

DEVELOPMENT APPLICATION

APPLICATION NUMBER: PLN-25-283

PROPOSED DEVELOPMENT: Deck extension, shed and green house

LOCATION: 49 Whitestone Drive Austins Ferry

APPLICANT: Lyne Design

ADVERTISING START DATE: 07/11/2025

ADVERTISING EXPIRY DATE: 21/11/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until 21/11/2025.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **21/11/2025**, or for postal and hand delivered representations, by 5.00 pm on **21/11/2025**.

PLANNING - EXTENSION TO DECK, NEW SHED & NEW GREENHOUSE

1:50

49 WHITESTONE DRIVE AUSTINS FERRY, TASMANIA, 7011 MIRANDA HANN

REV P4 - ISSUED FOR PLANNING APPROVAL 04.11.2025

GENERAL INFORMATION:	DRAWING REGISTER:			
DESIGNER: DAVID LYNE CC7063	B00	COVER SHEET	N/A	
CLIENT: MIRANDA HANN	B01	NOTES SHEET 1	N/A	
JOB NUMBER: TBA	B02	NOTES SHEET 2	N/A	
CLASSIFICATION: 10a	B03	SITE PLAN	1:200	
TITLE REFERENCE: 179338/131	B04	DECK FLOOR PLAN	1:50	
DESIGN WIND SPEED: 'N3'	B05	DECK STRUCTURAL PLANS	1:50	
SOIL CLASSIFICATION: 'M'	B06	DECK PERSPECTIVE	1:50	
CLIMATE ZONE: 7	B07	GREENHOUSE PLANS	1:50	

SHED PLANS

GENERAL NOTES:

BAL: N/A

LOT SIZE: 677m²

- CHECK ALL DIMENSIONS, BOUNDARIES, EASEMENTS AND SERVICE LOCATIONS ON SITE.
- ALL WORK SHALL COMPLY WITH THE TASMANIAN BUILDING REGULATIONS 2016, AND RELEVANT CURRENT AUSTRALIAN STANDARDS.
- CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.
- ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED.
- CONFIRM ALL SIZES AND HEIGHTS ON SITE. DO NOT SCALE OFF PLAN.
- ALL FRAMING TO COMPLY WITH AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION, NOTE: ALL TIMBER SIZES SPECIFIED ARE MINIMUM REQUIREMENT ONLY.
- SUBSTITUTES MAY BE USED AS LONG AS VERIFICATION OF EQUAL PERFORMANCE IS OBTAINED.
- ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS.
- WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 WIND LOADS FOR HOUSING.
- THESE DOCUMENTS TO BE USED WITH THE DESIGNERS SPECIFICATIONS, SOIL TESTS AND ALL DOCUMENTATION PREPARED BY AN ENGINEER.
- THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION.
- THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED WITH THE DESIGNER, THE DESIGNER RETAINS ALL INTELLECTUAL PROPERTY.

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.

FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

GLENORCHY CITY COUNCIL PLANNING SERVICES

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LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT DAVID LYNE ACCREDITED DESIGNER: CC7063 11 GRANVILLE AVENUE GEILSTON BAY, TASMANIA 7015 MOBILE: 0421 852 987 david@lynedesign.com.au

49 WHITESTONE DRIVE **AUSTINS FERRY, TAS 7011**

COVER SHEET

Accepted (Client 1)	MIRANDA HANN	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D.LYNE	D.LYNE
	PLOT DATE	04/11/2025

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PROJECT NO. TBA

REVISION **B00**

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GENERAL:

- THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. (THIS INCLUDES BUT IS NOT LIMITED TO THE OWNER. BUILDER, SUB-CONTRACTORS, CONSULTANTS, OPERATORS, RENOVATORS, MAINTAINERS AND DEMOLISHERS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL DESIGN DRAWINGS, ANY OTHER DRAWINGS BY OTHERS. SPECIFICATIONS AND OR REPORTS, AND WITH SUCH OTHER WRITTEN INSTRUCTION THAT MAY BE ISSUED.
- ALL CONSTRUCTION WORK TO COMPLY WITH THE CURRENT BUILDING CODES AND REGULATIONS OF THE RELEVANT AUSTRALIAN STATE OR
- DIMENSIONS ARE EXPRESSED IN MILLIMETERS, UNO, DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THESE DRAWINGS. SETTING OUT DIMENSIONS SHALL BE VERIFIED BY LICENCED BUILDER/ SURVEYOR BEFORE COMMENCING WORK ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE OTHER DRAWINGS IS TO BE ADVISED BEFORE PROCEEDING WITH ANY WORK.
- THE PLANS AND SPECIFICATIONS ARE SUBJECT TO APPROVAL BY THE LOCAL BUILDING AUTHORITY PRIOR TO CONSTRUCTION.
- THE BUILDING CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND INSPECTIONS AS REQUIRED BY LAW.
- ALL STRUCTURAL ELEMENTS, INCLUDING FOOTINGS, FOUNDATIONS, WALLS, AND ROOF STRUCTURES, MUST BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER AND COMPLY WITH THE APPROPRIATE AUSTRALIAN STANDARDS. REFER TO STRUCTURAL DRAWINGS BEFORE COMMENCING ANY WORKS
- THE MATERIALS AND FINISHES SPECIFIED MUST MEET THE REQUIRED AUSTRALIAN STANDARDS AND REGULATIONS FOR FIRE SAFETY. ACOUSTIC PERFORMANCE, ENERGY EFFICIENCY, AND DURABILITY.
- THE BUILDER SHALL CARRY OUT REGULAR QUALITY INSPECTIONS DURING CONSTRUCTION TO ENSURE COMPLIANCE WITH THE PLANS AND SPECIFICATIONS.
- THE HOUSE PLANS ARE COPYRIGHT PROTECTED, AND UNAUTHORIZED REPRODUCTION, OR USE WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS STRICTLY PROHIBITED.
- 11. THE FINAL COMPLETION OF THE PROJECT SHALL INCLUDE OBTAINING THE NECESSARY OCCUPANCY CERTIFICATE FROM THE LOCAL BUILDING AUTHORITY

HEALTH AND SAFTEY:

- THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. A REMINDER TO CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS.
- 2. FOR ALTERATIONS TO OR DEMOLITION OF A BUILDING CONSTRUCTED

1990 - IT MAY CONTAIN ASBESTOS 1986 - IT IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL, OR IN FIRE-RETARDANT INSULATION MATERIAL IN FITHER CASE, THE BUILDER SHOULD CHECK, AND IF NECESSARY TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

MANY OTHER MATERIALS USED IN CONSTRUCTION OF THIS BUILDING SUCH AS (BUT NOT LIMITED TO) POWDERED MATERIALS, TREATED TIMBER, VOLATILE ORGANIC COMPOUNDS, SYNTHETIC MINERAL FIBER CAN CAUSE HARM IF INHALED ALL PERSONS WORKING ON OR IN THE BUILDING DURING DEMOLITION AND OR CONSTRUCTION SHOULD BE WEARING PERSONAL PROTECTION EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL.

SITE PREPARATION AND EXCAVATION:

- IN ACCORDANCE WITH PART H1D3 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS.
- 2. THE SITE MUST BE PROPERLY PREPARED AND LEVELED BEFORE CONSTRUCTION BEGINS. ANY NECESSARY EARTHWORKS AND SITE PREPARATION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- SURFACE DRAINS SHALL BE DESIGNED AND CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTINGS. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTINGS, INCLUDING THE GROUND UPHILL FROM A SLAB ON CUT-AND FILL SITES. SHALL BE GRADED TO FALL 50mm MINIMUM OVER A DISTANCE OF 1m AND SHAPED TO PREVENT PONDING OF WATER. WHERE FILL IS PLACED ADJACENT TO THE BUILDING, THE FILL SHALL BE COMPACTED AND GRADED TO ENSURE DRAINAGE OF WATER AWAY FROM THE BUILDING.
- 4. INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150mm ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50mm ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50mm MIN. FALL FOR THE FIRST METER AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

FOOTINGS & SLABS:

- CONCRETE FOOTINGS AND SLABS ARE TO BE IN ACCORDANCE WITH PART H1D4 OF CURRENT N.C.C. AND AS 2870.1 AND ENGINEERS DOCUMENTATION/ SPECIFICATIONS.
- PROVIDE WALL CAVITY DRAINAGE WITH WEEPHOLES AT 960 MAX CENTERS ALONG LINE ABOVE FINISHED GROUND LEVEL. (SLAB AREA).

PLUMBING (SEWER & STORMWATER):

- ALL PLUMBING WORK SHALL COMPLY WITH THE RELEVANT PLUMBING STANDARDS AND BE CARRIED OUT BY A LICENSED PLUMBER.
- ADEQUATE PROVISIONS FOR STORMWATER DRAINAGE MUST BE MADE TO PREVENT WATERLOGGING AND FLOODING ON THE PROPERTY. THE DRAINAGE SYSTEM DESIGN SHOULD COMPLY WITH THE LOCAL COUNCIL'S GUIDELINES.

