

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-283
PROPOSED DEVELOPMENT:	Deck extension, shed and green house
LOCATION:	49 Whitestone Drive Austins Ferry
APPLICANT:	Lyne Design
ADVERTISING START DATE:	07/11/2025
ADVERTISING EXPIRY DATE:	21/11/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **21/11/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **21/11/2025**, or for postal and hand delivered representations, by 5.00 pm on **21/11/2025**.

PLANNING - EXTENSION TO DECK, NEW SHED & NEW GREENHOUSE

49 WHITESTONE DRIVE
AUSTINS FERRY, TASMANIA, 7011
MIRANDA HANN

REV P4 - ISSUED FOR PLANNING APPROVAL 04.11.2025

GENERAL INFORMATION:

DESIGNER: DAVID LYNE CC7063
CLIENT: MIRANDA HANN
JOB NUMBER: TBA
CLASSIFICATION: 10a
TITLE REFERENCE: 179338/131
DESIGN WIND SPEED: 'N3'
SOIL CLASSIFICATION: 'M'
CLIMATE ZONE: 7
BAL: N/A
LOT SIZE: 677m²

DRAWING REGISTER:

B00	COVER SHEET	N/A
B01	NOTES SHEET 1	N/A
B02	NOTES SHEET 2	N/A
B03	SITE PLAN	1:200
B04	DECK FLOOR PLAN	1:50
B05	DECK STRUCTURAL PLANS	1:50
B06	DECK PERSPECTIVE	1:50
B07	GREENHOUSE PLANS	1:50
B08	SHED PLANS	1:50

GENERAL NOTES:

- CHECK ALL DIMENSIONS, BOUNDARIES, EASEMENTS AND SERVICE LOCATIONS ON SITE.
- ALL WORK SHALL COMPLY WITH THE TASMANIAN BUILDING REGULATIONS 2016, AND RELEVANT CURRENT AUSTRALIAN STANDARDS.
- CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.
- ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED.
- CONFIRM ALL SIZES AND HEIGHTS ON SITE. DO NOT SCALE OFF PLAN.
- ALL FRAMING TO COMPLY WITH AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. NOTE: ALL TIMBER SIZES SPECIFIED ARE MINIMUM REQUIREMENT ONLY.
- SUBSTITUTES MAY BE USED AS LONG AS VERIFICATION OF EQUAL PERFORMANCE IS OBTAINED.
- ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS.
- WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 WIND LOADS FOR HOUSING.
- THESE DOCUMENTS TO BE USED WITH THE DESIGNERS SPECIFICATIONS, SOIL TESTS AND ALL DOCUMENTATION PREPARED BY AN ENGINEER.
- THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION.
- THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED WITH THE DESIGNER, THE DESIGNER RETAINS ALL INTELLECTUAL PROPERTY.

PLEASE READ CAREFULLY

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FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-25-283
DATE RECEIVED 4 November 2025

P4	04.11.2025	AMENDED PLANNING ISSUE
P3	28.10.2025	AMENDED PLANNING ISSUE
P2	29.09.2025	AMENDED PRELIM ISSUE
P1	26.09.2025	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GAILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
49 WHITESTONE DRIVE
AUSTINS FERRY, TAS 7011

TITLE
COVER SHEET

Accepted MIRANDA HANN (Client 1)	Date
Accepted N/A (Client 2)	Date
Approved N/A (Builder)	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D.LYNE	D.LYNE
	PLOT DATE	04/11/2025

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PLOT DETAILS WHITESTONE.DWG

PROJECT NO.	TBA
DWG NO.	REVISION
B00	P4

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NOT FOR CONSTRUCTION

STAIR CONSTRUCTION:

1. IN ACCORDANCE WITH PART H5D1 OF CURRENT N.C.C.
2. STAIRS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOW: (a) EACH FLIGHT MUST HAVE NOT MORE THAN 18 NOR LESS THAN 2 RISERS. (b) THE NOMINAL DIMENSION OF GOINGS AND RISERS OF A STAIR MUST BE CONSTANT THROUGHOUT EACH STAIR (c) TREADS MUST BE SOLID CONSTRUCTION IF THE STAIRWAY IS MORE THAN 10m HIGH OR 3 STOREYS. (d) A FLIGHT OF STAIRS MUST NOT HAVE MORE THAN 3 WINDERS (e) THE RISERS MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS (f) TREADS & NOSINGS MUST HAVE-(i) A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE UNDER H5D2 WHEN TESTED IN ACCORDANCE WITH AS4586

BARRIERS AND HANDRAILS:

1. IN ACCORDANCE WITH PART H5P1 OF CURRENT N.C.C.
2. (a) A CONTINUOUS BARRIER MUST BE PROVIDED ALONG THE SIDE OF -(i) ANY ROOF TO WHICH GENERAL ACCESS IS PROVIDED; AND (ii) ANY STAIRWAY OR RAMP; AND (iii) A FLOOR, CORRIDOR, HALLWAY, DECK, VERANDAH, MEZZANINE OR THE LIKE; AND (iv) ANY DELINEATED PATH OF ACCESS TO A BUILDING (b) THE REQUIREMENTS OF (a) DO NOT APPLY TO -(i) AREAS REFERRED TO IN H5D2; OR (ii) A RETAINING WALL, UNLESS THE RETAINING WALL FORMS PART OF, OR IS DIRECTLY ASSOCIATED WITH A DELINEATED PATH OF ACCESS TO A BUILDING FROM THE ROAD, OR A DELINEATED PATH OF ACCESS BETWEEN BUILDINGS; OR (iii) A BARRIER PROVIDED TO AN OPENABLE WINDOW COVERED BY H5D2
3. (a) THE HEIGHT OF A BARRIER REQUIRED BY H5D3 MUST BE IN ACCORDANCE WITH THE FOLLOWING: (i) THE HEIGHT MUST NOT BE LESS THAN 865mm ABOVE THE NOSINGS OF THE STAIR TREADS OR THE FLOOR OF A RAMP. (ii) THE HEIGHT MUST NOT BE LESS THAN -(A) 1m ABOVE THE FLOOR OF ANY ACCESS PATH, BALCONY, LANDING OR THE LIKE; OR (B) 865mm ABOVE THE FLOOR OF A LANDING TO A STAIR WHERE THE BARRIER IS PROVIDED ALONG THE INSIDE EDGE OF THE LANDING AND DOES NOT EXCEED A LENGTH OF 500mm (b) OPENINGS IN BARRIERS MUST NOT EXCEED 125mm (c) A BARRIER, EXCEPT A WINDOW SERVING AS A BARRIER, MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS/NZS 1170.1 (d) FOR FLOORS MORE THAN 4m ABOVE THE SURFACE BENEATH, ANY HORIZONTAL ELEMENTS WITHIN THE BARRIER BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. (f) WHERE WIRE BALUSTRAUDING IS USED IT MUST COMPLY WITH PART H5D3.
4. (a) HANDRAILS TO A STAIRWAY OR RAMP MUST -(i) BE LOCATED ALONG AT LEAST 1 SIDE OF THE FLIGHT OR RAMP; AND (ii) BE LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OR RAMP, EXCEPT WHERE IT MEETS A BARRIER (iii) HAVE A TOP SURFACE HANDRAIL HEIGHT OF NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSING OF THE STAIRS.
5. (a) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. (b) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (a) MUST COMPLY WITH THE FOLLOWING: (i) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH -(A) A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENINGS; OR (B) A SCREEN WITH SECURE FITTINGS (ii) A DEVISE OR SCREEN REQUIRED BY (i) MUST -(A) NOT PERMIT A 125mm SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND (B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE -(aa) WINDOW RESTRAINED BY A DEVICE; OR (bb) SCREEN PROTECTING THE OPENING; AND (C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN.

ROOM HEIGHTS:

1. IN ACCORDANCE WITH PART H4D4 OF CURRENT N.C.C.
2. CEILING HEIGHTS MUST NOT BE LESS THAN: (a) IN A HABITABLE ROOM EXCLUDING A KITCHEN - 2.4m (b) IN A KITCHEN - 2.1m (c) IN A CORRIDOR, PASSAGEWAY OR THE LIKE - 2.1m (d) IN A BATHROOM, LAUNDRRY,WC,PANTRY,STOREROOM,GARAGE OR THE LIKE -2.1m (e) IN A ROOM WITH A SLOPING CEILING OR PROJECTIONS BELOW THE CEILING LINE WITHIN: (i) A HABITABLE ROOM -(A) IN AN ATTIC - NOT LESS THAN 2.2m FOR AT LEAST 2/3 OF THE FLOOR AREA OF THE ROOM (B) I OTHER ROOMS - NOT LESS THAN 2.4m OVER 2/3 OF THE FLOOR AREA OF THE ROOM (ii) A NON-HABITABLE ROOM - NOT LESS THAN 2.1m FOR AT LEAST 2/3 OF THE ROOM AREA (f) IN A STAIRWAY, RAMP OR LANDING - 2.0m MEASURE VERTICALLY ABOVE THE NOSING OR SURFACE.

AIR MOVEMENT:

1. IN ACCORDANCE WITH PART H4V3 OF CURRENT N.C.C.

BUSHFIRE PRONE AREAS:

1. IN ACCORDANCE WITH PART H7D4 OF CURRENT N.C.C AND AS3959-2018.
2. AN ASSESSMENT TO DETERMINE THE BAL RATING MUST BE UNDERTAKEN AND ANY REQUIREMENTS FROM THE SUBSEQUENT BAL LEVEL MUST BE APPLIED.
3. A CLASS 1 BUILDING WITHIN A DESIGNATED BUSHFIRE PRONE AREA MUST BE IN ACCORDANCE WITH TAS 3.7.4.1 VEHICULAR ACCESS AND TAS 3.7.4.2 WATER SUPPLY.

VENTILATION:

1. IN ACCORDANCE WITH PART H4P5 OF CURRENT N.C.C.
2. AN EXHAUST FAN OR OTHERS MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM PROVIDED CONTAMINATED AIR EXHAUSTS-(i) DIRECTLY OUTSIDE THE BUILDING BY WAY OF DUCTS; OR (ii) INTO A ROOF SPACE-(A) IS ADEQUATLY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS (B) IS COVERED BY ROOF TILES WITHOUT SARKING.
3. SANITARY COMPARTMENTS MUST NOT OPEN DIRECTLY INTO A KITCHEN OR PANTRY UNLESS-(a) ACCESS IS BY AN AIRLOCK, HALLWAY OR OTHER ROOM (b) THE ROOM CONTAINING THE CLOSET PAN IS PROVIDED WITH MECHANICAL EXHAUST.

SOUND INSULATION:

1. IN ACCORDANCE WITH PART H4P6 OF CURRENT N.C.C.

FACILITIES:

1. IN ACCORDANCE WITH PART H4D5 OF CURRENT N.C.C
2. THE DOOR TO A SANITARY CLOSED COMPARTMENT MUST -(a) OPEN OUTWARDS OR (b) SLIDE OR (c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF 1.2m BETWEEN THE PAN AND THE DOORWAY.

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GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION NoPLN-25-283.....

DATE RECEIVED4 November 2025.....

