

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-319
PROPOSED DEVELOPMENT:	Change of use (multiple dwelling to visitor accommodation)
LOCATION:	3/73 Radcliff Crescent, Rosetta
APPLICANT:	Hobart Short Stay Management
ADVERTISING START DATE:	09/01/2026
ADVERTISING EXPIRY DATE:	23/01/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **23/01/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **23/01/2026**, or for postal and hand delivered representations, by 5.00 pm on **23/01/2026**.

KEY

- EXISTING CONCRETE FOOTPATH AND CROSSOVER / SLAB
- PROPOSED CONCRETE DRIVEWAY/FOOTPATH
REFER TO CIVIL DOCUMENTATION.
- 24m² PRIVATE OPEN SPACE
4.0m x 6.0m, MAX. 1:10 GRADIENT AS PER CLAUSE
8.4.3 - A2 TASMANIAN PLANNING SCHEME -
GLENORCHY
- PROPOSED LANDSCAPED AREA
- BOUNDARY SETBACK
AS PER TASMANIAN PLANNING SCHEME -
GLENORCHY

SITE COVERAGE

(as per Tasmanian Planning Scheme - Glenorchy)

SITE AREA - 1,052m² (per detailed survey plan)

PROPOSED UNIT 1 -	143m ²
PROPOSED UNIT 2 -	136m ²
PROPOSED UNIT 3 -	136m ²
TOTAL AREA	415m ²

PROPOSED SITE COVERAGE - 39.45%

PRIVATE OPEN SPACE

PROPOSED UNIT 1 -	65m ²
PROPOSED UNIT 2 -	83m ²
PROPOSED UNIT 3 -	115m ²

FLOOR AREAS (external)

PROPOSED UNIT 1 -	116m ²
PROPOSED UNIT 2 -	GROUND FLOOR 109m ²
	FIRST FLOOR 109m ²
	DECK 11m ²
PROPOSED UNIT 3 -	GROUND FLOOR 109m ²
	FIRST FLOOR 109m ²
	DECK 11m ²
TOTAL AREA	576m ²

NOT FOR
CONSTRUCTION

IMPORTANT
DRAWINGS MUST BE PRINTED
& READ IN COLOUR



GLENORCHY CITY COUNCIL
PLANNING SERVICES

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2m 0 2 4 6 8 10m
SCALE 1:200 AT A3 SHEET

REV	DESCRIPTION	BY	CHK	DATE
B	RESPONSE TO RFI	JPI	MH	22/02/23
A	FOR PLANNING AMENDMENT	JPI	MH	16/02/23



121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsa.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
DESIGNER/ ENGINEER J-P IBBOTT 283030294	DRAWN J-P IBBOTT	
STATUS PLANNING AMENDMENT		

PROJECT PROPOSED UNIT DEVELOPMENT 73 RADCLIFF CRESCENT, ROSETTA, 7010

DRAWING TITLE PROPOSED SITE PLAN		
PROJECT NO 21E99-46	DWG NO A002	REV B

KEY

- CONCRETE DRIVEWAY
REFER TO CIVIL DOCUMENTATION.
- PROPOSED LANDSCAPED AREA
- 24m² PRIVATE OPEN SPACE
4.0m x 6.0m, MAX. 1:10 GRADIENT AS PER CLAUSE
8.4.3 - A2 TASMANIAN PLANNING SCHEME -
GLENORCHY

WALL LEGEND

- 90mm STUD WALL
- 90mm STUD WALL, R2.5 BATTS
- BRICK VENEER WALL
- BRICK VENEER WALL, R2.5 BATTS
- a.j.