GLAZING:

- ALL WINDOWS AND GLAZING MUST COMPLY WITH AS2047 AND AS1288 AND PART H1D1 OF CURRENT N.C.C. MANUFACTURER TO PROVIDE CERTIFICATION OF COMPLIANCE.
- ALL WINDOW MEASUREMENTS SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED ON SITE. PRIOR TO ORDERING.

LIGHT:

- 1. NATURAL LIGHT TO BE IN ACCORDANCE WITH PART H4P4 OF CURRENT
- 2. NATURAL LIGHT MUST BE PROVIDED TO ALL HABITABLE ROOMS
- REQUIRED WINDOWS MUST HAVE A LIGHT TRANSMITTING AREA OF AT LEAST 10% OF THE FLOOR AREA
- SANITARY COMPARTMENTS, BATHROOM, LAUNDRIES AND THE LIKE NOT PROVIDED WITH NATURAL LIGHT MUST BE PROVIDED WITH ARTIFICIAL LIGHT AT A RATE OF NOT LESS THAN 1 LIGHT FITTING PER 16m2 OF FLOOR AREA AND IN ACCORDANCE WITH AS/NZS 1680.0

HEATING APPLIANCES:

- IN ACCORDANCE WITH PART H7D5 OF CURRENT N.C.C AND AS/NZS 2918 FOR DOMESTIC SOLID-FUEL BURNING APPLIANCES.
- 2. ALL HEATING APPLIANCES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

BUILDING SEALING:

- IN ACCORDANCE WITH CURRENT N.C.C. CHIMNEYS AND FLUE MUST BE FITTED WITH A DAMPER/FLAP THAT CAN BE CLOSED.
- ROOFS, WALLS & FLOORS SEALED BY CAULKING, SKIRTING, ARCHITRAVES OR THE LIKE.
- EXTERNAL WINDOWS AND DOORS TO BE FITTED WITH COMPRESSIBLE STRIP, FOAM, RUBBER OR FIBROUS SEAL TO ALL EXTERNAL WINDOW SASHES AND EXTERNAL DOORS.
- 4. EXTERNAL FANS TO BE SELF CLOSING DAMPER OR FILTER TO BE
- 5. ALL DOWNLIGHTS TO BE SEALED.

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH PART H3D6 OF CURRENT N.C.C. AND AS3786 REQUIREMENTS.
- SMOKE ALARMS TO BE INSTALLED IN A CLASS 1a BUILDING ON OR NEAR THE CEILING IN: - ANY STOREY CONTAINING BEDROOMS (i) BETWEEN EACH PART OF THE DWELLING CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING; AND (ii) WHRE BEDROOMS ARE SERVED BY A HALLWAY IN THAT HALLWAY
- ALL SMOKE ALARMS MUST BE CONNECTED TO THE CONSUMER MAINS POWER WHERE CONSUMER POWER IS SUPPLIED TO THE BUILDING
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN 1 ALARM
- SMOKE ALARMS TO HAVE BATTERY BACK UP IN CASE OF POWER OUTAGE. RECOMMENDED BATTERIES MUST BE CAPABLE OF SERVICING THE SMOKE ALARM WITH A FAULT FOR 1 YEAR.

ROOF CLADDING, GUTTERING AND DOWNPIPES:

- IN ACCORDANCE WITH H2D6 OF CURRENT N.C.C., AS/NZS 3500.3 AND AS/NZS 3500.5 SECTION 5 INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- WHEREVER FULL SHEETS CAN'T BE UTILIZED PROVIDE THE DISTANCE FOR END LAPPING WHERE SHEETS MEET: - SLOPES 5-15 = A LAP OF 200mm - SLOPES 15 AND GREATER = A LAP OF
- GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN -1:500 FOR EAVES GUTTERS AND 1:100 FOR BOX GUTTERS.
- DOWNPIPES MUST:
- NOT SERVE MORE THAN 12m OF GUTTER LENGTH FOR EACH DOWNPIPE.
- BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND IF THE DOWNPIPE IS MORE THAN 1.2m FROM A VALLEY, PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER.

WET AREAS & EXTERNAL WATERPROOFING:

- 1. IN ACCORDANCE WITH PART H4D2 OF CURRENT N.C.C. AND AS/NZS 3740.
- BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH TABLE UNDER H4D4.
- WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS4654 PARTS 1 AND 2.

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GEILSTON BAY, TASMANIA 7015 MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT.

