

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-25-352
<b>PROPOSED DEVELOPMENT:</b>	Single Dwelling
<b>LOCATION:</b>	138 Stony Point Drive Austins Ferry
<b>APPLICANT:</b>	Another Perspective Drafting Design
<b>ADVERTISING START DATE:</b>	06/01/2026
<b>ADVERTISING EXPIRY DATE:</b>	20/01/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **20/01/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **20/01/2026**, or for postal and hand delivered representations, by 5.00 pm on **20/01/2026**.



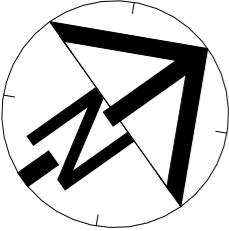
AP2025-2518 - PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS)  
138 Stony Point Drive,  
AUSTINS FERRY

SHEET	DRAWING TITLE
01	B SITE PLAN
01a	DRAINAGE PLAN
01b	SOIL & WATER MANAGEMENT PLAN
02	FLOOR PLAN
03	A ELEVATIONS
03a	PERSPECTIVE VIEWS

SITE IS NOT BUSHFIRE PRONE AREA AS PER TASMANIAN PLANNING SCHEME OVERLAY - GLENORCHY  
No additional restrictions for construction methods / materials apply.

<table border="1"> <tr> <td>B</td><td colspan="4">Council RFI (17 Dec. 2025): Driveway/parking gradients &amp; dimensions.</td></tr> <tr> <td>A</td><td colspan="4" rowspan="7">Low reflective glass to all windows, Inclusion of setback from habitable room to railway line.</td></tr> <tr> <td colspan="5">DA PLAN SET</td></tr> <tr> <td colspan="5">No. Amendment</td></tr> </table>					B	Council RFI (17 Dec. 2025): Driveway/parking gradients & dimensions.				A	Low reflective glass to all windows, Inclusion of setback from habitable room to railway line.				DA PLAN SET					No. Amendment					Notes	Designer:	Client / Project info	Soil Classification: P Title Reference: CT181554/184 Floor Areas: 154.45m <sup>2</sup> Porch / Deck Areas: 18.07m <sup>2</sup> Wind Speed: N3 Climate Zone: 7 Alpine Zone: N/A Corrosion Environment: MEDIUM Certified BAL: NOT BUSHFIRE PRONE Designed BAL: NOT BUSHFIRE PRONE (Refer to Standard Notes for Explanation)	COVER SHEET
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GLENORCHY CITY COUNCIL  
PLANNING SERVICES

APPLICATION No.: PLN-25-352

DATE RECEIVED: 19 December 2025

WVC	Water Closet Run	Run
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)
	Sewer Line (1000 UPVC) (unless noted otherwise)	
	Stormwater Line (1000 UPVC) (unless noted otherwise)	
	Stormwater Line (1500 UPVC) (unless noted otherwise)	

