

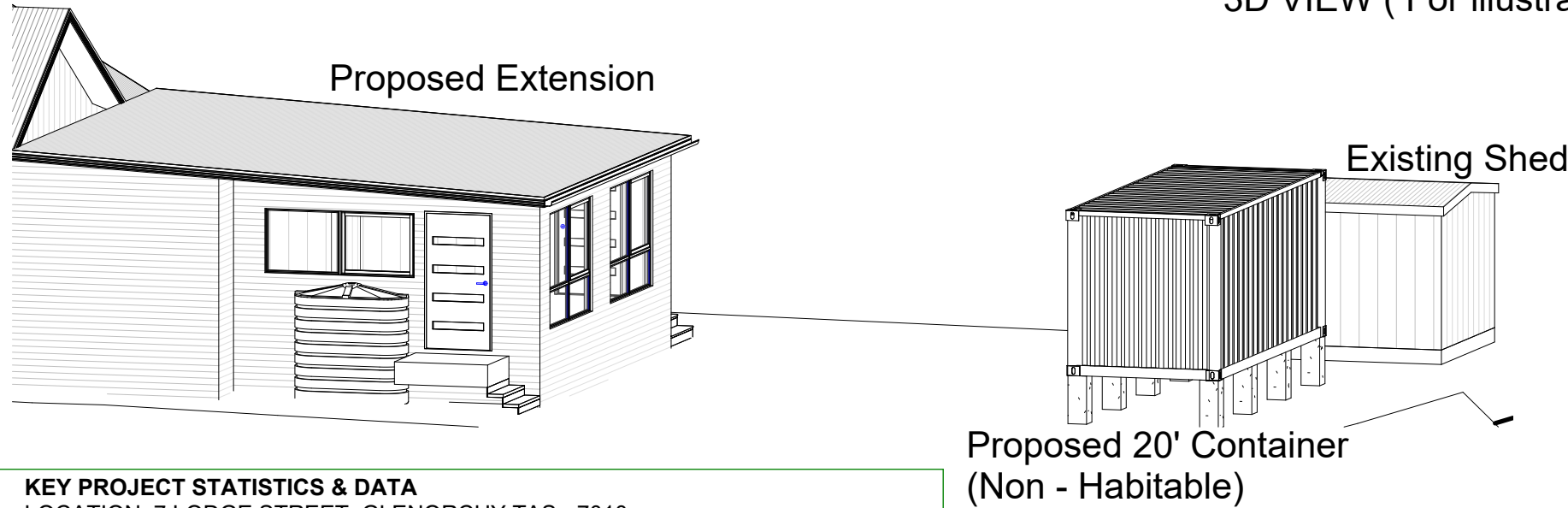
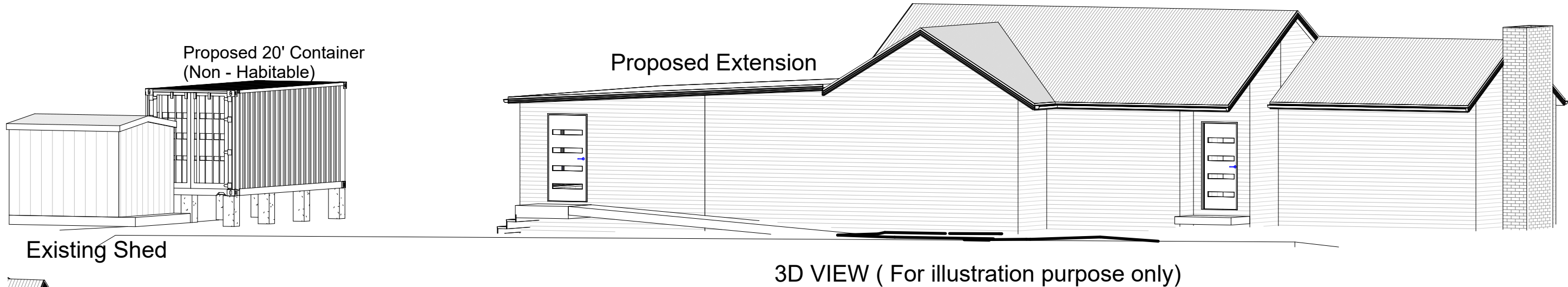
DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-027
PROPOSED DEVELOPMENT:	Alterations and additions to public hall (Community Meeting and Entertainment)
LOCATION:	India House Community Centre 7 Lodge Street Glenorchy
APPLICANT:	Urban Space Designers
ADVERTISING START DATE:	07/11/2025
ADVERTISING EXPIRY DATE:	21/11/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **21/11/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **21/11/2025**, or for postal and hand delivered representations, by 5.00 pm on **21/11/2025**.



Sheet List		
Sheet Number	Sheet Name	Current Revision
A01	COVER SHEET	2
A02	SITE PLAN	2
A03	DIMENSION PLAN	2
A04	ELEVATIONS	2
A05	ELEVATIONS	2
A06	ROOF PLAN	2
A11	SERVICE PLAN	2
A12	SHADOWS 21ST JUNE	2
A13	SHADOWS 21ST JUNE	2

FINISHES	
Exterior Walls	Weatherboard
Windows	Aluminium Glazed - Shale Grey
Gutter/ Fascia/ Fence	Colorbond Corrugated
Roof	Colorbond Corrugated
Design Components	
Proposed Single Storey Extension to Existing at the rear	
Proposed 20' Container at the rear	
NOTES: All Bathrooms, Ensuite and Laundry windows are to be Obscure Glass. All internal doors are standard. The reflectivity index used in the External Facade of the Building not to exceed 20%. Eaves vents should be evenly spaced.	

THIS PLAN ACCEPTED BY:
PLEASE NOTE;
NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER
SIGNING
SIGNATURE:
DATE:

Urban Space Designers
Building Design and Drafting

Phone:
0402438170

Email:
info@urbanspacedesigners.com.au

Website:
www.urbanspacedesigners.com.au

Accreditation:
TAS - 381246362
VIC - DP-AD 72846

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Client:
Indian Society of Tasmania Inc.