49 WHITESTONE DRIVE **AUSTINS FERRY, TAS 7011**

NOTES SHEET

Accepted (Client 1)	MIRANDA HANN	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D. LYNE	D. LYNE
	PLOT DATE	04/11/2025

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PLOT DETAILS WHITESTONE.DWG

PROJECT NO DWG NO

REVISION

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STAIR CONSTRUCTION:

- 1. IN ACCORDANCE WITH PART H5D1 OF CURRENT N.C.C.
- 2. STAIRS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOW: (a) EACH FLIGHT MUST HAVE NOT MORE THAN 18 NOR LESS THAN 2 RISERS. (b) THE NOMINAL DIMENSION OF GOINGS AND RISERS OF A STAIR MUST BE CONSTANT THROUGHOUT EACH STAIR (c) TREADS MUST BE SOLID CONSTRUCTION IF THE STAIRWAY IS MORE THAN 10m HIGH OR 3 STOREYS. (d) A FLIGHT OF STAIRS MUST NOT HAVE MORE THAN 3 WINDERS (e) THE RISERS MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS (f) TREADS & NOSINGS MUST HAVE-(i) A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE UNDER H5D2 WHEN TESTED IN ACCORDANCE WITH AS4586

BARRIERS AND HANDRAILS:

- 1. IN ACCORDANCE WITH PART H5P1 OF CURRENT N.C.C.
- (a) A CONTINUOUS BARRIER MUST BE PROVIDED ALONG THE SIDE OF -(i) ANY ROOF TO WHICH GENERAL ACCESS IS PROVIDED; AND (ii) ANY STAIRWAY OR RAMP; AND (iii) A FLOOR, CORRIDOR, HALLWAY, DECK, VERANDAH, MEZZANINE OR THE LIKE; AND (iv) ANY DELINEATED PATH OF ACCESS TO A BUILDING (b) THE REQUIREMENTS OF (a) DO NOT APPLY TO -(i) AREAS REFERRED TO IN H5D2; OR (ii) A RETAINING WALL, UNLESS THE RETAINING WALL FORMS PART OF, OR IS DIRECTLY ASSOCIATED WITH A DELINEATED PATH OF ACCESS TO A BUILDING FROM THE ROAD, OR A DELINEATED PATH OF ACCESS BETWEEN BUILDINGS: OR (iii) A BARRIER PROVIDED TO AN OPENABLE WINDOW COVERED BY H5D2
- (a) THE HEIGHT OF A BARRIER REQUIRED BY H5D3 MUST BE IN ACCORDANCE WITH THE FOLLOWING: (i) THE HEIGHT MUST NOT BE LESS THAN 865mm ABOVE THE NOSINGS OF THE STAIR TREADS OR THE FLOOR OF A RAMP. (ii) THE HEIGHT MUST NOT BE LESS THAN -(A) 1m ABOVE THE FLOOR OF ANY ACCESS PATH, BALCONY, LANDING OR THE LIKE; OR (B) 865mm ABOVE THE FLOOR OF A LANDING TO A STAIR WHERE THE BARRIER IS PROVIDED ALONG THE INSIDE EDGE OF THE LANDING AND DOES NOT EXCEED A LENGTH OF 500mm (b) OPENINGS IN BARRIERS MUST NOT EXCEED 125mm (c) A BARRIER. EXCEPT A WINDOW SERVING AS A BARRIER. MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS/NZS 1170.1 (d) FOR FLOORS MORE THAN 4m ABOVE THE SURFACE BENEATH, ANY HORIZONTAL ELEMENTS WITHIN THE BARRIER BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. (f) WHERE WIRE BALUSTRAUDING IS USED IT MUST COMPLY WITH PART H5D3.
- (a) HANDRAILS TO A STAIRWAY OR RAMP MUST -(i) BE LOCATED ALONG AT LÉAST 1 SIDE OF THE FLIGHT OR RAMP; AND (ii) BÉ LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OR RAMP, EXCEPT WHERE IT MEETS A BARRIER (iii) HAVE A TOP SURFACE HANDRAIL HEIGHT OF NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSING OF THE STAIRS.
- (a) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. (b) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (a) MUST COMPLY WITH THE FOLLOWING: (i) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH -(A) A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENINGS; OR (B) A SCREEN WITH SECURE FITTINGS (ii) A DEVISE OR SCREEN REQUIRED BY (i) NUST -(A) NOT PERMIT A 125mm SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND (B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE -(aa) WINDOW RESTRAINED BY A DEVICE; OR (bb) SCREEN PROTECTING THE OPENING; AND (C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED. UNLOCKED OR OVERRIDDEN.