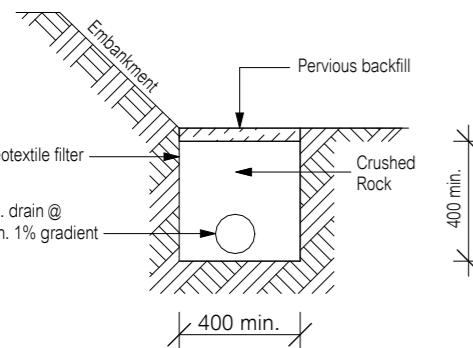
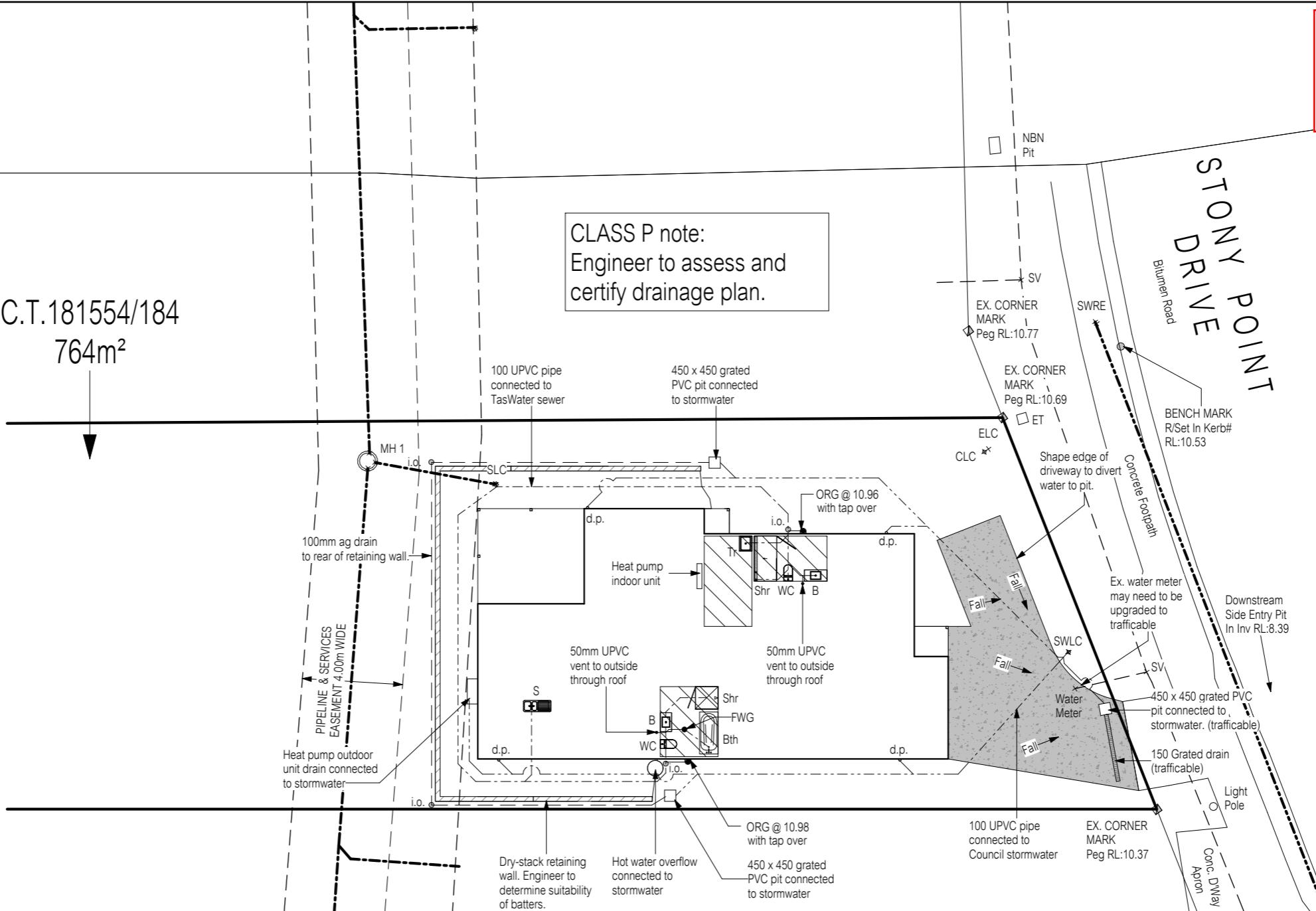
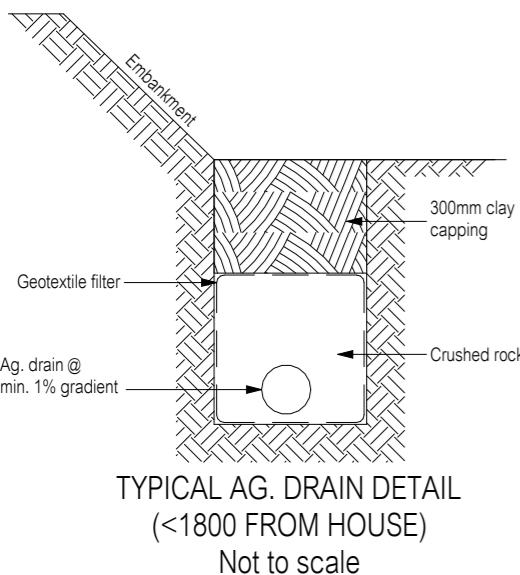
NOTES:
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.
3. 500 required for multiple shower heads.
650 where outlet is being used as a FWG
4. Showers to comply with N.C.C. 10.2.14.
5. Falls to floor waste to be minimum 1:80 & maximum 1:50

Where ag drain is < 1.5m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.

C.T.181554/184  
764m<sup>2</sup>

CLASS P note:  
Engineer to assess and certify drainage plan.



