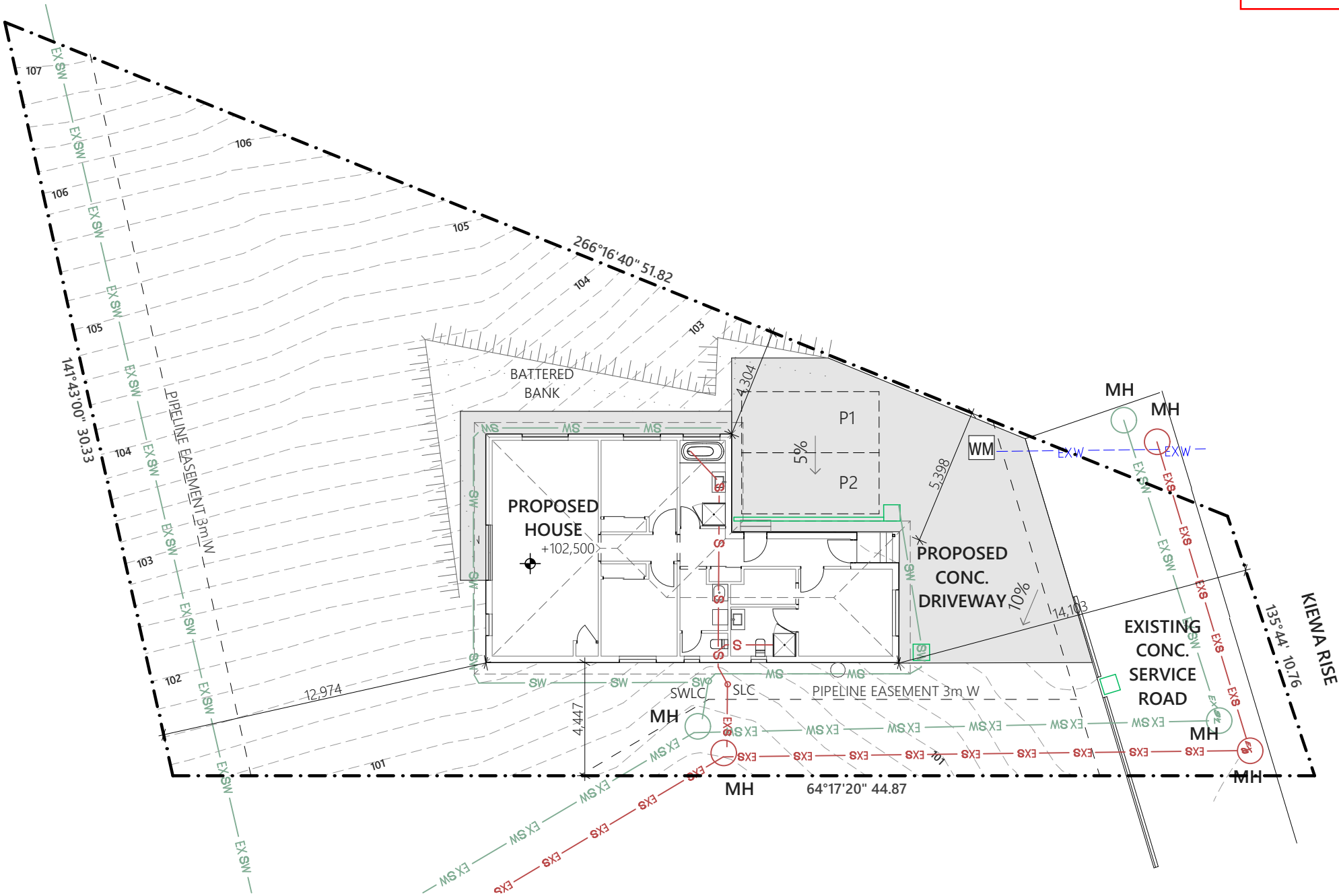
EXISTING SEWER LINE
- EXSW

STORMWATER MAIN
- EXSW

EXISTING STORMWATER LINE
- EXW

WATER MAIN
- EXW

EXISTING WATER LINE



1

SITE PLAN

1:200

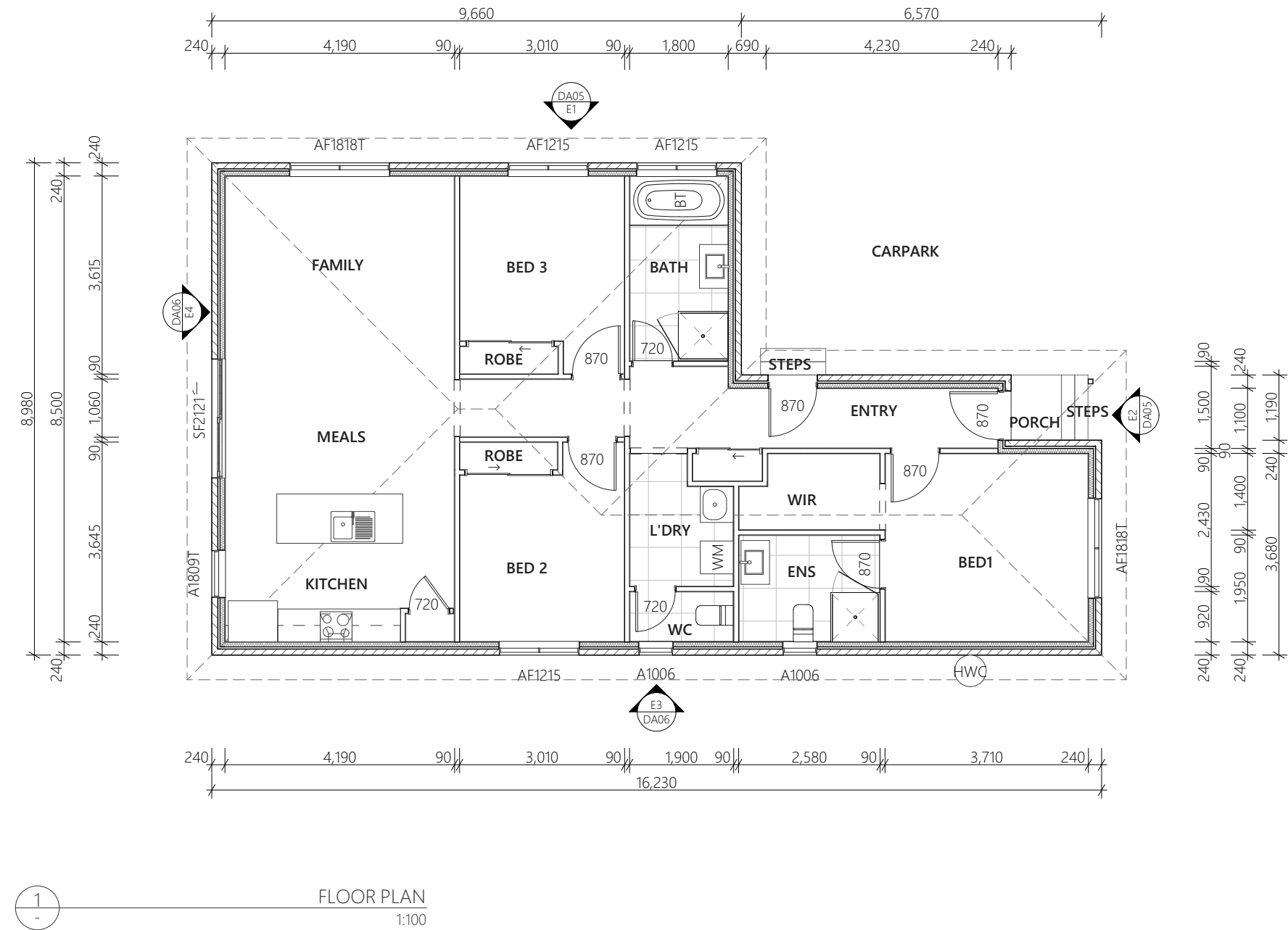
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REV ID	DESCRIPTION	DATE

PROJECT	REVISION	DATE	SCALE
KIEWA RISE HOUSE 47 KIEWA RISE, LENA VALLEY		16/04/2025	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
CAVALIER HOMES	2514	A.HILL	C.LI



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION NoPLN-25-138

DATE RECEIVED26-05-2025

NOTE
ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm
NOTE: SOIL CLASS M

FLOOR PLAN LEGEND

- B** BASIN
- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- ST** STORAGE
- TR** LAUNDRY TROUGH
- V** VANITY
- WM** WASHING MACHINE