Project:
Extension to Existing Building & Addition of Caretaker's Room

Address:
7 Lodge Street,
Glenorchy, TAS - 7010

Revisions		
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DRAWINGS

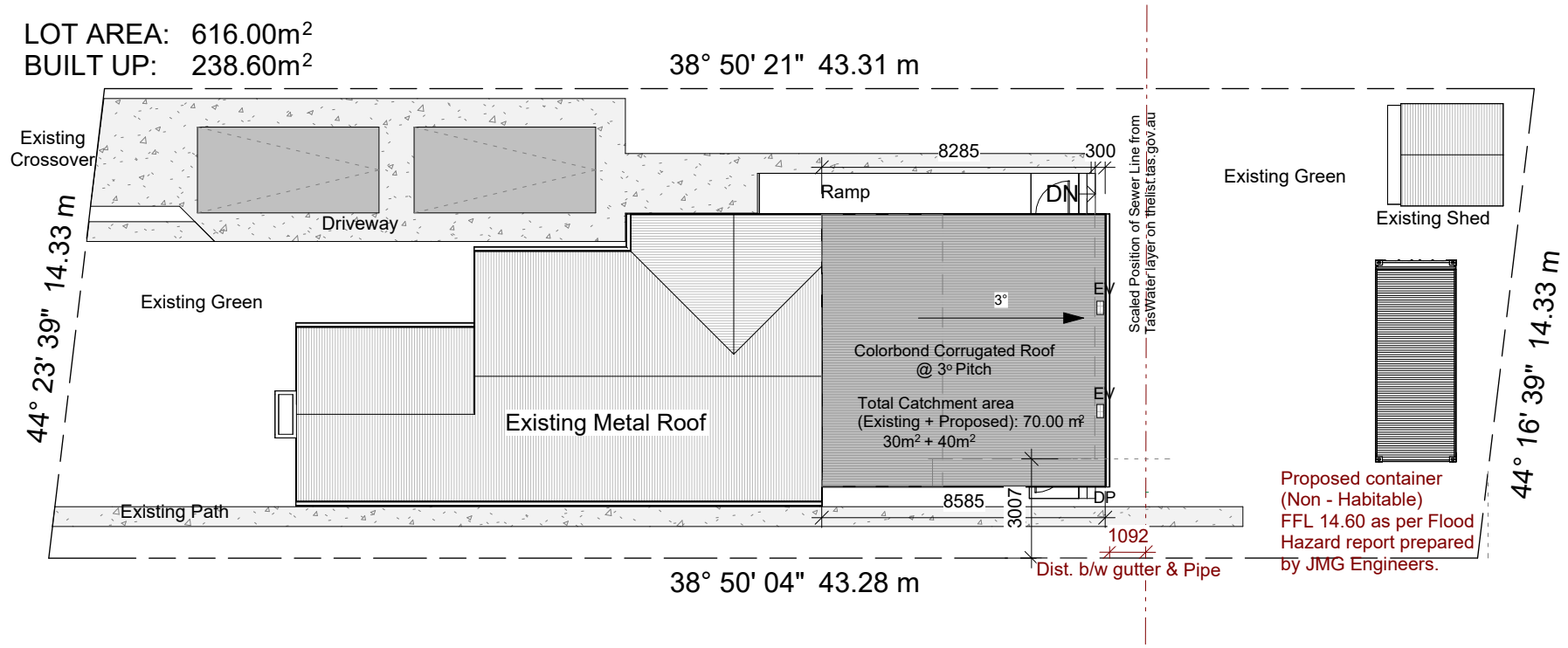
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Sheet:
COVER SHEET

Drawn: GK

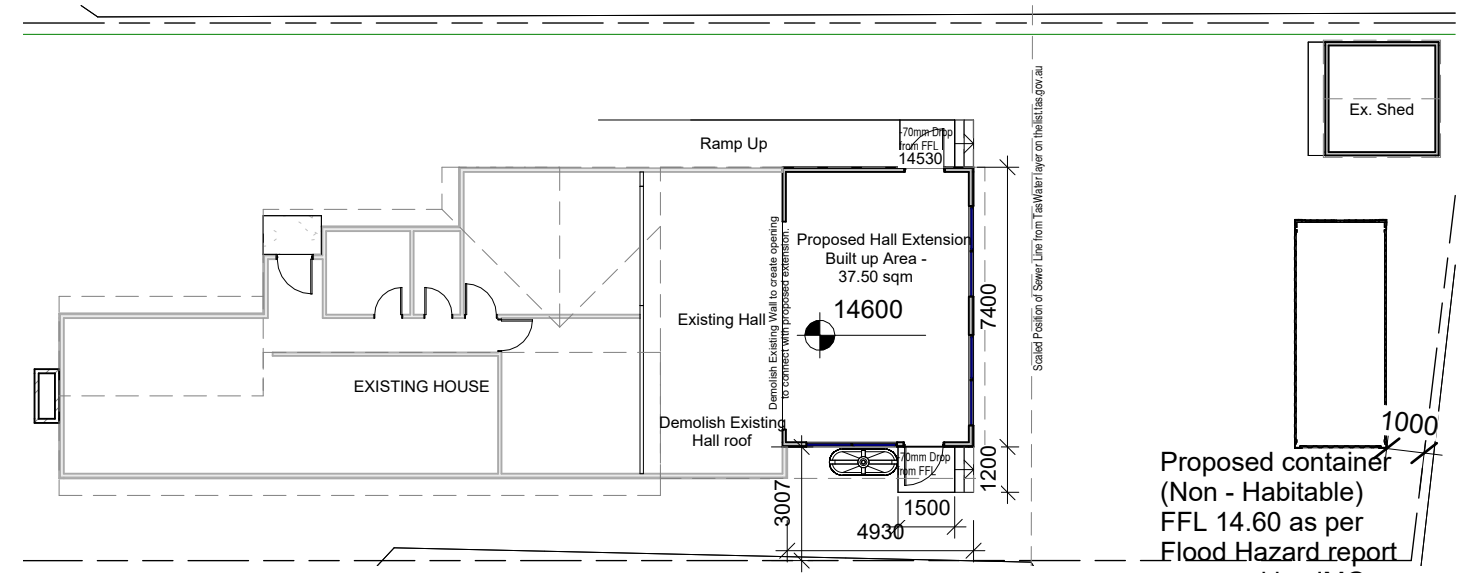
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Project: 7-LS/Glenorchy/Arch/30032021	Sheet: A01	Rev: 2
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SITE PLAN

1 : 200



FLOOR PLAN

1 : 200

Surface Water Drainage

Ground to fall away from building in all Directions in compliance with AS2870 & N.C.C 2022 3.3.3 .