LEGEND  
ET = Elec. Turret  
SV = Stop Valve  
CLC = Comms Lot Connection  
ELC = Elec. Lot Connection  
SLC = Sewer Lot Connection  
SWLC = Stormwater Lot Connection  
CM = EX. CORNER MARK Peg  
RL:12.44

GPS DATA SCALE LOCATION  
JOB CONTROL POINT  
POINT NO: 16  
DESCRIPTION: R/S IN KERB#  
GPS SCALE FACTOR = 1.000396592  
E: 520599.835  
N: 5264928.400  
RL: 10.532  
EPU = 0.04%P

#### GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.

9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. BOUNDARIES ARE COMPILED ONLY FROM SP181554 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

11. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

Refer to Roof Plan for downpipe calculations

All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

0 2 4 6 8m  
1:200

No.	Date	Int.	Amendment changes as per cover sheet
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- Wet areas to comply with NCC 10.2 and AS3740

Soil classification: P  
Refer to Soil Report for nominated founding depth and description of founding material.  
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3

Notes  

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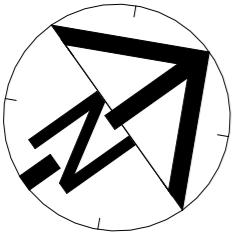
Designer:  
ANOTHER PERSPECTIVE PTY LTD  
PO BOX 171  
NORTH HOBART  
LIC. NO. 685230609 (S. Survey)  
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Fx: (03) 6231 4166  
Email: info@anotherperspective.com.au

Client / Project info  
PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS)  
138 Stony Point Drive, AUSTINS FERRY



DRAINAGE PLAN		
Drawn	OK	AP2025-2518
Date	02 October 2025	Sheet
Scale	1:200	01a/03





Architectural floor plan diagram showing dimensions and room labels. The top horizontal line represents the exterior wall, with dimensions 4240, 4780, 8370, and 1350 marked. Below this, a series of vertical lines represent interior walls, with specific room labels and dimensions: Alfresco (4240), Living (4600), Landing (90, 1000), L'dry (1900), Ens. / WIR (2900), Bed 1 (3300), Hall 1 / Entry (8370), and Porch (1350). The Alfresco and Living areas are connected by a Landing. The L'dry and Ens. / WIR areas are connected. The Bed 1 and Hall 1 / Entry areas are connected. The Porch is located at the far right end of the plan.

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PLANNING SERVICES**

Architectural floor plan of a house with dimensions and room labels:

- Exterior:** Total width 1200, Depth 1000. Includes a Porch on the right.
- Rooms:**
  - Bed 1:** 90 x 1000, labeled "Bed 1".
  - Bed 2:** 90 x 1020, labeled "Bed 2".
  - Garage:** 90 x 4080, labeled "Garage".
  - Entry:** 90 x 1110, labeled "Entry".
  - Hall 1:** 90 x 1110, labeled "Hall 1".
  - Hall 2:** 90 x 1110, labeled "Hall 2".
  - Bath:** 90 x 3300, labeled "Bath".
  - WIR:** 90 x 1710, labeled "WIR".
  - L'dry:** 90 x 1800, labeled "L'dry".
  - Ens:** 90 x 3600, labeled "Ens".
  - Landing:** 90 x 1000, labeled "Landing".
  - 4890:** Total length of the house.
- Dimensions:** Overall width is 1200, and overall depth is 1000.