ARTICULATION JOINT

FLOOR FINISHES

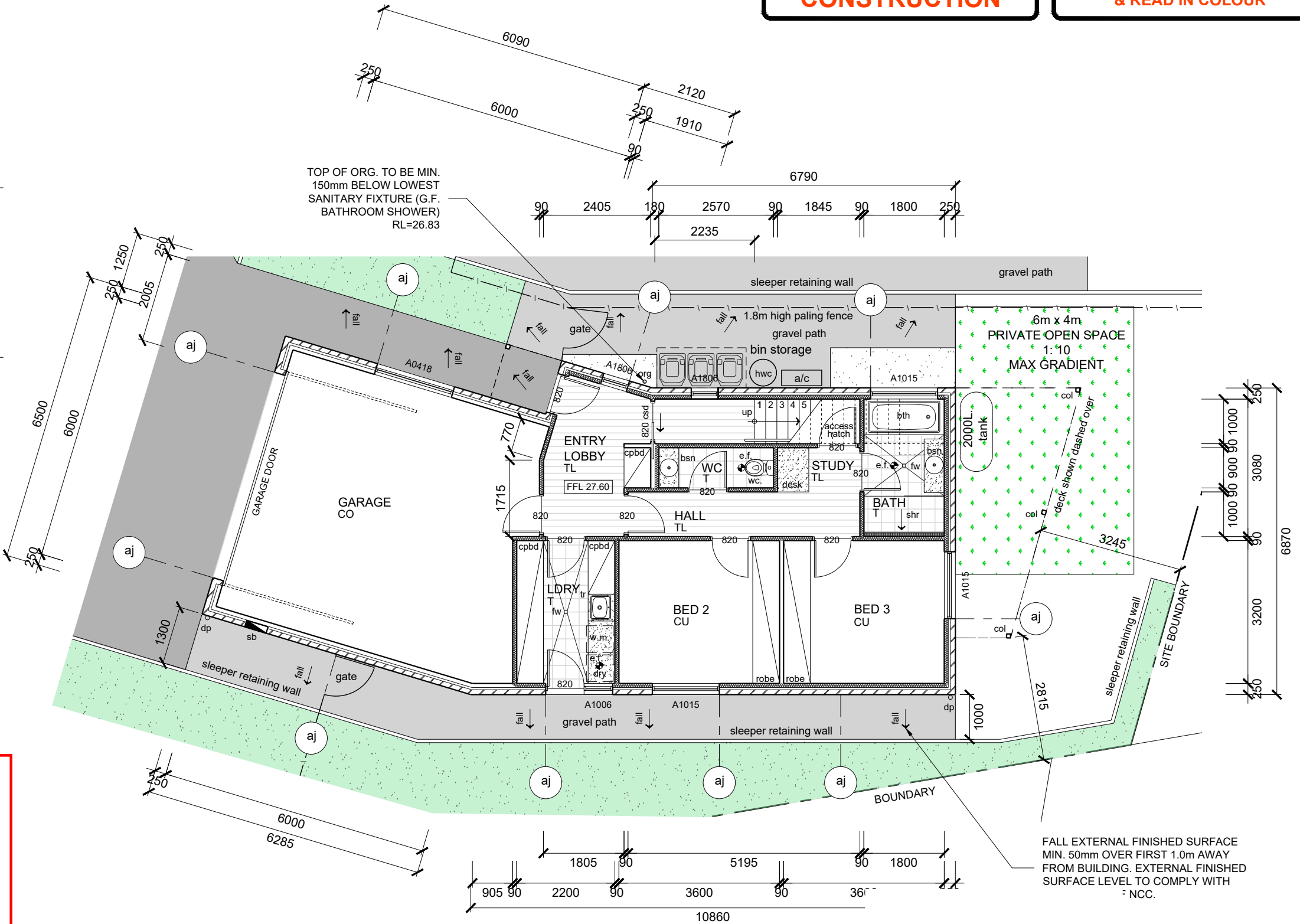
- CU.

CARPET WITH UNDERLAY AS SELECTED BY OWNER
- CO.

CONCRETE, TROWEL FINISHED
- TL.

TIMBER FLOORING AS SELECTED BY OWNER
- T.

TILE AS SELECTED BY OWNER



GROUND FLOOR PLAN

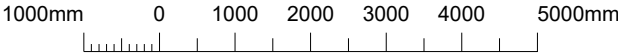
SCALE: 1:100

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UNIT 3



SCALE 1:100 AT A3 SHEET

REV	DESCRIPTION	BY	CHK	DATE
A	FOR PLANNING AMENDMENT	JPI	MH	16/02/23



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DESIGNER/ ENGINEER J-P IBBOTT 283030294	DRAWN J-P IBBOTT	
STATUS PLANNING AMENDMENT		

