

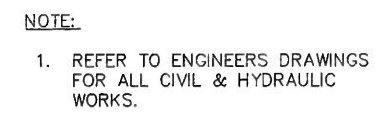
DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-189
PROPOSED DEVELOPMENT:	Change of use for Tenancy 2 to Marine and Motor Repairs (Service Industry)
LOCATION:	9 Farley Street Glenorchy
APPLICANT:	Mcpherson Auto And Marine Trimmers
ADVERTISING START DATE:	05/12/2025
ADVERTISING EXPIRY DATE:	19/12/2025

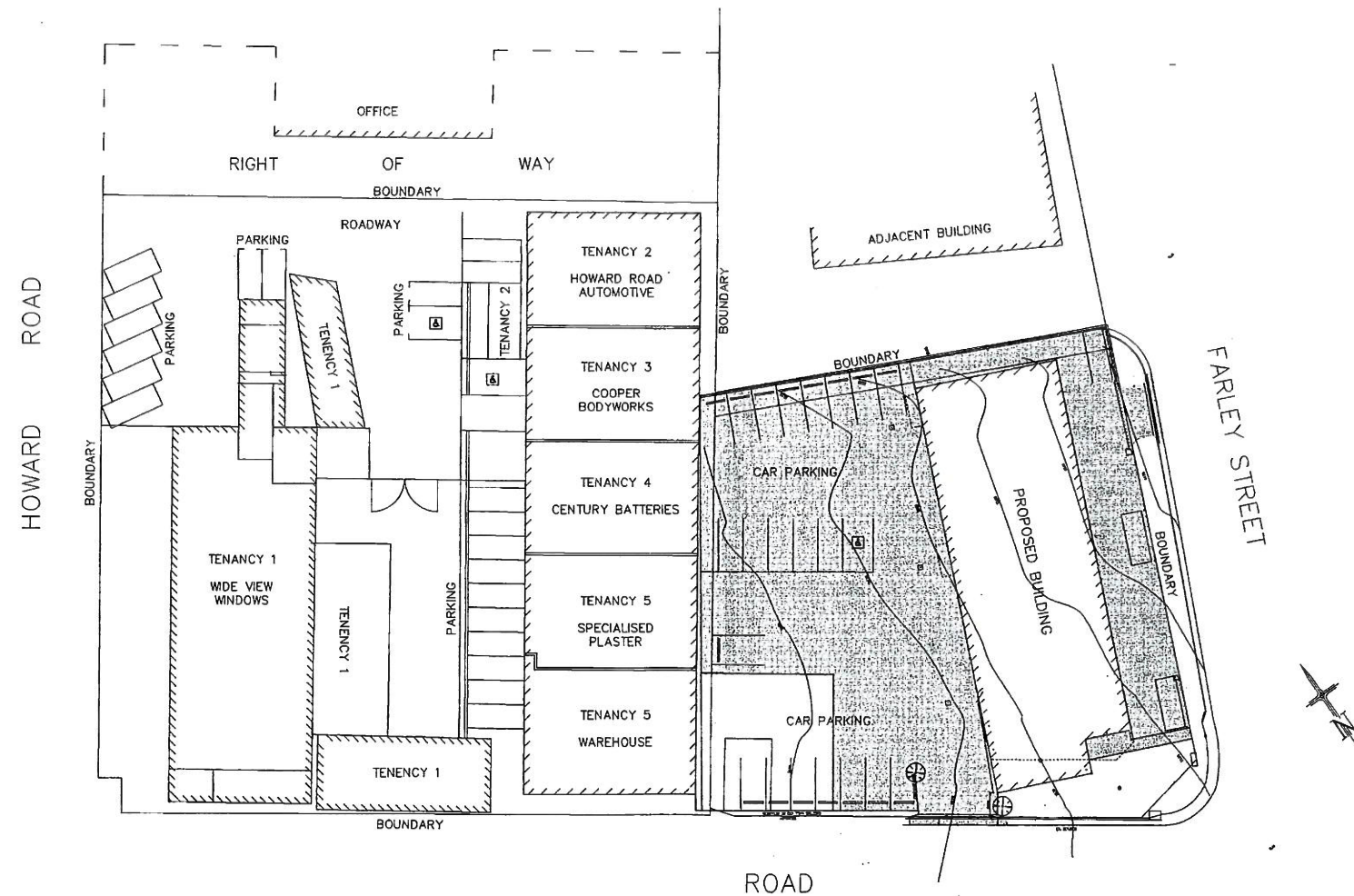
Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **19/12/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **19/12/2025**, or for postal and hand delivered representations, by 5.00 pm on **19/12/2025**.