1910 90 1000 90 2300 90 1000 90 1910 90

Robe Hall 2 Robe

90 4000 90 3000 90 2300 90 3000 90 5900 90

Kitchen Bed 3 Bath Bed 2 Garage

18740

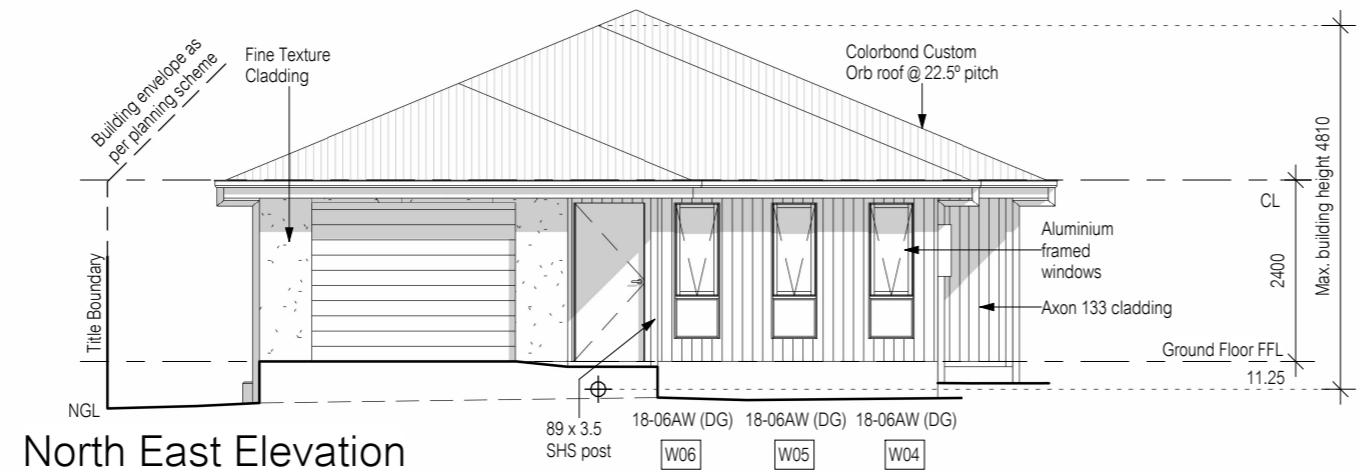


<p>Floor Area = 154.45m<sup>2</sup></p> <p> Articulation joints</p> <p> Smoke Alarm (interconnected where more than 1)</p> <p>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</p> <p>Amendment changes as per cover sheet</p>	<p>Notes</p> <ul style="list-style-type: none"> <li>Builder to verify all dimensions and levels on site prior to commencement of work</li> <li>All work to be carried out in accordance with the current National Construction Code.</li> <li>All materials to be installed according to manufacturers specifications.</li> <li>Do not scale from these drawings.</li> <li>No changes permitted without consultation with designer.</li> </ul>	<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Survey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</p>	<p>Client / Project info</p> <p>PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS) 138 Stony Point Drive, AUSTINS FERRY</p>		<p><b>FLOOR PLAN</b></p> <table border="1"> <tr> <td>Drawn</td><td>CK</td><td>AP2025-2518</td></tr> <tr> <td>Date</td><td>02 October 2025</td><td>Sheet</td></tr> <tr> <td>Scale</td><td>1 : 100</td><td>02/03</td></tr> <tr> <td colspan="3">Copyright ©</td></tr> </table>	Drawn	CK	AP2025-2518	Date	02 October 2025	Sheet	Scale	1 : 100	02/03	Copyright ©		
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Building envelope as per planning scheme  
Fine Texture Cladding

Aluminium framed windows  
Axon 133 cladding  
Ground Floor FFL  
11.25

CL  
2400  
Max. building height 4810

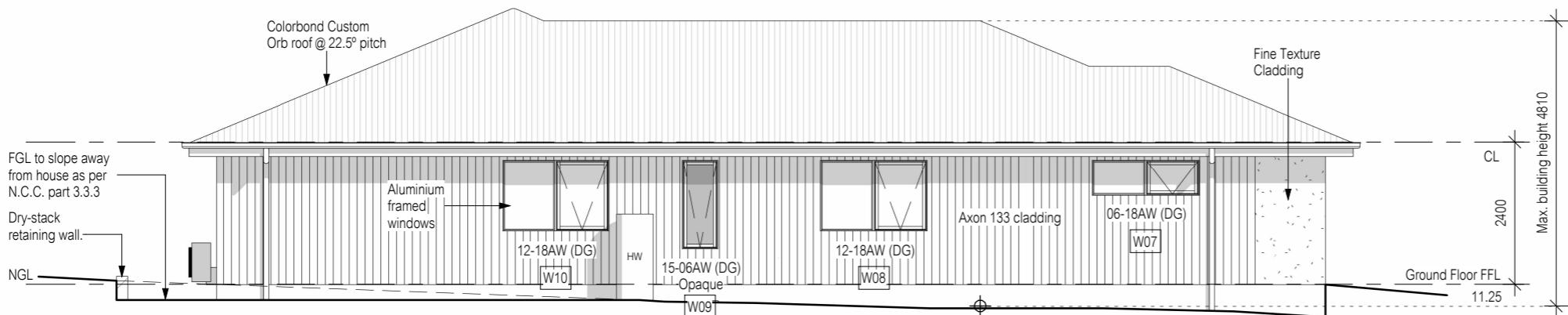


North East Elevation

LEGEND:  
AJ - Articulation Joint  
BV - Brick Vent

Shadows shown for stylisation purposes only

All windows to have low reflective finish



South East Elevation

A	19 Nov. 2025	SW
No.	Date	Int.