Surface water must be diverted away from a Class 1 building as follows:
(a) Slab-on -ground - Finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than

(i) 25 mm over the first 1m from the building
(A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or
(B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or

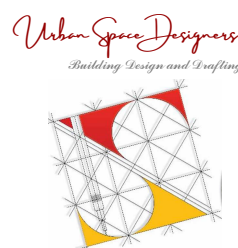
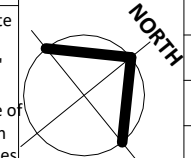
(ii) 50 mm over the first 1m from the building in any other case.
(b) Slab-on -ground - finished slab heights: the height of the slab-on -ground above external finished surfaces must not be less than:
(i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well drained areas; or
(ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or

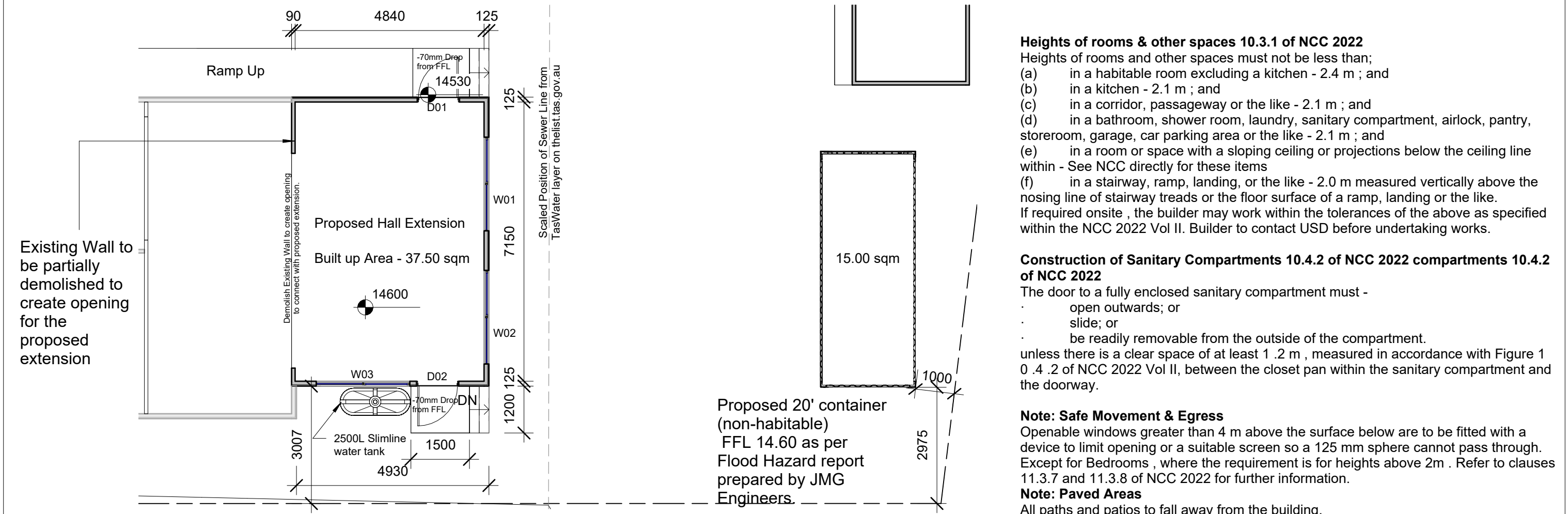
(iii) 150 mm in any other case.
(c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

To comply with AS2870, AS3500 & N.C.C 2022 3.3.4 .
Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

(a) be graded with a uniform fall of not less than 1:300 ; and
(b) discharge into an external silt pit or sump with-
(i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and
provision for cleaning and maintenance.

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Accreditation: TAS - 381246362 VIC - DP-AD 72846	Address: 7 Lodge Street, Glenorchy, TAS - 7010	Scale: 1 : 200 Size: A3 Date: 29/10/2024														
		Project: 7-LS/Glenorchy/Arch/30032021 Sheet: A02 Rev: 2														



GROUND FLOOR PLAN

1 : 100

Generally Demolition works must be carried out in Accordance with AS 2601 - 2001: Demolition of Structures & Regulations 29, 30 & 31 of the Building Regulations (TAS) 2016. Buildings prior to 1990 MAY contain asbestos. Buildings prior to 1986 ARE LIKELY to contain Asbestos either in Cladding material or in Fire retardant insulation material. The Builder should check & if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure. Procedures and methods of Demolition must be adequate to prevent injury to persons & avoid damage to neighboring property. Before removing existing wall shown to be demolished, Builder shall confirm on - site whether they are Load bearing or not. If it is found to be Load - Bearing, a structural Engineer must be engaged to determine any beams required to support these loads. All redundant stormwater, sewer and water connections associated with the demolition shall be cut & sealed to the satisfaction of council's Senior Plumbing Inspector. The removal of existing plumbing fixtures shall include all associated waste & vent pipes, Floor Drains, water service pipework brackets, support etc. & seal off existing services, seal off & make good all floor, wall & roof penetrations. Generally, make good to existing floors, walls, & ceilings where all demolition work occurs to match existing as & where required.

Heights of rooms & other spaces 10.3.1 of NCC 2022
Heights of rooms and other spaces must not be less than;
(a) in a habitable room excluding a kitchen - 2.4 m ; and
(b) in a kitchen - 2.1 m ; and
(c) in a corridor, passageway or the like - 2.1 m ; and
(d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m ; and
(e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
(f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.
If required onsite , the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact USD before undertaking works.

Construction of Sanitary Compartments 10.4.2 of NCC 2022 compartments 10.4.2 of NCC 2022
The door to a fully enclosed sanitary compartment must -
· open outwards; or
· slide; or
· be readily removable from the outside of the compartment.
unless there is a clear space of at least 1 .2 m , measured in accordance with Figure 1 0 .4 .2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

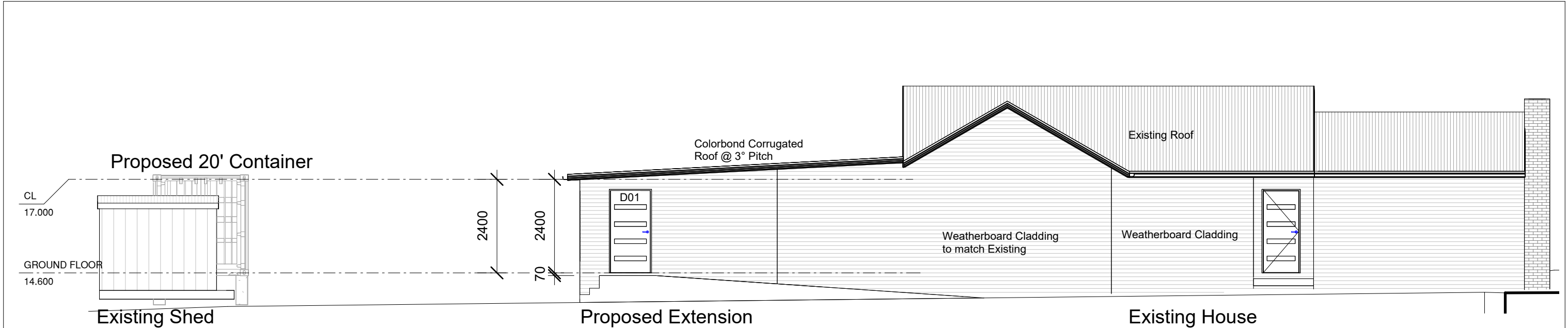
Note: Safe Movement & Egress
Openable windows greater than 4 m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125 mm sphere cannot pass through. Except for Bedrooms , where the requirement is for heights above 2m . Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information.
Note: Paved Areas
All paths and patios to fall away from the building.

