

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-293
PROPOSED DEVELOPMENT:	Dwelling
LOCATION:	116A Branscombe Road Claremont
APPLICANT:	Wilson Homes Tasmania Pty Ltd
ADVERTISING START DATE:	05/12/2025
ADVERTISING EXPIRY DATE:	19/12/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **19/12/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **19/12/2025**, or for postal and hand delivered representations, by 5.00 pm on **19/12/2025**.

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BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S): 2595mm
(CEILING HEIGHT 45mm LOWER THAN TOP OF WALL)
ROOF PITCH (U.N.O.): 23.0°
ELECTRICITY SUPPLY: SINGLE PHASE
GAS SUPPLY: NONE

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: DARK

WALL MATERIAL: BRICK VENEER

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

SARKING UNDER ROOFING
CEILING: R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)

EXTERIOR WALLS: R2.0 BATTS (EXCL. GARAGE)
WALL WRAP TO ENTIRE HOUSE
INTERIOR WALLS: R2.0 BATTS WHERE SHOWN ON PLANS AND WHERE ADJACENT TO GARAGE / SUBFLOOR / ROOF SPACES / SKYLIGHTS

B&J WITH AIRCELL
FLOOR INSULATION: R2.0 BATTS TO FLOOR SPACES ABOVE PORCH /ALFRESCO / GARAGE AREAS, IF APPLICABLE

SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION: N3
CLIMATE ZONE: ZONE 7 - COOL TEMPERATE
WIND REGION: A
TERRAIN CATEGORY: TC2.5
SHIELDING FACTOR: PS - PARTIAL SHIELDING
TOPOGRAPHIC CLASSIFICATION: T2
DESIGN WIND SPEED: 50 m/sec

SITE CLASSIFICATION: M
SLAB CLASSIFICATION: TBC

SLAB TO BE IN ACCORDANCE WITH AS 2870. REFER TO ENGINEER'S DRAWINGS FOR ALL SLAB DETAILS.

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

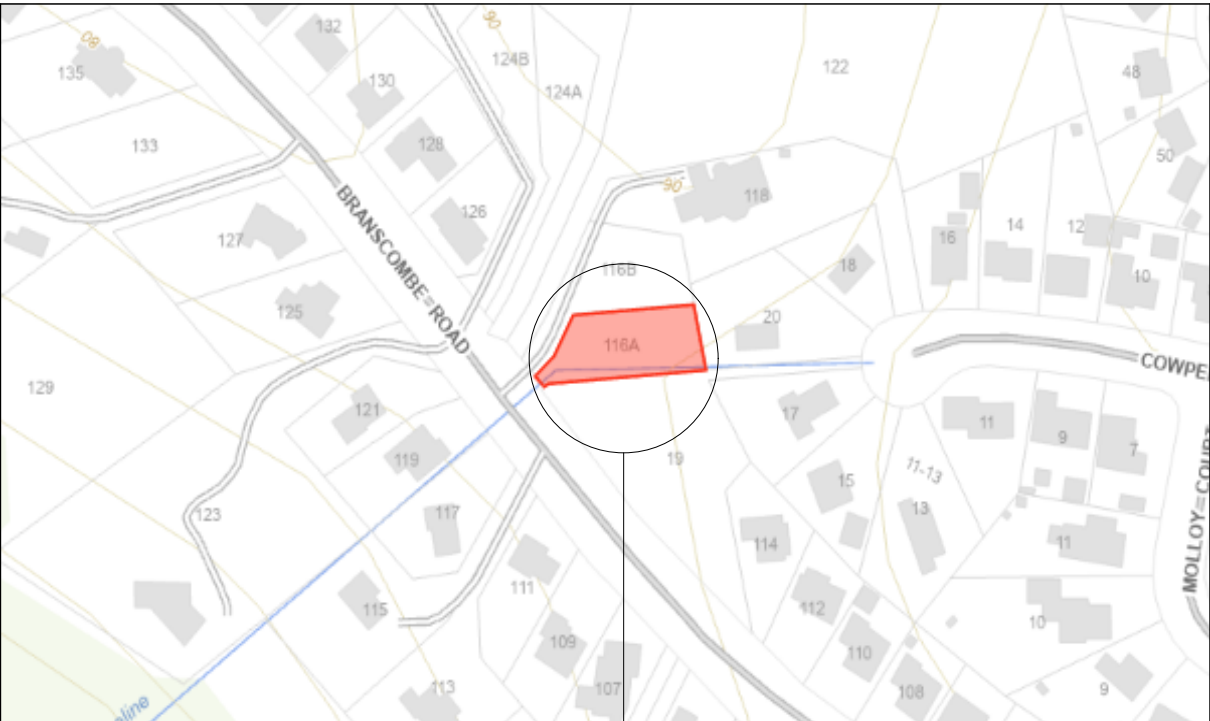
ALL TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS

NCC 2022 LIVABLE HOUSING COMPLIANCE

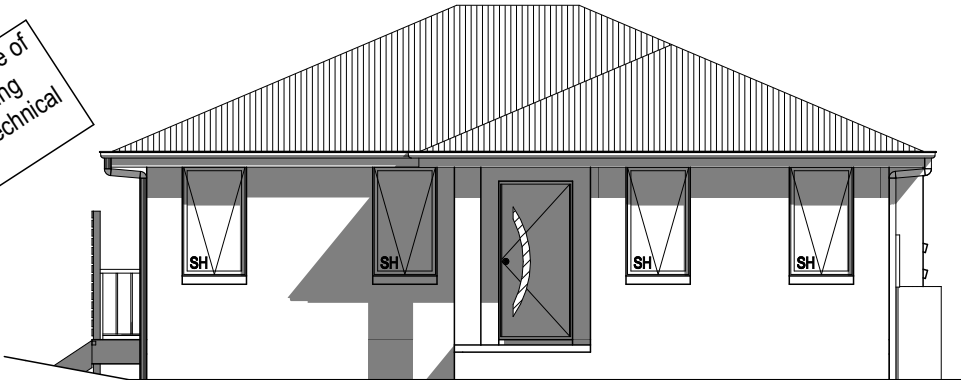
ACCESSIBLE SANITARY COMPARTMENT: WC
ACCESSIBLE SHOWER LOCATION: BATH

GENERAL NOTES:
- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX.5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.



LOCATION MAP

SITE LOCATION



This Plan has been prepared prior to the receipt of one or more of the following documents - Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-293

DATE RECEIVED: 19/11/2025

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

PRELIMINARY PLAN SET

8	PRELIMINARY PLAN SET - PLANNING RFI UPDATE	ALL	2025.11.19	RT2	-
7	PRELIMINARY PLAN SET - COLOUR UPDATE	ALL	2025.10.28	TNG	-
6	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.09.30	NVO	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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5	DRAFT SALE PLAN - CT3	HMI 2025.09.03
6	PRELIM PLAN - INITIAL ISSUE	NVO 2025.09.30
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8	PRELIM PLANS - PLANNING RFI UPDATE	RT2 2025.11.18

CLIENT: PRATIK DHIRAJBHAI & KAJALBEY PRATIK DARJI	
ADDRESS: 116A BRANSCOMBE ROAD, CLAREMONT TAS 7011	
LOT / SECTION / CT: 1 / - / 183217	COUNCIL: GLENORCHY COUNCIL

HOUSE DESIGN: AMALFI ONE	
FACADE DESIGN: CLASSIC	
SHEET TITLE: COVER SHEET	SHEET No.: 1 / 21

HOUSE CODE: H-WDNAMEF10SA
FACADE CODE: F-WDNAMEF10CLASA
SCALES:

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~~Document Set ID: 3561004~~
Version: 1. Version Date: 02/12/2025

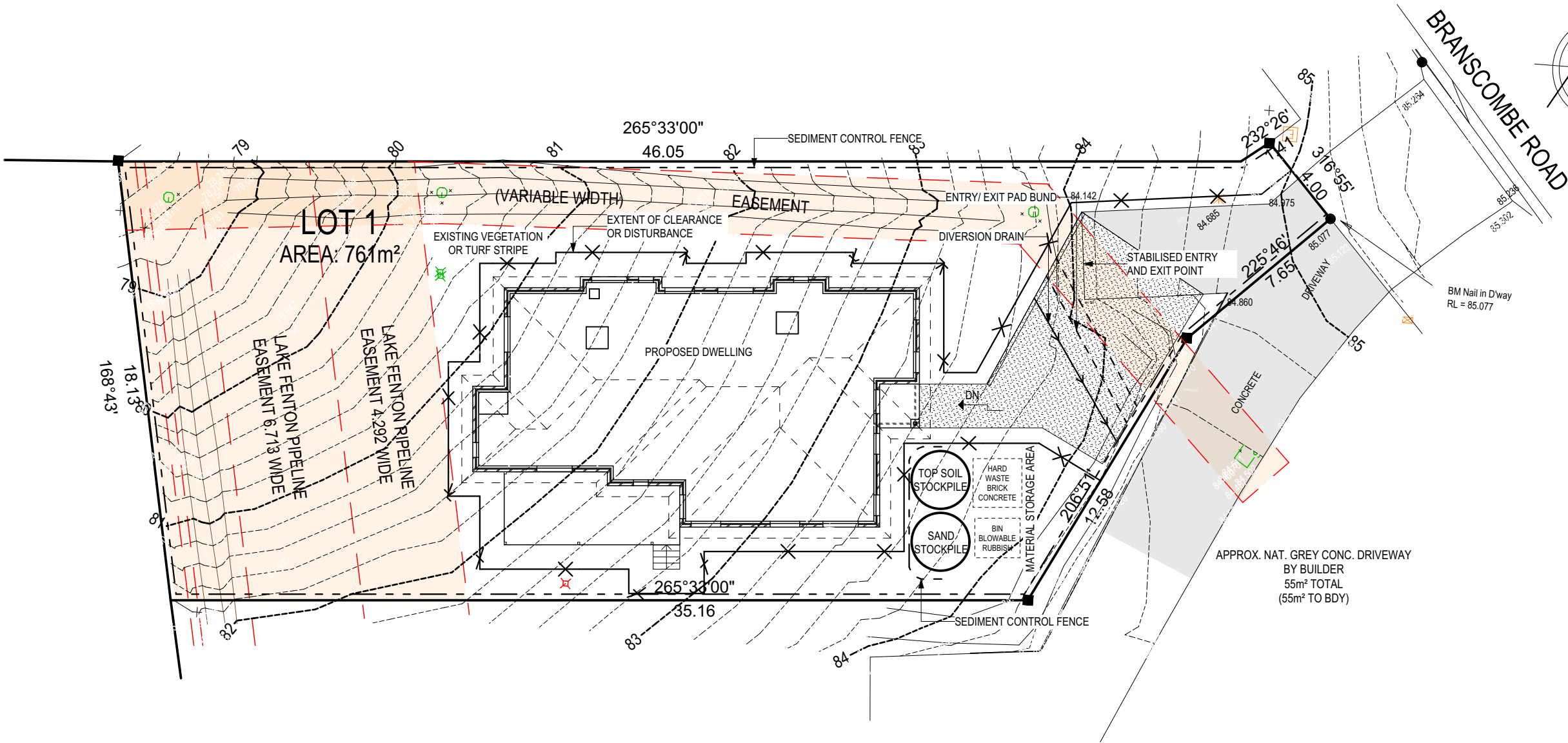
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.

