

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-25-319
<b>PROPOSED DEVELOPMENT:</b>	Change of use (multiple dwelling to visitor accommodation)
<b>LOCATION:</b>	3/73 Radcliff Crescent, Rosetta
<b>APPLICANT:</b>	Hobart Short Stay Management
<b>ADVERTISING START DATE:</b>	09/01/2026
<b>ADVERTISING EXPIRY DATE:</b>	23/01/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **23/01/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **23/01/2026**, or for postal and hand delivered representations, by 5.00 pm on **23/01/2026**.

## KEY

- EXISTING CONCRETE FOOTPATH AND CROSSOVER / SLAB
- PROPOSED CONCRETE DRIVEWAY/FOOTPATH REFER TO CIVIL DOCUMENTATION.
- 24m<sup>2</sup> PRIVATE OPEN SPACE 4.0m x 6.0m, MAX. 1:10 GRADIENT AS PER CLAUSE 8.4.3 - A2 TASMANIAN PLANNING SCHEME - GLENORCHY
- PROPOSED LANDSCAPED AREA
- BOUNDARY SETBACK AS PER TASMANIAN PLANNING SCHEME - GLENORCHY

## SITE COVERAGE

(as per Tasmanian Planning Scheme - Glenorchy)

SITE AREA - 1,052m<sup>2</sup> (per detailed survey plan)

PROPOSED UNIT 1 -	143m <sup>2</sup>
PROPOSED UNIT 2 -	136m <sup>2</sup>
PROPOSED UNIT 3 -	136m <sup>2</sup>
TOTAL AREA	415m <sup>2</sup>

