

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-352
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	138 Stony Point Drive Austins Ferry
APPLICANT:	Another Perspective Drafting Design
ADVERTISING START DATE:	06/01/2026
ADVERTISING EXPIRY DATE:	20/01/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **20/01/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **20/01/2026**, or for postal and hand delivered representations, by 5.00 pm on **20/01/2026**.



AP2025-2518 - PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS)

138 Stony Point Drive,
AUSTINS FERRY

SHEET		DRAWING TITLE
01	B	SITE PLAN
01a		DRAINAGE PLAN
01b		SOIL & WATER MANAGMENT PLAN
02	A	FLOOR PLAN
03		ELEVATIONS
03a		PERSPECTIVE VIEWS

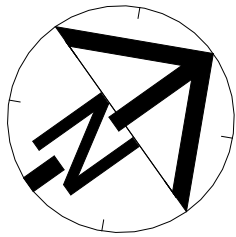
B	Council RFI (17 Dec. 2025): Driveway/parking gradients & dimensions.	19 Dec. 2025	SW	SF	01
A	Low reflective glass to all windows, Inclusion of setback from habitable room to railway line.	19 Nov. 2025	SW	SF	01, 03
	DA PLAN SET	02 Oct. 2025	CK	RJ	01 - 03
No.	Amendment	Date	Drawn	Checked	Sheet

Notes
<ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info
PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS) 138 Stony Point Drive, AUSTINS FERRY

SITE IS NOT BUSHFIRE PRONE AREA AS PER TASMANIAN PLANNING SCHEME OVERLAY - GLENORCHY No additional restrictions for construction methods / materials apply.			
Soil Classification:	P	COVER SHEET	
Title Reference:	CT181554/184		
Floor Areas:	154.45m ²		AP2025-2518
Porch / Deck Areas:	18.07m ²		
Wind Speed:	N3	Date	02 October 2025
Climate Zone:	7	Scale	Sheet
Alpine Zone:	N/A		00/03
Corrosion Environment:	MEDIUM		
Certified BAL:	NOT BUSHFIRE PRONE		
Designed BAL:	NOT BUSHFIRE PRONE		
(Refer to Standard Notes for Explanation)			



BENCH MARK
Spike ●
RL:11.18

Ground Floor FFL 11.25

GENERAL NOTES:

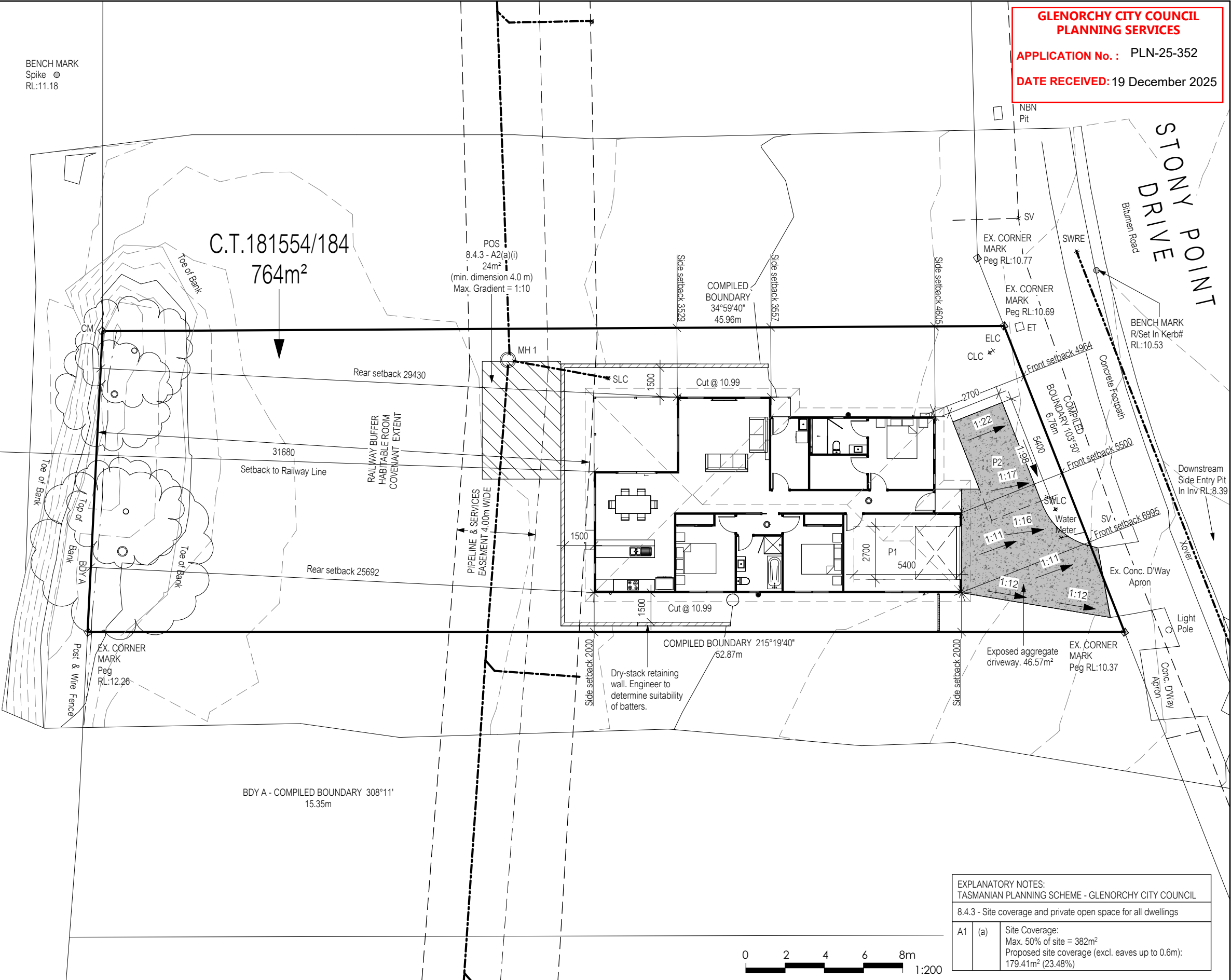
1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.
9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
10. BOUNDARIES ARE COMPILED ONLY FROM SP181554 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
11. 3D DATA TURNED OFF IN LAYER CONTROL.
 - 3D TIN
 - MAJOR CONTOUR 3D
 - MINOR CONTOUR 3D

- LEGEND
- ET = Elec. Turret
SV = Stop Valve
CLC = Comms Lot Connection
ELC = Elec. Lot Connection
SLC = Sewer Lot Connection
Top RL:11.11
Inv. RL:8.78
SWLC = Stormwater Lot Connection
Top RL:10.38
Inv. RL:9.55
MH 1 = Sewer Manhole
Top RL:11.42
Lot Connect. Inv RL:6.32
In Inv RL:6.29
Out Inv RL:6.29
SWRE = Stormwater Rod Eye
Top RL:10.55
Inv. RL:9.23
CM = EX. CORNER MARK
Peg
RL:12.44

GPS DATA SCALE LOCATION
JOB CONTROL POINT
POINT NO: 16
DESCRIPTION: R/S IN KERB#
GPS SCALE FACTOR = 1.000396592
E: 520599.835
N: 5264928.400
RL: 10.532
EPU = 0.04%%P

B	19 Dec. 2025	SW
A	19 Nov. 2025	SW
No.	Date	Int.