MATERIAL & FINISHES

ROOF

- CO

CUSTOM ORB ROOF SHEET
COLOUR: *MONUMENT TBC*
- TD

TRIMDEK ROOF SHEET
COLOUR: *MONUMENT TBC*
- G1

COLORBOND QUAD GUTTER TYP.
COLOUR: *TO MATCH ROOF*
- G2

COLORBOND BOX GUTTER TYP.
COLOUR: *TO MATCH ROOF*
- D1

DOWNPipes
COLOUR: *TO MATCH ROOF*

WALL

- BR-1

BRICK VENEER WALL
COLOUR: *BRICK SELECTION TBC*
- WF-1

EXTERNAL WALL PAINT
COLOUR: *SURFMIST TBC*
- WF-2

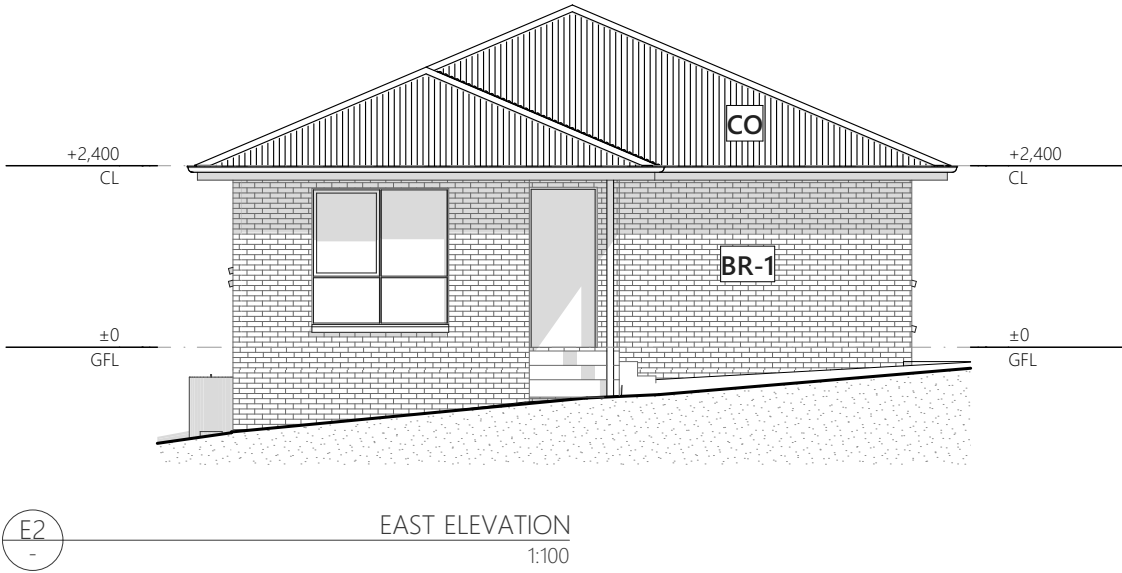
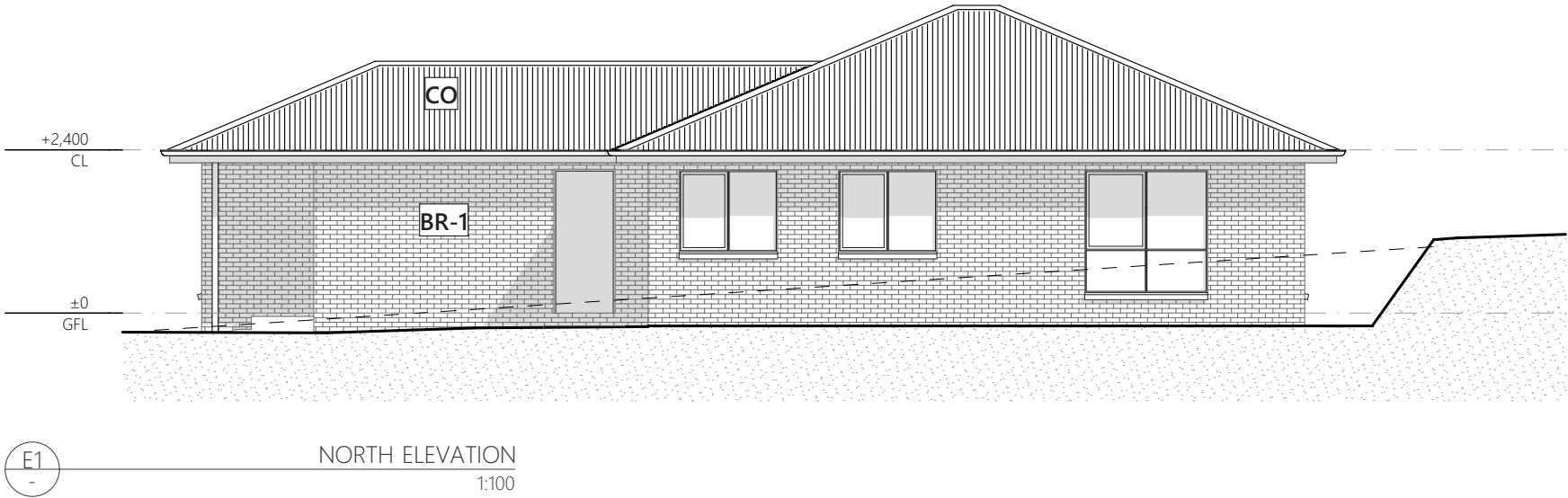
JAMES HARDIE PANEL
COLOUR: *MONUMENT TBC*