PROPOSED SITE COVERAGE - 39.45%

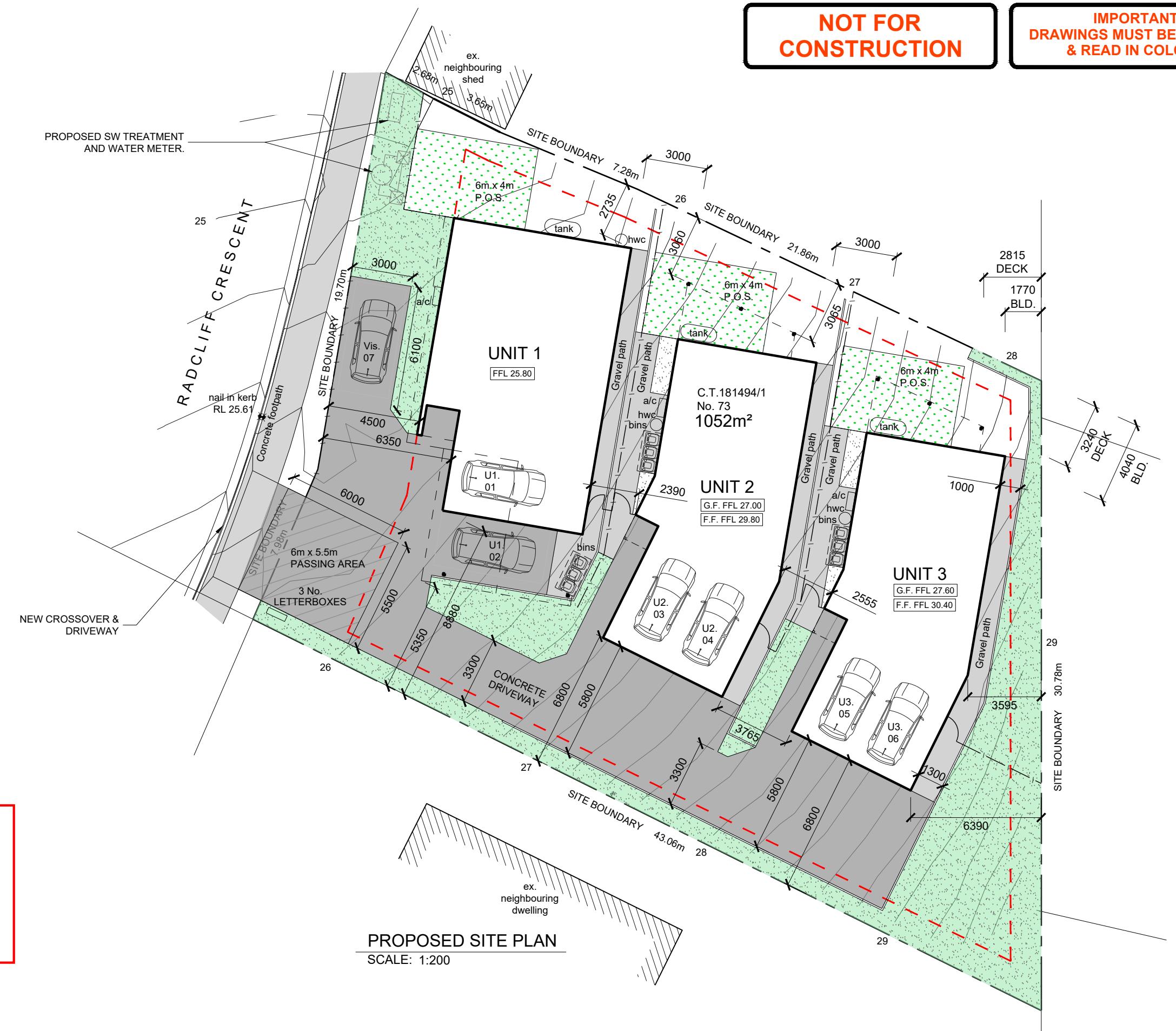
## PRIVATE OPEN SPACE

PROPOSED UNIT 1 -	65m <sup>2</sup>
PROPOSED UNIT 2 -	83m <sup>2</sup>
PROPOSED UNIT 3 -	115m <sup>2</sup>

## FLOOR AREAS (external)

PROPOSED UNIT 1 -	GROUND FLOOR 116m <sup>2</sup>
PROPOSED UNIT 2 -	FIRST FLOOR 109m <sup>2</sup>
	DECK 109m <sup>2</sup>
PROPOSED UNIT 3 -	GROUND FLOOR 109m <sup>2</sup>
	FIRST FLOOR 109m <sup>2</sup>
	DECK 11m <sup>2</sup>
TOTAL AREA	576m <sup>2</sup>

NOT FOR CONSTRUCTION

IMPORTANT  
DRAWINGS MUST BE PRINTED  
& READ IN COLOURGLENORCHY CITY COUNCIL  
PLANNING SERVICES

APPLICATION No. : PLN-25-319

DATE RECEIVED: 01/12/2025

2m 0 2 4 6 8 10m

SCALE 1:200 AT A3 SHEET

B	RESPONSE TO RFI	JPI	MH	22/02/23
A	FOR PLANNING AMENDMENT	JPI	MH	16/02/23
REV	DESCRIPTION	BY	CHK	DATE

121 Sandy Bay Road, Sandy Bay TAS 7005  
Phone (03) 6240 9911 www.jsa.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3	PROJECT
DESIGNER/ ENGINEER J-P IBBOTT 283030294	DRAWN J-P IBBOTT		
STATUS PLANNING AMENDMENT			

PROPOSED UNIT DEVELOPMENT  
73 RADCLIFF CRESCENT,  
ROSETTA, 7010

DRAWING TITLE  
PROPOSED SITE PLAN  
PROJECT NO  
21E99-46  
DWG NO  
A002  
REV  
B

## KEY

CONCRETE DRIVEWAY  
REFER TO CIVIL DOCUMENTATION



## PROPOSED LANDSCAPED AREA

24m<sup>2</sup> PRIVATE OPEN SPACE  
4.0m x 6.0m, MAX. 1:10 GRADIENT AS PER CLAUSE  
8.4.3 - A2 TASMANIAN PLANNING SCHEME -  
GI FENORCHY