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LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GELLSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
49 WHITESTONE DRIVE
AUSTINS FERRY, TAS 7011

TITLE
NOTES SHEET

Accepted (Client 1)	MIRANDA HANN	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date
This document must be signed		
SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D. LYNE	D. LYNE
	PLOT DATE	04/11/2025

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PLOT DETAILS WHITESTONE.DWG

PROJECT NO.	TBA
DWG NO.	REVISION
A02	P4

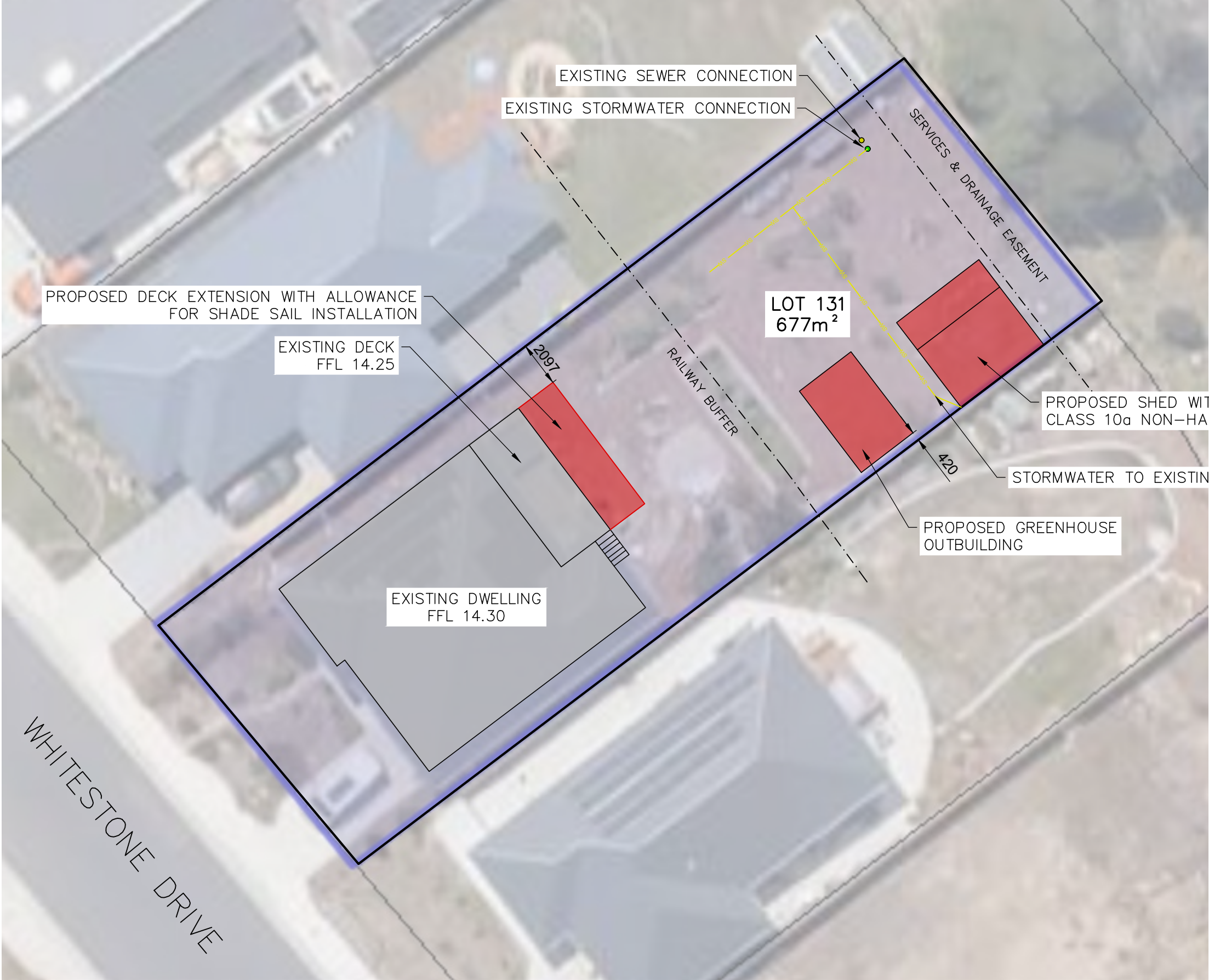
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DAVID LYNE
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
49 WHITESTONE DRIVE
AUSTINS FERRY, TAS 7011

TITLE
SITE PLAN

Accepted (Client 1)	MIRANDA HANN	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:750	D.LYNE	D.LYNE
	PLOT DATE	04/11/2025