Note: Stair Construction
All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2 :
Riser: Min 115 mm - Max 190mm
Going: Min 240 mm - Max 355m m
Slope (2R + G): Max 550 - Min 700
For stairways serving non-habitable room used infrequently, refer to table 1 1 .2 .2 (b). Landings to comply with Clause 1 1 .2 .5 and be a minimum of 750 mm deep measured 500 mm from the inside edge of the landing.
Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4 .

WINDOWS:
· Windows to be Aluminium framed Awning unless otherwise.
· All windows to be fabricated and installed in Accordance with AS1288 and AS2047 to be specific wind speed as per Engineer's report.
· Glazings and Frames to comply with AS2047 & AS1288
· OG - Window Obscure Glass with a uniform transparency of 25%, in accordance with requirements of Interim Planning Scheme 2015.

NOTE: Contractor to confirm all Windows Dimensions on site and review with client before fabrication.

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	Drawn: GK																	
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Project: 7-LS/Glenorchy/Arch/30032021				Sheet: A03		Rev: 2												



North West Elevation

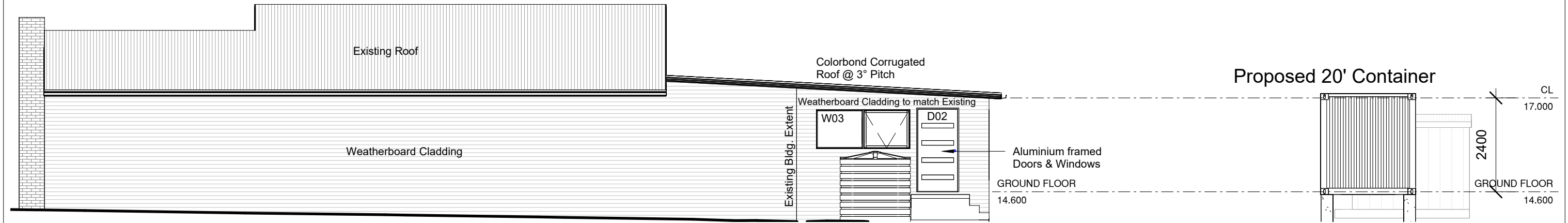
1 : 100

NOTE:

Low reflectance glazing (<10%) required to all glazed, non-opaque surfaces.

Window Schedule				
Number	Width	Height	Sill Height	Head Height
W01	2400	1800	300	2100
W02	2400	1800	300	2100
W03	2400	1000	1100	2100

Door Schedule		
Number	Height	Width
D01	2100	1020
D02	2100	1020



South East Elevation

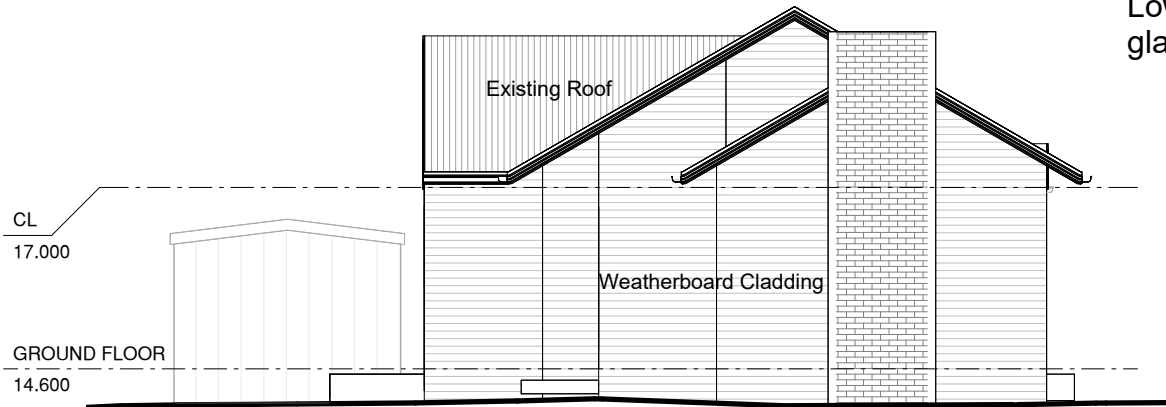
1 : 100

Fall Ground away from House a min. of 50mm over the first 1000mm in Accordance with AS2870, NCC 2022 Part 3.3.3 & Fig. 3.3.3a

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NOTE:

Low reflectance glazing (<10%) required to all glazed, non-opaque surfaces.



Existing Shed
Existing House
South West Elevation

1 : 100

Fall Ground away from House a min. of 50mm over the first 1000mm in AAccordance with AS2870, NCC 2022 Part 3.3.3 & Fig. 3.3.3a