Amendment changes as per cover sheet



EXPLANATORY NOTES: TASMANIAN PLANNING SCHEME - GLENORCHY CITY COUNCIL		
8.4.3 - Site coverage and private open space for all dwellings		
A1	(a)	Site Coverage: Max. 50% of site = 382m² Proposed site coverage (excl. eaves up to 0.6m): 179.41m² (23.48%)

0 2 4 6 8m
1:200

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info
PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS)
138 Stony Point Drive,
AUSTINS FERRY

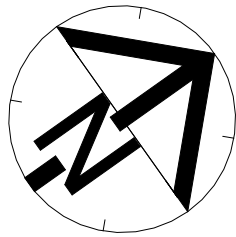


SITE PLAN

Drawn	CK	AP2025-2518
Date	02 October 2025	Sheet
Scale	1:200	

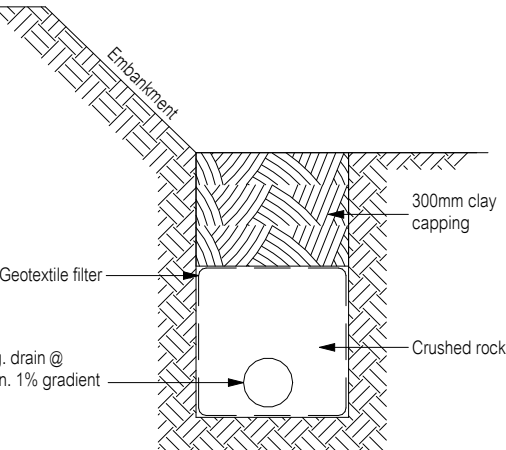
01/03

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-352
DATE RECEIVED: 19 December 2025

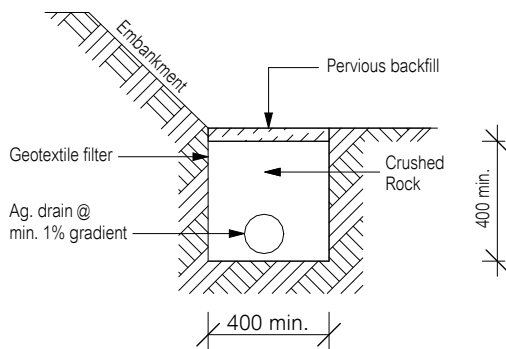


Where ag drain is < 1.5m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.



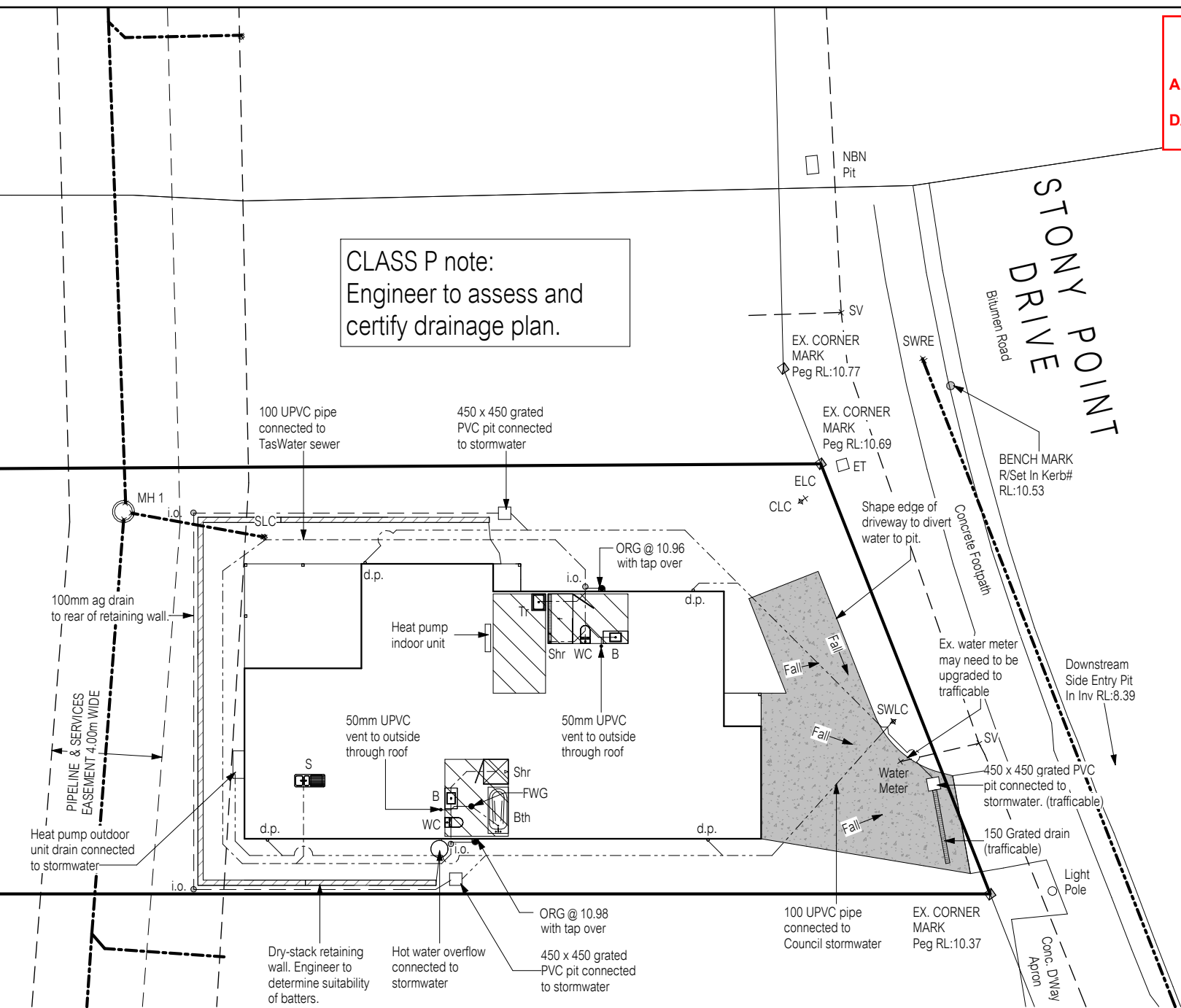
TYPICAL AG. DRAIN DETAIL
(<1800 FROM HOUSE)
Not to scale



TYPICAL AG. DRAIN DETAIL
(≥1800 FROM HOUSE)
Not to scale

C.T.181554/184
764m²

CLASS P note:
Engineer to assess and
certify drainage plan.