## WALL LEGEND

- |  |                               |
|--|-------------------------------|
|  | 90mm STUD WALL                |
|  | 90mm STUD WALL, R2.5 BATTS    |
|  | BRICK VENEER WALL             |
|  | BRICK VENEER WALL, R2.5 BATTS |
|  | ARTICULATION JOINT            |

## FLOOR FINISHES

- CU. CARPET WITH UNDERLAY AS SELECTED BY OWNER
  - CO. CONCRETE, TROWEL FINISHED
  - TL. TIMBER FLOORING AS SELECTED BY OWNER
  - TILE AS SELECTED BY OWNER

## **GLENORCHY CITY COUNCIL PLANNING SERVICES**

**APPLICATION No. :** PLN-25-319

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## UNIT 3

SCALE 1:100 AT A3 SHEET

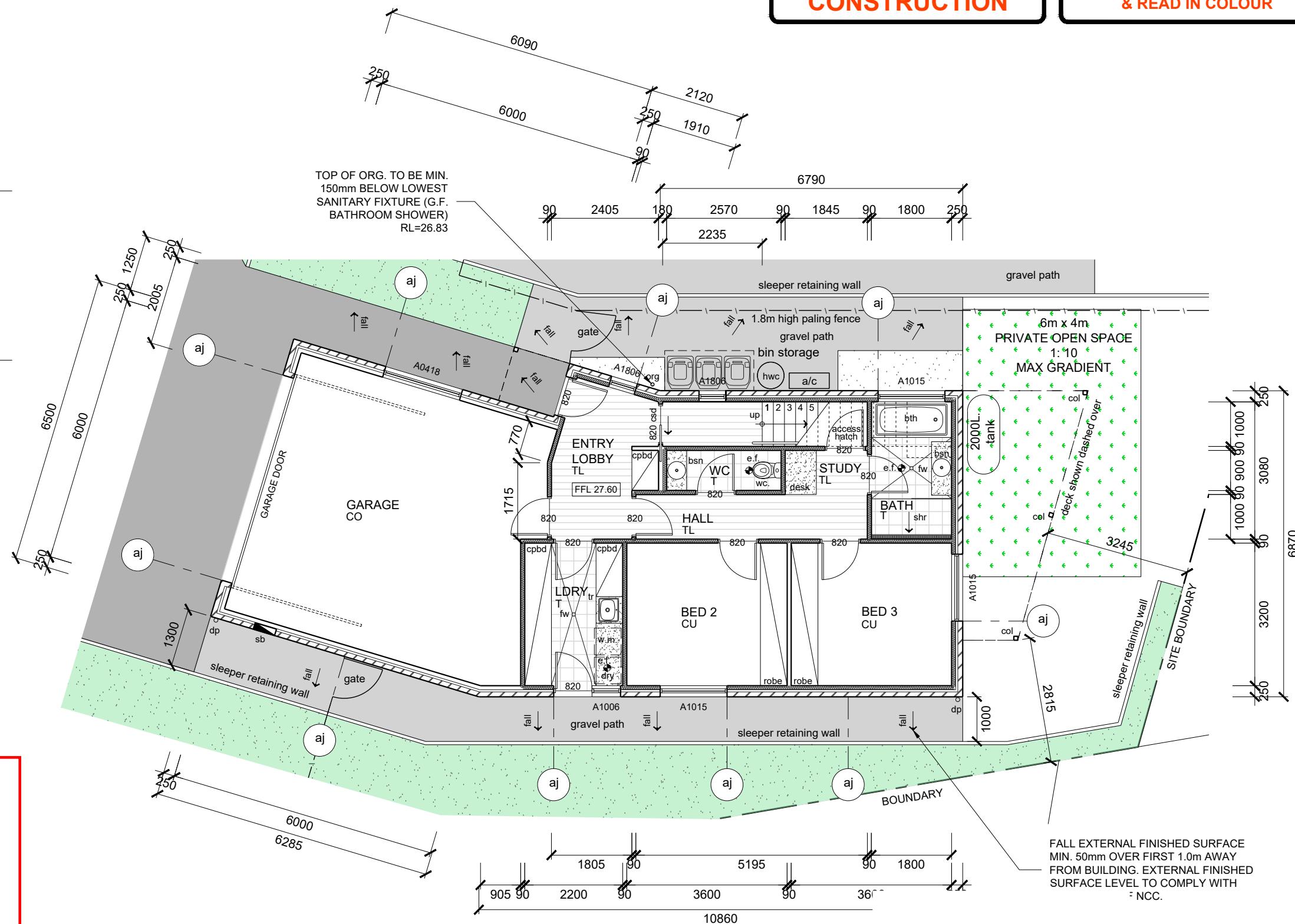
 J  
(Tas)