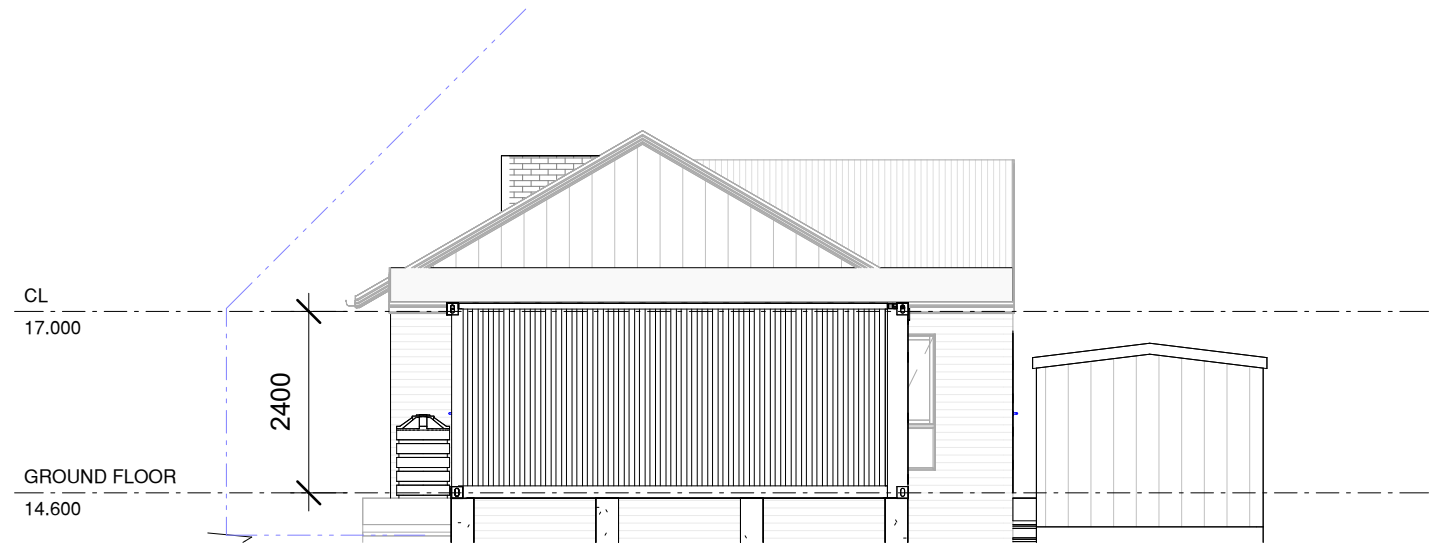


North East Elevation Hall

1 : 100

Door Schedule		
Number	Height	Width
D01	2100	1020
D02	2100	1020

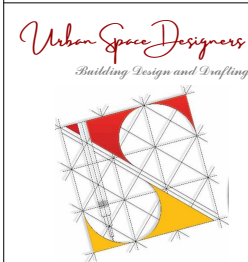
Window Schedule				
Number	Width	Height	Sill Height	Head Height
W01	2400	1800	300	2100
W02	2400	1800	300	2100
W03	2400	1000	1100	2100



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1 : 100

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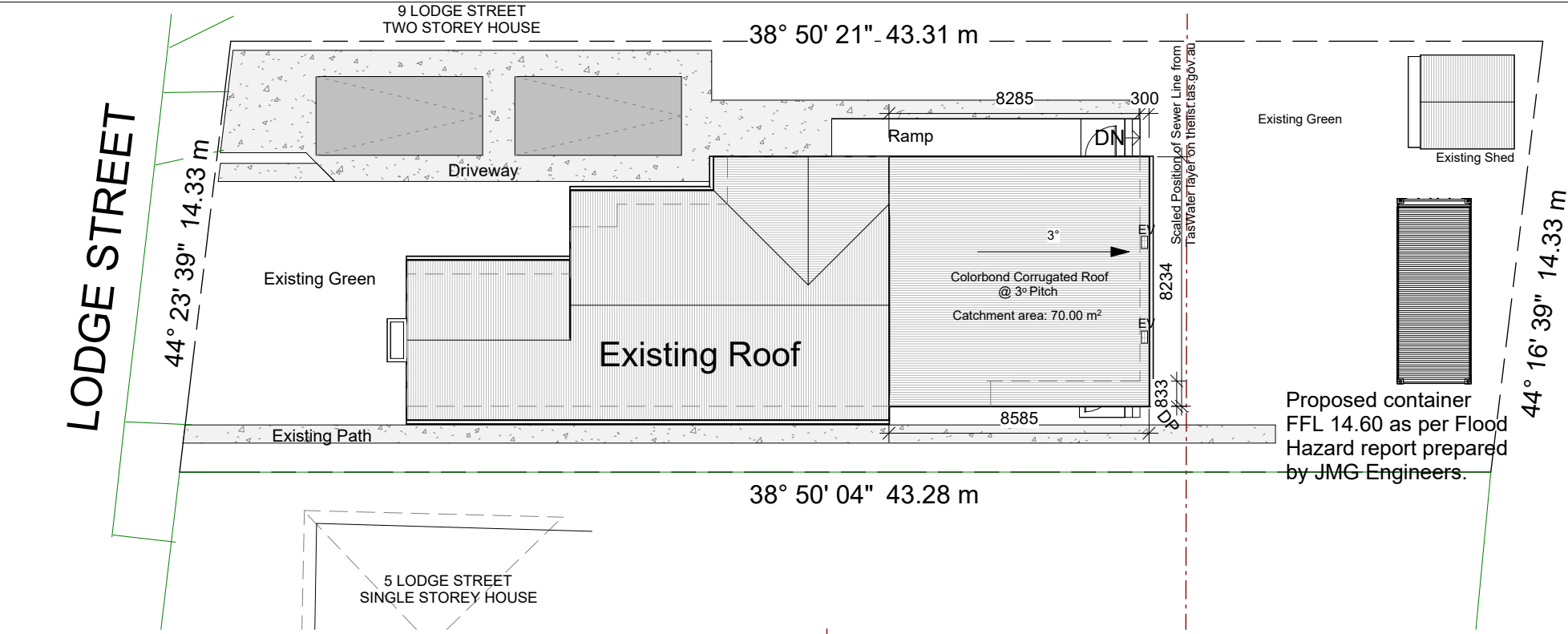
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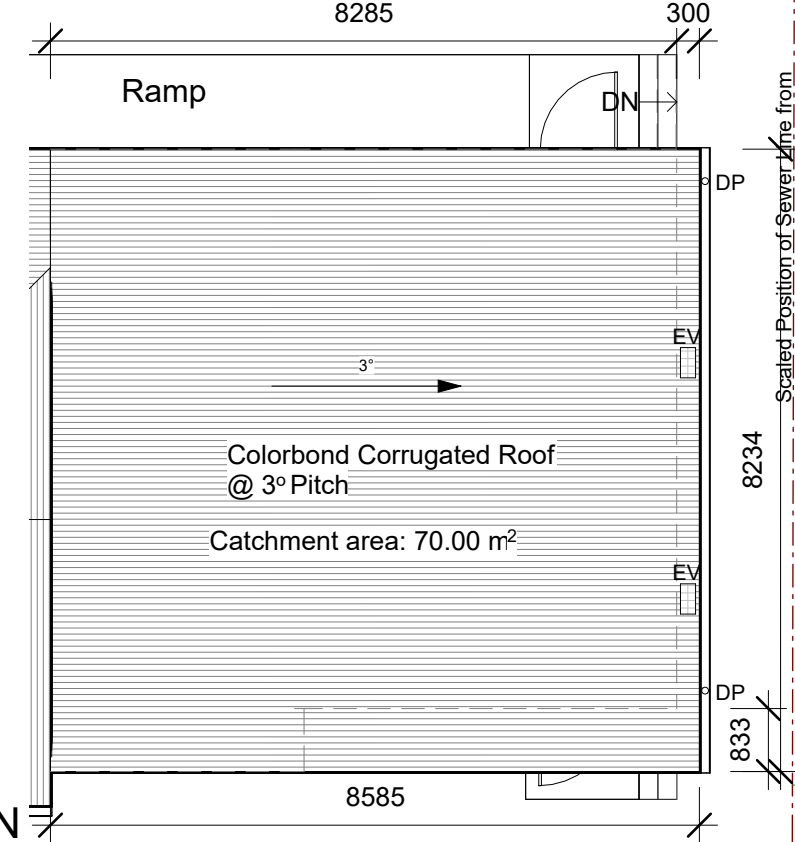
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Drawn: GK			
Scale: 1 : 100	Size: A3	Date: 29/10/2024	
Project: 7-LS/Glenorchy/Arch/30032021	Sheet: A05	Rev: 2	



SITE ROOF

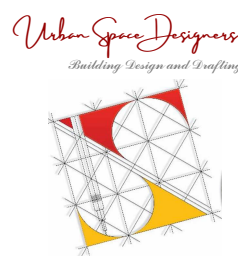
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DP - Downpipe
EV - Eave Vents (1 vent every 5m)
One vent be installed for every 90m2 of roof space.