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-352
DATE RECEIVED: 19 December 2025

WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)
Sewer Line (1000 UPVC) (unless noted otherwise)		
Stormwater Line (1000 UPVC) (unless noted otherwise)		
Stormwater Line (1500 UPVC) (unless noted otherwise)		

NOTES:
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.
3. 500 required for multiple shower heads.
4. Showers to comply with N.C.C. 10.2.14.
5. Falls to floor waste to be minimum 1:80 & maximum 1:50

- LEGEND
ET = Elec. Turret
SV = Stop Valve
CLC = Comms Lot Connection
ELC = Elec. Lot Connection
SLC = Sewer Lot Connection
Top RL:11.11
Inv. RL:8.78
SWLC = Stormwater Lot Connection
Top RL:10.38
Inv. RL:9.55
MH 1 = Sewer Manhole
Top RL:11.42
Lot Connect. Inv RL:6.32
In Inv RL:6.29
Out Inv RL:6.29
SWRE = Stormwater Rod Eye
Top RL:10.55
Inv. RL:9.23
CM = EX. CORNER MARK
Peg
RL:12.44



GPS DATA SCALE LOCATION
JOB CONTROL POINT
POINT NO: 16
DESCRIPTION: R/S IN KERB#
GPS SCALE FACTOR = 1.000396592
E: 520599.835
N: 5264928.400
RL: 10.532
EPU = 0.04%%P

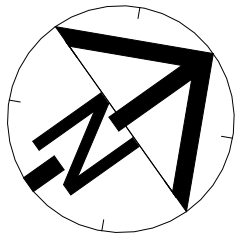
- GENERAL NOTES:
1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
 3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE. IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
 4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.
9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
10. BOUNDARIES ARE COMPILED ONLY FROM SP181554 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
11. 3D DATA TURNED OFF IN LAYER CONTROL.
 - 3D TIN
 - MAJOR CONTOUR 3D
 - MINOR CONTOUR 3D

All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.



Soil classification: P			<p>- Wet areas to comply with NCC 10.2 and AS3740</p>	<p>Notes</p> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info		DRAINAGE PLAN	
Refer to Soil Report for nominated founding depth and description of founding material.					ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS) 138 Stony Point Drive, AUSTINS FERRY		Drawn CK	AP2025-2518
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3								Date 02 October 2025	Sheet
Amendment changes as per cover sheet								Scale 1 : 200	01a/03



GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.

9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

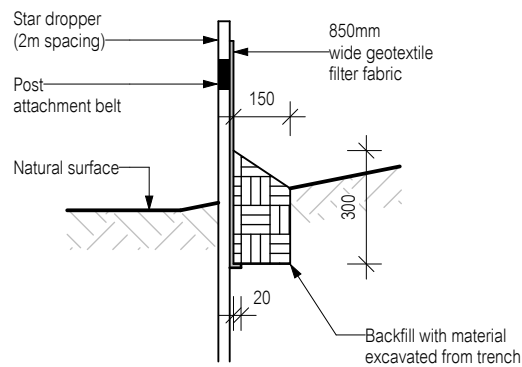
10. BOUNDARIES ARE COMPILED ONLY FROM SP181554 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

11. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

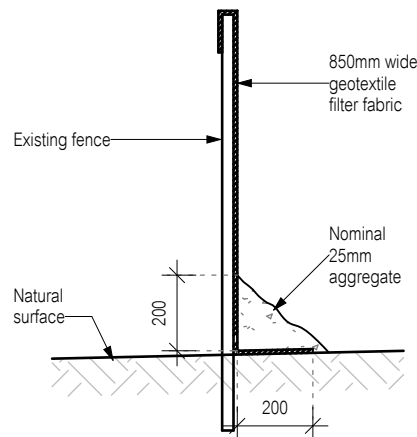
LEGEND

ET = Elec. Turret
SV = Stop Valve
CLC = Comms Lot Connection
ELC = Elec. Lot Connection
SLC = Sewer Lot Connection
Top RL:11.11
Inv. RL:8.78
SWLC = Stormwater Lot Connection
Top RL:10.38
Inv. RL:9.55
MH 1 = Sewer Manhole
Top RL:11.42
Lot Connect. Inv RL:6.32
In Inv RL:6.29
Out Inv RL:6.29
SWRE = Stormwater Rod Eye
Top RL:10.55
Inv. RL:9.23
CM = EX. CORNER MARK
Peg
RL:12.44