COLUMN

- C1

TIMBER CLADDED COLUMN
FINISH: *2 COATS PRE OILED*

NOTE:
ALL PROPRIETARY MATERIALS TO BE INSTALLED IN
STRICT ACCORDANCE WITH MANUFACTURER'S
INSTRUCTIONS



MATERIAL & FINISHES

ROOF

- CO

CUSTOM ORB ROOF SHEET
COLOUR: *MONUMENT TBC*
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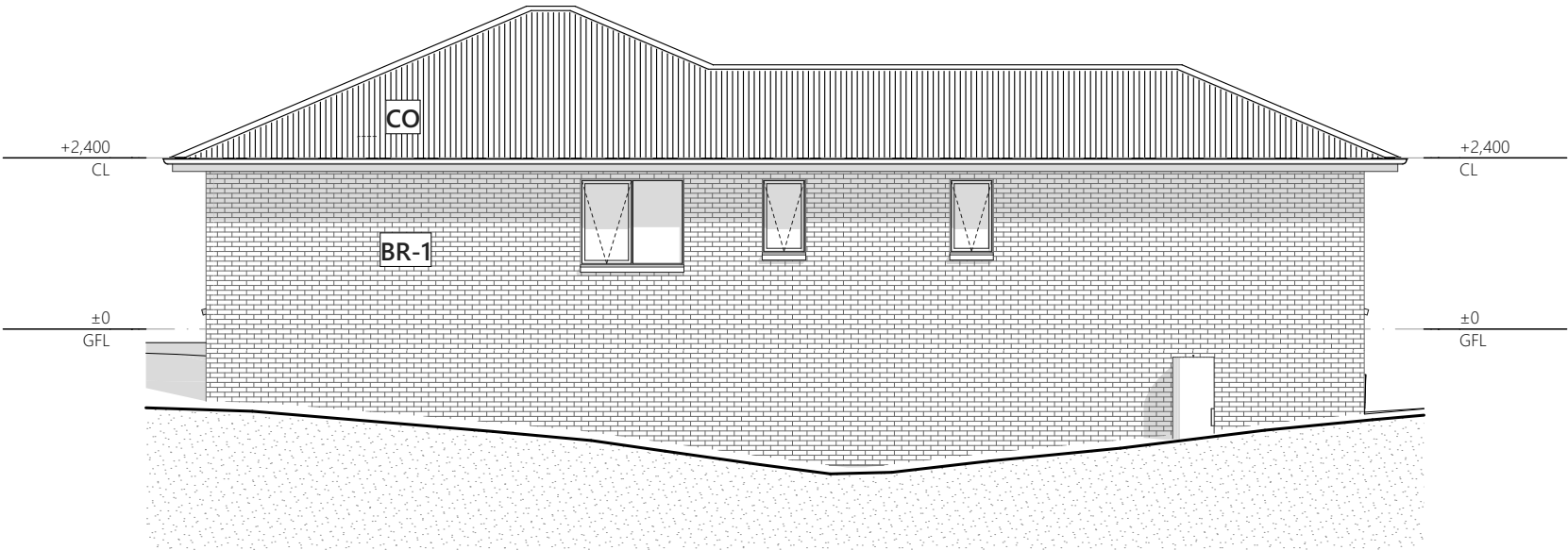
COLUMN

- C1

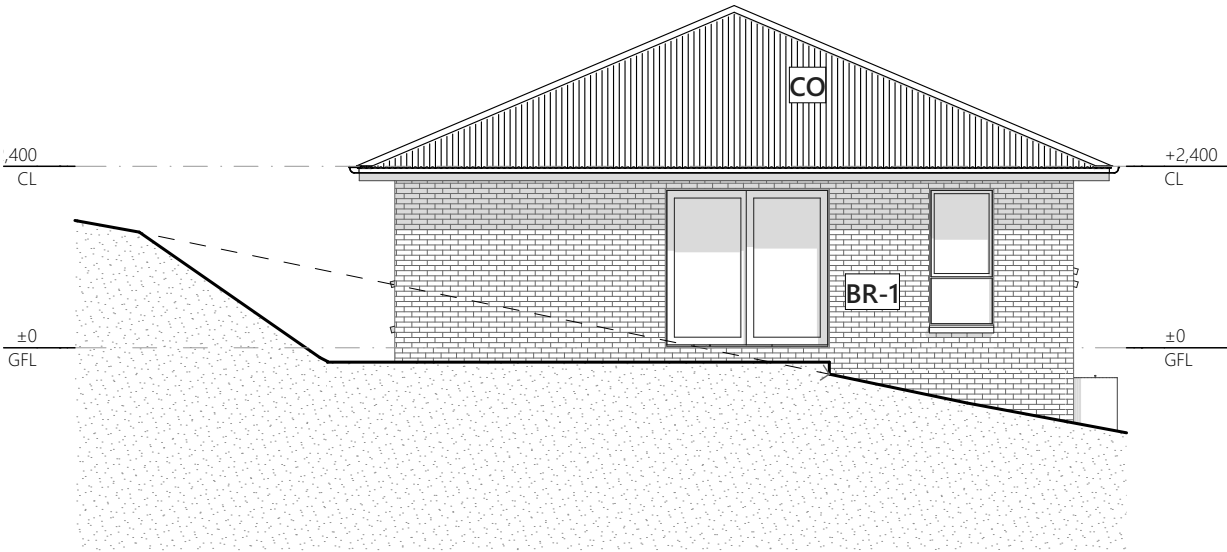
TIMBER CLADDED COLUMN
FINISH: *2 COATS PRE OILED*

NOTE:

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS



E3
-
SOUTH ELEVATION
1:100



E4
-
WEST ELEVATION
1:100



ORAMATIS STUDIO

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GENERAL NOTES

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REV ID	DESCRIPTION	DATE
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PROJECT