6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' AND W-BRIC-001 FOR BRICK COURSING & WINDOW FLASHING DETAILS.

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

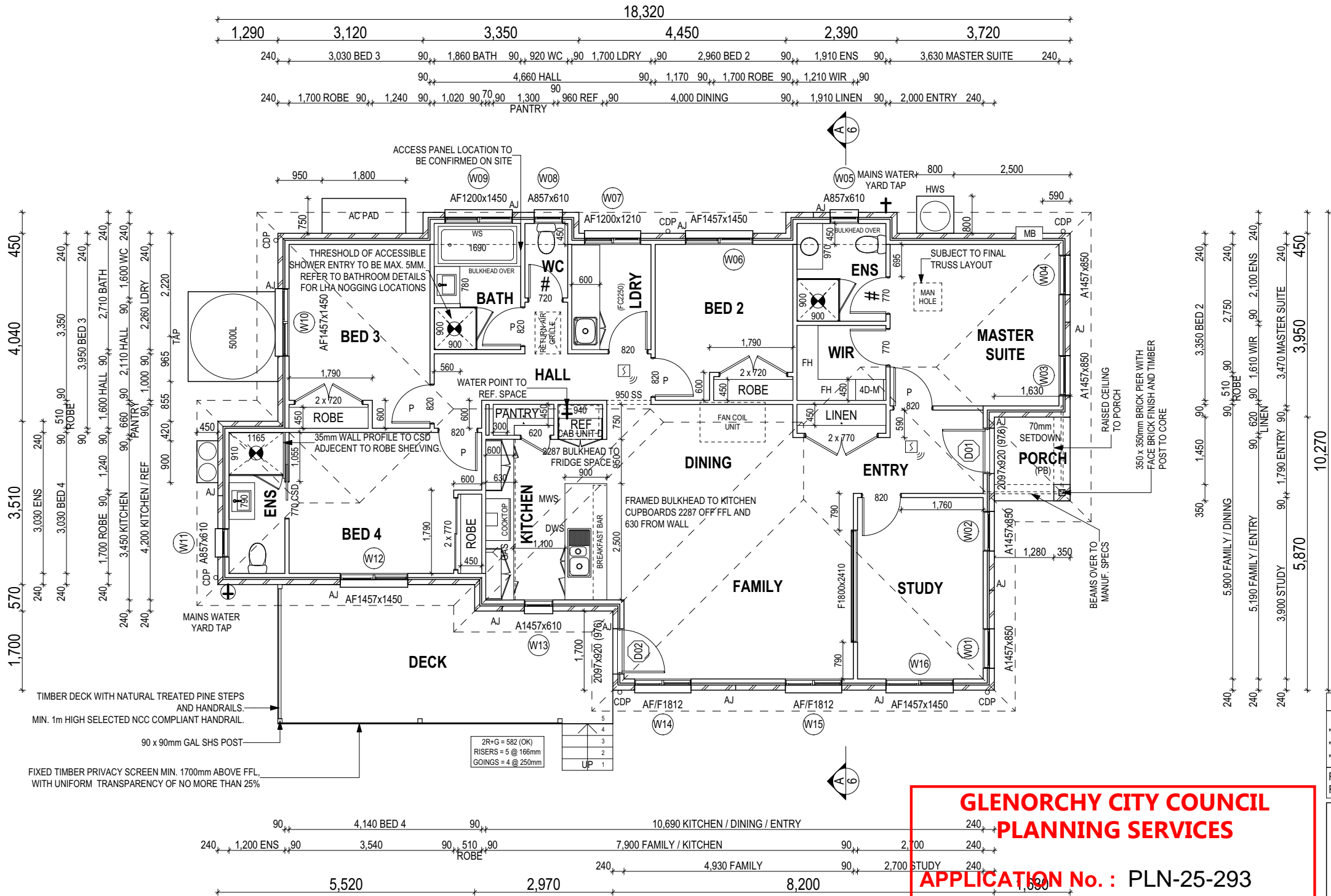


FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- RENDER
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- MECHANICAL VENTILATION
- L.B.W LOAD BEARING WALL
- PB PLASTERBOARD
- FC FIBRE CEMENT
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- LIFT OFF HINGE
- WATER POINT
- FLOOR WASTE
- CLEAN OUT POINT
- GAS BAYONET

TOTAL FLOOR AREAS

DECK 19.86
LIVING 150.13
PORCH 2.93
172.92 m²



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS	
	WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm
"MEDIUM"	800 x 380mm	878mm
"LARGE"	1500 x 380mm	1578mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

THIS PLAN ACCEPTED BY:

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ALL DIMENSIONS ARE FRAME DIMENSIONS

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LOT / SECTION / CT:	1 / - / 183217
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	AMALFI ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	GROUND FLOOR PLAN

HOUSE CODE:	H-WDNAMF10SA
FACADE CODE:	F-WDNAMF10CLASA
SHEET No.:	5 / 21
SCALES:	1:100

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REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

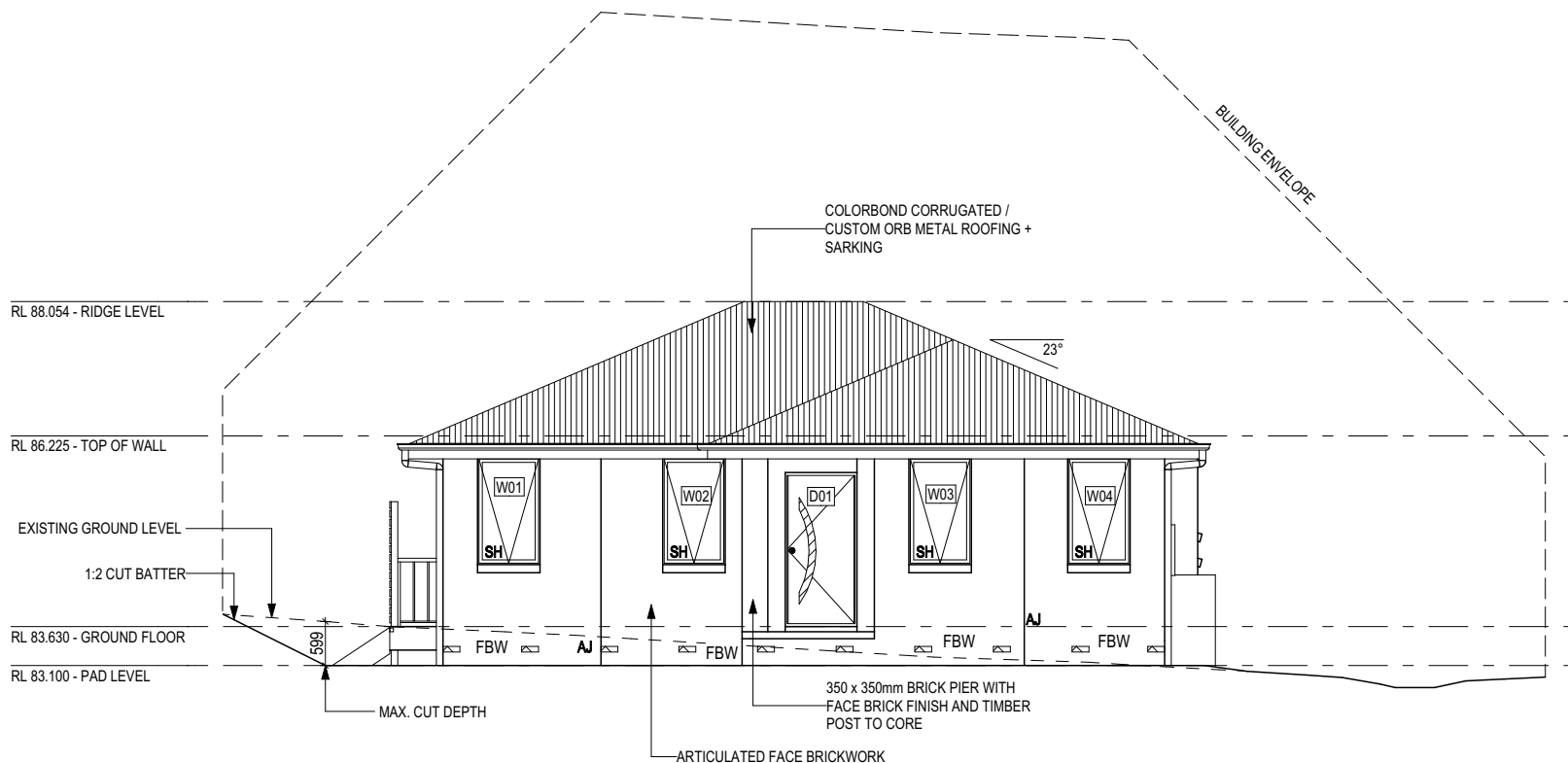
BEDROOM WINDOW OPENINGS ABOVE 2m
OFF THE SURFACE BENEATH TO BE
RESTRICTED AS REQUIRED BY NCC 11.3.7
(VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW
OPENINGS ABOVE 4m OFF THE SURFACE
BENEATH TO BE RESTRICTED AS REQUIRED
BY NCC 11.3.7 (VOLUME TWO)