121 Sandy Bay Road, Sandy Bay TAS  
Phone (03) 6240 9911 [www.jsa.co](http://www.jsa.co)

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DESIGNER/ ENGINEER J-P IBBOTT 283030294	DRAWN J-P IBBOTT
STATUS	PLANNING AMENDMENT

# NOT FOR CONSTRUCTION

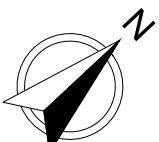
**IMPORTANT  
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## GROUND FLOOR PLAN

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SCALE: 1:1



TRUE NORTH

## UNIT 3

### GROUND FLOOR PLAN

PROPOSED UNIT DEVELOPMENT  
73 RADCLIFF CRESCENT,  
ROSETTA 7010

## WALL LEGEND

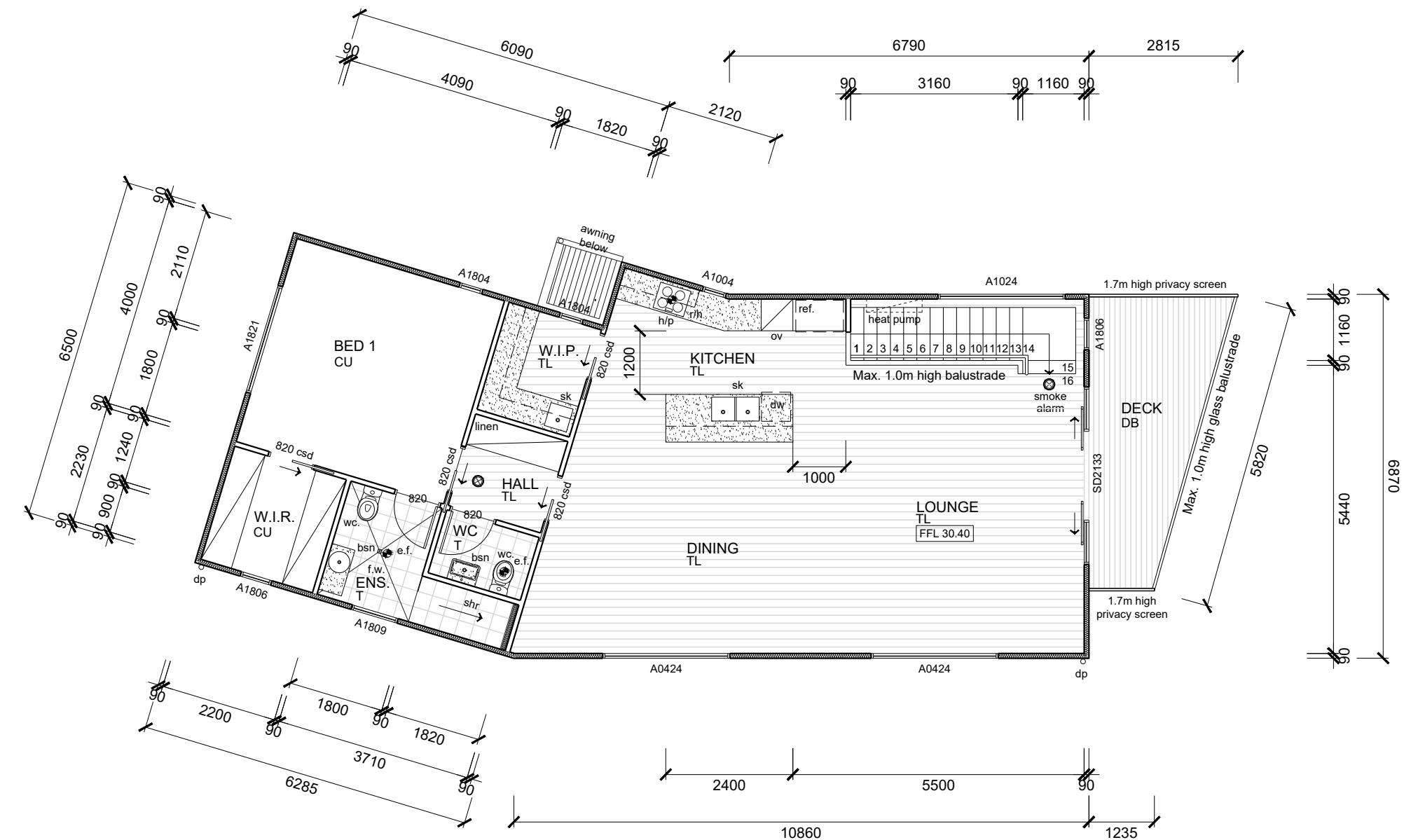
- 90mm STUD WALL
- 90mm STUD WALL, R2.5 Batts