ROOM HEIGHTS:

- 1. IN ACCORDANCE WITH PART H4D4 OF CURRENT N.C.C.
- 2. CEILING HEIGHTS MUST NOT BE LESS THAN: (a) IN A HABITABLE ROOM EXCLUDING A KITCHEN - 2.4m (b) IN A KITCHEN - 2.1m (c) IN A CORRIDOR, PASSAGEWAY OR THE LIKE - 2.1m (d) IN A BATHROOM, LAUNDRRY, WC, PANTRY, STOREROOM, GARAGE OR THE LIKE -2.1m (e) IN A ROOM WITH A SLOPING CEILING OR PROJECTIONS BELOW THE CEILING LINE WITHIN: (i) A HABITABLE ROOM -(A) IN AN ATTIC - NOT LESS THAN 2.2m FOR AT LEAST 2/3 OF THE FLOOR AREA OF THE ROOM (B) I OTHER ROOMS - NOT LESS THAN 2.4m OVER 2/3 OF THE FLOOR AREA OF THE ROOM (ii) A NON-HABITABLE ROOM - NOT LESS THAN 2.1m FOR AT LEAST 2/3 OF THE ROOM AREA (f) IN A STAIRWAY, RAMP OR LANDING - 2.0m MEASURE VERTICALLY ABOVE THE NOSING OR SURFACE.

AIR MOVEMENT:

1. IN ACCORDANCE WITH PART H4V3 OF CURRENT N.C.C.

BUSHFIRE PRONE AREAS:

- 1. IN ACCORDANCE WITH PART H7D4 OF CURRENT N.C.C AND AS3959-2018.
- AN ASSESSMENT TO DETERMINE THE BAL RATING MUST BE UNDERTAKEN AND ANY REQUIREMENTS FROM THE SUBSEQUENT BAL LEVEL MUST BE APPLIED
- 3. A CLASS 1 BUILDING WITHIN A DESIGNATED BUSHFIRE PRONE AREA MUST BE IN ACCORDANCE WITH TAS 3.7.4.1 VEHICULAR ACCESS AND TAS 3.7.4.2 WATER SUPPLY.

VENTILATION:

- IN ACCORDANCE WITH PART H4P5 OF CURRENT N.C.C.
- 2. AN EXHAUST FAN OR OTHERS MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM PROVIDED CONTAMINATED AIR EXHAUSTS-(i) DIRECTLY OUTSIDE THE BUILDING BY WAY OF DUCTS; OR (ii) INTO A ROOF SPACE-(A) IS ADEQUATLY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS (B) IS COVERED BY ROOF TILES WITHOUT SARKING.
- SANITARY COMPARTMENTS MUST NOT OPEN DIRECTLY INTO A KITCHEN OR PANTRY UNLESS-(a) ACCESS IS BY AN AIRLOCK, HALLWAY OR OTHER ROOM (b) THE ROOM CONTAINING THE CLOSET PAN IS PROVIDED WITH MECHANICAL EXHAUST

SOUND INSULATION:

1. IN ACCORDANCE WITH PART H4P6 OF CURRENT N.C.C.

FACILITIES:

- IN ACCORDANCE WITH PART H4D5 OF CURRENT N.C.C
- THE DOOR TO A SANITARY CLOSED COMPARTMENT MUST -(a) OPEN OUTWARDS OR (b) SLIDE OR (c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF 1.2m BETWEEN THE PAN AND THE DOORWAY.

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BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT DAVID LYNE ACCREDITED DESIGNER: CC7063 11 GRANVILLE AVENUE GEILSTON BAY TASMANIA 7015

MOBILE: 0421 852 987 david@lvnedesign.com.au

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Approved (Builder)	N/A	Date

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N/A	D. LYNE	D. LYNE
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PLOT DETAILS WHITESTONE.DWG

PROJECT NO. TBA

DWG NO

REVISION P4

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OUTBUILDING

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EXISTING DWELLING

FFL 14.30

EXISTING SEWER CONNECTION

EXISTING STORMWATER CONNECTION

DAVID LYNE 11 GRANVILLE AVENUE

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BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT

GEILSTON BAY, TASMANIA 7015 MOBILE: 0421 852 987 david@lynedesign.com.au

ACCREDITED DESIGNER: CC7063

SITE PLAN

Accepted (Client 1)	MIRANDA HANN	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date
This document	must be signed	