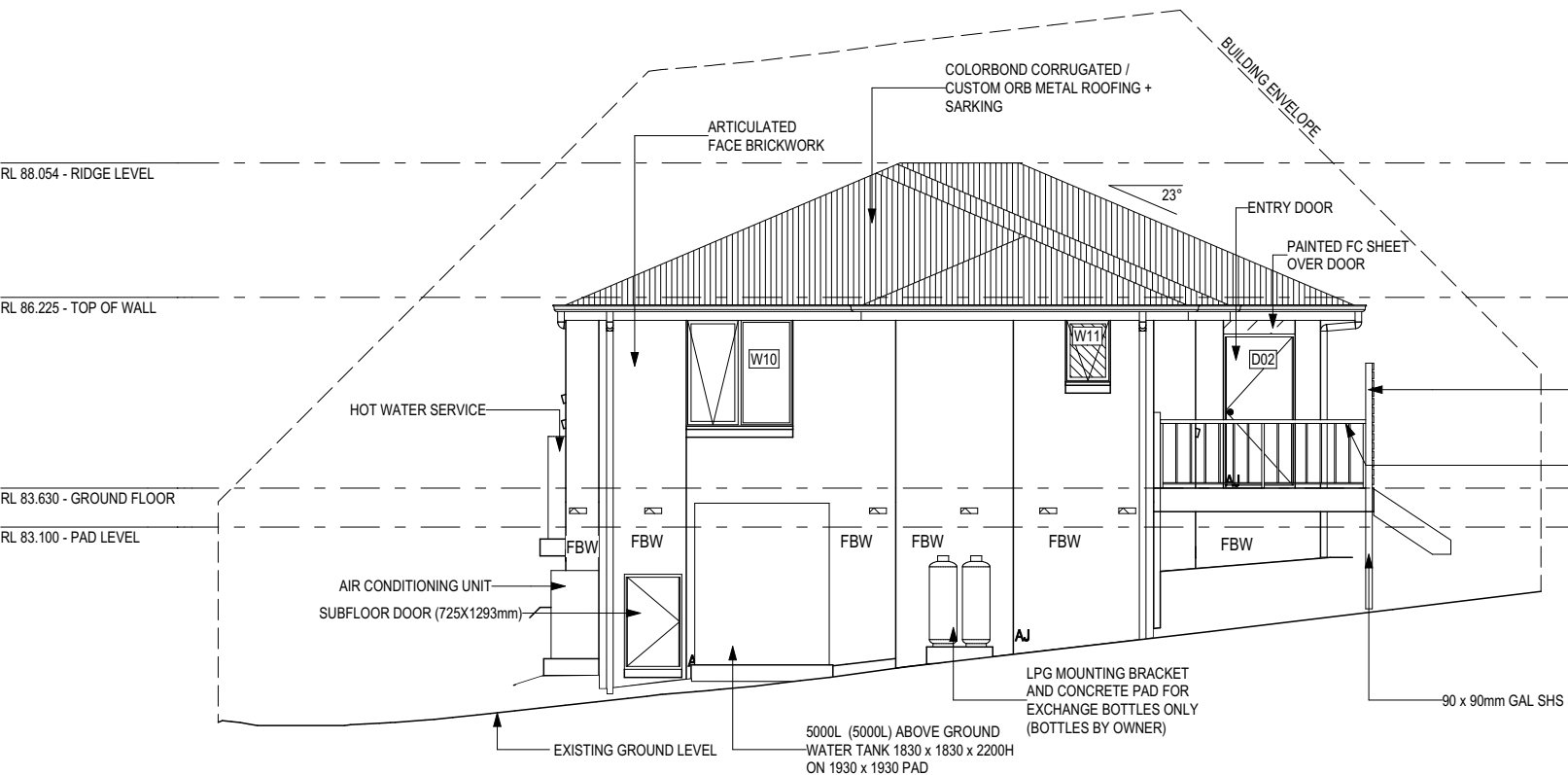
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**

 SUB-FLOOR VENT

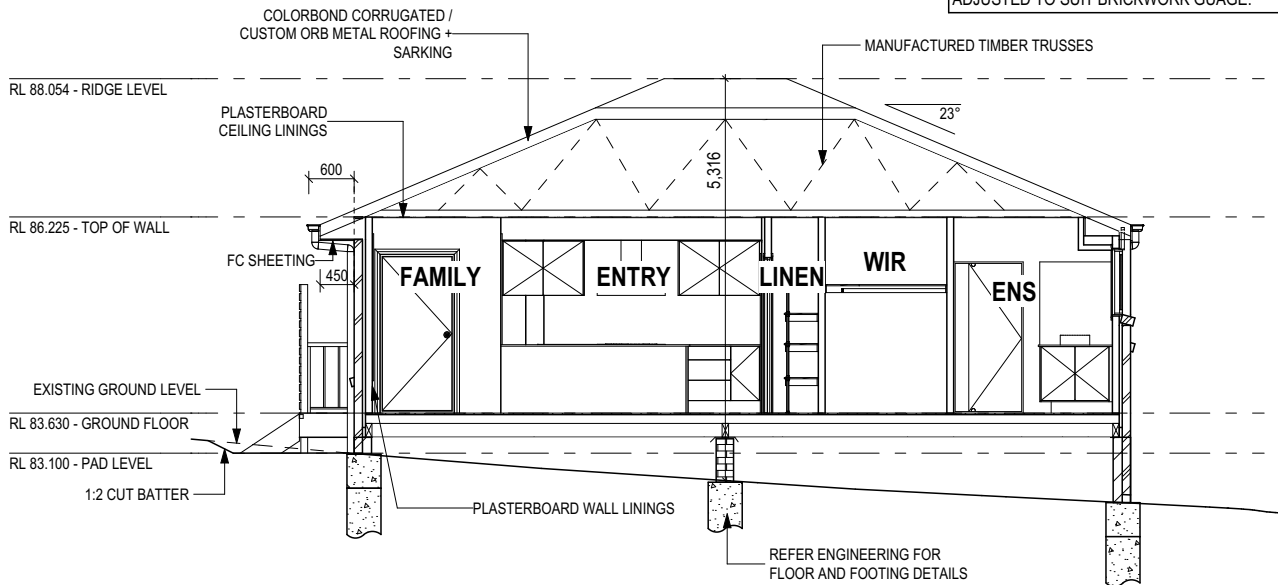
PROVIDE SUBFLOOR VENTILATION AT MAX.
600mm FROM CORNERS AND EVENLY
SPACED (REFER NCC 6.2.1 FOR FURTHER
DETAIL). FINAL LOCATIONS MAY BE
ADJUSTED TO SUIT BRICKWORK GAUGE.



WEST ELEVATION
Scale: 1:100



EAST ELEVATION
Scale: 1:100



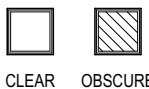
SECTION A-A
Scale: 1:100

GROUND CLEARANCE IN ACCORDANCE WITH NCC TABLE 3.4.1.2 FOR CLIMATIC ZONE C TO BE
150mm FOR THE FIRST 2m THEN 400mm CLEARANCE FOR ACCESS TO SERVICES.

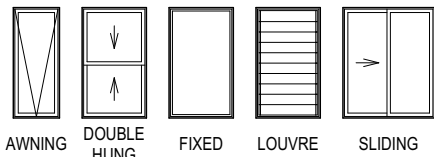
FIXED TIMBER PRIVACY SCREEN MIN. 1700mm ABOVE FFL,
WITH UNIFORM TRANSPARENCY OF NO MORE THAN 25%

PROPOSED TIMBER DECK, NATURAL
TREATED PINE STEPS AND HANDRAILS. MIN.
1m HIGH SELECTED NCC COMPLIANT
HANDRAIL.

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



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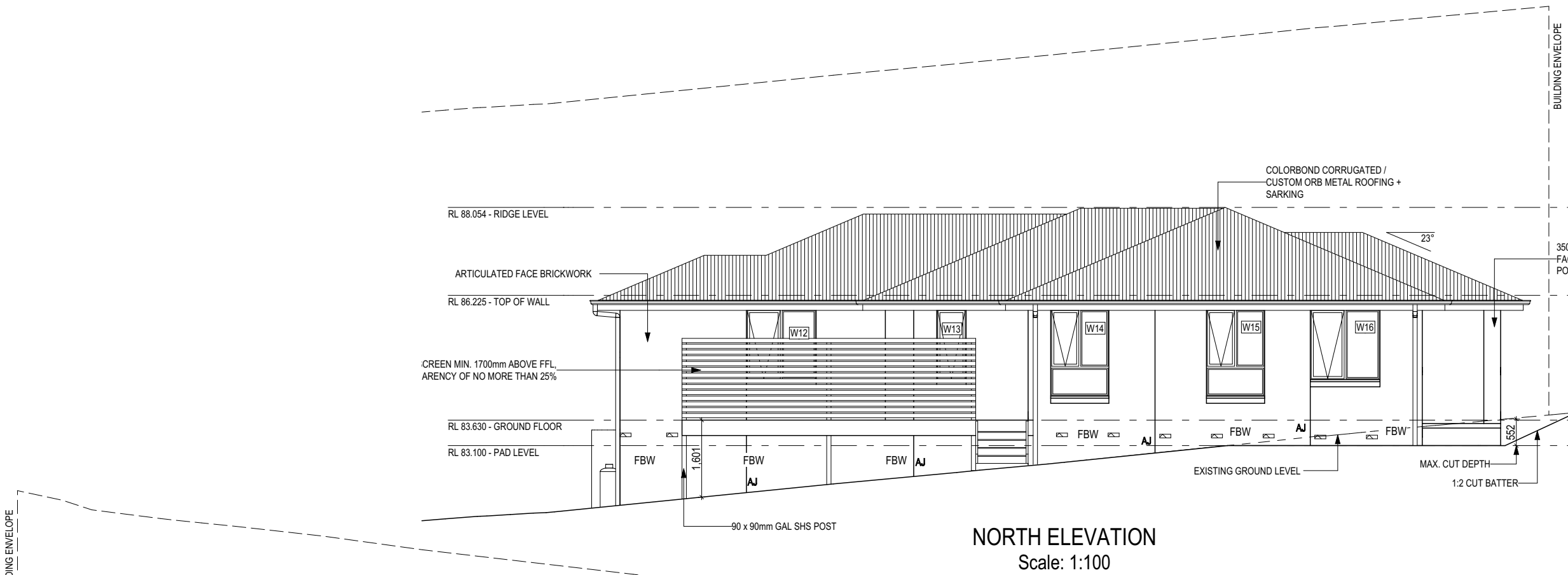
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COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	AMALFI ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELEVATIONS / SECTION