KIEWA RISE HOUSE
47 KIEWA RISE, LENA VALLEY

CLIENT

CAVALIER HOMES

REVISION

PROJECT ID

2514

DATE

16/04/2025

CHECKED BY

A.HILL

SCALE

AS SHOWN @ A3

DRAWN BY

C.LI

PAGE

DA06

DRAWING

ELEVATION

NORTH

CIVIL PLAN

47 KIEWA RISE, LENA VALLEY

DRAWING ID	TITLE
C00	COVER
C01	SITE PLAN
C02	LONGSECTION
C03	CAR TURNING PATH PLAN

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-138

DATE RECEIVED: 20/11/2025

GENERAL NOTES

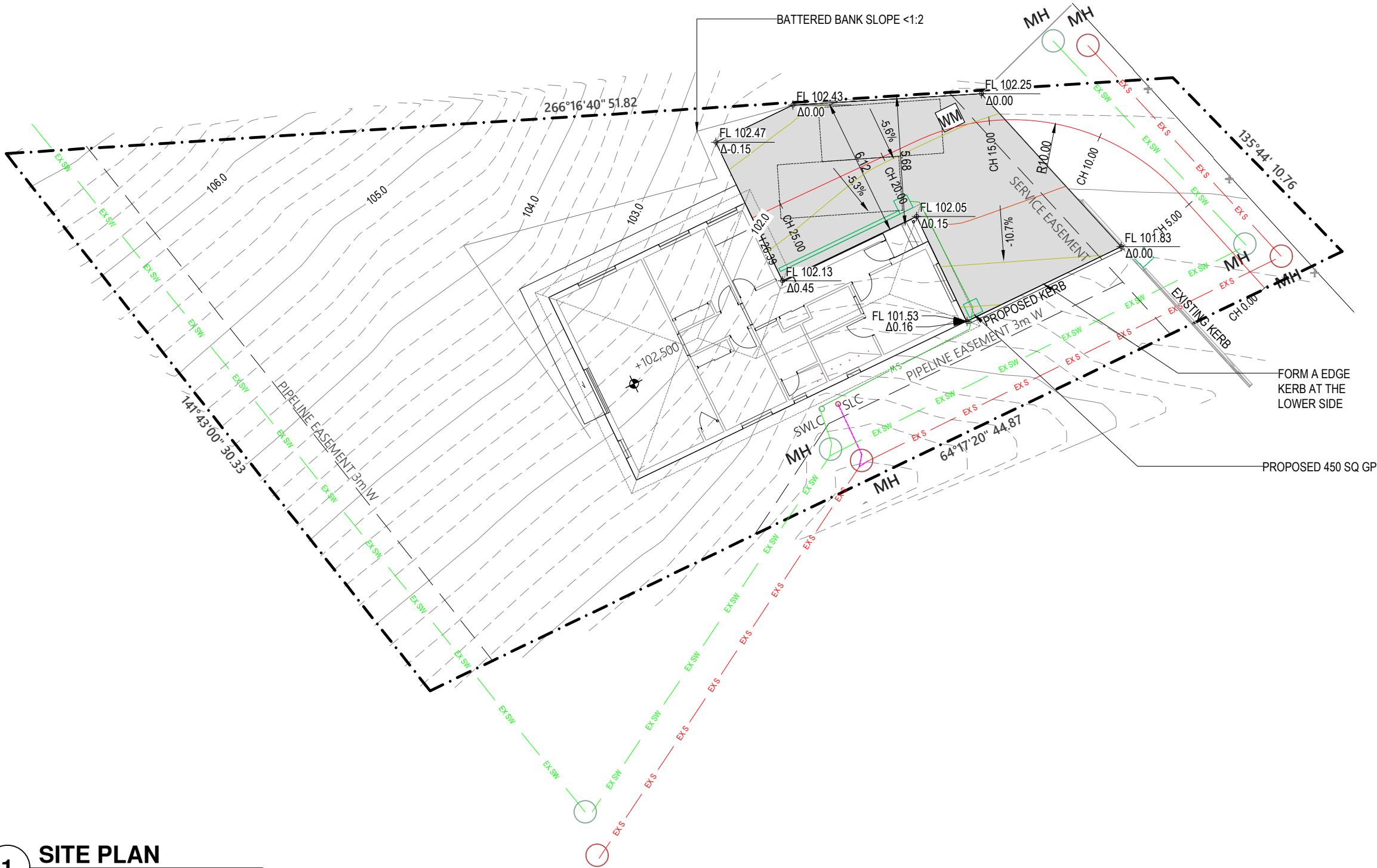
1. THE MAIN CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT AND ALL RELEVANT CODES OF PRACTICE.
2. ALL HYDRAULICS WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA STANDARD DRAWINGS AND SPECIFICATIONS, (WSAA SEWERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
3. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING TASNETWORKS TO APPLY FOR NEW CONNECTIONS AND/OR ADDITIONAL SUPPLY. SUFFICIENT TIME FOR TASNETWORKS DESIGN AND REVIEW PROCESSES SHOULD BE ALLOWED FOR.
4. NO TOP SOIL SHALL BE REMOVED FROM THE SITE WITHOUT THE CONSENT OF COUNCIL. TOP SOIL DISTURBED OR REMOVED AS A RESULT OF WORKS SHALL BE STOCK-PILED ON SITE AND LATER USED FOR REDRESSING ANY DISTURBED SURFACES.
5. ALL DISTURBED SURFACES ON SITE, EXCEPT THOSE SET ASIDE FOR ROADWAYS AND FOOTPATHS SHALL BE DRESSED WITH IMPORTED FILL AND REVEGETATED TO THE SATISFACTION OF THE COUNCIL'S DEVELOPMENT ENGINEER.
6. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
7. ALL LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
8. ALL CONNECTIONS TO EXISTING STORMWATER MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE, ALL CONNECTIONS TO SEWER/WATER MAINS TO BE CARRIED OUT BY TASWATER AT DEVELOPERS COST UNLESS APPROVED OTHERWISE
9. GENERAL MATERIALS, INSTALLATION AND TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4.
10. EXCAVATED AND IMPORTED MATERIAL USED AS FILL TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
11. ANY DEPARTURES FROM THE DESIGN DRAWINGS ARE TO BE AT THE WRITTEN APPROVAL OF THE ENGINEER AND APPROVAL FROM THE AUTHORITY. CHANGES INCLUDES CONFLICTS WITH EXISTING SERVICES.
12. UNLESS NOTED OTHERWISE, THESE NOTES SHALL APPLY TO ALL DRAWINGS IN THE SET
13. BATTERS:
MAX EMBANKMENT SLOPE 1:3.0
MAX CUTTING SLOPE 1:2.0 (LOOSE ROCK)
1:3.0 (SOIL)