Amendment changes as per cover sheet

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#### Designer:

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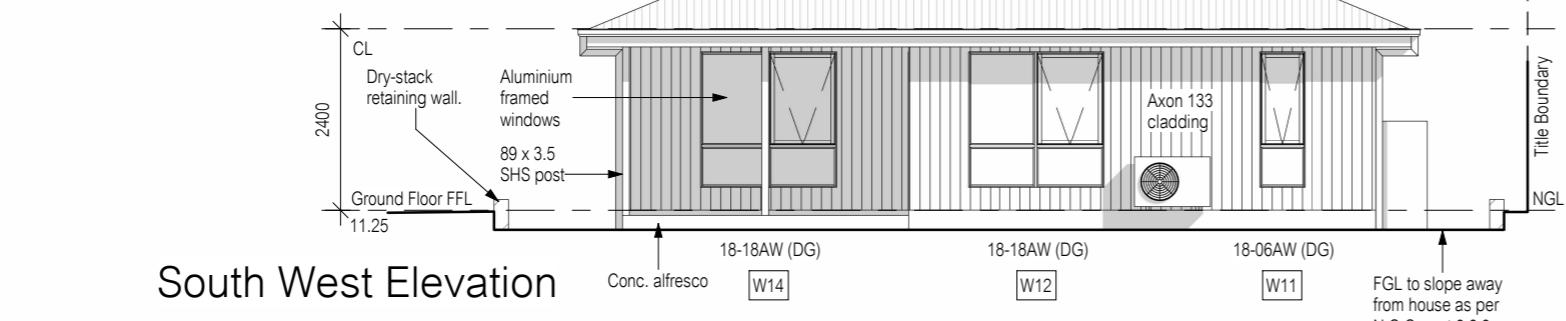
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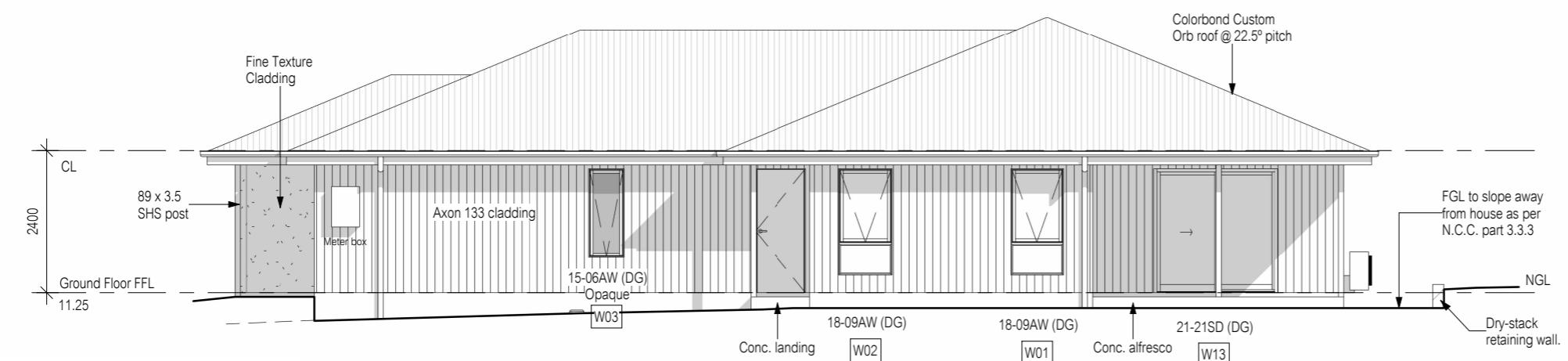