HOUSE CODE:	H-WDNAMF10SA
FACADE CODE:	F-WDNAMF10CLASA
SCALES:	1:100

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

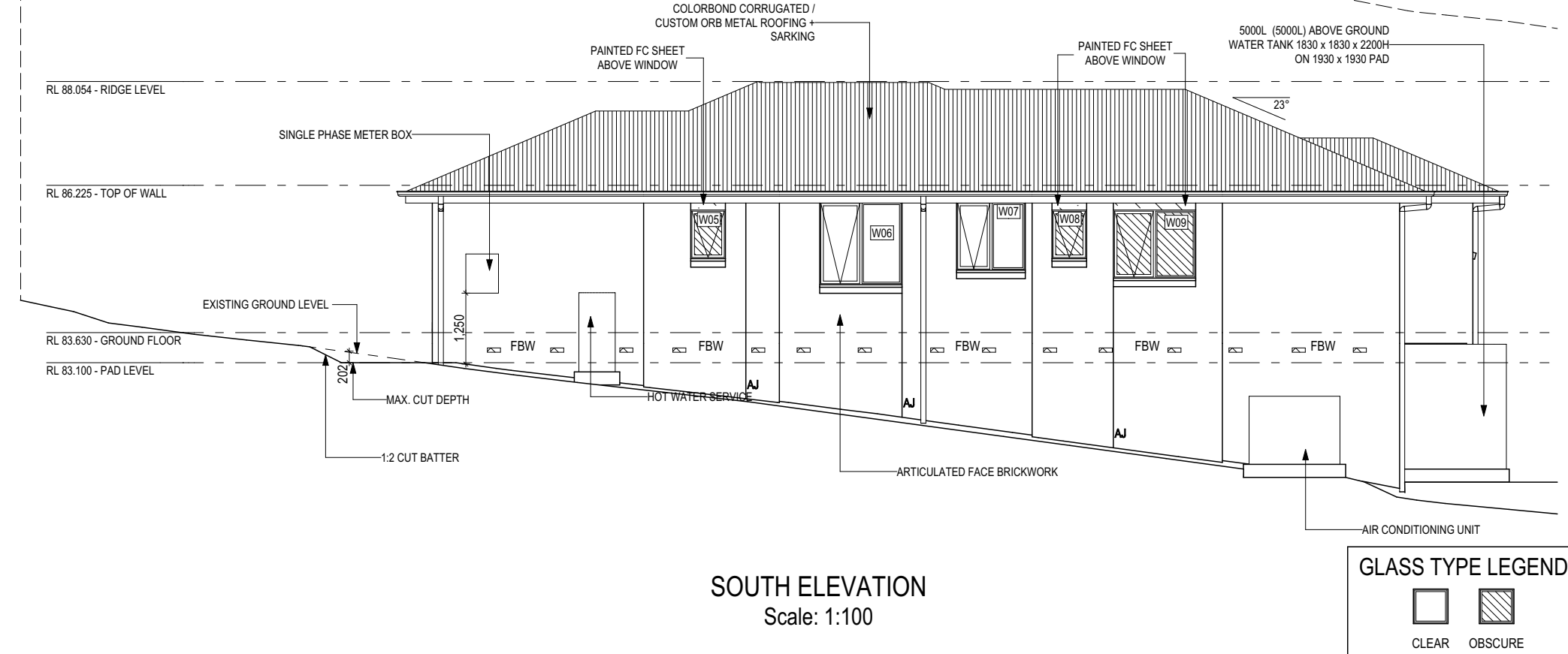
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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GLASS TYPE LEGEND

CLEAR	OBSCURE

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING


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							SHEET No.: 7 / 21		
Document Set ID: 3561994						SCALES: 1:100		Template Version: 21.040	

WINDOW SCHEDULE

^{0,3} ASSUME LOOKING FROM OUTSIDE

^{1, 2} ASSUME LOOKING FROM INSIDE

ID	CODE ^o	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION¹
W01	A1457x850	STUDY	1,457	850	4,614	1.24	ALUMINIUM	N/A	SNAP HEADER	W	0.96	CLEAR, DOUBLE GLAZED	
W02	A1457x850	STUDY	1,457	850	4,614	1.24	ALUMINIUM	N/A	SNAP HEADER	W	0.96	CLEAR, DOUBLE GLAZED	
W03	A1457x850	MASTER SUITE	1,457	850	4,614	1.24	ALUMINIUM	N/A	SNAP HEADER	W	0.96	CLEAR, DOUBLE GLAZED	
W04	A1457x850	MASTER SUITE	1,457	850	4,614	1.24	ALUMINIUM	N/A	SNAP HEADER	W	0.96	CLEAR, DOUBLE GLAZED	
W05	A857x610	ENS	857	610	2,934	0.52	ALUMINIUM	N/A	ANGLED	S	0.35	OBSCURE, DOUBLE GLAZED, TOUGHENED	PAINTED FC SHEET OVER
W06	AF1457x1450	BED 2	1,457	1,450	5,814	2.11	ALUMINIUM	N/A	ANGLED	S	1.70	CLEAR, DOUBLE GLAZED	MP 725
W07	AF1200x1210	LDRY	1,200	1,210	4,820	1.45	ALUMINIUM	N/A	ANGLED	S	1.11	CLEAR, DOUBLE GLAZED	MP 605
W08	A857x610	WC	857	610	2,934	0.52	ALUMINIUM	N/A	ANGLED	S	0.35	OBSCURE, DOUBLE GLAZED, TOUGHENED	PAINTED FC SHEET OVER
W09	AF1200x1450	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	ANGLED	S	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725, PAINTED FC SHEET OVER
W10	AF1457x1450	BED 3	1,457	1,450	5,814	2.11	ALUMINIUM	N/A	ANGLED	E	1.70	CLEAR, DOUBLE GLAZED	MP 725
W11	A857x610	ENS	857	610	2,934	0.52	ALUMINIUM	N/A	ANGLED	E	0.35	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W12	AF1457x1450	BED 4	1,457	1,450	5,814	2.11	ALUMINIUM	N/A	ANGLED	N	1.70	CLEAR, DOUBLE GLAZED	MP 725
W13	A1457x610	KITCHEN	1,457	610	4,134	0.89	ALUMINIUM	N/A	ANGLED	N	0.64	CLEAR, DOUBLE GLAZED	
W14	AF/F1812	FAMILY	1,800	1,210	6,020	2.18	ALUMINIUM	N/A	ANGLED	N	1.72	CLEAR, DOUBLE GLAZED	BP 600, MP 0/605
W15	AF/F1812	FAMILY	1,800	1,210	6,020	2.18	ALUMINIUM	N/A	ANGLED	N	1.72	CLEAR, DOUBLE GLAZED	BP 600, MP 0/605
W16	AF1457x1450	STUDY	1,457	1,450	5,814	2.11	ALUMINIUM	N/A	ANGLED	N	1.70	CLEAR, DOUBLE GLAZED	MP 725

EXTERIOR DOOR SCHEDULE

^{0,1} ASSUME LOOKING FROM OUTSIDE

ID	CODE°	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION¹
D01	2097x920	ENTRY	2,097	976	2.05	ALUMINIUM	N/A	SNAP HEADER	W	OBSCURE	SWINGING	
D02	2097x920	FAMILY	2,097	976	2.05	ALUMINIUM	N/A	SNAP HEADER	E	CLEAR, DOUBLE GLAZED	SWINGING	

4.10 m²

INTERIOR DOOR SCHEDULE

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
2	2 x 720	SWINGING	2,040	1,440	N/A	
1	2 x 770	SMARTROBE SLIDING	2,040	1,560	N/A	
1	2 x 770	SWINGING	2,040	1,540	N/A	
1	620	SWINGING	2,040	620	N/A	
1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
1	770	SWINGING	2,040	770	N/A	LIFT-OFF HINGES
1	770	SWINGING	2,040	770	N/A	
1	770 CSD	CAVITY SLIDING	2,040	770	N/A	
7	820	SWINGING	2,040	820	N/A	
1	950 SS	SQUARE SET OPENING	2,155	950	N/A	

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m ²)
-----	------	--------	-------	------------------------

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-293

DATE RECEIVED: 19/11/2025

Window Manufacturer: Dowell Windows

No BAL / BAL 12.5			
Window Type	WERS Code	U Value	SHGC
Sliding Window	DOW-022-003	2.9	0.64
Awning Window	DOW-005-001	3.9	0.58
Fixed External Window	DOW-038-001	3.03	0.71
Sliding Door	DAR-034-001	3.97	0.63
Stacking Door	DAR-034-001	3.97	0.63
Hinged Door	DOW-017-001	4.1	0.55
Bi-Fold Door	DOW-020-001	4.1	0.54
BAL 19			
Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AUW-009-009	4.03	0.58
Stacking Door	AUW-009-009	4.03	0.58
Hinged Door	GRN-009-001	4.25	0.53
Bi-Fold Door	DOW-020-001	4.1	0.54
BAL 29			
Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AMJ-007-005	4.03	0.59
Stacking Door	AMJ-007-005	4.03	0.59
Hinged Door	GRN-009-001	4.29	0.53

SINGLE GLAZING U.N.O.
REFER TO GENERAL NOTES FOR FURTHER
DETAIL AND REQUIREMENTS.

REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
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SIGNATURE:

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<div><div><div></div></div><div><div>WILSON</div><div>HOMES</div></div></div> <div>Document Set ID: 3561004</div>	SPECIFICATION: DESIGNER	<table><tr><th colspan="2">REVISION</th><th colspan="2">DRAWN</th></tr><tr><td>4</td><td>DRAFT SALE PLAN - CT2</td><td>HMI</td><td>2025.08.14</td></tr><tr><td>5</td><td>DRAFT SALE PLAN - CT3</td><td>HMI</td><td>2025.09.03</td></tr><tr><td>6</td><td>PRELIM PLAN - INITIAL ISSUE</td><td>NVO</td><td>2025.09.30</td></tr><tr><td>7</td><td>PRELIM PLANS - COLOUR UPDATE</td><td>TNG</td><td>2025.10.28</td></tr><tr><td>8</td><td>PRELIM PLANS - PLANNING RFI UPDATE</td><td>RT2</td><td>2025.11.18</td></tr></table>	REVISION		DRAWN		4	DRAFT SALE PLAN - CT2	HMI	2025.08.14	5	DRAFT SALE PLAN - CT3	HMI	2025.09.03	6	PRELIM PLAN - INITIAL ISSUE	NVO	2025.09.30	7	PRELIM PLANS - COLOUR UPDATE	TNG	2025.10.28	8	PRELIM PLANS - PLANNING RFI UPDATE	RT2	2025.11.18	CLIENT: PRATIK DHIRAJBHAI & KAJALBEY PRATIK DARJI	HOUSE DESIGN: AMALFI ONE	HOUSE CODE: H-WDNAMEF10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714360
	REVISION		DRAWN																											
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COPYRIGHT: © 2025	ADDRESS: 116A BRANSCOMBE ROAD, CLAREMONT TAS 7011	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDNAMEF10CLASA																											
	LOT / SECTION / CT: 1 / - / 183217	COUNCIL: GLENORCHY COUNCIL	SHEET TITLE: WINDOW & DOOR SCHEDULES	SHEET No.: 8 / 21	SCALES:																									

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ`D (m2)	VENTILATION ACH`D (m2)
OPEN KITCHEN/ LIVING/ DINING/ FAMILY	37.92 m²	D02, W13, W14, W15	3.79 m²	4.08 m²	1.90 m²	3.98 m²
MASTER SUITE	12.60 m²	W03, W04	1.26 m²	1.92 m²	0.63 m²	2.30 m²
BED 2	9.71 m²	W06	0.97 m²	1.70 m²	0.49 m²	0.97 m²
BED 3	11.76 m²	W10	1.18 m²	1.70 m²	0.59 m²	0.97 m²
BED 4	12.34 m²	W12	1.23 m²	1.70 m²	0.62 m²	0.97 m²
STUDY	10.53 m²	W01, W02, W16	1.05 m²	3.62 m²	0.53 m²	3.27 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-293