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PLOT DETAILS WHITESTONE.DWG

PROJECT NO. TBA

DWG NO.	REVISION
B03	P4

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SITE PLAN

SCALE: 1:750

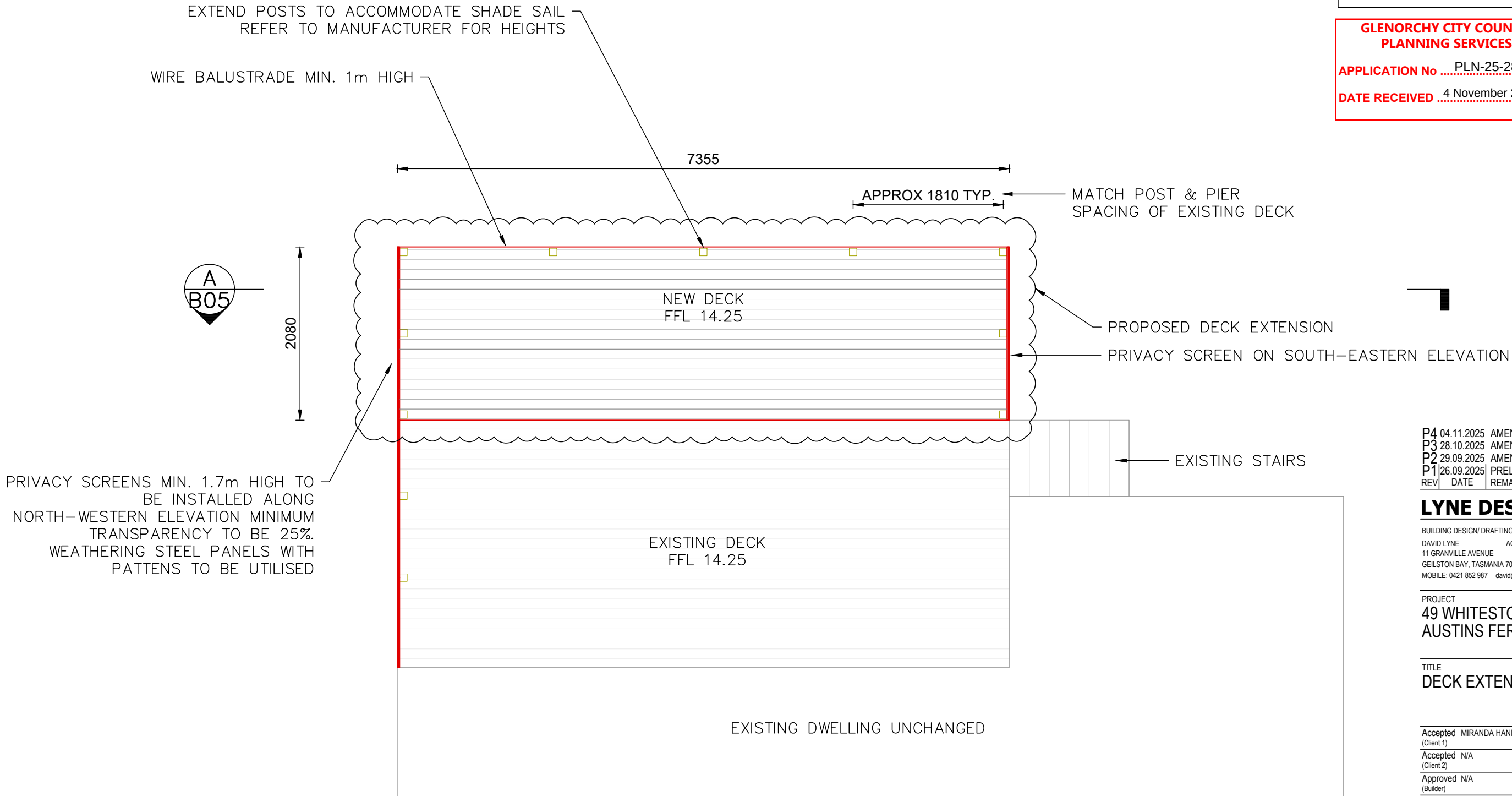
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GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-25-283

DATE RECEIVED 4 November 2025



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DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
49 WHITESTONE DRIVE
AUSTINS FERRY, TAS 7011

TITLE
DECK EXTENSION PLAN

Accepted MIRANDA HANN (Client 1)	Date
Accepted N/A (Client 2)	Date
Approved N/A (Builder)	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:50	D.LYNE	D.LYNE
	PLOT DATE	04/11/2025

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PLOT DETAILS WHITESTONE.DWG

PROJECT NO. TBA

DWG NO. B04	REVISION P4
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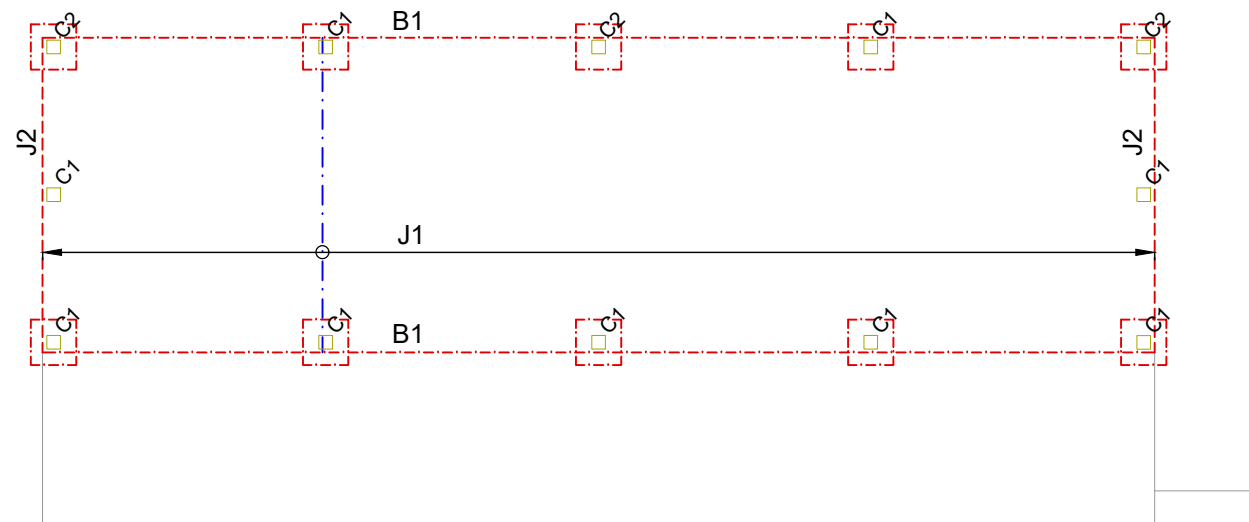
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DECK PLAN