SILT STOP TYPE 1

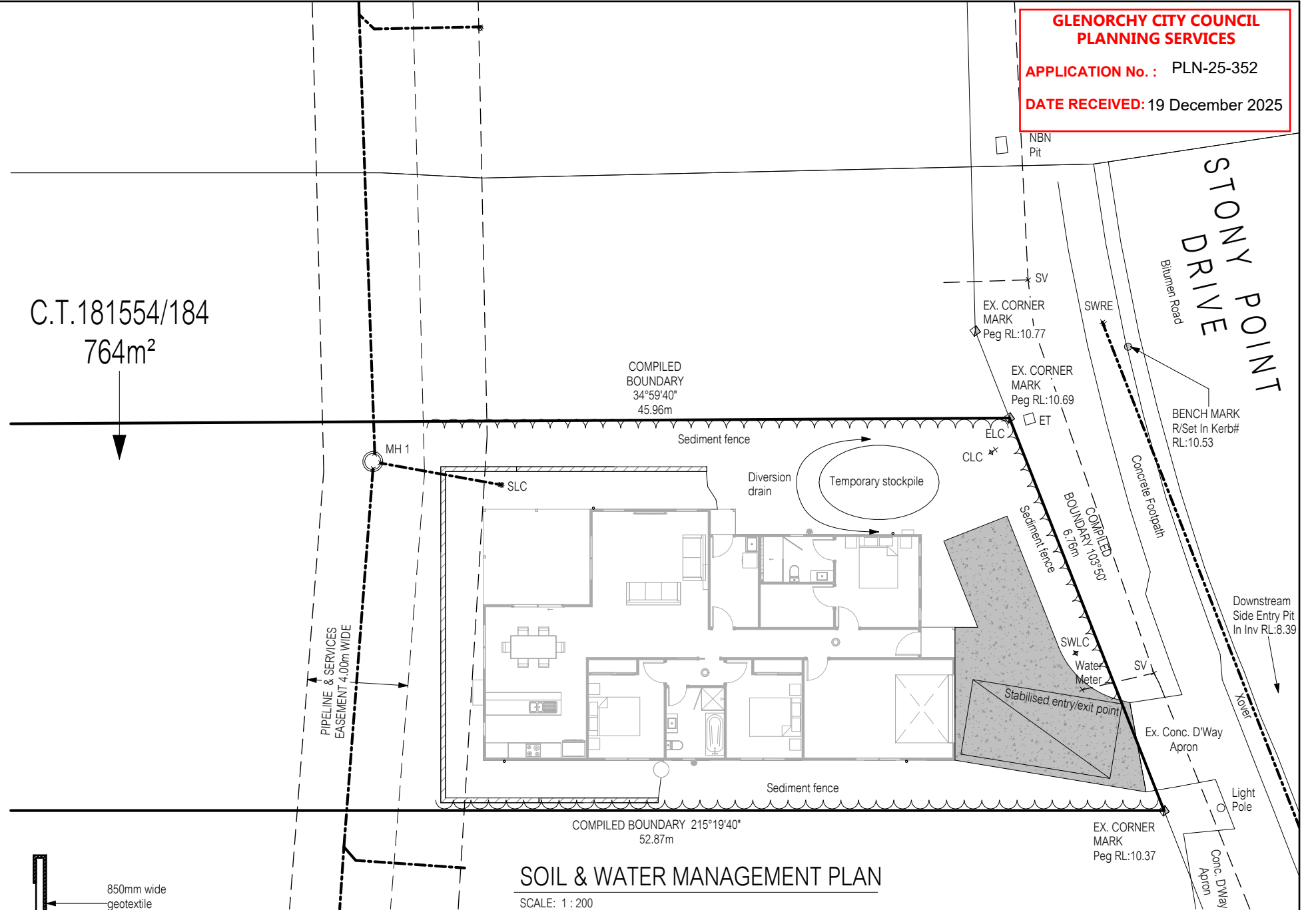
TEMPORARY FENCE 1:20



SILT STOP TYPE 2

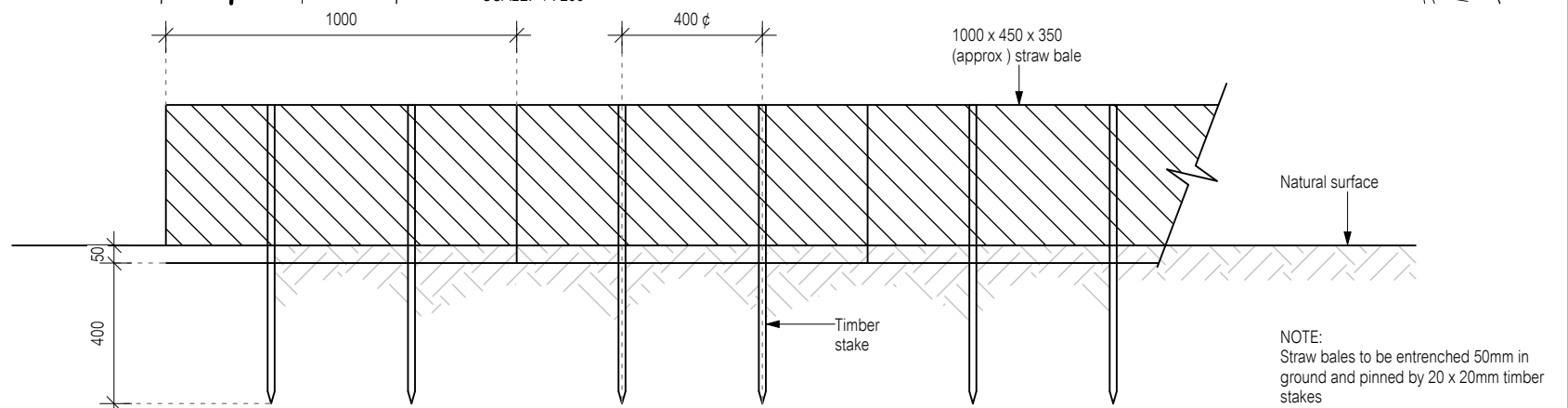
EXISTING FENCE 1:20

C.T.181554/184
764m²



SOIL & WATER MANAGEMENT PLAN

SCALE: 1 : 200



STRAW BALE SEDIMENT TRAP SECTION DETAIL

SCALE 1:20

0 2 4 6 8m
1:200

No.	Date	Int.	Amendment changes as per cover sheet
-----	------	------	--------------------------------------

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:

ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

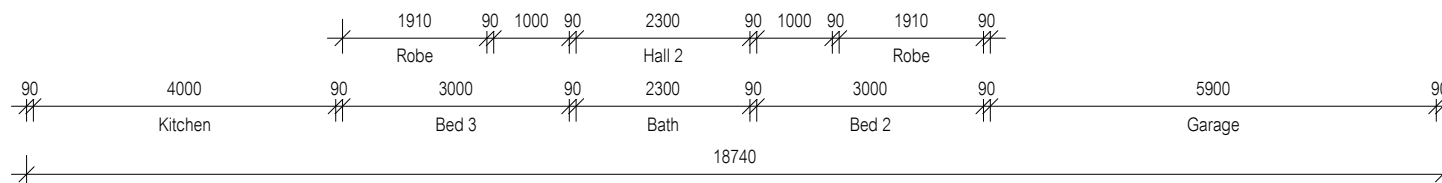
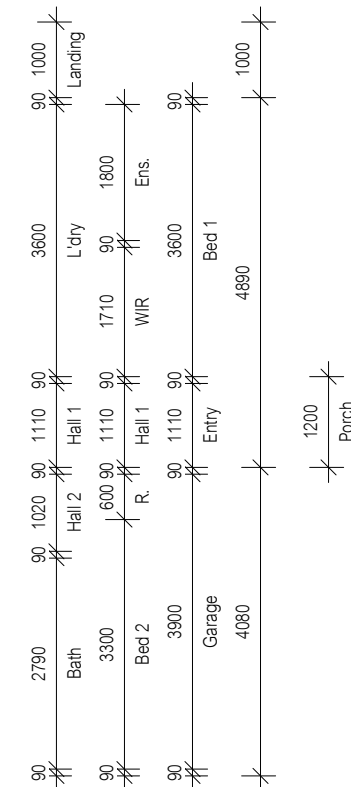
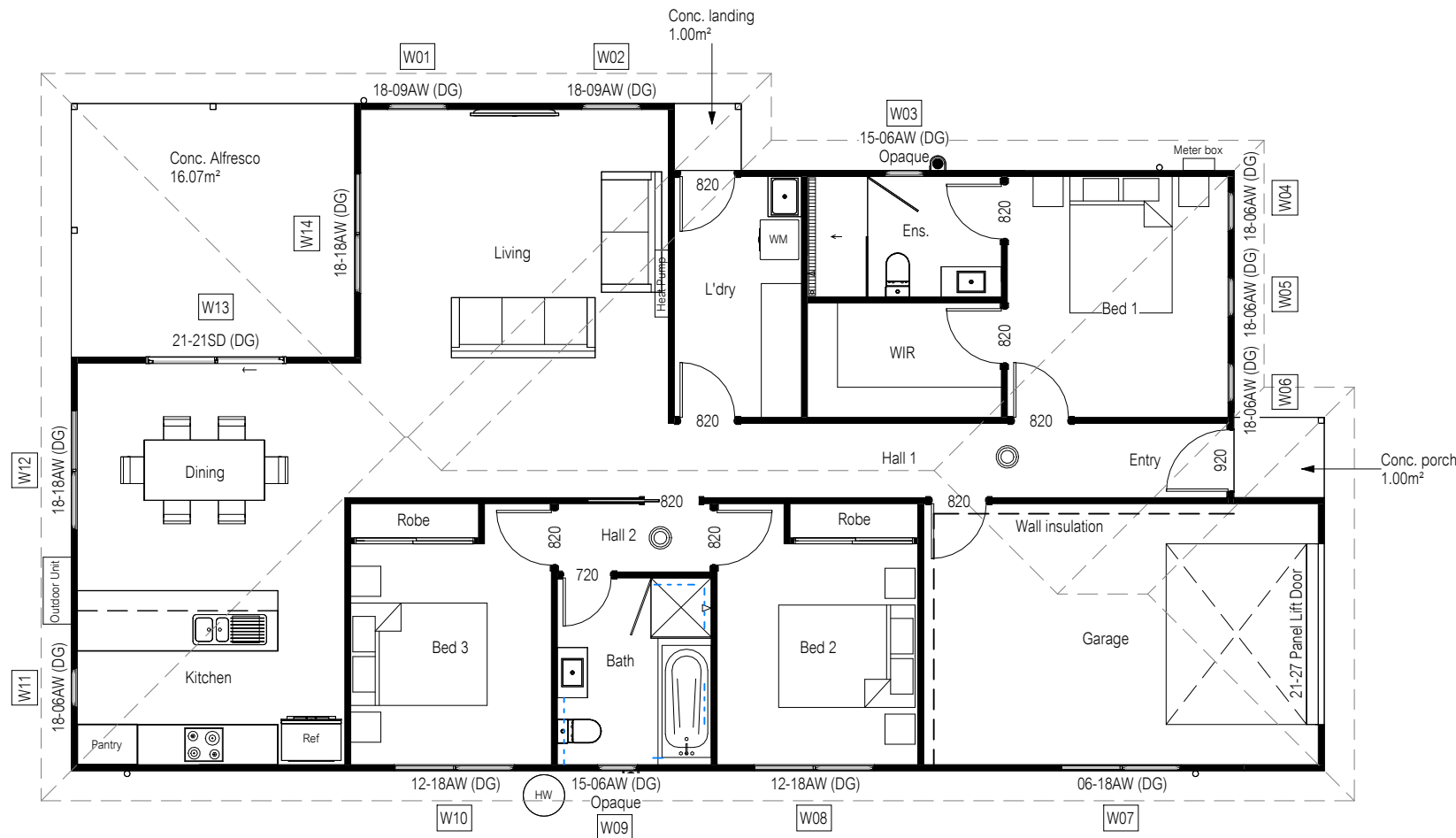
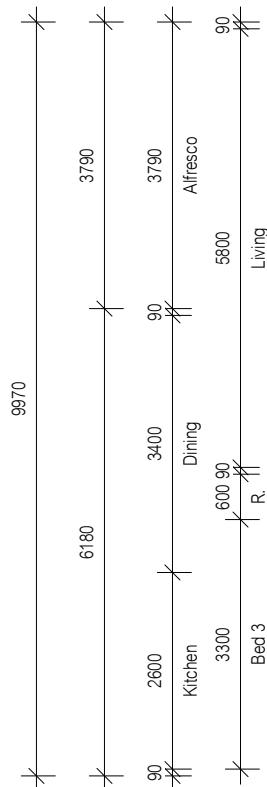
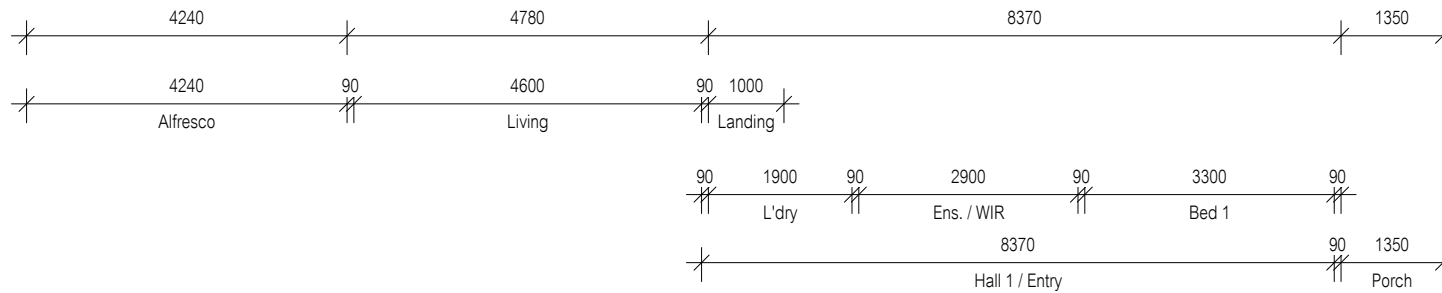
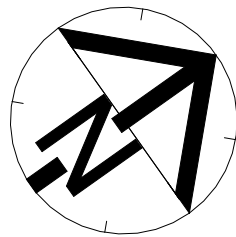
PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS)
138 Stony Point Drive,
AUSTINS FERRY



SOIL & WATER MANAGMENT PLAN

Drawn	CK	AP2025-2518
Date	02 October 2025	Sheet
Scale	As indicated	

01b/03



Floor Area = 154.45m²

- Articulation joints
- Smoke Alarm (interconnected where more than 1)

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info
PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS)
138 Stony Point Drive,
AUSTINS FERRY



FLOOR PLAN

Drawn	CK	AP2025-2518
Date	02 October 2025	Sheet
Scale	1 : 100	02/03
Copyright ©		

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:
AJ - Articulation Joint
BV - Brick Vent

Shadows shown for stylisation purposes only

All windows to have low reflective finish

A	19 Nov. 2025	SW
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:

ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS)