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REVISION		DRAWN	
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5	DRAFT SALE PLAN - CT3	HMI	2025.09.03
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CLIENT:	
PRATIK DHIRAJBHAI & KAJALBEY PRATIK DARJI	
ADDRESS:	
116A BRANSCOMBE ROAD, CLAREMONT TAS 7011	
LOT / SECTION / CT:	COUNCIL:
1 / - / 183217	GLENORCHY COUNCIL

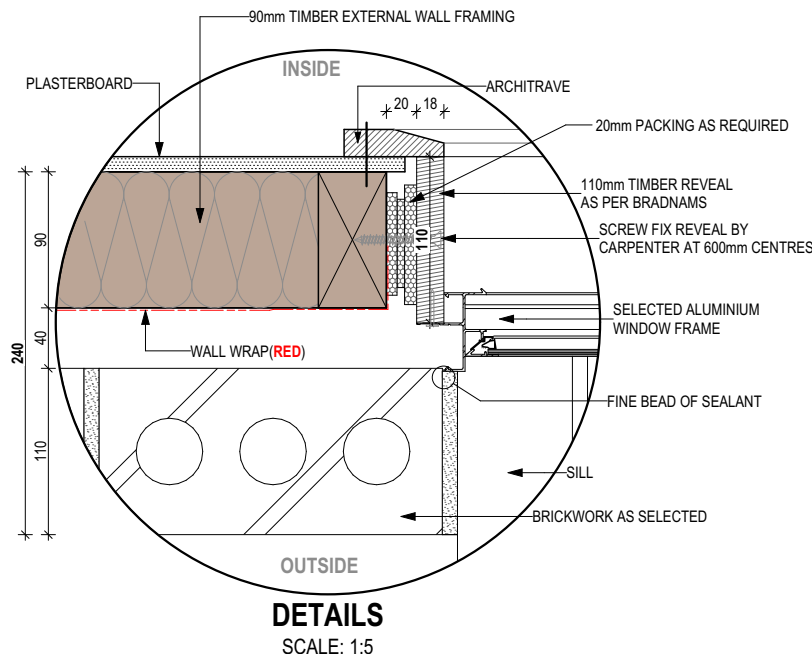
HOUSE DESIGN: AMALFI ONE	
FACADE DESIGN: CLASSIC	
SHEET TITLE: DETAILS - FACE BRICKWORK	SHEET No.: 10 / 21

HOUSE CODE:	H-WDNAMF10SA
FACADE CODE:	F-WDNAMF10CLASA
SCALES:	

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AND VERIFY DIMENSIONS AND
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COMMENCEMENT OF ANY WORK. ALL
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TO THE DRAFTING OFFICE.

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STANDARD BRICK								STANDARD BRICK									
BRICKWORK DIMENSIONS		Bricks per m ² in wall = 48.5 approx.				all dimensions in mm				BRICKWORK DIMENSIONS		Bricks per m ² in wall = 48.5 approx.				all dimensions in mm	
FORMAT SIZE: 240x120x86mm		MANUFACTURING SIZE: 230x110x76mm		VERTICAL GAUGE: 7 Courses to 600mm		FORMAT SIZE: 240x120x86mm		MANUFACTURING SIZE: 230x110x76mm		VERTICAL GAUGE: 7 Courses to 600mm							
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT		
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 ¹ / ₂	8630	NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.	3086		
1 ¹ / ₂	350	370		26 ¹ / ₂	6350	6370		11 ¹ / ₂	2750	2770		36 ¹ / ₂	8750				
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870		3172		
2 ¹ / ₂	590	610		27 ¹ / ₂	6590	6610		12 ¹ / ₂	2990	3010		37 ¹ / ₂	8990				
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110		3257		
3 ¹ / ₂	830	850		28 ¹ / ₂	6830	6850		13 ¹ / ₂	3230	3250		38 ¹ / ₂	9230		3343		
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350				
4 ¹ / ₂	1070	1090		29 ¹ / ₂	7070	7090		14 ¹ / ₂	3470	3490		39 ¹ / ₂	9470		3429		
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590				
5 ¹ / ₂	1310	1330		30 ¹ / ₂	7310	7330		15 ¹ / ₂	3710	3730		40 ¹ / ₂	9710		3514		
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830				
6 ¹ / ₂	1550	1570		31 ¹ / ₂	7550	7570		16 ¹ / ₂	3950	3970		41 ¹ / ₂	9950		3600		
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070				
7 ¹ / ₂	1790	1810		32 ¹ / ₂	7790	7810		17 ¹ / ₂	4190	4210		42 ¹ / ₂	10190		3686		
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310				
8 ¹ / ₂	2030	2050		33 ¹ / ₂	8030	8050		18 ¹ / ₂	4430	4450		43 ¹ / ₂	10430		3772		
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550				
9 ¹ / ₂	2270	2290		34 ¹ / ₂	8270	8290		19 ¹ / ₂	4670	4690		44 ¹ / ₂	10670		3857		
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790				
								20 ¹ / ₂	4910	4930		45 ¹ / ₂	10910				
								21	5030	5050	1800	46	11030	3943			
								21 ¹ / ₂	5150	5170		46 ¹ / ₂	11150				
								22	5270	5290	1886	47	11270	4029			
								22 ¹ / ₂	5390	5410		47 ¹ / ₂	11390				
								23	5510	5530	1972	48	11510	4114			
								23 ¹ / ₂	5630	5650		48 ¹ / ₂	11630				
								24	5750	5770	2057	49	11750	4200			
								24 ¹ / ₂	5870	5890		49 ¹ / ₂	11870				
								25	5990	6010	2143	50	11990	4286			
								25 ¹ / ₂	6110	6130		100	23990	8572			



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-293

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DATE:

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	176.61	Flat Roof Area (excluding gutter and slope factor) (m²)
	191.86	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	187.25	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	226.57	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021)(1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	3.54	Ac / Acdp
Downpipes Provided	6	



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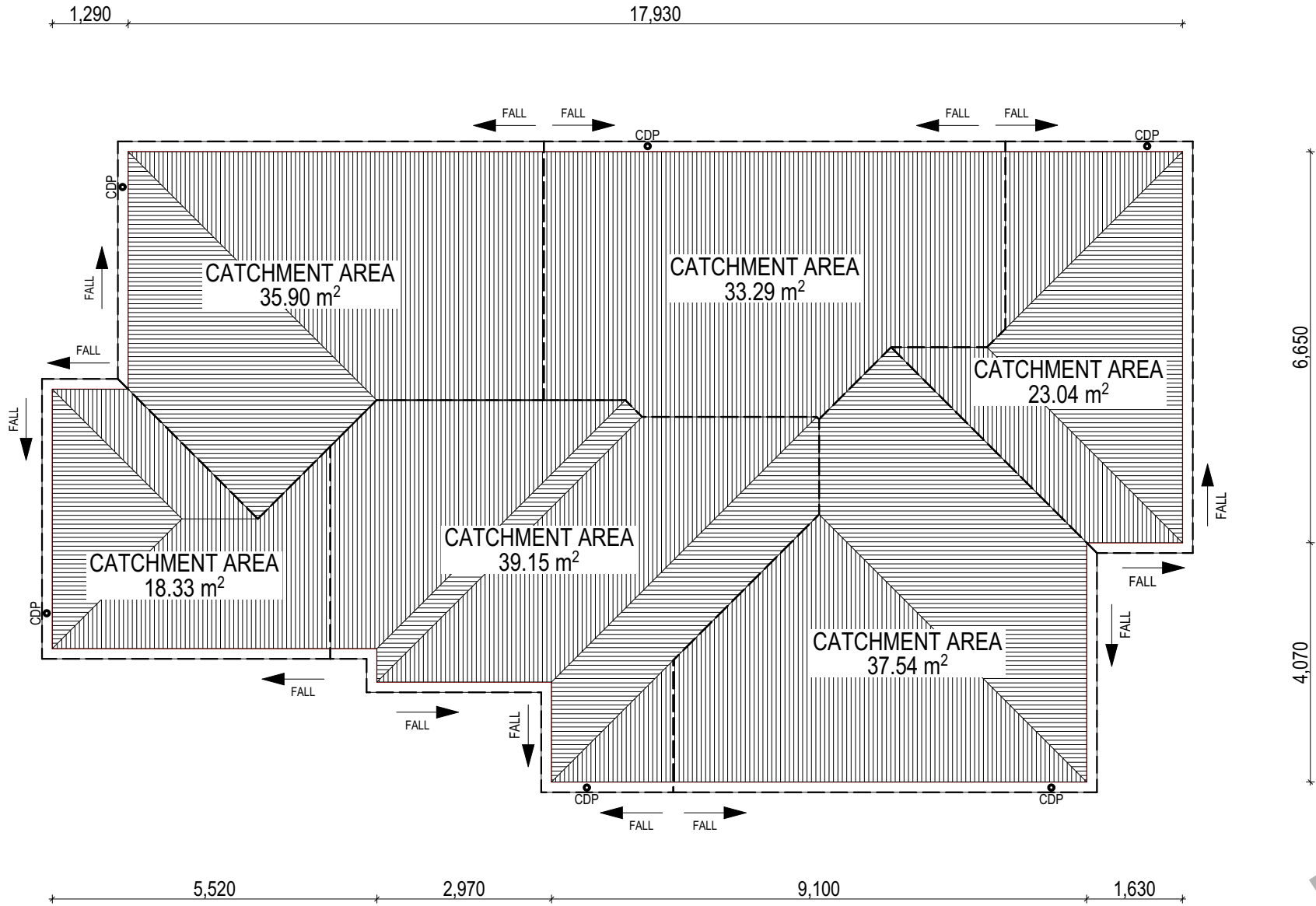
REVISION	DRAWN
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8 PRELIM PLANS - PLANNING RFI UPDATE	RT2 2025.11.18

CLIENT:	PRATIK DHIRAJBHAI & KAJALBEY PRATIK DARJI
ADDRESS:	116A BRANSCOMBE ROAD, CLAREMONT TAS 7011
LOT / SECTION / CT:	1 / - / 183217
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	AMALFI ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ROOF DRAINAGE PLAN
SHEET No.:	11 / 21