DRAMA T.L	DATE 05.08.2010	DRAWING No. 3.09 /WD02
SCALE 1:200 AT A2	PROJECT No. 3.09	



PLANNING SUMMARY

GLENORCHY CITY COUNCIL
PLANNING ZONE: MAJOR IMPACT ZONE
ROAD SETBACKS: 6m
MAX. BUILDING HEIGHT: 12m

SITE AREA: 6329m²
AREA OF EXISTING BUILDING TO BE REMOVED:
317m²
NEW BUILDING SITE COVER AREA: 577m²
TOTAL WAREHOUSE FLOOR AREA: 895.88m²

WAREHOUSE 1
G FLOOR: 137m²
NOT INC. WC & TEA SINK.
1ST FLOOR: 63m²
TOTAL FLOOR AREA: 200m²
CAR SPACES REQUIRED: 2
CAR SPACES PROVIDED: 2

WAREHOUSE 2
G FLOOR: 137m²
NOT INC. WC & TEA SINK.
1ST FLOOR: 63m²
TOTAL FLOOR AREA: 200m²
CAR SPACES REQUIRED: 2
CAR SPACES PROVIDED: 2

WAREHOUSE 3
G FLOOR: 262m²
1ST FLOOR: 51m²
TOTAL FLOOR AREA: 351m²
CAR SPACES REQUIRED: 4
CAR SPACES PROVIDED: 4

CARTAKERS RESIDENCE:
2ND FLOOR: 164.88m²
CAR SPACES REQUIRED: 2
CAR SPACES PROVIDED: 2

TOTAL CAR PARKING ON
SITE: 48 CARS.

SHANE MANN & ASSOCIATES
Architecture & Interior Design

ABN: 98 375 524 257

85 Elizabeth Street, Hobart, Tasmania 7000

Phone: (03) 6231 6999 Fax: (03) 6231 6988

Mobile: 0419 993 183

E-mail: smann@southcom.com.au



PROJECT
PROPOSED NEW WAREHOUSE BUILDING
9 FARLEY STREET
GLENORCHY

DRAWING TITLE
FULL SITE PLAN.

DATE	05.08.2010	DATE	
SCALE	1:500 AT A2	PROJECT No.	3.09
			3.09 /W001

COPY 7.

SHANE MANN & ASSOCIATES
Architecture & Interior Design

ABN: 98 375 524 257

85 Elizabeth Street, Hobart, Tasmania

Phone: (03) 6231 6999 Fax: (03) 6231

Mobile: 0419 993 163

E-mail: smann@southcoast.com.au

PROJECT: PROPOSED NEW WAREHOUSE BUILDING
9 FARLEY STREET
GLENORCHY

DATE: 05.06.2010
SCALE: 1:100 AT A2
DRAWN BY: 3.09

GROUND FLOOR PLAN.