ROOF PLAN

1 : 100



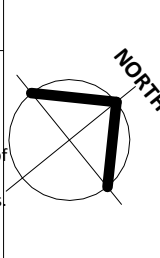
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Scale: As indicated	Size: A3	Date: 29/10/2024	
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Gutter and Down Pipes - NCC 2022 Part 7.4

- Colorbond metal fascias and gutters.
- Eaves gutters installed with a fall of 1:500 (normally).
- Box gutters fall of 1:100.
- Spacing between downpipes maximum 12m.
- Downpipes to be located 1.2m from a valley or provisions made for overflow.
- Gutters and downpipes to be selected in accordance with NCC Vol 2 Part 7.4.3 and table 7.4.3b and 7.4.3c.
- Zincalume color (B.M.T) 0.500 protected steel sheet to Australian Standard AS139 \ Fascia clips/brackets shall be attached to fascia /barge at a max 1.2m centres using recommended fasteners.

Ventilation of Roof Spaces NCC 2022 Part 10.8.3

A roof must have a roof space that-

- (a) is located-
- (i) immediately above the primary insulation layer; or
- (ii) immediately above sarking with a vapour permeance of not less than 1.14 µEg/N.s, which is immediately above the primary insulation layer; or
- (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
- (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
- (ii) located immediately underneath the roof tiles or an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roof Cladding

R5.0 Insulation batts to roof space above ceiling lining.
Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
- (i) 2.8 x~ 30 mm fibre-cement nails; or
- (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
- (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

F8D3 External wall construction

2 (b) for climate zone 6,7, & 8, 1.14 µg/N.s

Class 4 vapour control membranes meet the vapour permeance requirements of F8D3(2)(b).

IMPORTANT NOTE:
Cladding to be installed over min. 10mm Battens to provide airflow between Cladding and Vapour Permeable Membrane.

Surface Water Drainage

Ground to fall away from building in all Directions in compliance with AS2870 & N.C.C 2022 3.3.3 .

Surface water must be diverted away from a Class 1 building as follows:

(a) Slab-on -ground - Finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than

(i) 25 mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or
(B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or

(ii) 50 mm over the first 1m from the building in any other case.
(b) Slab-on -ground - finished slab heights: the height of the slab-on -ground above external finished surfaces must not be less than:
(i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well drained areas; or
(ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or

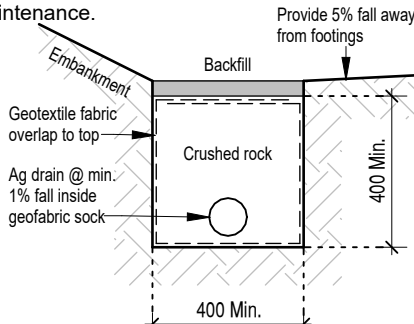
(iii) 150 mm in any other case.
(c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

To comply with AS2870, AS3500 & N.C.C 2022 3.3.4 .

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

(a) be graded with a uniform fall of not less than 1:300 ; and
(b) discharge into an external silt pit or sump with-
(i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.