SCALE: 1:50

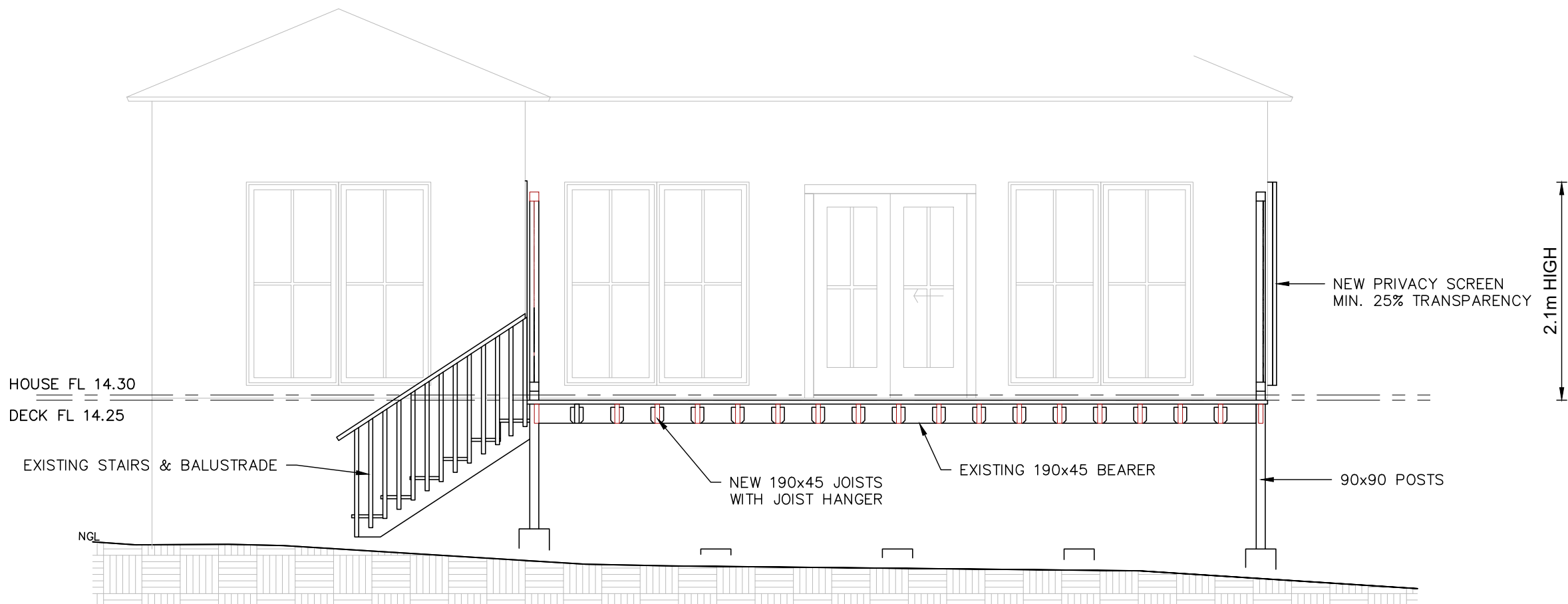
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FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE



SCALE: 1:50

FRAMING MEMBER SCHEDULE		
MARK	DESCRIPTION	REMARKS
J1	190x45 H3 TP JOIST	@450 CRS
J2	2/190x45 H3 TP JOIST	CONTINUOUS
B1	2/190x45 H3 TP BEARER	CONTINUOUS
C1	90x90 H3 TP POST	
C2	90x90 H3 POST	TO EXTEND TO HEIGHT TO ALLOW SHADE SAIL - SEE MANUFACTURERS SPECS



SCALE: 1:50

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MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
49 WHITESTONE DRIVE
AUSTINS FERRY, TAS 7011

TITLE
DECK STRUCTURAL PLANS

Accepted MIRANDA HANN (Client 1)	Date
Accepted N/A (Client 2)	Date
Approved N/A (Builder)	Date

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1:50	D.LYNE	D.LYNE
	PLOT DATE	04/11/2025