DATE: 05.06.2010
SCALE: 1:100 AT A2
DRAWN BY: 3.09

DATE: 05.06.2010
SCALE: 1:100 AT A2
DRAWN BY: 3.09

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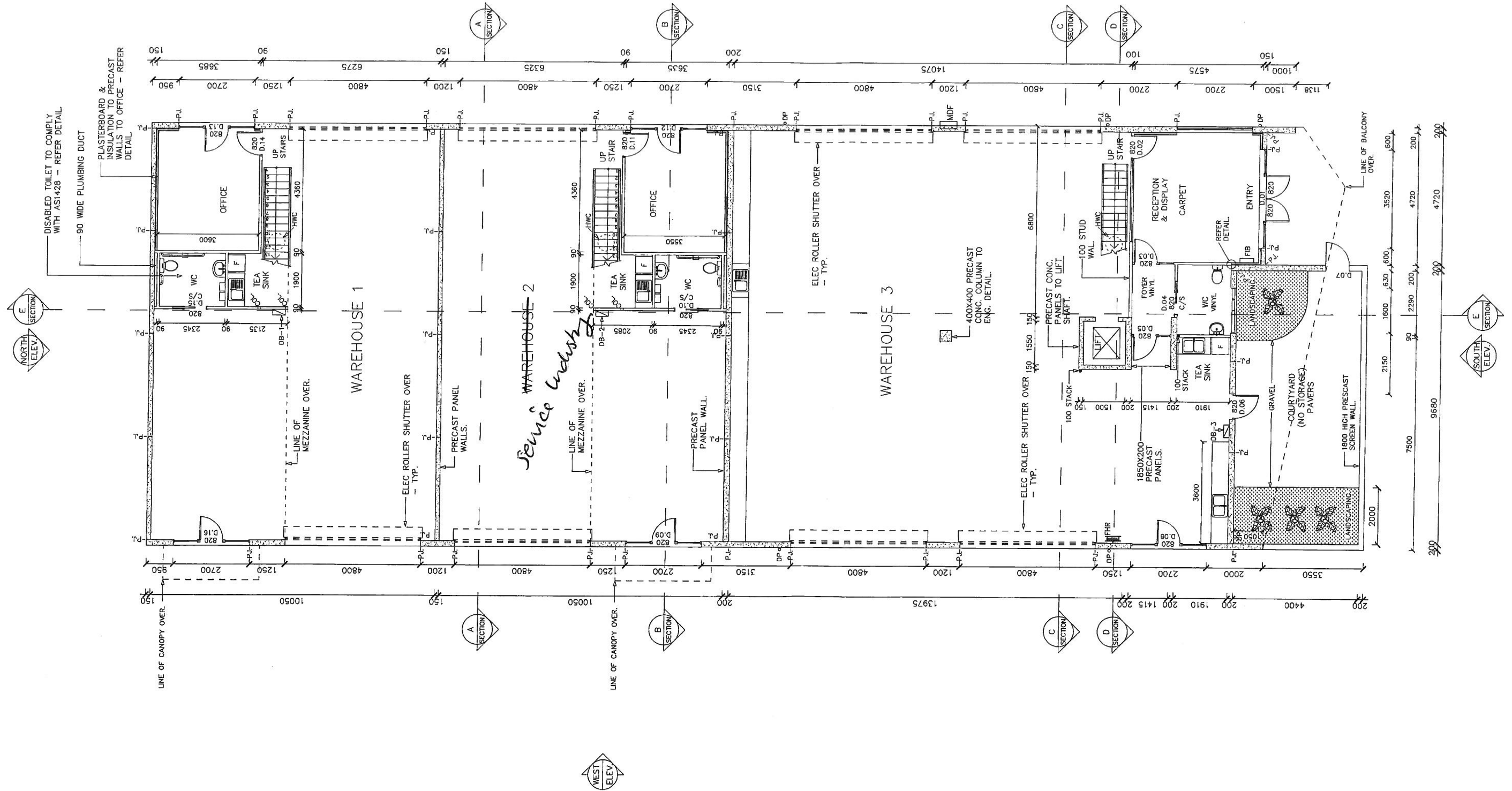
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SCALE: 1:100 AT A2
DRAWN BY: 3.09



LEGEND

COL. 89X3.5 SHS COLUMNS.
P.J. PANEL JOINTS.
DP. DOWNPIPE.
HWC. HOT WATER CYLINDER.
FHR. FIRE HOSE REEL.
MDF. MAIN DISTRIBUTION FRAME.

NOTES

1. REFER TO ENGINEERS DRAWINGS FOR LOCATION OF SAWN & CONTROL JOINTS TO FLOOR SLABS.
2. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL, CIVIL & HYDRAULIC DETAILS.