#### ELEVATIONS

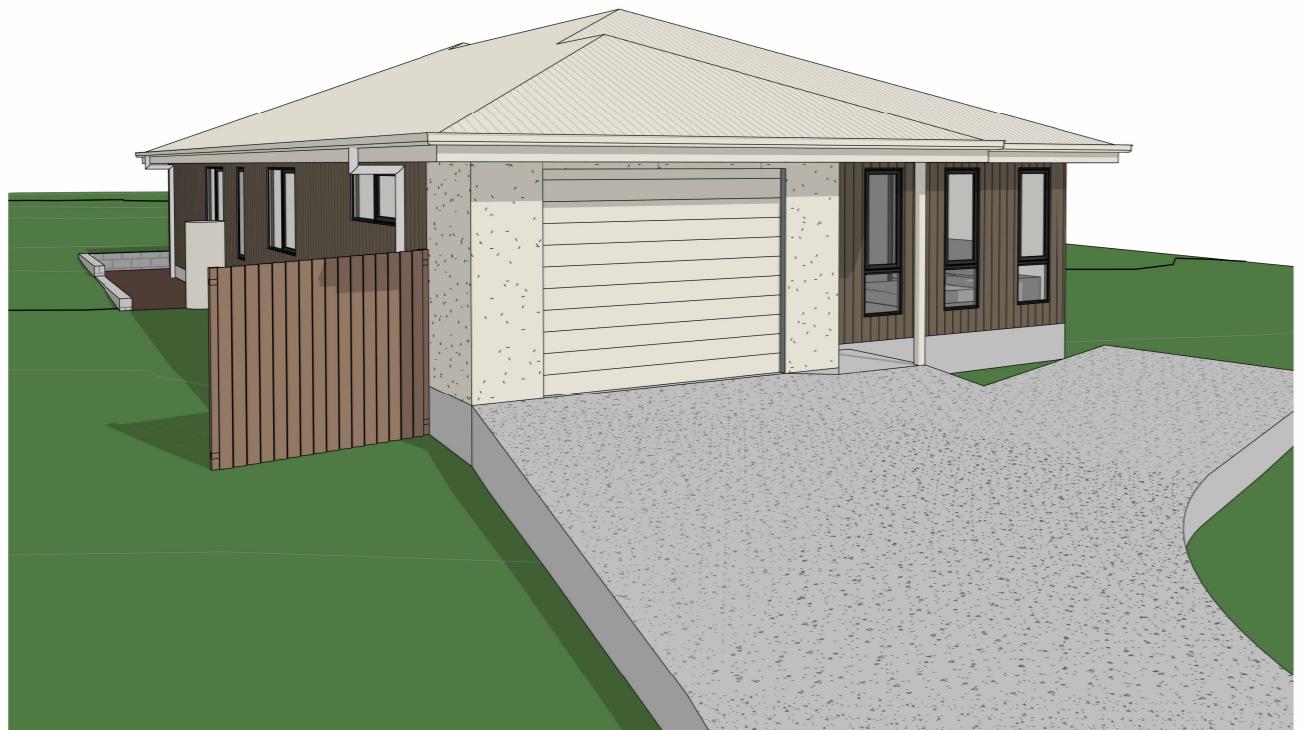
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Scale	1:100	
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South West Elevation