**NOT FOR  
CONSTRUCTION**

**IMPORTANT  
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## FLOOR FINISHES

- CU. CARPET WITH UNDERLAY AS SELECTED BY OWNER  
DB. DECKING BOARDS AS SELECTED BY OWNER  
TL. TIMBER FLOORING AS SELECTED BY OWNER  
T. TILE AS SELECTED BY OWNER

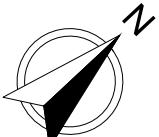


UNIT 3

1000mm 0 1000 2000 3000 4000 5000mm

SCALE 1:100 AT A3 SHEET

**FIRST FLOOR PLAN**  
SCALE: 1:100



TRUE NORTH

A	FOR PLANNING AMENDMENT	JPI	MH	16/02/23
REV	DESCRIPTION	BY	CHK	DATE



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CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE <b>A3</b>	PROJECT PROPOSED UNIT DEVELOPMENT 73 RADCLIFF CRESCENT, ROSETTA, 7010	DRAWING TITLE <b>UNIT 3 FIRST FLOOR PLAN</b>
DESIGNER/ ENGINEER J-P IBBOTT 283030294	DRAWN J-P IBBOTT			
STATUS <b>PLANNING AMENDMENT</b>			PROJECT NO <b>21E99-46</b>	DWG NO <b>A302</b>