138 Stony Point Drive,
AUSTINS FERRY



ELEVATIONS

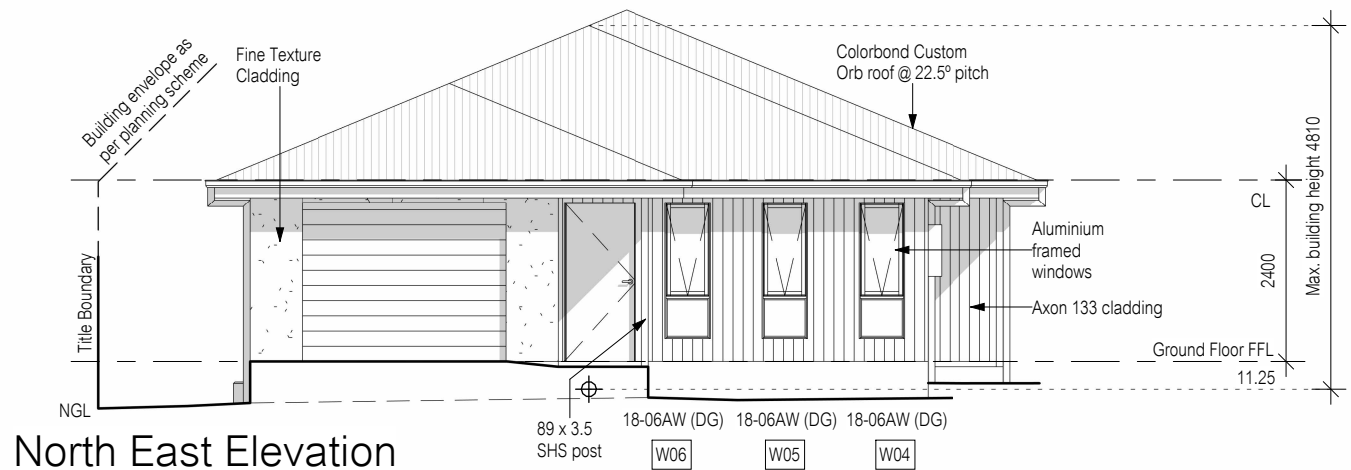
Drawn CK AP2025-2518

Date 02 October 2025 Sheet

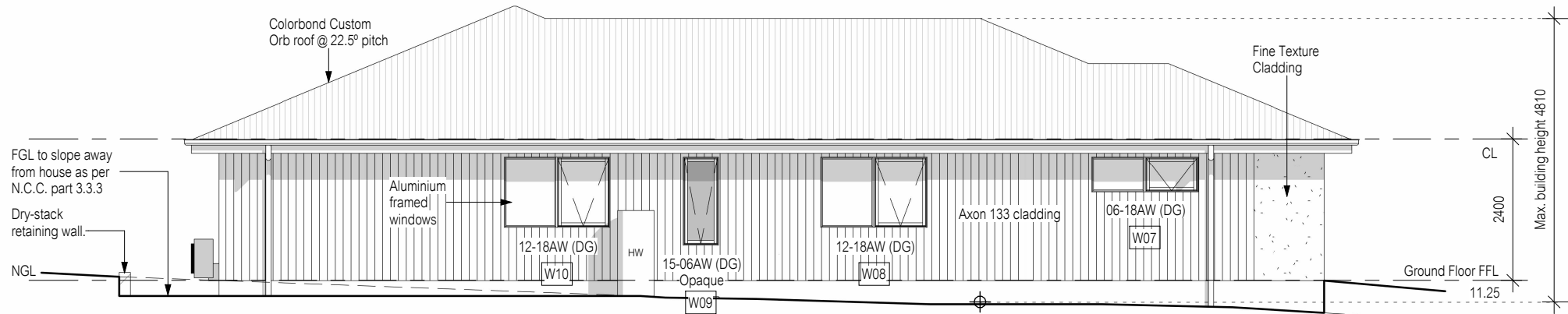
Scale 1 : 100

Copyright ©

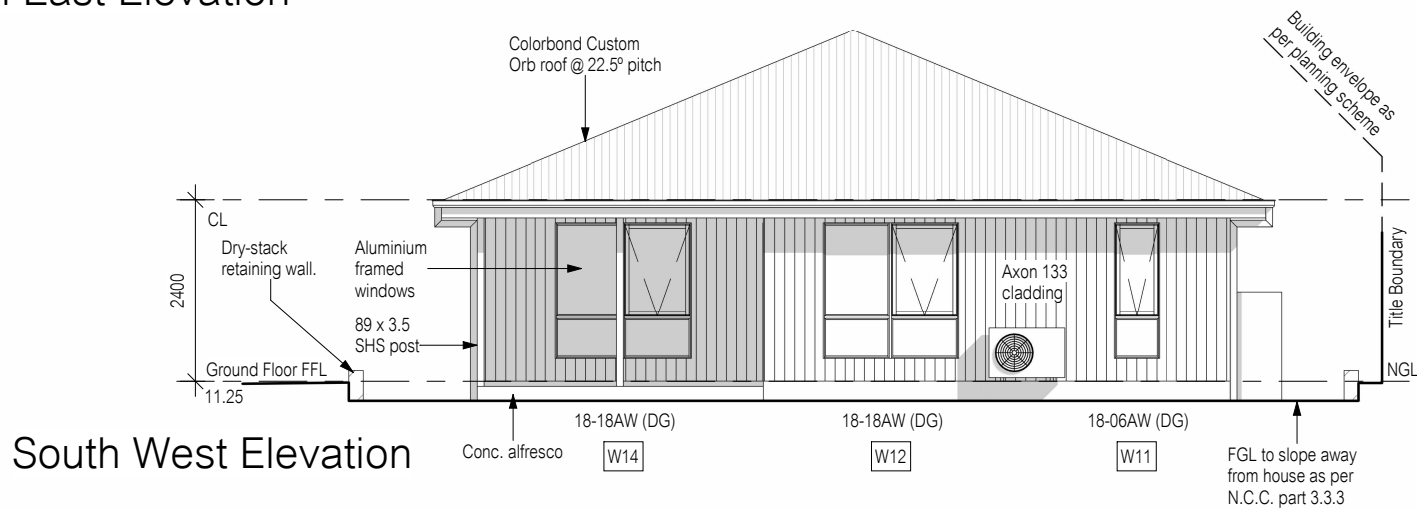