SCALES @ A3	DESIGNED BY	DRAWN BY
1:750	D.LYNE	D.LYNE
	PLOT DATE	04/11/2025
DO NOT COME		

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PLOT DETAILS WHITESTONE.DWG

PROJECT NO. TBA

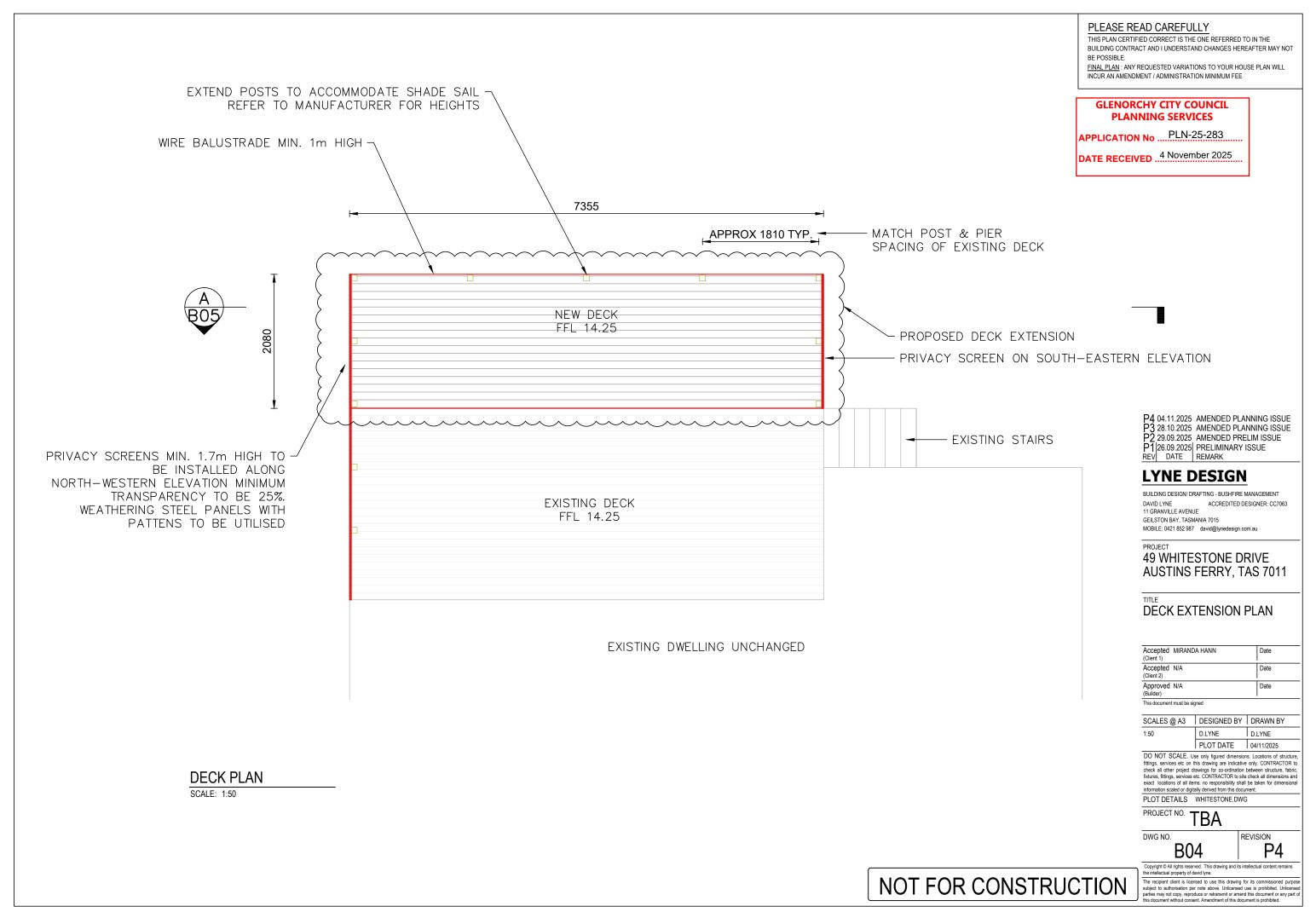
REVISION DWG NO. B03

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P4

SITE PLAN SCALE: 1:750



Document Set ID: 3551560 Version: 1, Version Date: 04/11/2025

GLENORCHY CITY COUNCIL PLANNING SERVICES APPLICATION No ... PLN-25-283 PLEASE READ CAREFULLY THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE DATE RECEIVED .. 4 November 2025 BE POSSIBLE. FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE FRAMING MEMBER SCHEDULE **REMARKS MARK DESCRIPTION** 2 72 @450 CRS J1 190x45 H3 TP JOIST J2 2/190x45 H3 TP JOIST CONTINUOUS В1 2/190x45 H3 TP BEARER CONTINUOUS В1 C1 90x90 H3 TP POST TO EXTEND TO HEIGHT TO ALLOW SHADE C2 90x90 H3 POST SAIL - SEE MANUFACTURERS SPECS DECK FRAMING PLAN SCALE: 1:50 P4 04.11.2025 AMENDED PLANNING ISSUE P3 28.10.2025 AMENDED PLANNING ISSUE P2 29.09.2025 AMENDED PRELIM ISSUE P1 26.09.2025 PRELIMINARY ISSUE REV DATE REMARK LYNE DESIGN BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT DAVID LYNE 11 GRANVILLE AVENUE ACCREDITED DESIGNER: CC7063 GEILSTON BAY, TASMANIA 7015 MOBILE: 0421 852 987 david@lynedesign.com.au 49 WHITESTONE DRIVE **AUSTINS FERRY, TAS 7011 DECK STRUCTURAL PLANS** HIGH NEW PRIVACY SCREEN Accepted MIRANDA HANN (Client 1) MIN. 25% TRANSPARENCY E Accepted N/A Date (Client 2) Approved N/A Date HOUSE FL 14.30 SCALES @ A3 DESIGNED BY DRAWN BY DECK FL 14.25 D.LYNE PLOT DATE 04/11/2025 DO NOT SCALE. Use only figured dimensions. Localions of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document. EXISTING STAIRS & BALUSTRADE