## EXTERNAL FINISHES

- A CUSTOM ORB ROOF CLADDING (PITCH AS INDICATED), COLORBOND FINISH.  
COLOUR - COLORBOND 'BASALT'.  
SPOUTING, FASCIA & FLASHINGS .  
COLORBOND FINISH.  
COLOUR - COLORBOND 'SURFMIST'.
- B 110mm FACE BRICKWORK. NATURAL FINISH.  
RUNNING BOND, MORTAR - TO MATCH BRICK.  
COLOUR - AUSTRAL BRICKS (INDUSTRIAL COLLECTION) 'STEEL'.
- C JAMES HARDIE '400 AXON' CLADDING.  
FLUSH JOINT. PAINT FINISH.  
COLOUR - TAUBMANS 'ADMIRALTY'.
- D MIN. 1.0m HIGH SEMI-FRAMELESS SAFETY GLASS BALUSTRADE. CONTINUOUS S/S HANDRAIL.  
BRUSHED FINISH.
- E MIN. 1.7m HIGH TIMBER SCREEN (OR SIMILAR),  
MAX. 25% TRANSPARENCY.
- F SOLID CORE TIMBER DOOR.  
OILED FINISH.  
COLOUR - NATURAL.
- G STRUCTURAL STEEL COLUMN.  
PAINT FINISH.  
COLOUR - COLORBOND 'BASALT'
- H ALUMINIUM FRAMED WINDOWS & DOORS.  
POWDERCOAT FINISH.  
COLOUR - COLORBOND 'BASALT'..
- I DECKING BOARDS & UNDER DECK.  
PAINT FINISH.  
COLOUR - AS SELECTED.
- J RESIDENTIAL STYLE PANEL LIFT DOOR.  
COLOUR - COLORBOND 'BASALT'.
- K JAMES HARDIE '400 AXON' CLADDING.  
FLUSH JOINT. PAINT FINISH.  
COLOUR - DULUX 'ICY BAY'.
- a.j. ARTICULATION JOINT
- dp DN90 uPVC DOWNPIPES. PAINT FINISH. COLOUR TO MATCH MATERIAL BEHIND



COLOUR - COLORBOND 'BASALT'.  
COLOUR - DULUX 'ICY BAY'.



COLOUR - COLORBOND 'SURFMIST'.  
COLOUR - AUSTRAL BRICKS (INDUSTRIAL COLLECTION) 'STEEL'



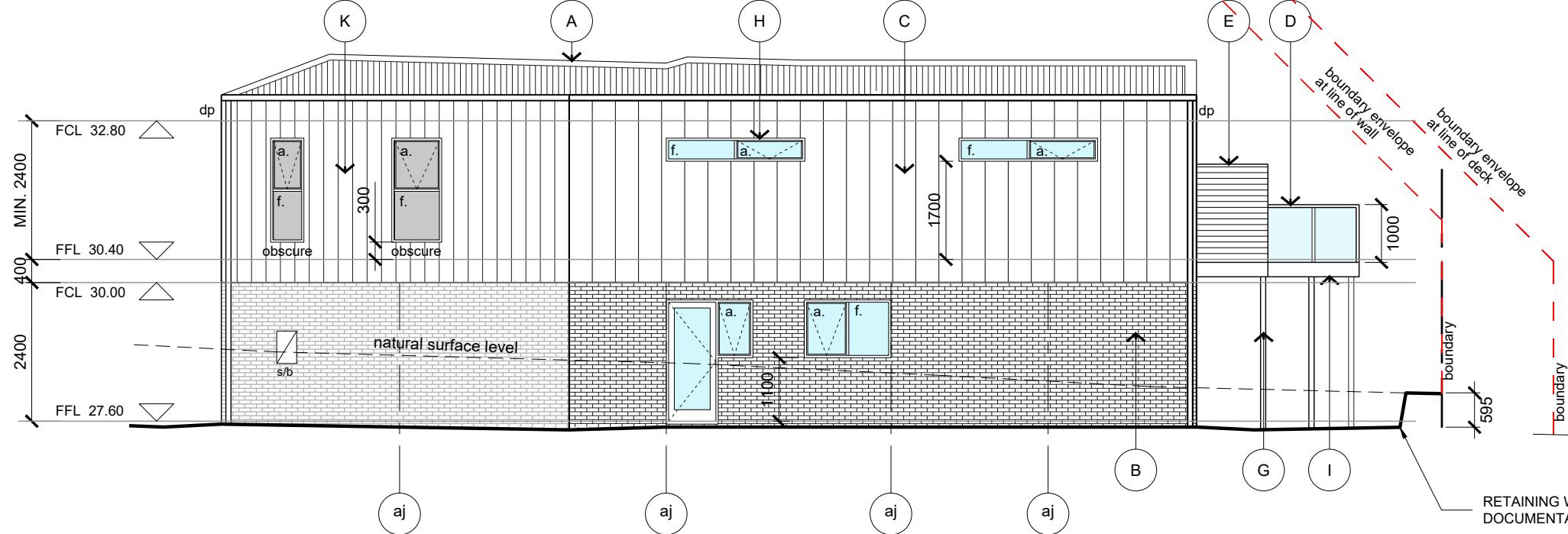
COLOUR - TAUBMANS 'ADMIRALTY'.