03/03



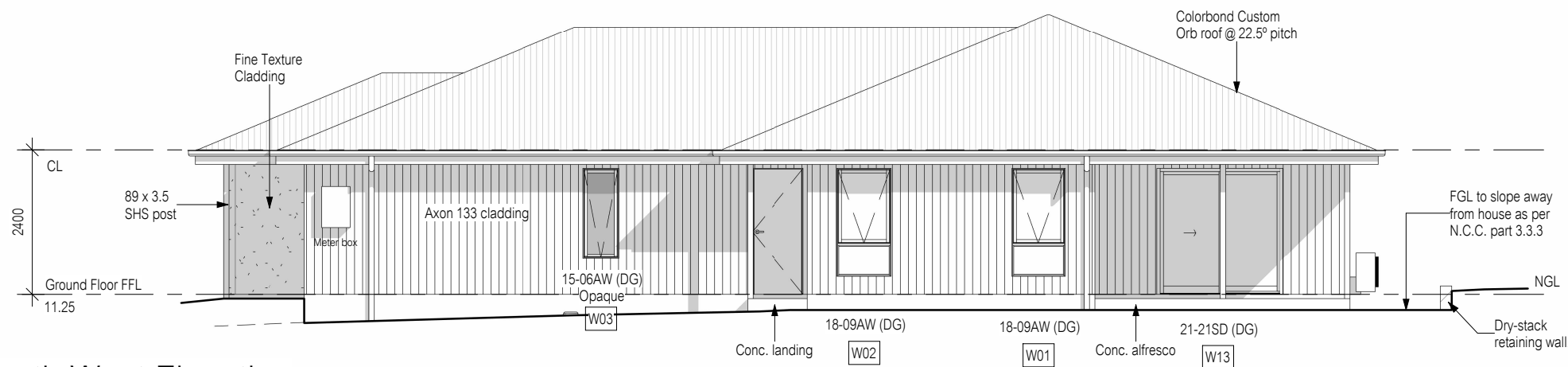
North East Elevation



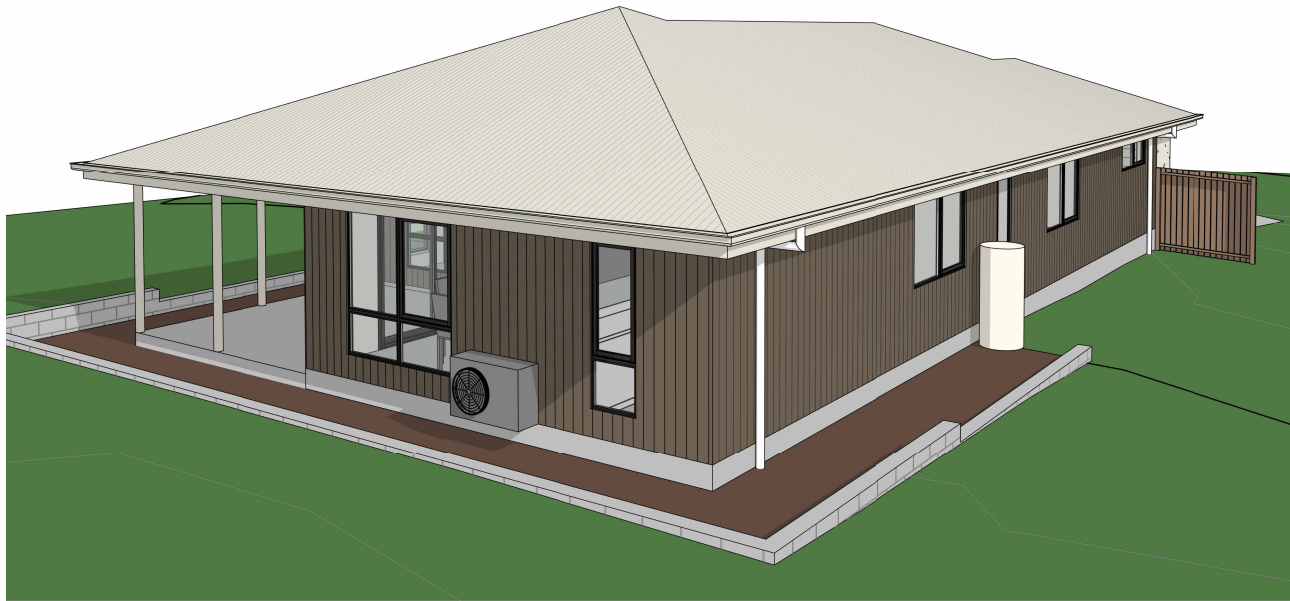
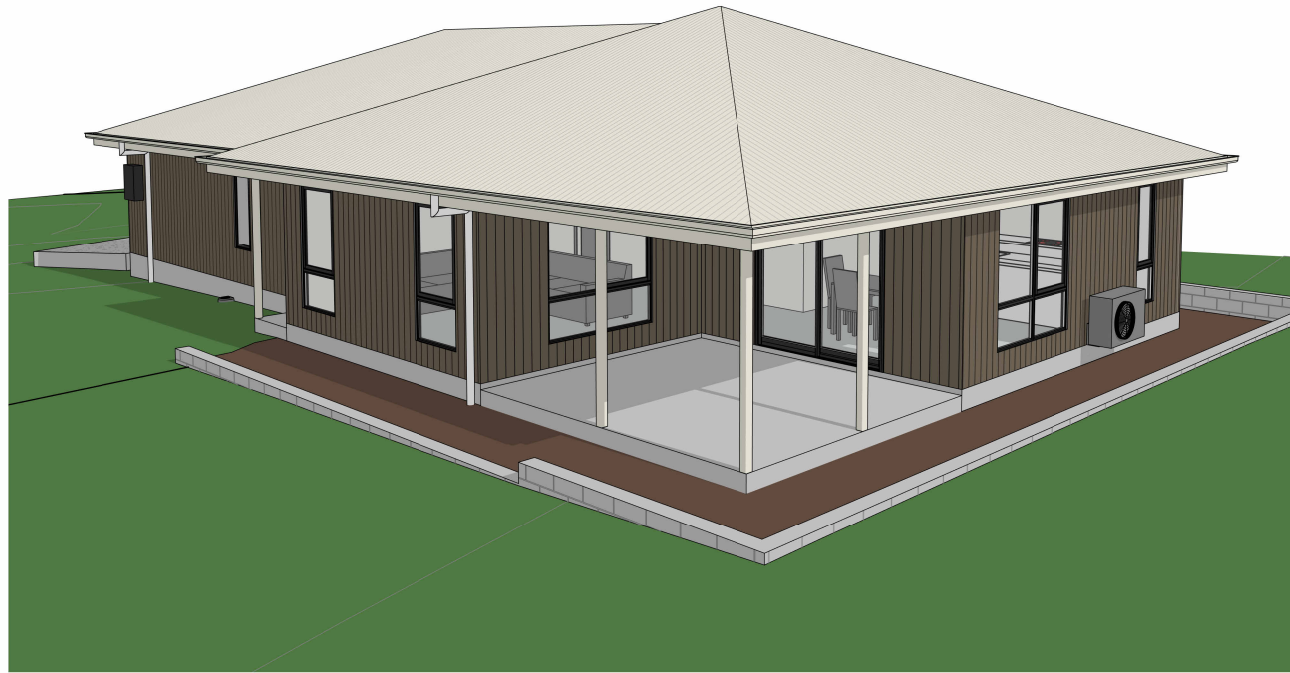
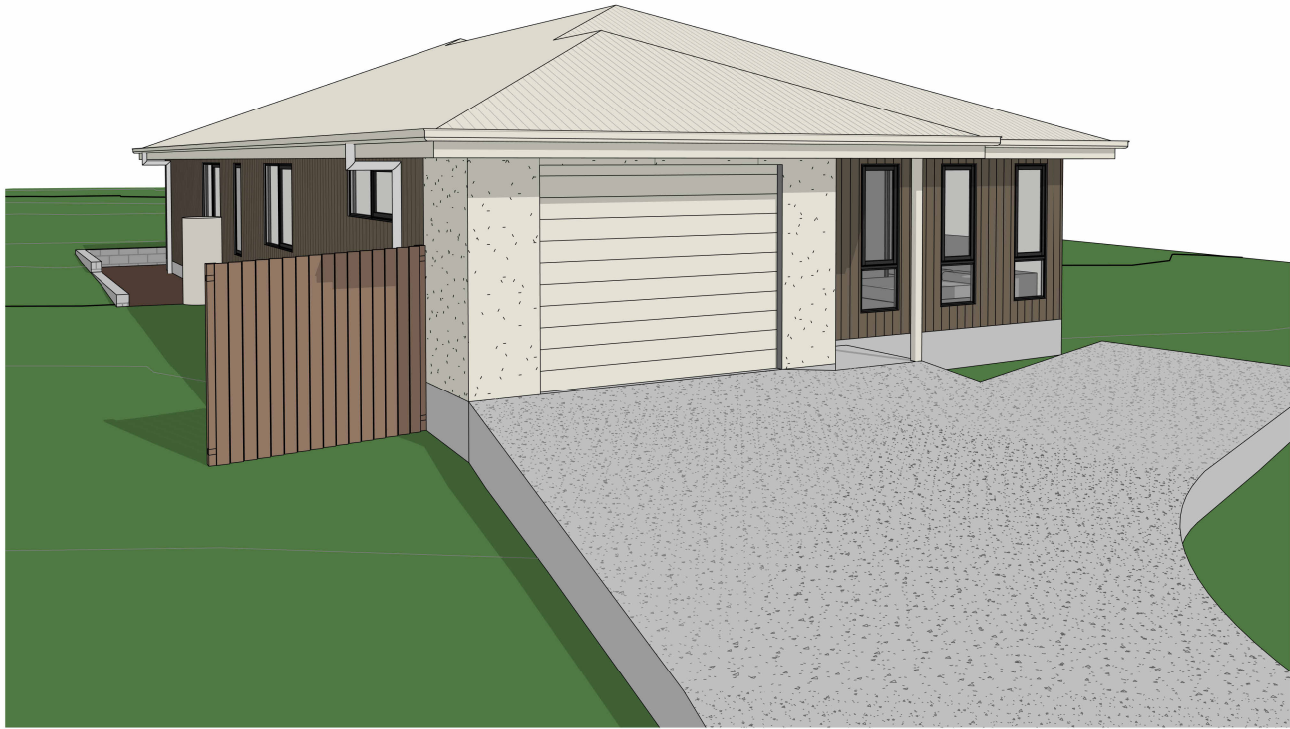
South East Elevation