PROJECT PROPOSED UNIT DEVELOPMENT 73 RADCLIFF CRESCENT, ROSETTA, 7010

DRAWING TITLE UNIT 3 GROUND FLOOR PLAN		
PROJECT NO 21E99-46	DWG NO A301	REV A

WALL LEGEND

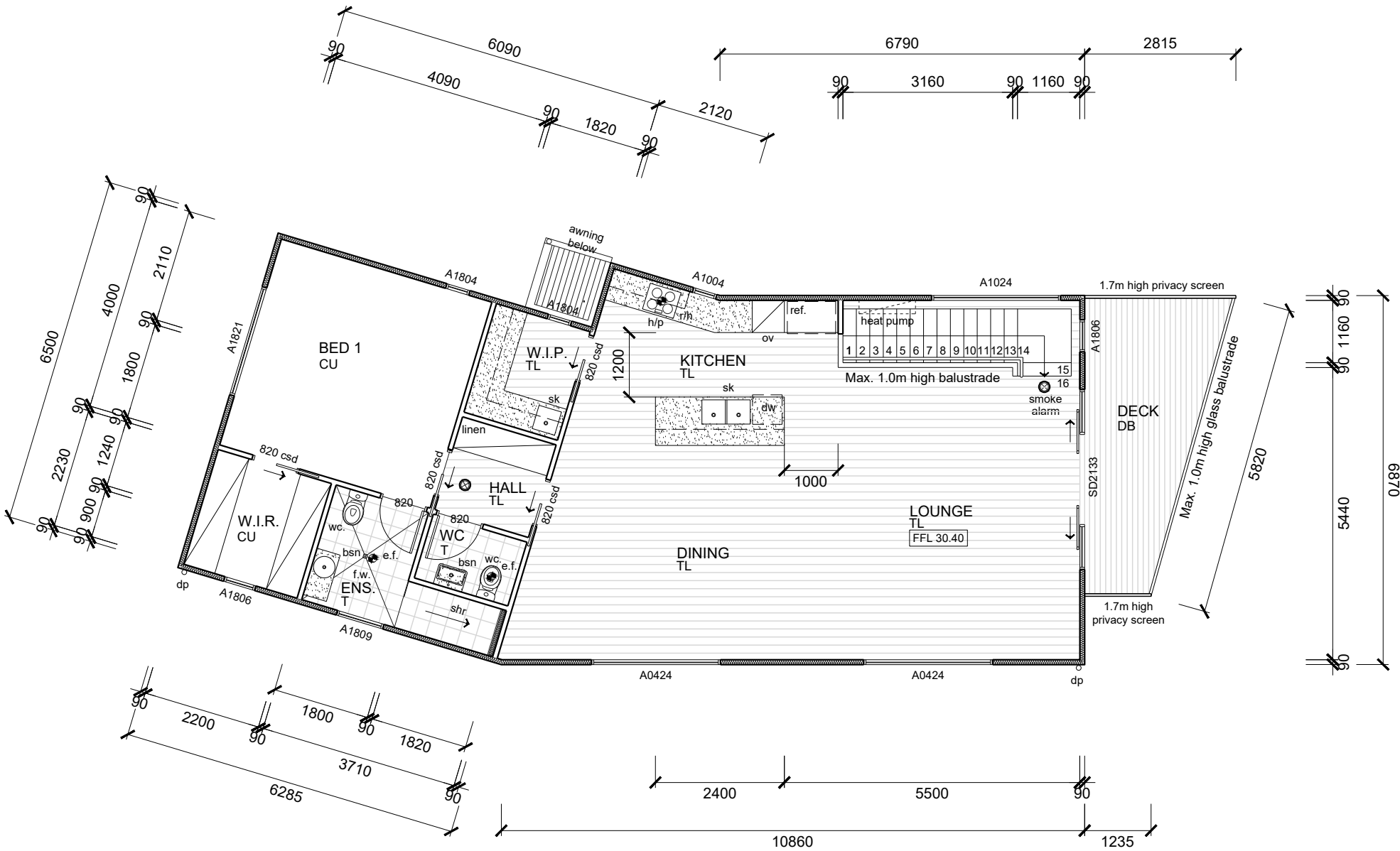
- 90mm STUD WALL
- 90mm STUD WALL, R2.5 BATTS

FLOOR FINISHES

- CU. CARPET WITH UNDERLAY AS SELECTED BY OWNER
- DB. DECKING BOARDS AS SELECTED BY OWNER
- TL. TIMBER FLOORING AS SELECTED BY OWNER
- T. TILE AS SELECTED BY OWNER

NOT FOR
CONSTRUCTION

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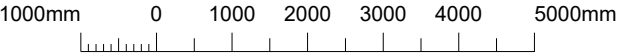
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UNIT 3