TYP. AG DRAIN

1 : 20

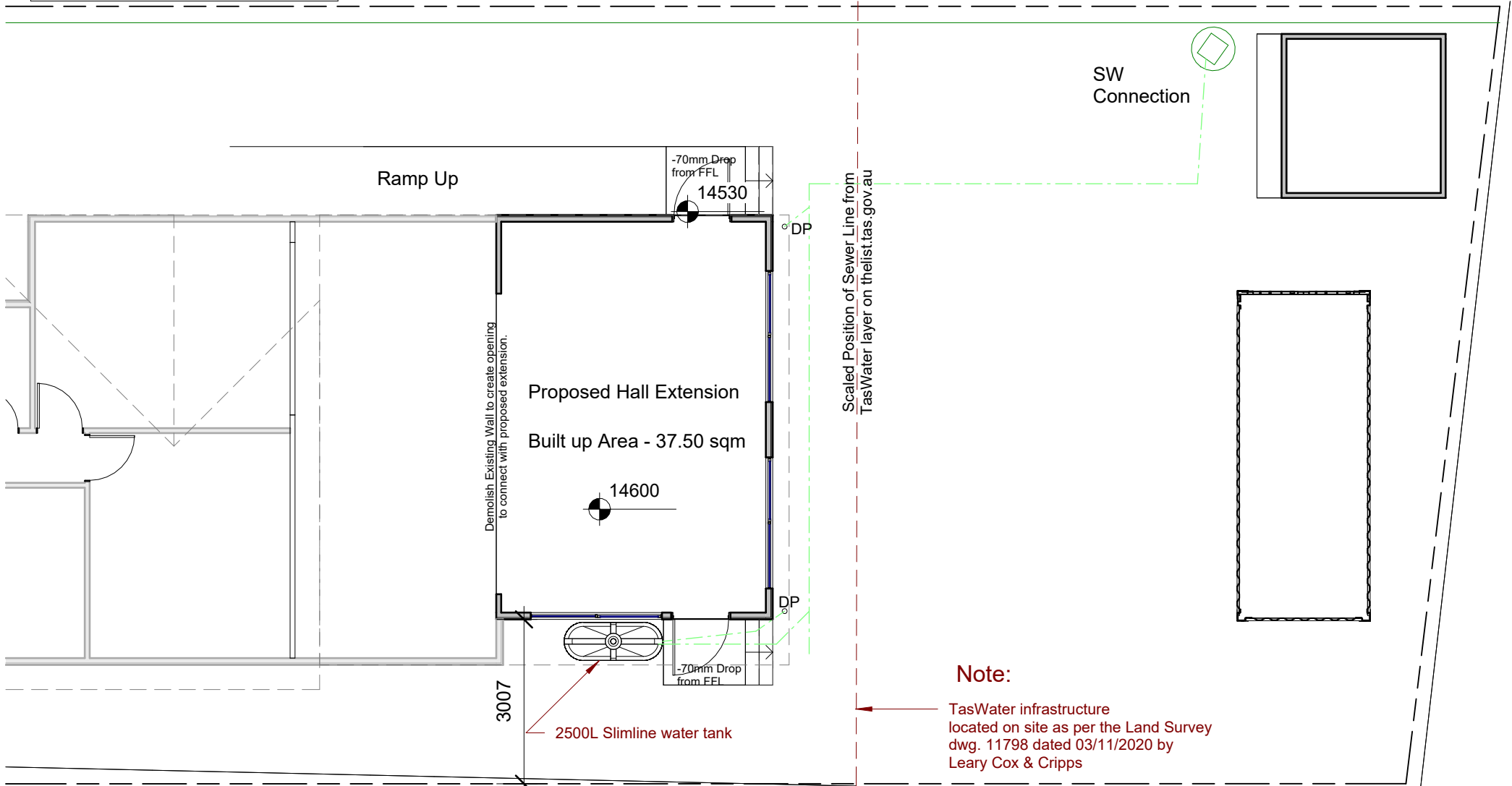
SERVICE PLAN

1 : 100

DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size (dia)
B	BASIN	40
BTH	BATH	40
SHR	SHOWER	40
S	SINK	50
TR	TROUGH	40
WC	WATER CLOSET PAN	100
DP	DOWNPIPE	90
TSB	TILED SPLASH BACK	
NOTES: Waterproof Membrane not required below Pre - Formed Shower Bases, but still required at Penetrations (including floor waste)		

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

Proposed DN100 uPVC SN8 stormwater per TSD-SW25-v3 with I.O. to surface. Works by Council approved contractor at developer's cost.



Note:
TasWater infrastructure located on site as per the Land Survey dwg. 11798 dated 03/11/2020 by Leary Cox & Cripps

No new Sewer services proposed.



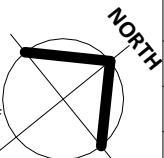
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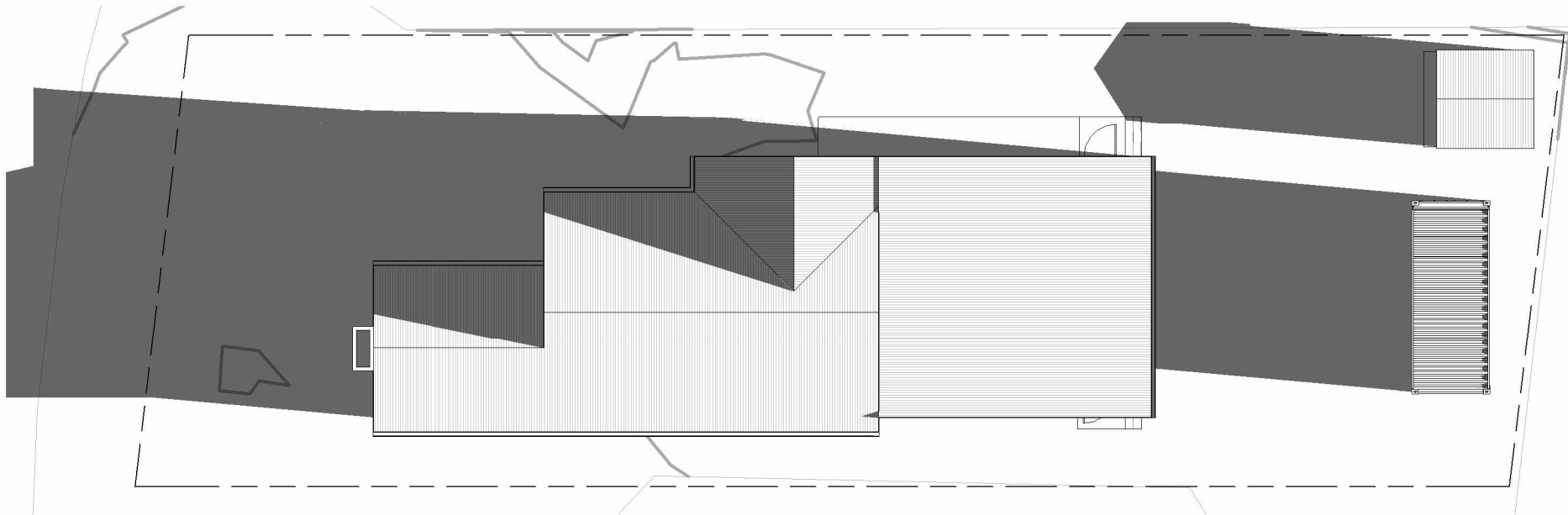
Client: Indian Society of Tasmania Inc.
Project: Extension to Existing Building & Addition of Caretaker's Room
Address: 7 Lodge Street, Glenorchy, TAS - 7010

Revisions		
Issue	Issue Name	Date
1	Caretaker room revised to ground floor	06/01/2025
2	Caretaker room removed. 20' Storage container placed at the rear.	14/10/2025

DRAWINGS
CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.