South West Elevation



North West Elevation



No.	Date	Int.	Amendment changes as per cover sheet	Shadows shown for stylisations purpose only
-----	------	------	--------------------------------------	---

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:

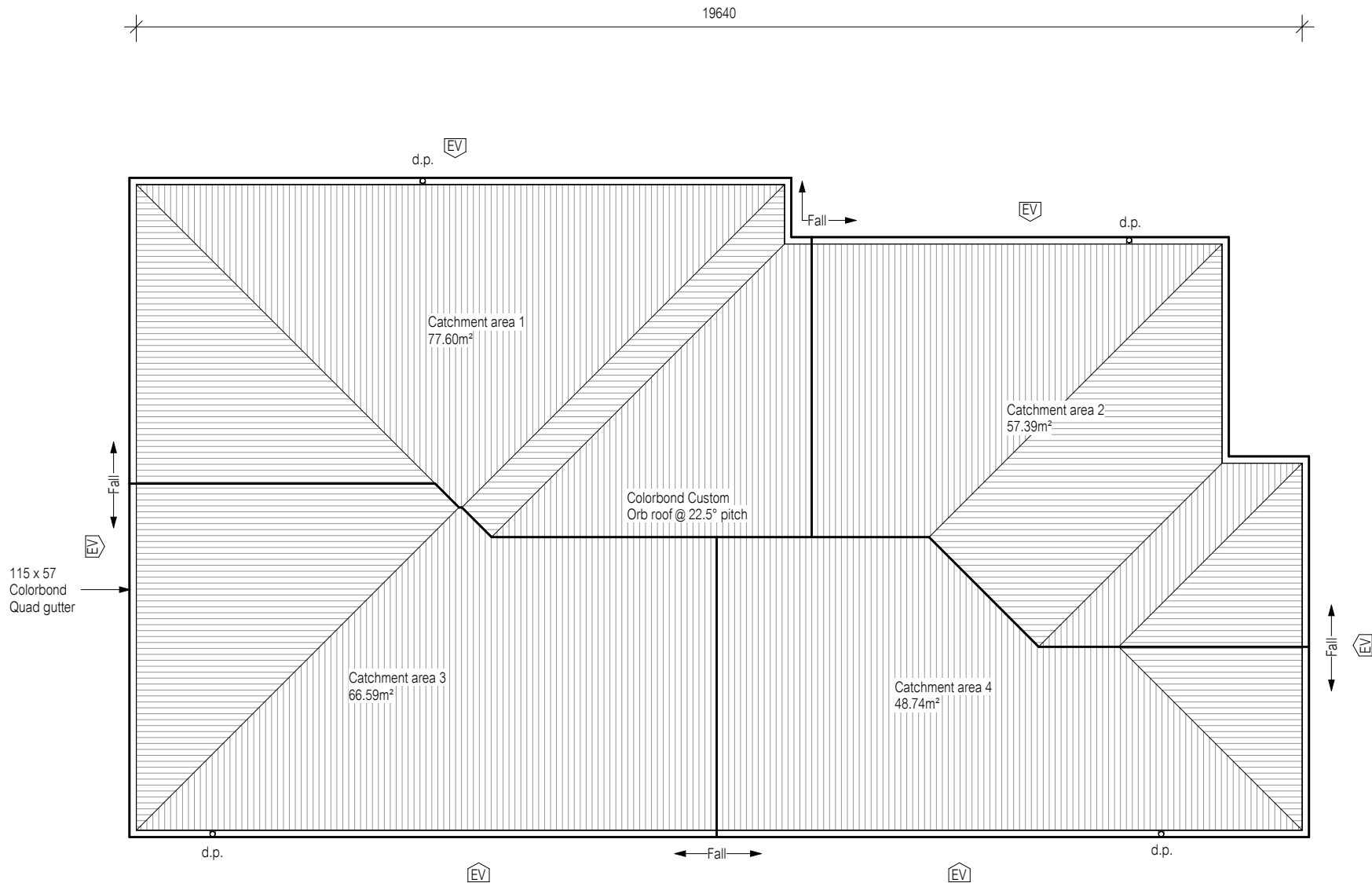
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS)
138 Stony Point Drive,
AUSTINS FERRY



PERSPECTIVE VIEWS		
Drawn	CK	AP2025-2518
Date	02 October 2025	Sheet
Scale		03a/03
Copyright ©		



- must be 0.5 L/s/m.
- Batten fixings:
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.
- Batten spacing:
75 x 38 F8
@ 900 Centre
- Colorbond fixings:
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah¹	199.79	Area of Roof (excluding 115mm Quad gutter) (m²)
Ah²	206.86	Area of Roof (including 115mm Quad gutter) (m²)
Ac	250.30	Ah² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm²)
DRI	83.2	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	78	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m²)
Required Downpipes	3.21	Ac ÷ Acdp
Downpipes Provided	4	

Sarking to be cut / discontinuous along ridge line.
Custom orb profile to provide N.C.C. required ventilation between ridge capping and roofing sheet.

EAVES VENT NOTE:
BRADFORD CSR POLY EAVE VENT (23,700mm²).
6 VENTS EVENLY SPACED

			<div>Notes</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Do not scale from these drawings.• No changes permitted without consultation with designer.	Designer:	Client / Project info	<div></div>	ROOF PLAN			
No.	Date	Int.		Amendment changes as per cover sheet	ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		PROPOSED RESIDENCE (PROFILE CONSTRUCTIONS) 138 Stony Point Drive, AUSTINS FERRY	Drawn	CK	AP2025-2518
					Date		02 October 2025	Sheet		
					Scale		1 : 100	11/03		