## UNIT 3

1000mm 0 1000 2000 3000 4000 5000mm

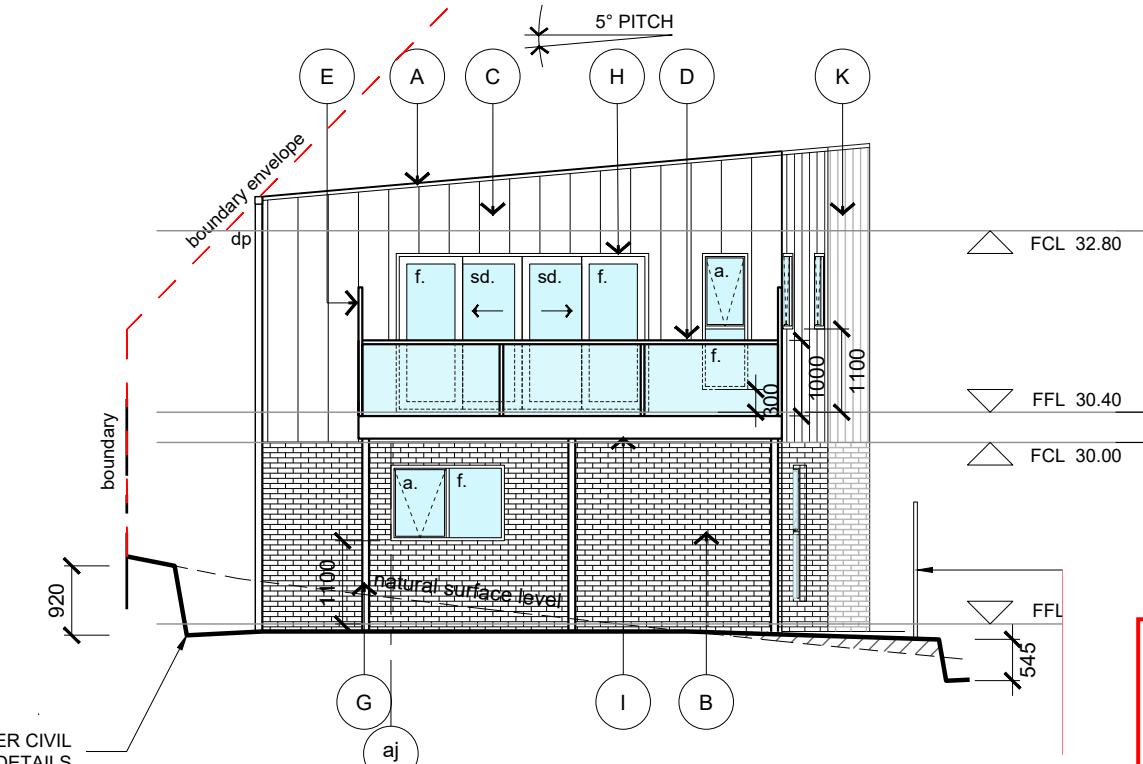
SCALE 1:100 AT A3 SHEET

NOT FOR CONSTRUCTION

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## SOUTH EAST ELEVATION

SCALE: 1:100



## NORTH EAST ELEVATION

SCALE: 1:100

GLENORCHY CITY COUNCIL  
PLANNING SERVICES

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DESIGNER/ ENGINEER J-P IBBOTT 283030294	DRAWN J-P IBBOTT		
STATUS PLANNING AMENDMENT			

DRAWING TITLE UNIT 3 ELEVATIONS	PROJECT NO 21E99-46	DWG NO A303	REV A
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