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PLOT DETAILS WHITESTONE.DWG

PROJECT NO. **TDA**

DWG NO.	REVISION
B05	P4

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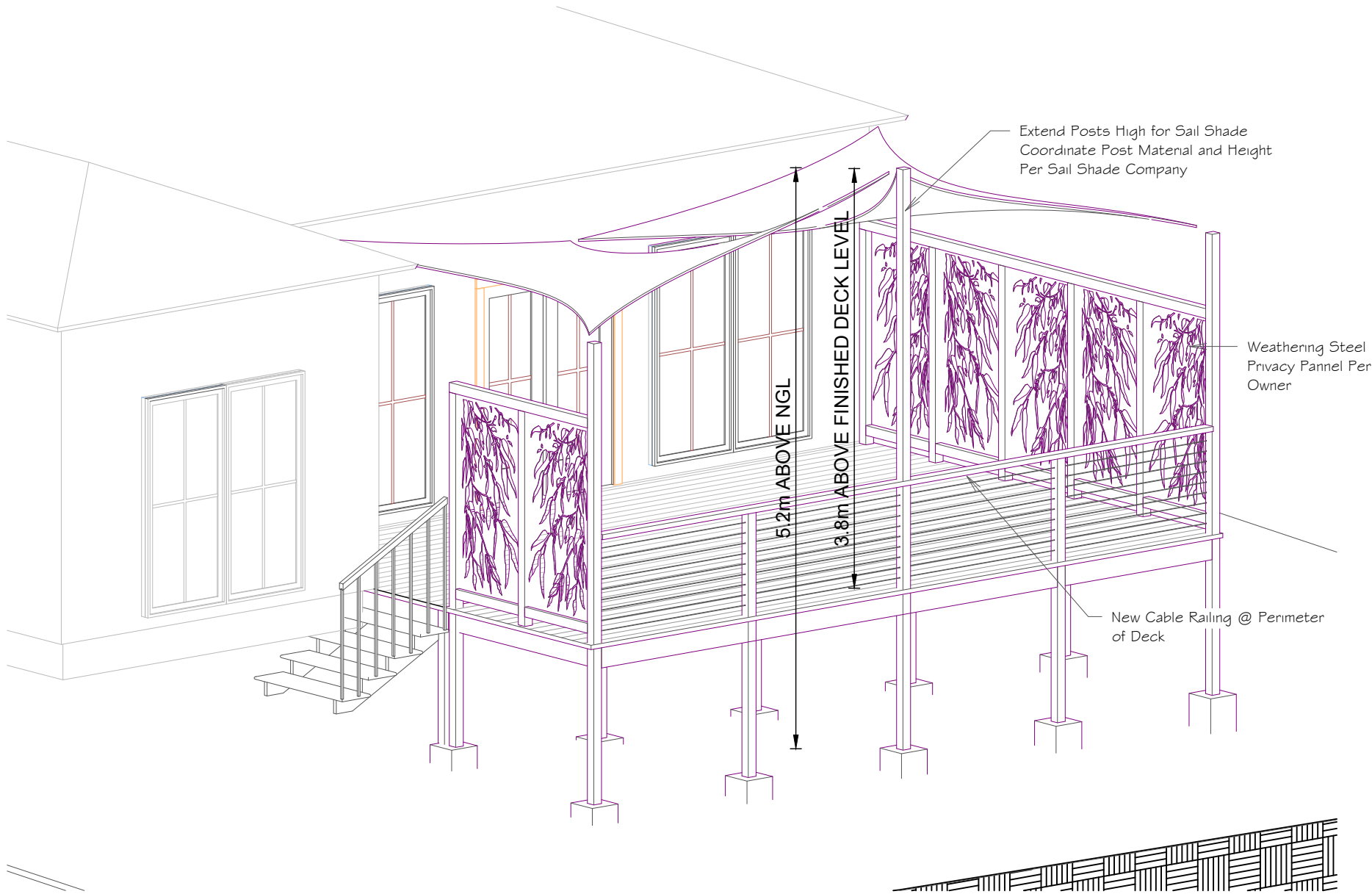
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DECK PERSPECTIVE

SCALE: 1:50

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MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
49 WHITESTONE DRIVE
AUSTINS FERRY, TAS 7011

TITLE
DECK PERSPECTIVE
WITH SHADE SAIL DETAIL

Accepted (Client 1)	MIRANDA HANN	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:50	D.LYNE	D.LYNE
	PLOT DATE	04/11/2025

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PLOT DETAILS WHITESTONE.DWG

PROJECT NO. TBA

DWG NO.	REVISION
B06	P4

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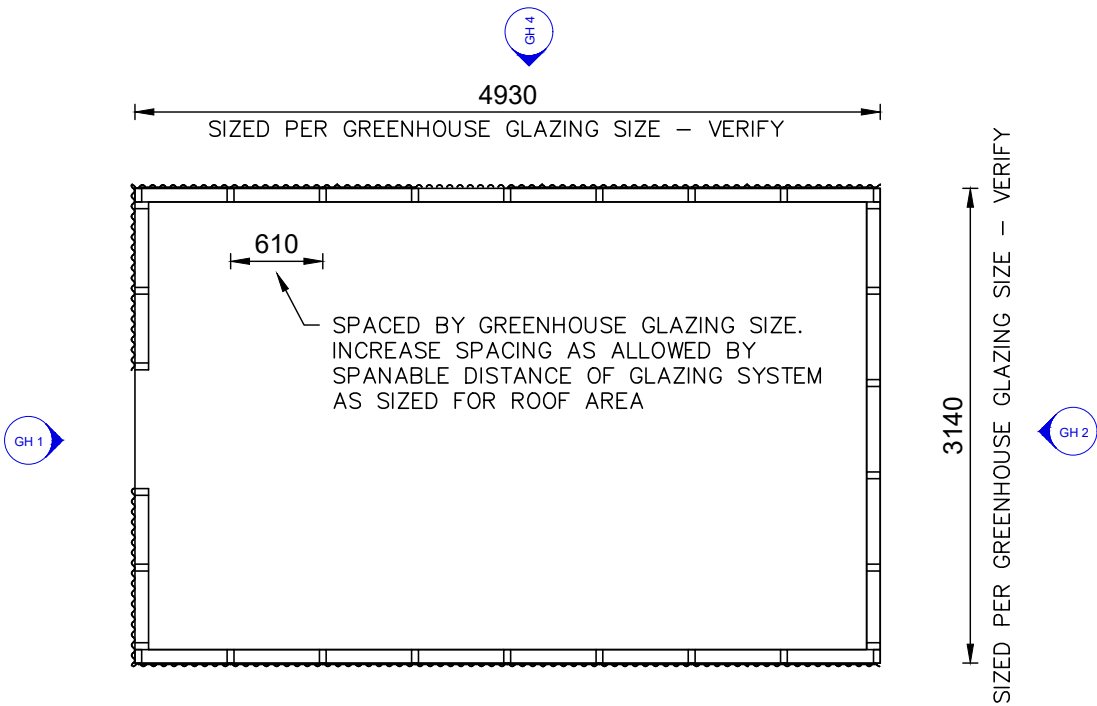
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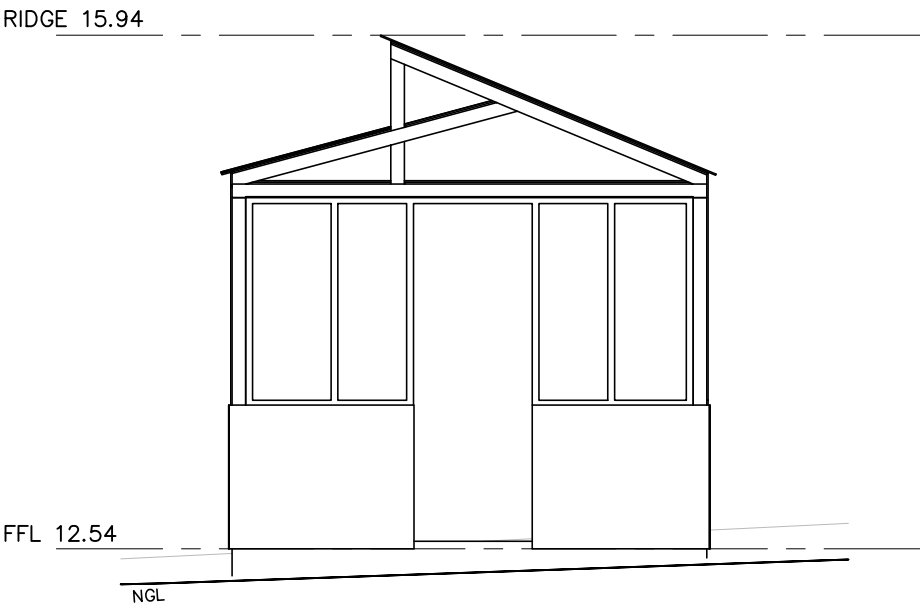
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GREENHOUSE FLOOR PLAN