IMPORTANT
DRAWINGS MUST BE
PRINTED & READ IN
COLOUR

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-138

DATE RECEIVED: 20/11/2025



1 SITE PLAN

Scale: 1:200



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GENERAL NOTES

Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled.
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PROJECT

47 KIEWA RISE, LENA VALLEY

CLIENT

CAVALIER HOMES

REVISION

A

PROJECT ID

2514

DATE

20/11/2025

CHECKED BY

A.HILL

SCALE

As shown @ A3

DRAWN BY

C. Li

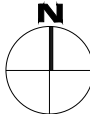
PAGE

C01

DRAWING

SITE PLAN

NORTH

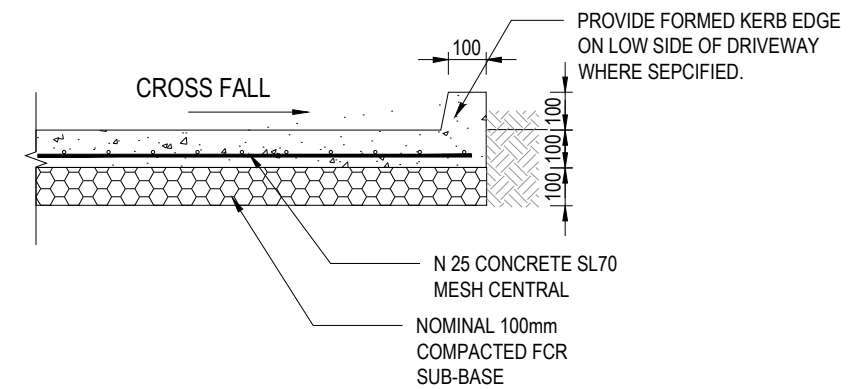
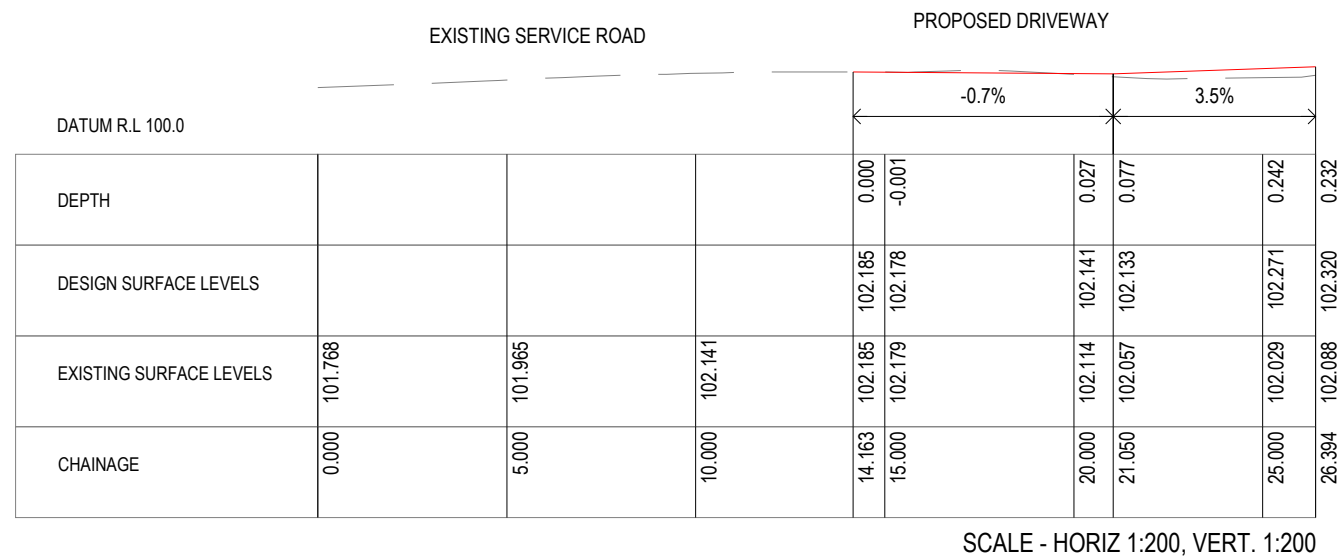