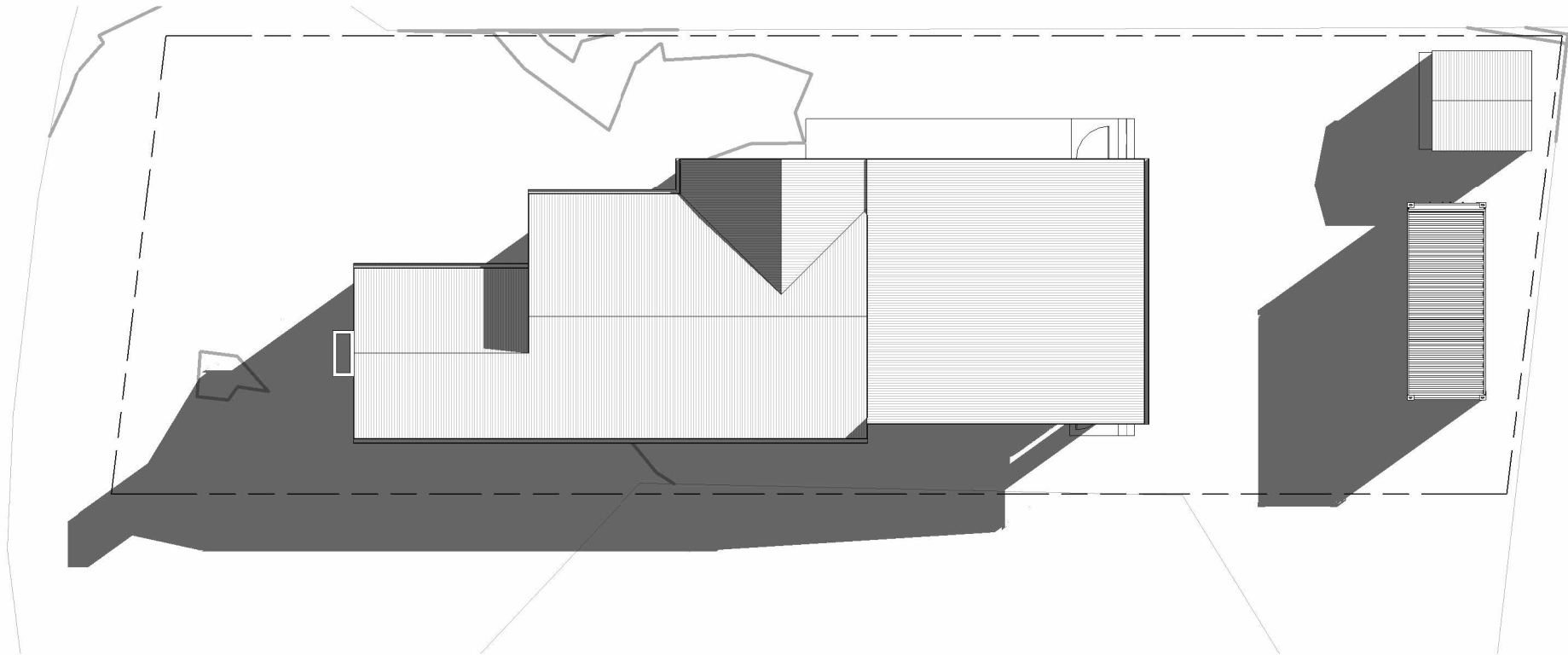


Sheet: SERVICE PLAN			
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Scale: As indicated	Size: A3	Date: 29/10/2024	
Project: 7-LS/Glenorchy/Arch/30032021	Sheet: A11	Rev: 2	



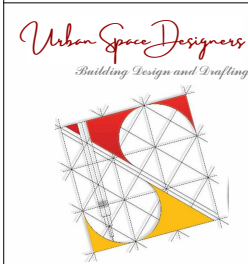
SHADOW 9AM

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SHADOW 12PM

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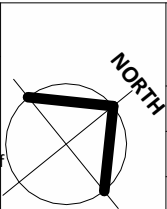
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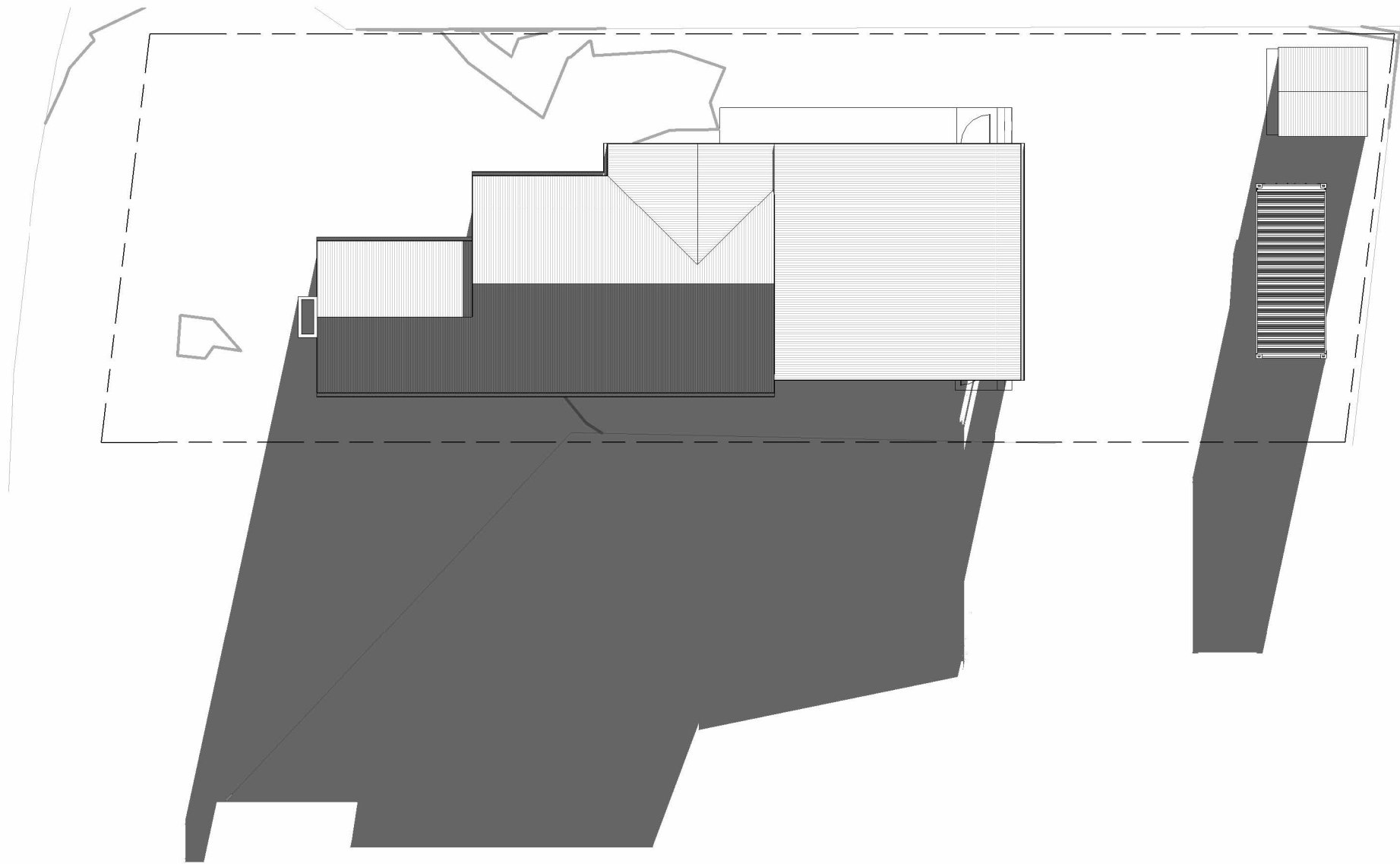
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Address:
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Revisions		
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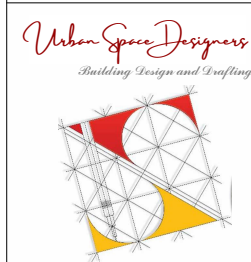


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SHADOW 3PM

1 : 200



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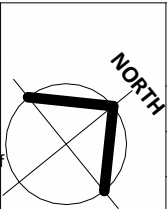
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