SCALE: 1:50



GREENHOUSE ELEVATION 1

SCALE: 1:50

ALL GLAZING TO BE
LOW REFLECTING GLASS

P4	04.11.2025	AMENDED PLANNING ISSUE
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TITLE
GREENHOUSE PLANS

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Approved (Builder)	N/A	Date

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1:50	D.LYNE	D.LYNE
	PLOT DATE	04/11/2025

HOUSE FLOOR PLAN
DECK FLOOR PLAN

SCALE: Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS WHITESTONE.DWG

PROJECT NO.

TBA

DWG NO.

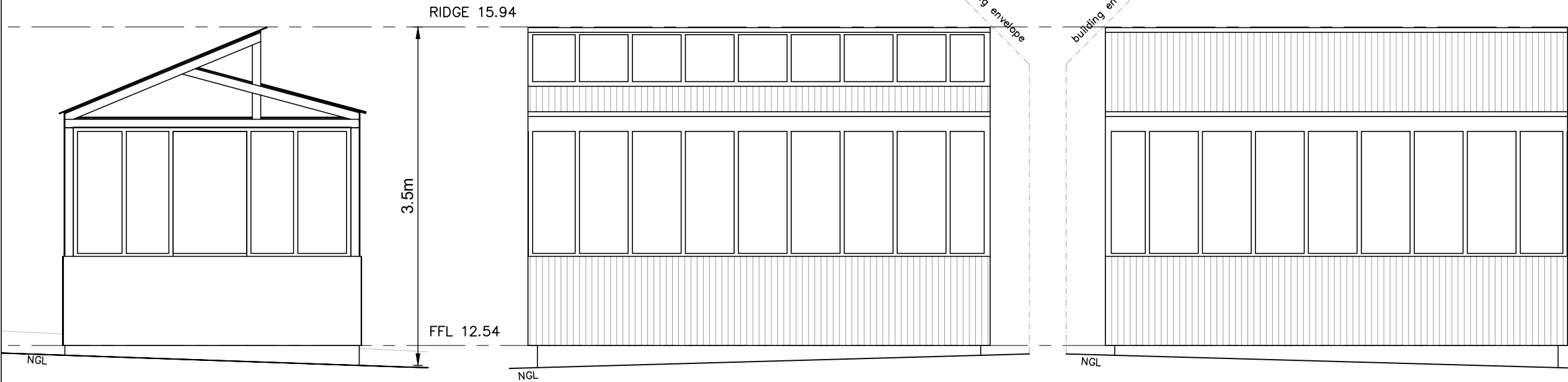
B07

REVISION

P4

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GREENHOUSE ELEVATION 2

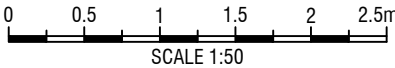
SCALE: 1:50

GREENHOUSE ELEVATION 3

SCALE: 1:50

GREENHOUSE ELEVATION 4

SCALE: 1:50



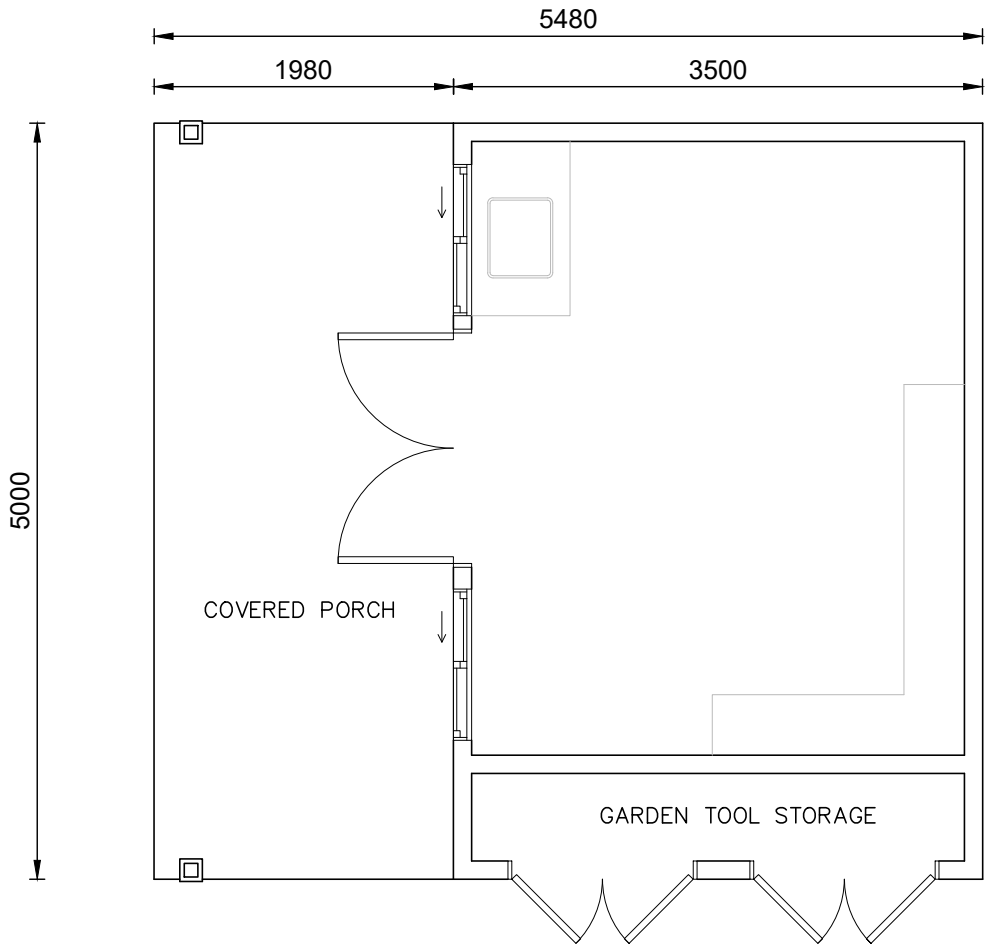
NOT FOR CONSTRUCTION

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.

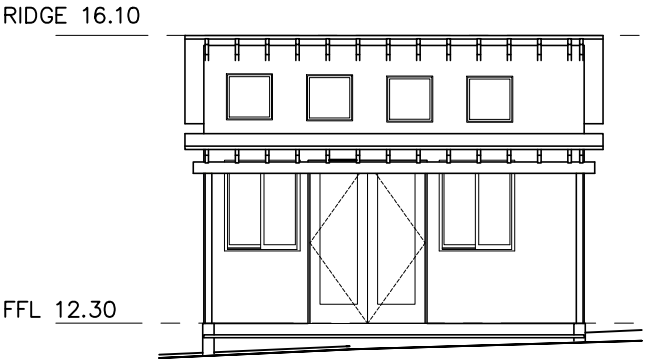
FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