HOUSE CODE:	H-WDNAMF10SA
FACADE CODE:	F-WDNAMF10CLASA
SCALES:	1:100

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

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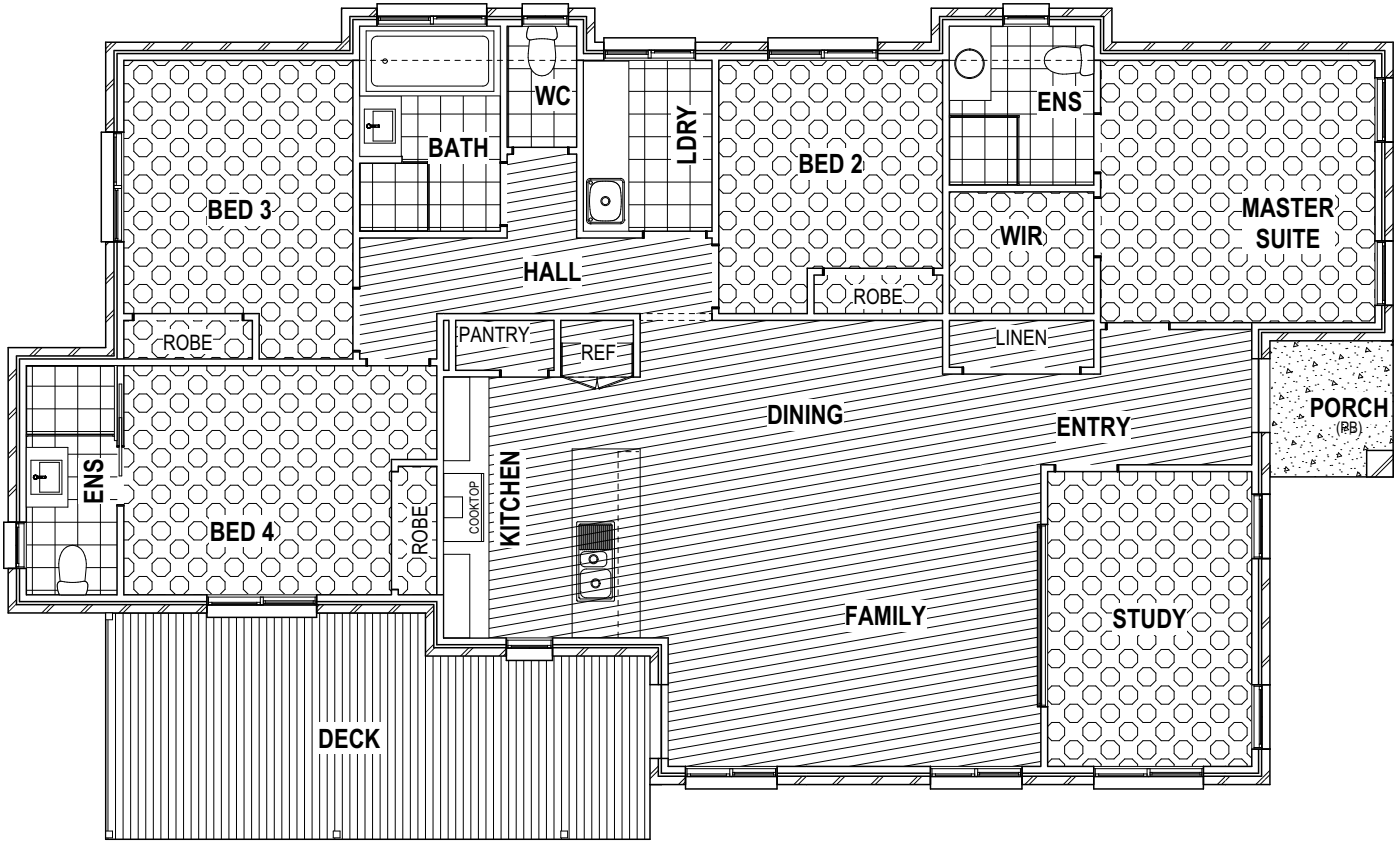
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET
- LAMINATE
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)
- DECKING



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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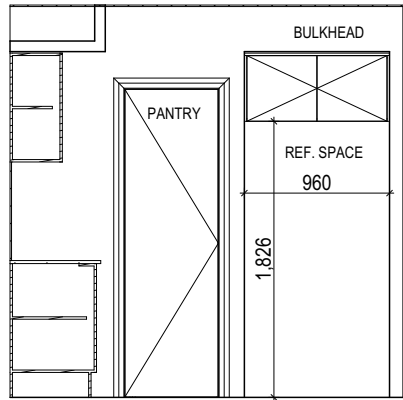
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COUNCIL:	GLENORCHY COUNCIL

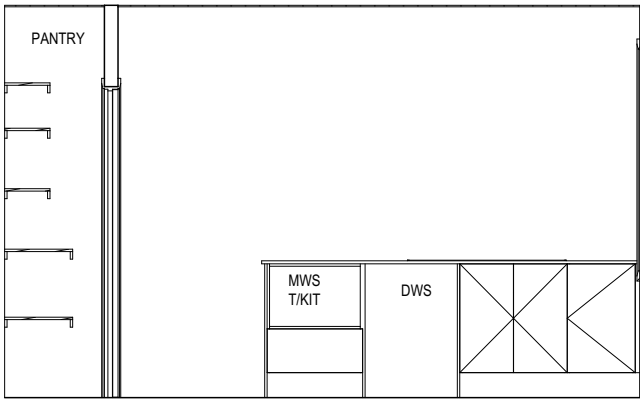
HOUSE DESIGN:	AMALFI ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	FLOOR COVERINGS

HOUSE CODE:	H-WDNAMEF10SA
FACADE CODE:	F-WDNAMEF10CLASA
SHEET No.:	12 / 21
SCALES:	1:100

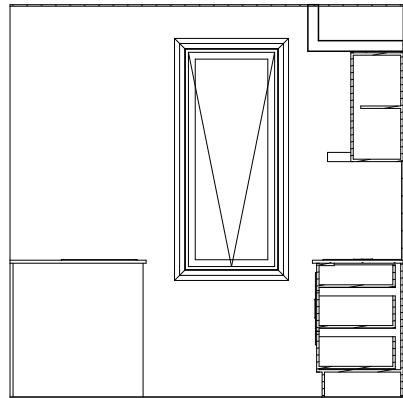
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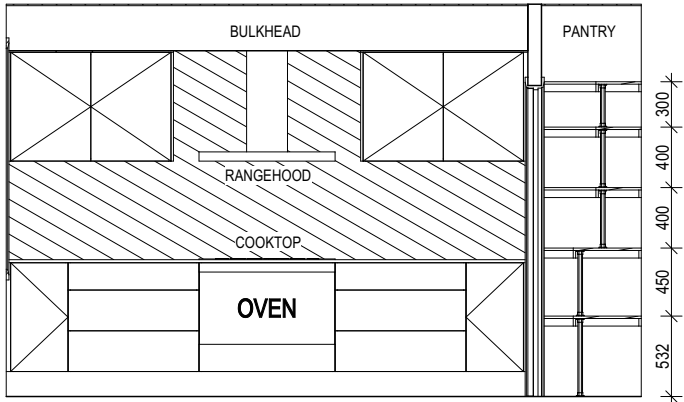
ELEVATION A
Scale: 1:50



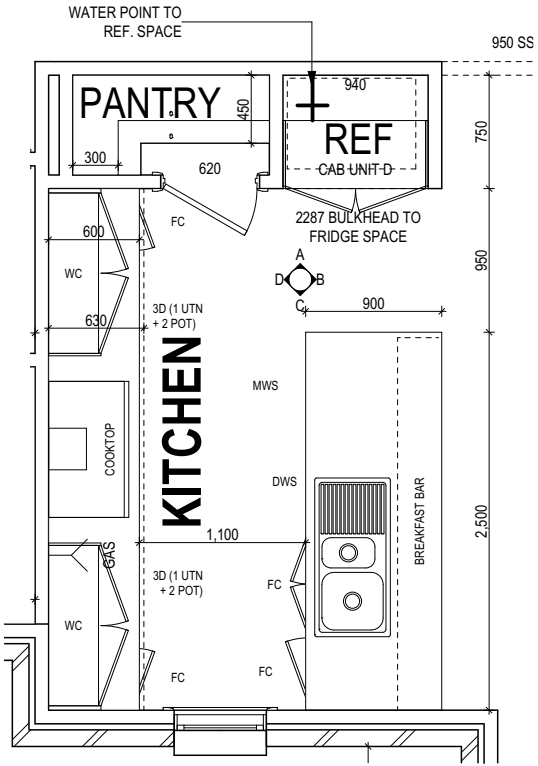
ELEVATION B
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



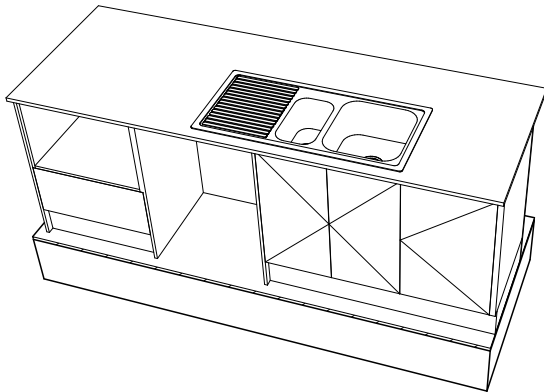
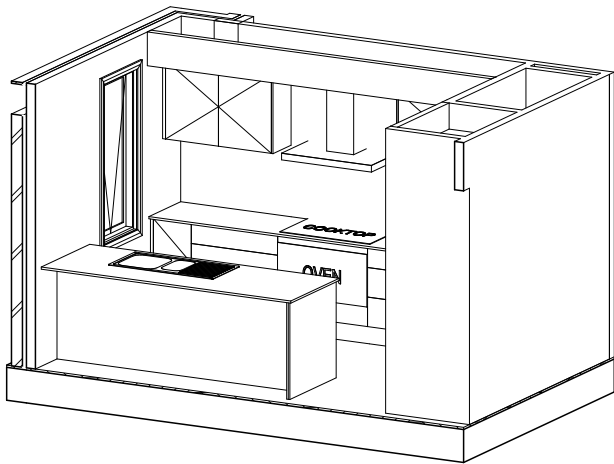
KITCHEN PLAN
Scale: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.

GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP

FRAMED BULKHEAD TO KITCHEN CUPBOARDS 2287 OFF FFL AND 630 FROM WALL



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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ALL DIMENSIONS ARE FRAME DIMENSIONS



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LOT / SECTION / CT:	1 / - / 183217
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	AMALFI ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	KITCHEN DETAILS

HOUSE CODE:	H-WDNAMEF10SA
FACADE CODE:	F-WDNAMEF10CLASA
SHEET No.:	13 / 21
SCALES:	1:50

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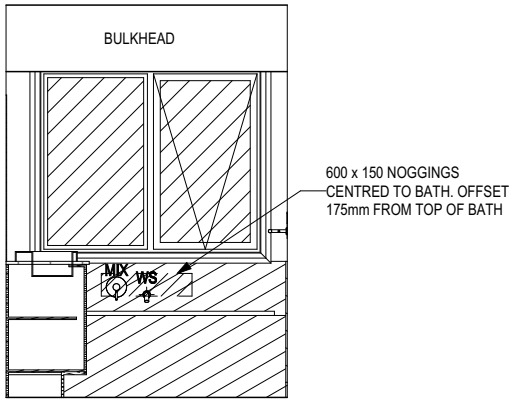
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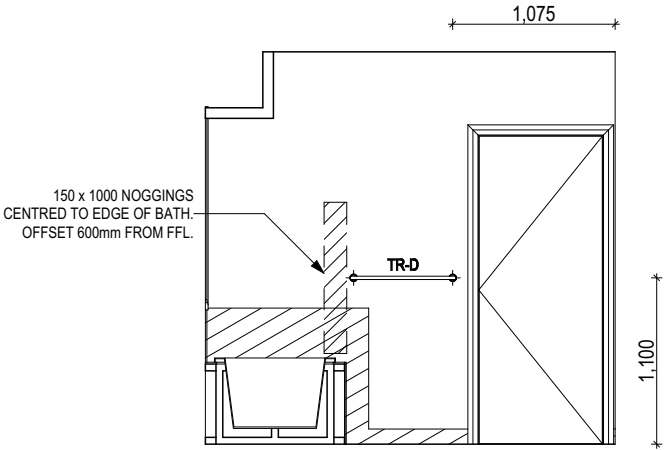
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

REFER TO THE FOLLOWING DETAILS:

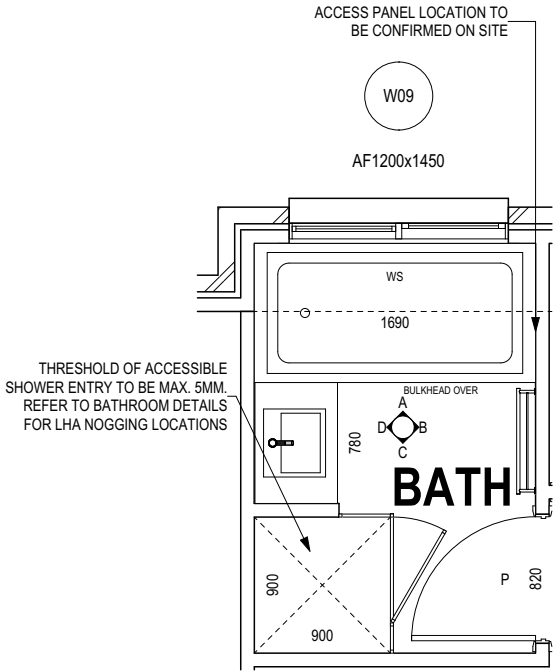
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STANDARD BATH HOB D-WETA-BATH003
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SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA



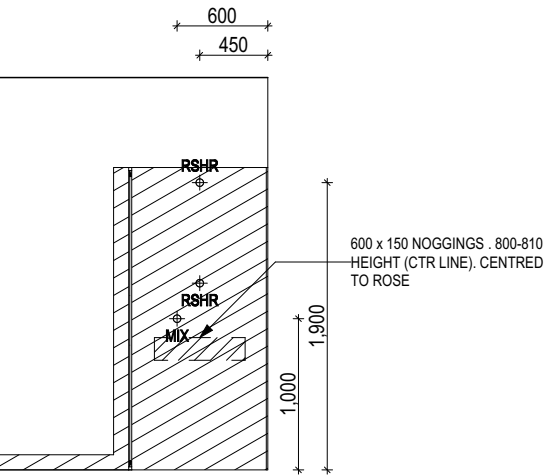
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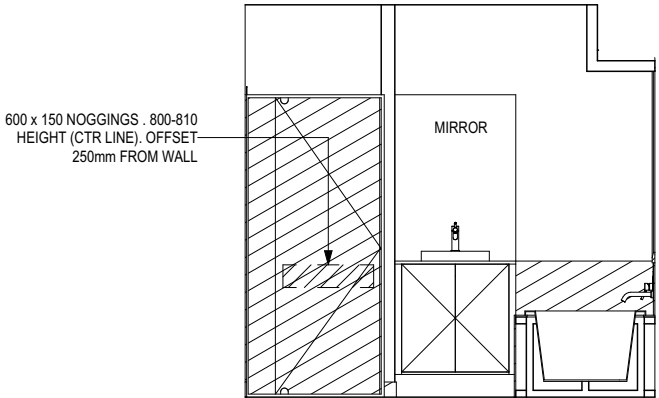
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BATHROOM PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-293

DATE RECEIVED: 19/11/2025

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

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5 DRAFT SALE PLAN - CT3	HMI 2025.09.03
6 PRELIM PLAN - INITIAL ISSUE	NVO 2025.09.30
7 PRELIM PLANS - COLOUR UPDATE	TNG 2025.10.28
8 PRELIM PLANS - PLANNING RFI UPDATE	RT2 2025.11.18

CLIENT:	PRATIK DHIRAJBHAI & KAJALBEY PRATIK DARJI
ADDRESS:	116A BRANSCOMBE ROAD, CLAREMONT TAS 7011
LOT / SECTION / CT:	1 / - / 183217
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	AMALFI ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	BATHROOM DETAILS

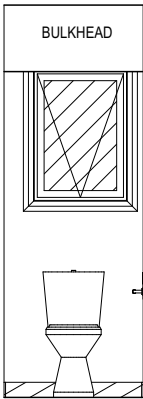
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FACADE CODE:	F-WDNAMF10CLASA
SHEET No.:	14 / 21
SCALES:	1:50

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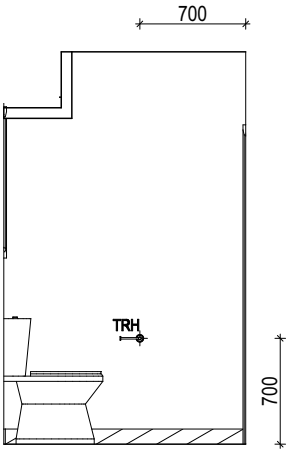
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- GENERAL BUILDING INFORMATION

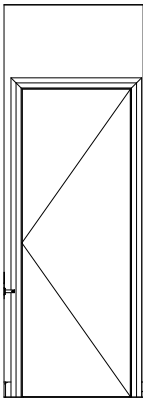
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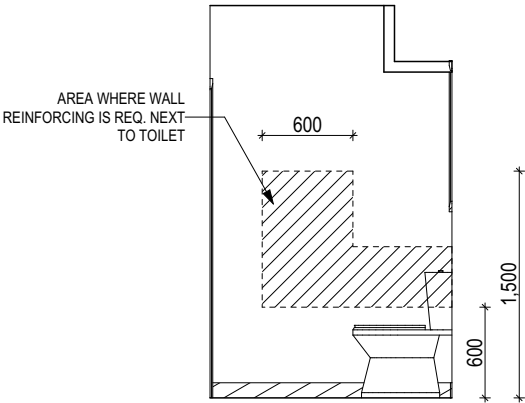
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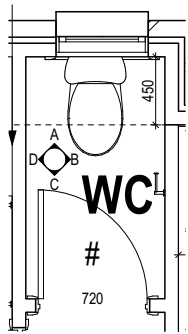
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ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



WC PLAN
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
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TMB	TUMBLER HOLDER
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RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-293

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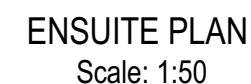
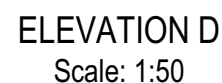
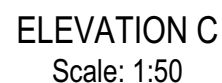
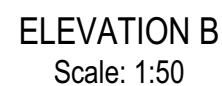
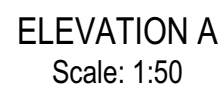
CLIENT:	PRATIK DHIRAJBHAI & KAJALBEY PRATIK DARJI		
ADDRESS:	116A BRANSCOMBE ROAD, CLAREMONT TAS 7011		
LOT / SECTION / CT:	1 / - / 183217	COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	AMALFI ONE	
FACADE DESIGN:	CLASSIC	
SHEET TITLE:	WC DETAILS	SHEET No.: 15 / 21

HOUSE CODE:	H-WDNAMF10SA
FACADE CODE:	F-WDNAMF10CLASA
SCALES:	1:50

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 STANDARD BATH HOB **D-WETA-BATH003**
 WET AREA TILING LAYOUTS **D-WETA-TILE002**
 SQUARE SET WINDOWS **G-WIND-SSET02**
 FULL HEIGHT TILING **D-LINI-WETA**



LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
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SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

DATE: _____

DATE RECEIVED: 19/11/2025

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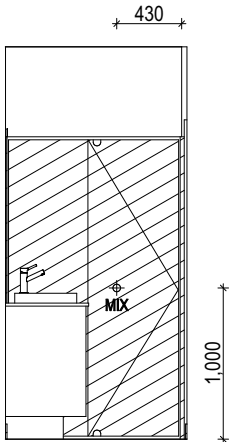
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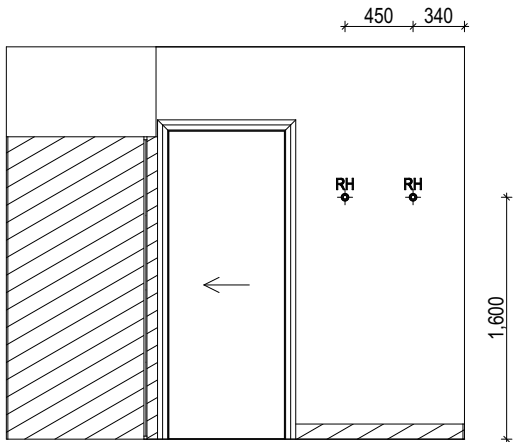
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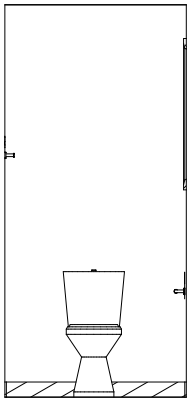
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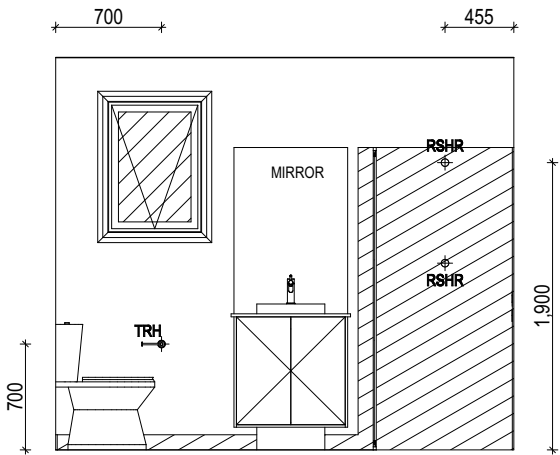
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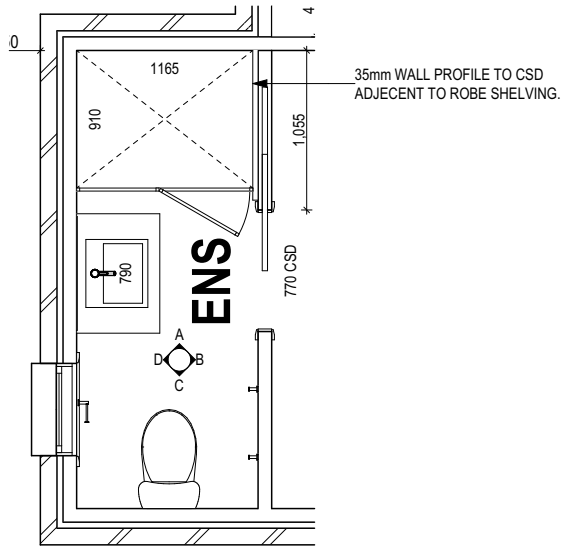
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ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