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COLOUR**

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-138

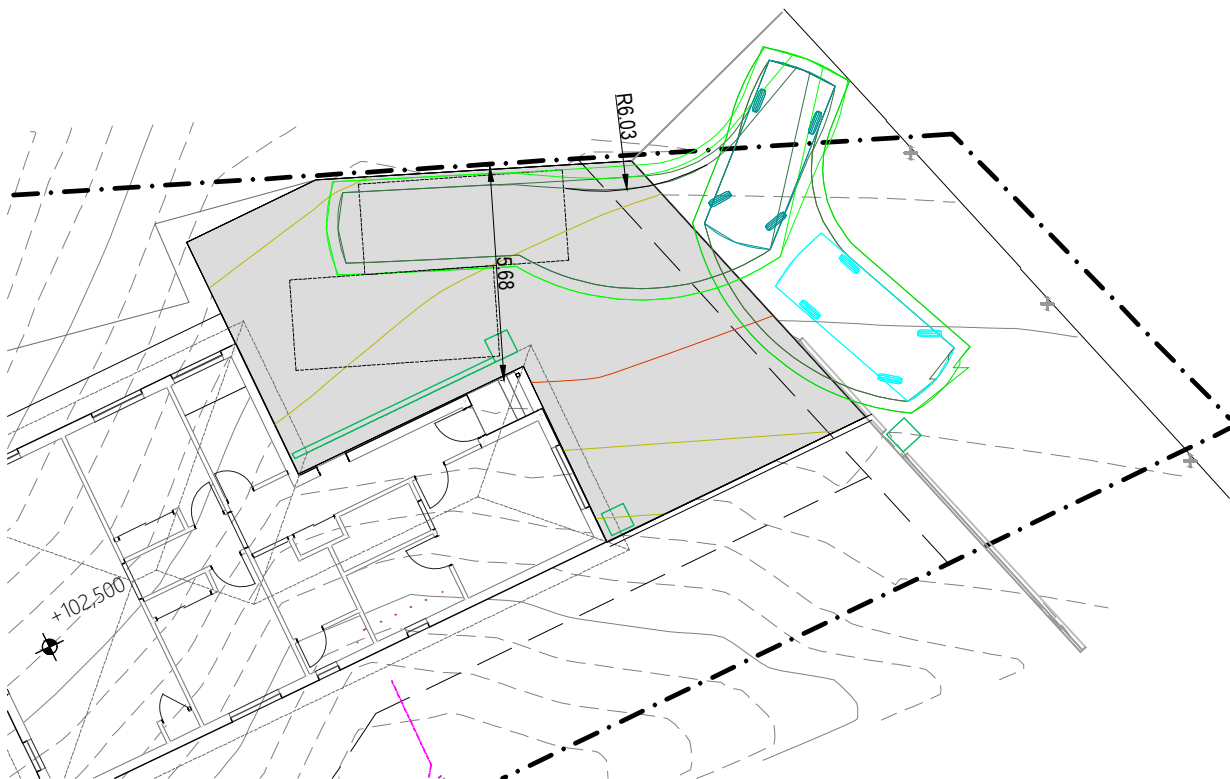
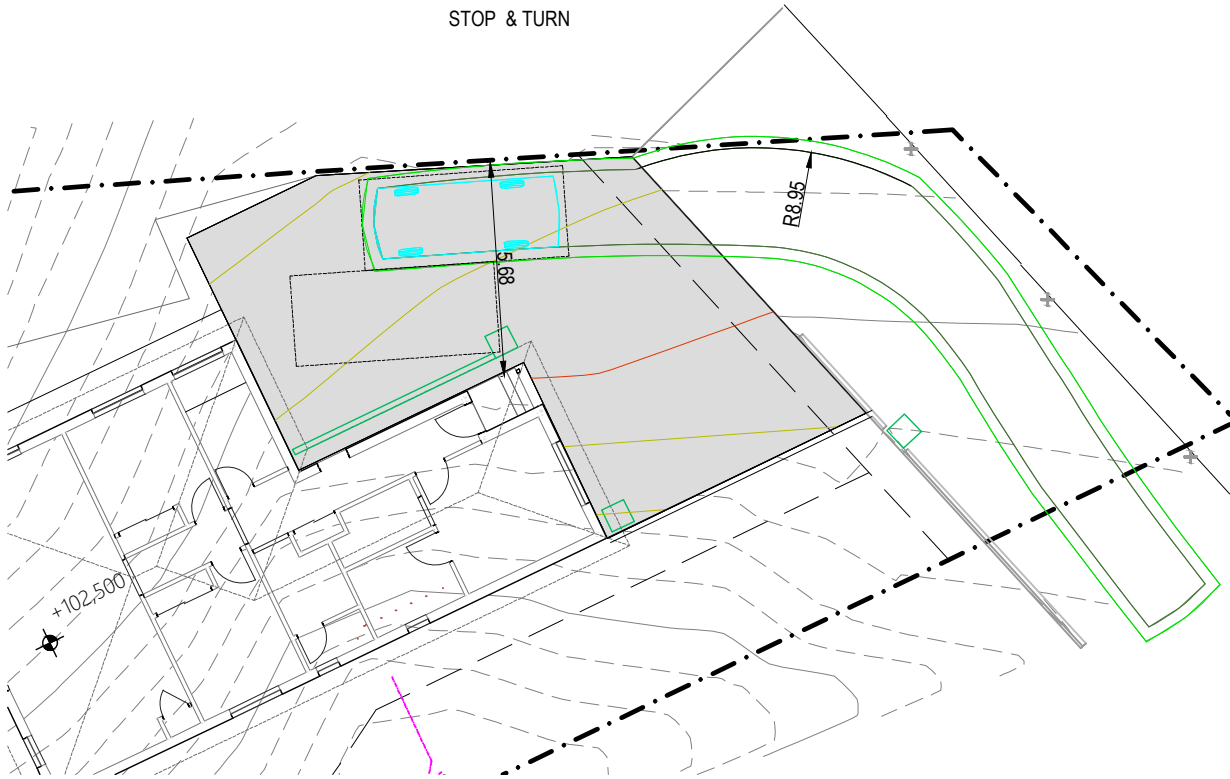
DATE RECEIVED: 20/11/2025