FIRST FLOOR PLAN

SCALE: 1:100



SCALE 1:100 AT A3 SHEET



				<div><div></div><div>JSA</div><div>(Tas) Pty Ltd</div></div> <div>121 Sandy Bay Road, Sandy Bay TAS 7005 Phone (03) 6240 9911 www.jsa.com.au</div>	CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3	PROJECT PROPOSED UNIT DEVELOPMENT 73 RADCLIFF CRESCENT, ROSETTA, 7010	DRAWING TITLE UNIT 3 FIRST FLOOR PLAN			
					DESIGNER/ ENGINEER J-P IBBOTT 283030294	DRAWN J-P IBBOTT						
					STATUS PLANNING AMENDMENT							
A	FOR PLANNING AMENDMENT			JPI	MH	16/02/23						
REV	DESCRIPTION			BY	CHK	DATE						

EXTERNAL FINISHES

- A

CUSTOM ORB ROOF CLADDING (PITCH AS INDICATED), COLORBOND FINISH.
COLOUR - COLORBOND 'BASALT'.
SPOUTING, FASCIA & FLASHINGS.
COLORBOND FINISH.
COLOUR - COLORBOND 'SURFMIST'.
- B

110mm FACE BRICKWORK. NATURAL FINISH.
RUNNING BOND, MORTAR - TO MATCH BRICK.
COLOUR - AUSTRAL BRICKS (INDUSTRIAL COLLECTION) 'STEEL'.
- C

JAMES HARDIE '400 AXON' CLADDING.
FLUSH JOINT. PAINT FINISH.
COLOUR - TAUBMANS 'ADMIRALTY'.
- D

MIN. 1.0m HIGH SEMI-FRAMELESS SAFETY GLASS
BALUSTRADE. CONTINUOUS S/S HANDRAIL.
BRUSHED FINISH.
- E

MIN. 1.7m HIGH TIMBER SCREEN (OR SIMILAR),
MAX. 25% TRANSPARENCY.
- F

SOLID CORE TIMBER DOOR.
OILED FINISH.
COLOUR - NATURAL.
- G

STRUCTURAL STEEL COLUMN.
PAINT FINISH.
COLOUR - COLORBOND 'BASALT'
- H

ALUMINIUM FRAMED WINDOWS & DOORS.
POWDERCOAT FINISH.
COLOUR - COLORBOND 'BASALT'..
- I

DECKING BOARDS & UNDER DECK.
PAINT FINISH.
COLOUR - AS SELECTED.
- J

RESIDENTIAL STYLE PANEL LIFT DOOR.
COLOUR - COLORBOND 'BASALT'.
- K

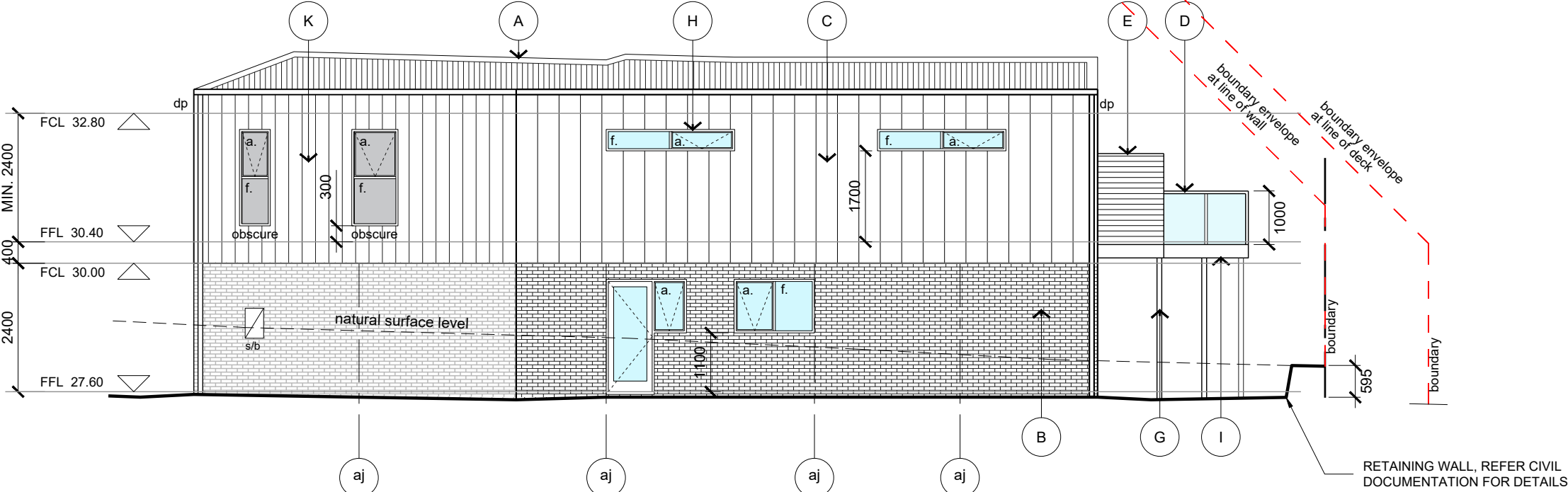
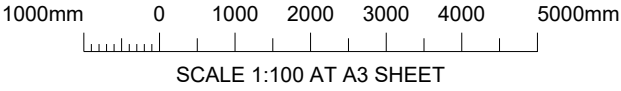
JAMES HARDIE '400 AXON' CLADDING.
FLUSH JOINT. PAINT FINISH.
COLOUR - DULUX 'ICY BAY'.
- a.j.