SHANE MANN & ASSOCIATES
Architecture & Interior Design

ABN: 98 375 524 257

85 Elizabeth Street, Hobart, Tasmania 7000

Phone: (03) 6231 8699 Fax: (03) 6231 1111

Mobile: 0419 993 163

E-mail: smann@southcoast.com.au



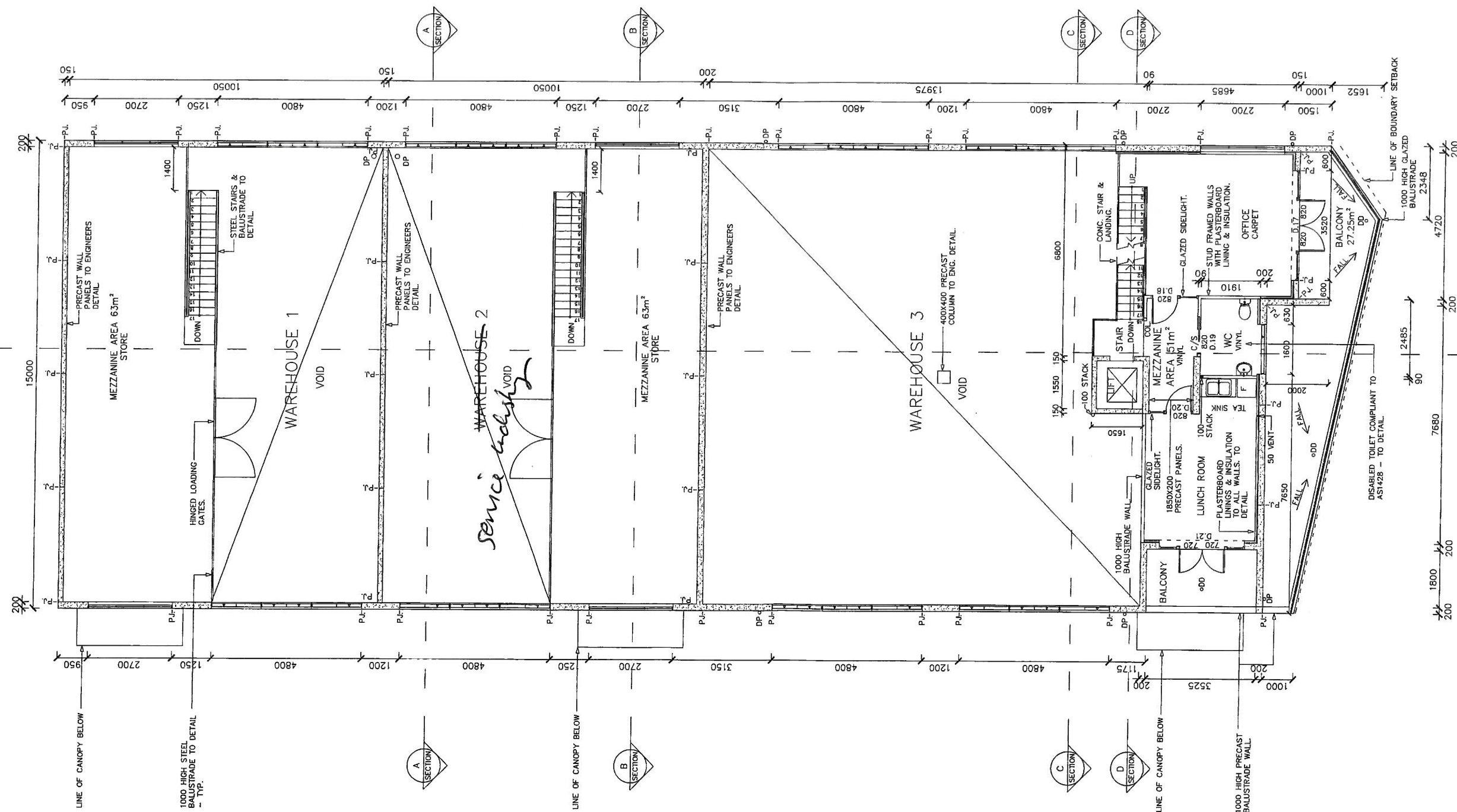
PROPOSED NEW WAREHOUSE BUILDING
9 FARLEY STREET
GLENORCHY

DATE: 05.08.2010
SCALE: 1:100 AT A2