EXISTING 190x45 BEARER NEW 190x45 JOISTS - 90x90 POSTS WITH JOIST HANGER PLOT DETAILS WHITESTONE.DWG PROJECT NO. TBA DWG NO. REVISION P4 B05 Copyright © All rights reserved. This drawing and its intellectual content remains the intellectual property of david lyne. **DECK SECTION A** NOT FOR CONSTRUCTION The recipient letrit is licensed to use this drawing for its commissioned purpos subject to authorisation per note above. Unlicensed use is prohibited. Unlicenser parties may not copy, reproduce or retransmit or amend this document are not part this document without consent. Amendment of this document is prohibited.

APPLICATION NoPLN-25-283 DATE RECEIVED ... 4 November 2025 Extend Posts High for Sail Shade Coordinate Post Material and Height Per Sail Shade Company FINISHED DECK LEV时 Weathering Steel Privacy Pannel Per Owner New Cable Railing @ Perimeter of Deck DECK PERSPECTIVE SCALE: 1:50

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.

FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

P4 04.11.2025 AMENDED PLANNING ISSUE P3 28.10.2025 AMENDED PLANNING ISSUE P2 29.09.2025 AMENDED PRELIM ISSUE P1 26.09.2025 PRELIMINARY ISSUE REV DATE REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT DAVID LYNE ACCREDITED DESIGNER: CC7063 11 GRANVILLE AVENUE GEILSTON BAY, TASMANIA 7015

MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT

49 WHITESTONE DRIVE AUSTINS FERRY, TAS 7011

TITLE

DECK PERSPECTIVE WITH SHADE SAIL DETAIL

Accepted (Client 1)	MIRANDA HANN	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	I DESIGNED BY	I DRAWN BY
1:50	D.LYNE	D.LYNE
	PLOT DATE	04/11/2025
DO NOT COME		

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PLOT DETAILS WHITESTONE.DWG

PROJECT NO. TBA

DWG NO.