2 TYPICAL DRIVEWAY SECTION

Scale: 1:20

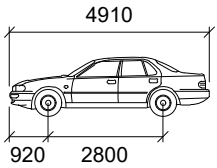
STOP & TURN



IMPORTANT
DRAWINGS MUST BE
PRINTED & READ IN
COLOUR

VEHICLE MOVEMENT NOTES:

1. MOVEMENT TEMPLATES DEMONSTRATE ABILITY OF VEHICLES TO ENTER INTERSECTION IN A FORWARDS DIRECTION, PARK IN THE GARAGE AND LEAVE IN A FORWARDS DIRECTION.
2. THE BASE DIMENSIONS OF THE CAR TEMPLATE REPRESENT THE B85 (85th PERCENTILE) VEHICLE
3. THE SWEEP PATH OF THE VEHICLE REPRESENT THE OUTER EXTENTS OF THE VEHICLE BODY
4. THE PATHS WERE GENERATED WITH A TURNING SPEED OF 5km/hr FROM THE STREET.



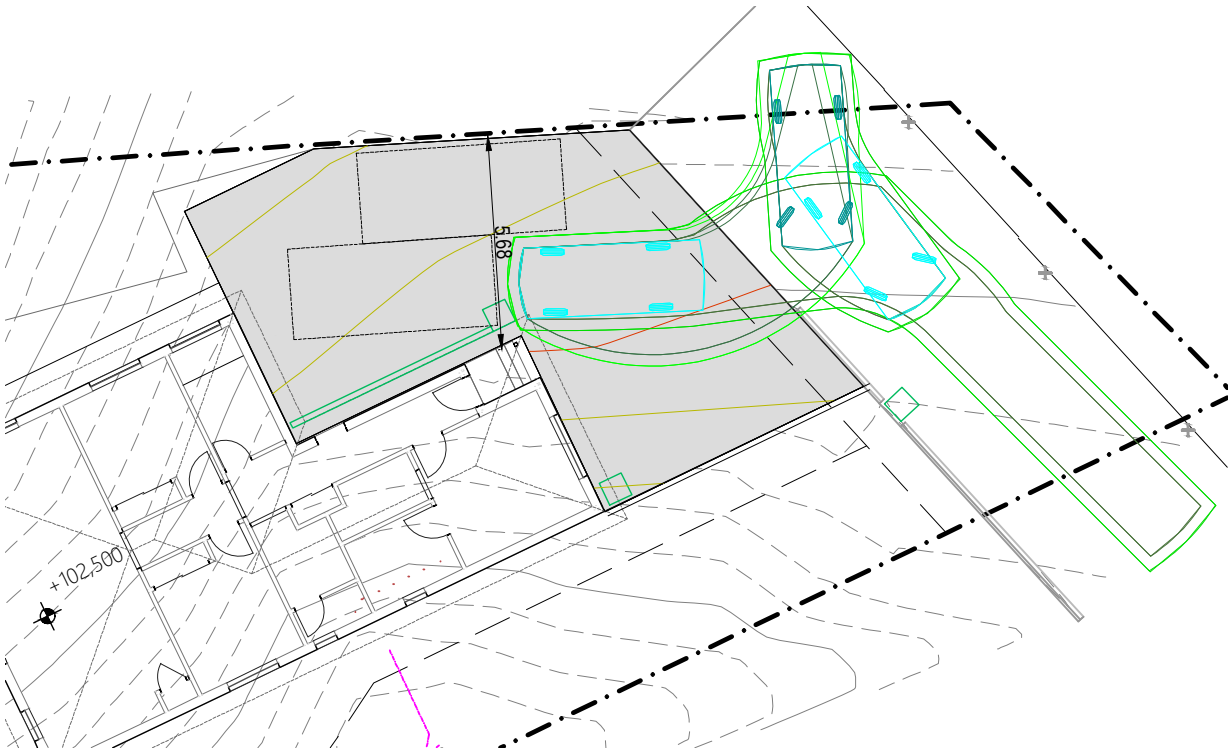
B85	mm
Width	: 1870
Track	: 1770
Lock to Lock Time	: 6.0
Steering Angle	: 34.0

1 CAR TURNING PLAN(P1 ENTER)

Scale: 1:100

1 CAR TURNING PLAN(P1 EXIT)

Scale: 1:100



1 CAR TURNING PLAN(P2)

Scale: 1:100



1 EXISTING MOUNTABLE KERB

Scale: NTS

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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REV A REMOVE KERB 17/11/25

PROJECT

47 KIEWA RISE, LENA VALLEY

REVISION

A

DATE

20/11/2025

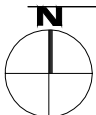
SCALE

As shown @ A3

PAGE

C5

NORTH



CLIENT

CAVALIER HOMES

PROJECT ID

2514

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DRAWING

CAR TURNING PLAN



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