ARTICULATION JOINT
- dp

DN90 uPVC DOWNPIPES. PAINT FINISH. COLOUR
TO MATCH MATERIAL BEHIND

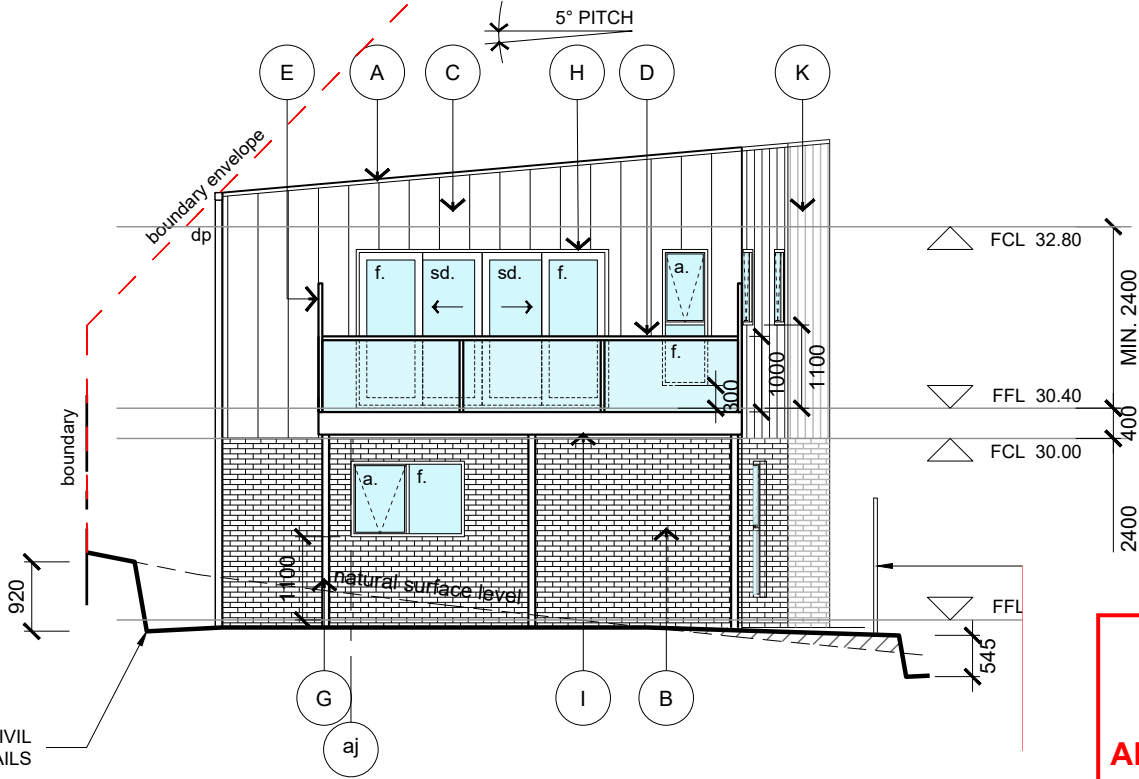


UNIT 3



SOUTH EAST ELEVATION

SCALE: 1:100



NORTH EAST ELEVATION

SCALE: 1:100

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STATUS PLANNING AMENDMENT			

DRAWING TITLE UNIT 3 ELEVATIONS		
PROJECT NO 21E99-46	DWG NO A303	REV A