North West Elevation



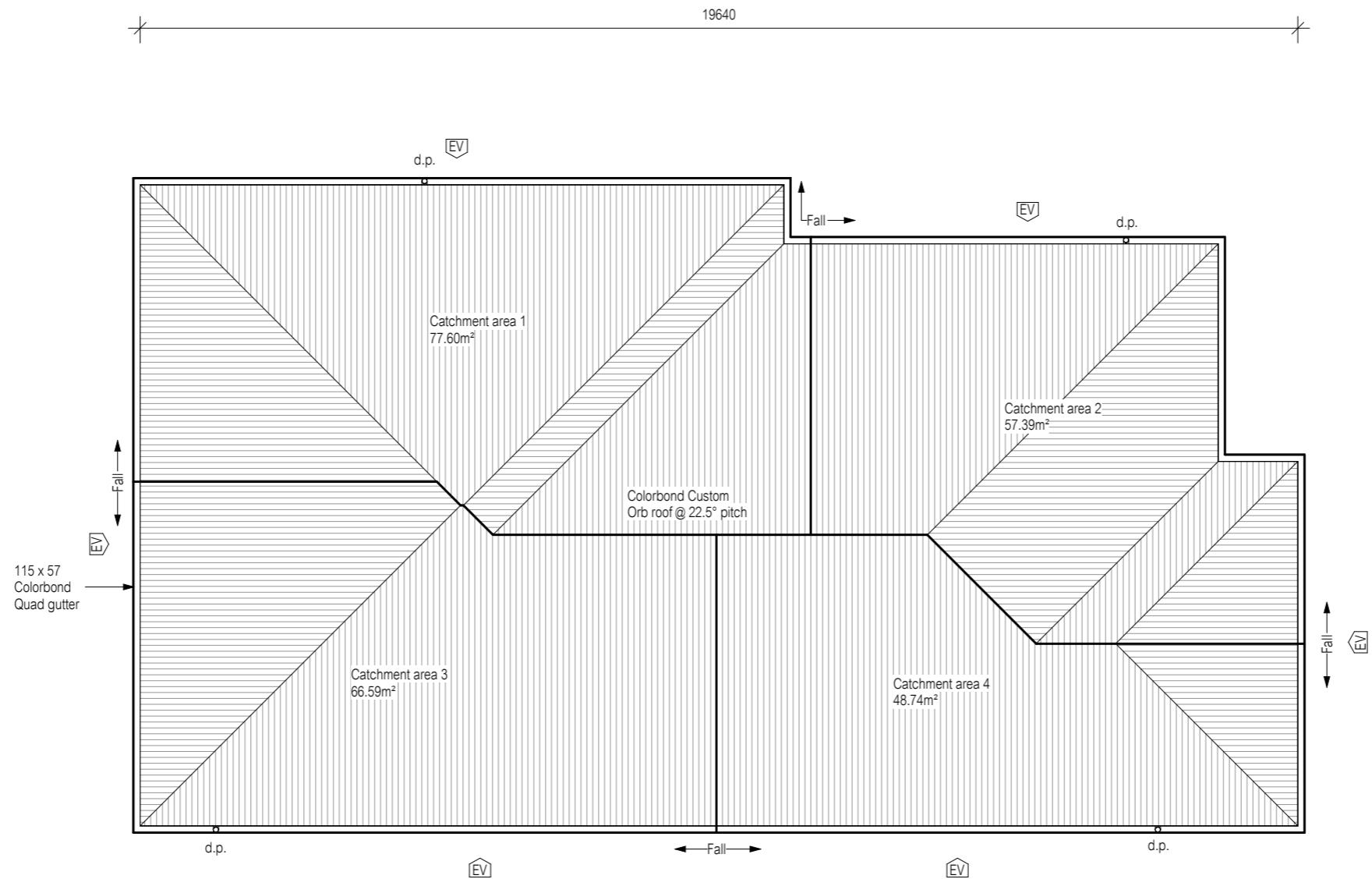
		PERSPECTIVE VIEWS	
No.	Date	Drawn	OK AP2025-2518
Int.	Amendment changes as per cover sheet	Date	02 October 2025
	Shadows shown for stylisations purpose only	Scale	Sheet
			03a/03
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must be 0.5 L/s/m.

Batten fixings:  
100mm type 17, 14g bugle  
screws to comply with  
AS1684, or refer to AS1684  
for alternatives.

Batten spacing:  
75 x 38 F8  
@ 900 Centre

Colorbond fixings:  
50mm M6 11 x 50 EPDM  
seal to comply with AS3566  
or refer to AS3566 for  
alternatives.



Position and quantity of downpipes  
are not to be altered without  
consultation with designer

Area's shown are surface areas /  
catchment areas, not plan areas.

## DNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)

Ah <sup>1</sup>	199.79	Area of Roof (excluding 115mm Quad gutter) (m <sup>2</sup> )
Ah <sup>2</sup>	206.86	Area of Roof (including 115mm Quad gutter) (m <sup>2</sup> )
Ac	250.30	Ah <sup>2</sup> x Slope factor (Table 3.2 from AS/NZS 3500.3) (m <sup>2</sup> )
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm <sup>2</sup> )
DRI	83.2	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	78	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m <sup>2</sup> )
Required Downpipes	3.21	Ac ÷ Acdp
Downpipes Provided	4	

Sarking to be cut / discontinuous along ridge line.  
Custom orb profile to provide N.C.C. required  
ventilation between ridge capping and roofing sheet.

EAVES VENT NOTE:  
BRADFORD CSR POLY EAVE VENT (23,700mm<sup>2</sup>).  
6 VENTS EVENLY SPACED

No. Date Int.

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**PROFILE**  
**CONSTRUCTIONS**

ROOF PLAN

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