B06

REVISION
P4

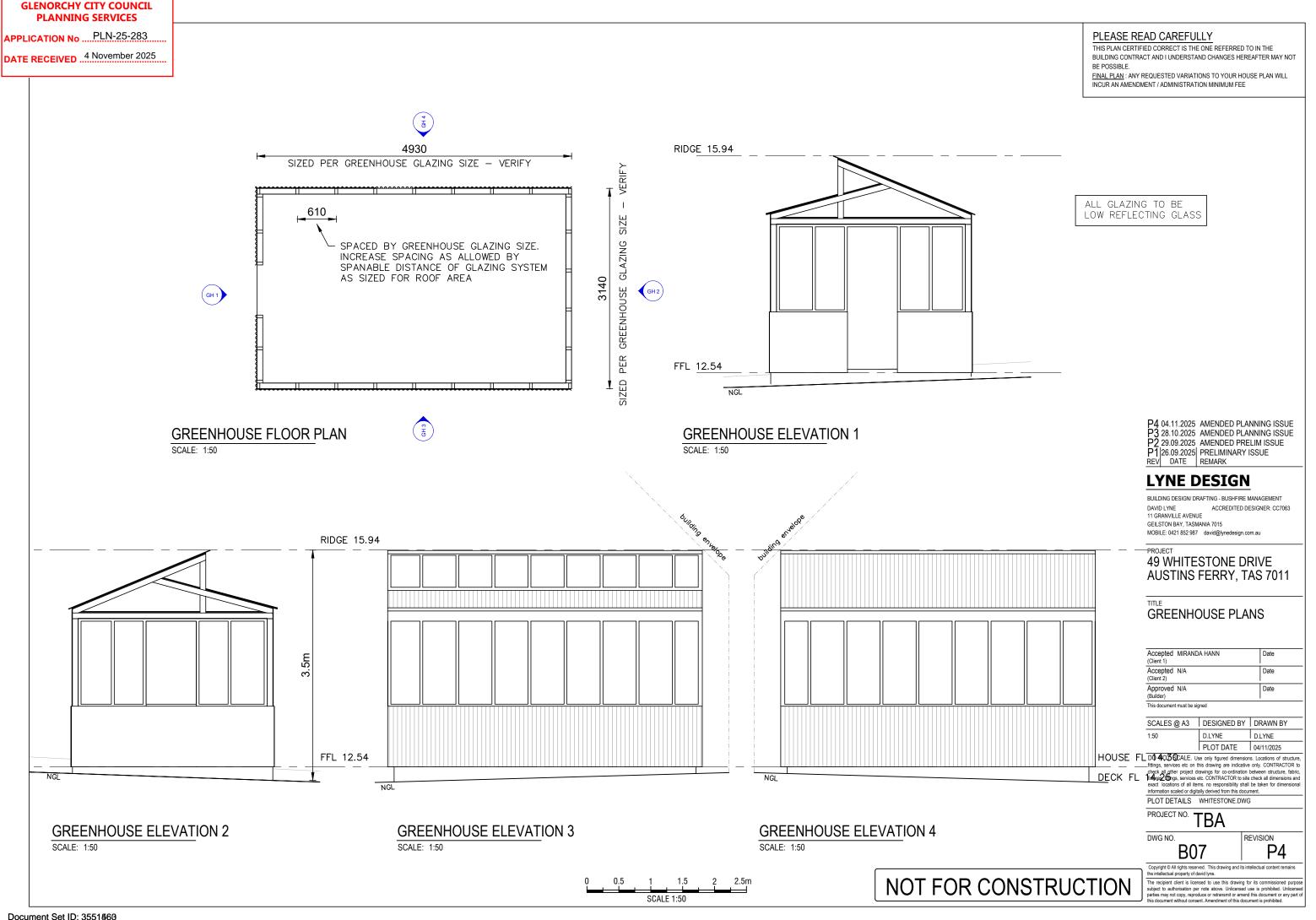
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GLENORCHY CITY COUNCIL PLANNING SERVICES



GLENORCHY CITY COUNCIL PLANNING SERVICES APPLICATION No ... PLN-25-283 PLEASE READ CAREFULLY THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE DATE RECEIVED 4 November 2025 BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE ALL GLAZING TO BE LOW REFLECTING GLASS 5480 1980 3500 RIDGE 16.10 FFL <u>12.30</u> P4 04.11.2025 AMENDED PLANNING ISSUE P3 28.10.2025 AMENDED PLANNING ISSUE P2 29.09.2025 AMENDED PRELIM ISSUE NORTH-WESTERN ELEVATION **SOUTH-WESTERN ELEVATION** PT 26.09.2025 PRELIMINARY ISSUE SCALE: 1:100 SCALE: 1:100 REV DATE REMARK LYNE DESIGN COVERED PORCH BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT DAVID LYNE 11 GRANVILLE AVENUE ACCREDITED DESIGNER: CC7063 GEILSTON BAY, TASMANIA 7015 MOBILE: 0421 852 987 david@lynedesign.com.au RIDGE 16.10 49 WHITESTONE DRIVE GARDEN TOOL STORAGE **AUSTINS FERRY, TAS 7011** SHED PLANS SHED FLOOR PLAN Accepted MIRANDA HANN FFL 12.30 SCALE: 1:50 Accepted N/A Date (Client 2) Approved N/A Date **SOUTH-EASTERN ELEVATION NORTH-EASTERN ELEVATION** SCALES @ A3 DESIGNED BY DRAWN BY 1:50 D.LYNE SCALE: 1:100 SCALE: 1:100 PLOT DATE 04/11/2025 DO NOT SCALE. Use only figured dimensions. Localions of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all Items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document. PLOT DETAILS WHITESTONE.DWG PROJECT NO. TBA DWG NO. REVISION P4 B08 Copyright © All rights reserved. This drawing and its intellethe intellectual property of david lyne.

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