ENSUITE (IN BED 4) PLAN
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-293

DATE RECEIVED: 19/11/2025

THIS PLAN ACCEPTED BY:

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LOT / SECTION / CT:	1 / - / 183217
COUNCIL:	GLENORCHY COUNCIL

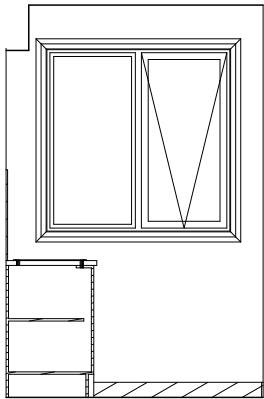
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FACADE DESIGN:	CLASSIC
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SHEET No.:	17 / 21

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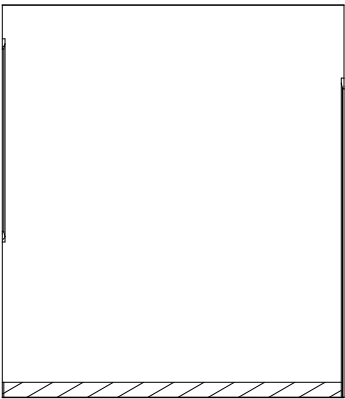
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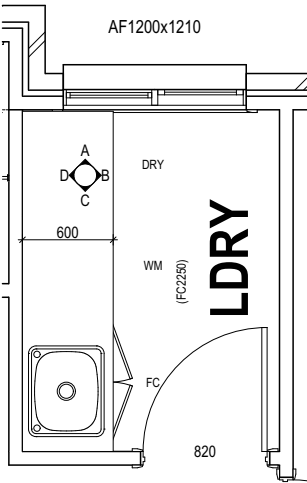
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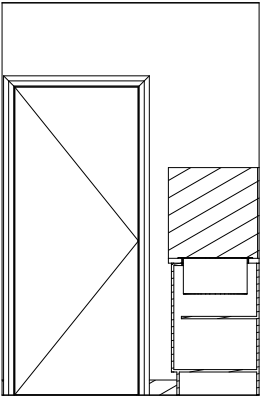
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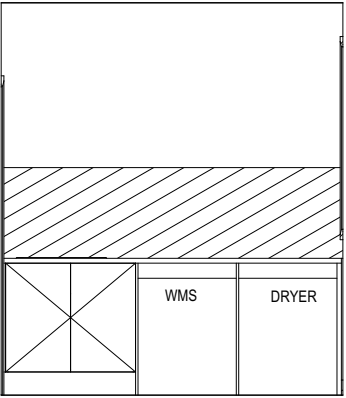
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Scale: 1:50



LAUNDRY PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
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LOT / SECTION / CT:	1 / - / 183217
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	AMALFI ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	LAUNDRY DETAILS

HOUSE CODE:	H-WDNAMF10SA
FACADE CODE:	F-WDNAMF10CLASA
SHEET No.:	18 / 21
SCALES:	1:50

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FRONT LEFT 3D



FRONT RIGHT 3D



REAR LEFT 3D



REAR RIGHT 3D

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-293

DATE RECEIVED: 19/11/2025

NOTE: SITE LEVELS AND SETBACKS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO A FINAL CONTOUR SURVEY AND REGISTERED REPORTS BEING COMPLETED. 3D IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.

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COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	AMALFI ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	3D VIEWS
SHEET No.:	19 / 21

HOUSE CODE:	H-WDNAMF10SA
FACADE CODE:	F-WDNAMF10CLASA
SCALES:	

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GENERAL

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (N.C.C.)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

SITE WORKS

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE N.C.C. TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE N.C.C.

SOIL TYPE / CLASSIFICATION	EMBANKMENT OF SLOPE	
	COMPACTED FILL	CUT
STABLE ROCK (A)	3 : 3	8 : 1
SAND (A)	1 : 2	1 : 2
SILT (P)	1 : 4	1 : 4
FIRM CLAY	1 : 2	1 : 1
SOFT CLAY	NOT SUITABLE	2 : 3
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE

MASONRY

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX CTRS FOR UNREINFORCED MASONRY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

TIMBER FRAMING

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT N.C.C.
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

BRACING / LINTELS

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

**TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17
HARDWOOD AS FOLLOWS:**

0 - 1500	120 x 35
1500 - 2400	140 x 35
2400 - 2700	190 x 35

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

0 - 2700	90 x 90 x 6 EA
2700 - 3200	100 x 100 x 8 EA
3200 - 4000	150 x 90 x 8 EA

***LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING**

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
 - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MPa (N25 GRADE)
 - HAVE A 20mm NOMINAL AGGREGATE SIZE
 - HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

DRAINAGE / WATER

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150 MIN. BELOW LOWEST SANITARY DRAINAGE POINT.
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT N.C.C. TABLE 3.2.1
- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3

Plumbing to AS3500	
ITEM	PIPE SIZE
ORG	DN100- TAP OVER
KITCHEN SINK	DN50
LAUNDRY TROUGH	DN50
SHOWER	DN50
BASIN	DN40
BATH	DN40
WC	DN100
VENT PIPE	DN50

ORG TO BE 150mm LOWER THAN LOWEST FIXTURE AND 75mm ABOVE FGL

Minimum grades of discharge pipes	
Size of graded section of pipe DN	Minimum Grade %
40	2.50
50	2.50
65	2.50
80	1.65
100	1.65
125	1.25
150	1.00

WINDOWS

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH N.C.C. 8 REQUIREMENTS
- AS PER N.C.C. 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANENTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH N.C.C. PART 8.4

WET AREAS

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
 - COMPLIANCE WITH N.C.C. PART 10.2 AND AS3740
 - ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740
- ## CONDENSATION
- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECOMMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
 - IN STANDARD ROOF SPACES, IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
 - IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

ELECTRICAL

- GLENORCHY CITY COUNCIL**
PLANNING SERVICES
- APPLICATION No. : PLN-21901/2**
- DATE RECEIVED: 19/01/2012**
- ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE**

ROOFING

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS. TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.

STAIRCASES / BALUSTRADES / HANDRAILS

STAIR TREADS	240mm MIN. - 355mm MAX.
STAIR RISERS	115mm MIN. - 190mm MAX.

- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT N.C.C. 11.3.5
- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm
- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL
- BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm
- NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH N.C.C. 11.2.4
- WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.

WOOD HEATERS

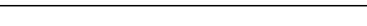
- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND N.C.C. PART 12.4

FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER N.C.C. 9.5
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND COMPLIANCE CERTIFICATES

THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA
(RESTRICTIONS FOR CONSTRUCTION METHODS/ MATERIALS MAY APPLY REFER NOTES

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<div><div>WILSON HOMES</div></div> <div>Document Set ID: 3564994</div>	SPECIFICATION: DESIGNER		REVISION		DRAWN		CLIENT: PRATIK DHIRAJBHAI & KAJALBEY PRATIK DARJI		HOUSE DESIGN: AMALFI ONE		HOUSE CODE: H-WDNAMF10SA		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. <div>714360</div>
	COPYRIGHT: © 2025		4	DRAFT SALE PLAN - CT2	HMI	2025.08.14	ADDRESS: 116A BRANSCOMBE ROAD, CLAREMONT TAS 7011		FACADE DESIGN: CLASSIC		FACADE CODE: F-WDNAMF10CLASA		
			5	DRAFT SALE PLAN - CT3	HMI	2025.09.03	LOT / SECTION / CT: 1 / - / 183217		SHEET TITLE: GENERAL NOTES		SHEET No.: 20 / 21	SCALES:	
			6	PRELIM PLAN - INITIAL ISSUE	NVO	2025.09.30	COUNCIL: GLENORCHY COUNCIL						
			7	PRELIM PLANS - COLOUR UPDATE	TNG	2025.10.28							
		8	PRELIM PLANS - PLANNING RFI UPDATE	RT2	2025.11.18								

WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA
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ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

WAFFLE POD ALLOWANCES:
- REFER TO ENERGY CERTIFICATION

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

X-POD ALLOWANCE
- REFER TO ENERGY CERTIFICATION

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

CLEARANCE IS REQUIRED FOR UNCOMPRESSED INSTALLATION OF BULK INSULATION & TIMBERS SHOULD BE SIZED ACCORDINGLY
210mm FOR R4.1 BULK INSULATION
210mm FOR R5.0 BULK INSULATION
260mm FOR R6.0 BULK INSULATION
THESE DIMENSIONS ARE NOMINAL AND MAY VARY DEPENDING ON THE TYPE OF INSULATION TO BE INSTALLED

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12.

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS
TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION
BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION
REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE
(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF N.C.C.

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION
FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING
3.12.3.1 - CHIMNEYS AND FLUES
THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS
(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
(ii) A WATERPROOF SEAL; OR
(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.0.1 - EXTERNAL WINDOWS AND DOORS
(a) A SEAL TO RESTRIC AIR INFILTRATION AT ALL EXTERNAL DOORS, OPENABLE WINDOW AND OTHER SUCH OPENING:
(I) WHEN SERVING A CONDITIONED SPACE; OR
(II) IN CLIMATE ZONES 4, 5, 6, 7 OR 8 WHEN SERVING A HABITABLE ROOM.
(b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a).
(c) A SEAL REQUIRED BY (a):
(i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
(ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-293

DATE RECEIVED: 19/11/2025

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SPECIFICATION: DESIGNER
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	REVISION	DRAWN
4	DRAFT SALE PLAN - CT2	HMI 2025.08.14
5	DRAFT SALE PLAN - CT3	HMI 2025.09.03
6	PRELIM PLAN - INITIAL ISSUE	NVO 2025.09.30
7	PRELIM PLANS - COLOUR UPDATE	TNG 2025.10.28
8	PRELIM PLANS - PLANNING RFI UPDATE	RT2 2025.11.18

CLIENT: PRATIK DHIRAJBHAI & KAJALBEY PRATIK DARJI	
ADDRESS: 116A BRANSCOMBE ROAD, CLAREMONT TAS 7011	
LOT / SECTION / CT: 1 / - / 183217	COUNCIL: GLENORCHY COUNCIL

HOUSE DESIGN: AMALFI ONE	
FACADE DESIGN: CLASSIC	
SHEET TITLE: WET AREA & ENERGY EFFICIENCY NOTES	SHEET No.: 21 / 21

HOUSE CODE: H-WDNAMF10SA
FACADE CODE: F-WDNAMF10CLASA
SCALES:

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