ALL GLAZING TO BE
LOW REFLECTING GLASS



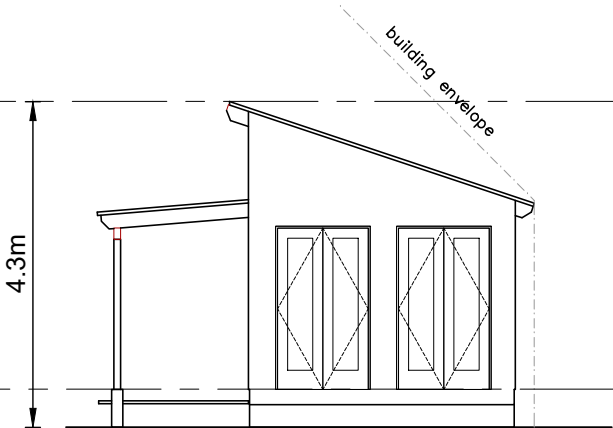
SHED FLOOR PLAN

SCALE: 1:50



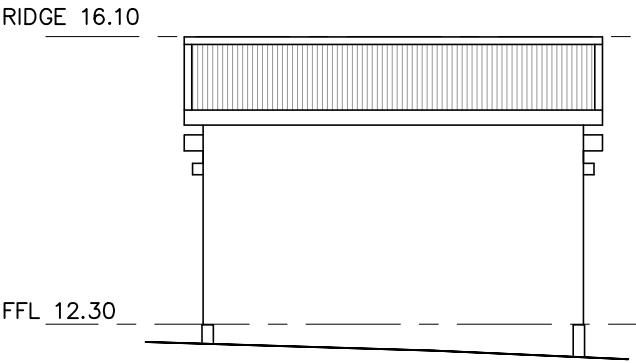
NORTH-WESTERN ELEVATION

SCALE: 1:100



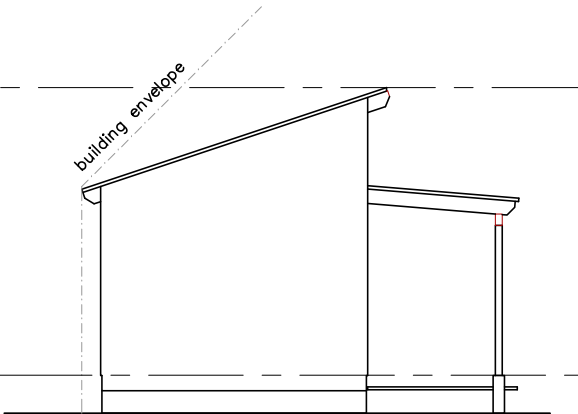
SOUTH-WESTERN ELEVATION

SCALE: 1:100



SOUTH-EASTERN ELEVATION

SCALE: 1:100



NORTH-EASTERN ELEVATION

SCALE: 1:100

P4	04.11.2025	AMENDED PLANNING ISSUE
P3	28.10.2025	AMENDED PLANNING ISSUE
P2	29.09.2025	AMENDED PRELIM ISSUE
P1	26.09.2025	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
49 WHITESTONE DRIVE
AUSTINS FERRY, TAS 7011

TITLE
SHED PLANS

Accepted MIRANDA HANN (Client 1)	Date
Accepted N/A (Client 2)	Date
Approved N/A (Builder)	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:50	D.LYNE	D.LYNE
1:50	PLOT DATE	04/11/2025

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS WHITESTONE.DWG

PROJECT NO. TBA

DWG NO.	REVISION
B08	P4

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