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SCALE: 1:100 AT A2



SHANE MANN & ASSOCIATES
Architecture & Interior Design

ABN: 99 375 924 257

85 Elizabeth Street, Hobart, Tasmania 7000

Phone: (03) 6231 6999 Fax: (03) 6231 6999

Mobile: 0419 983 163

E-mail: smann@southroom.com.au



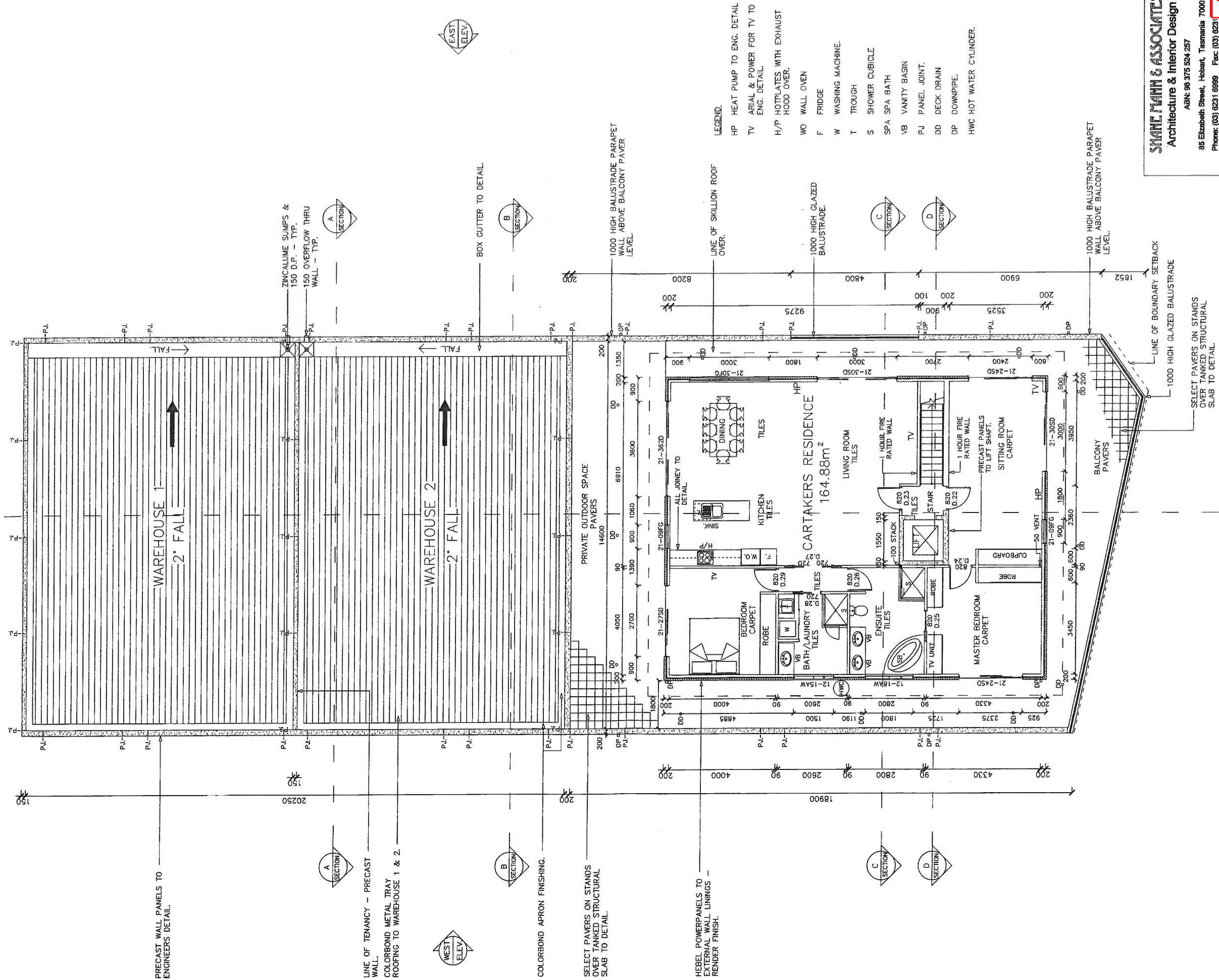
PROPOSED NEW WAREHOUSE BUILDING
1 PARKER STREET
GLENORCHY
TASMANIA 7000

SECOND FLOOR PLAN

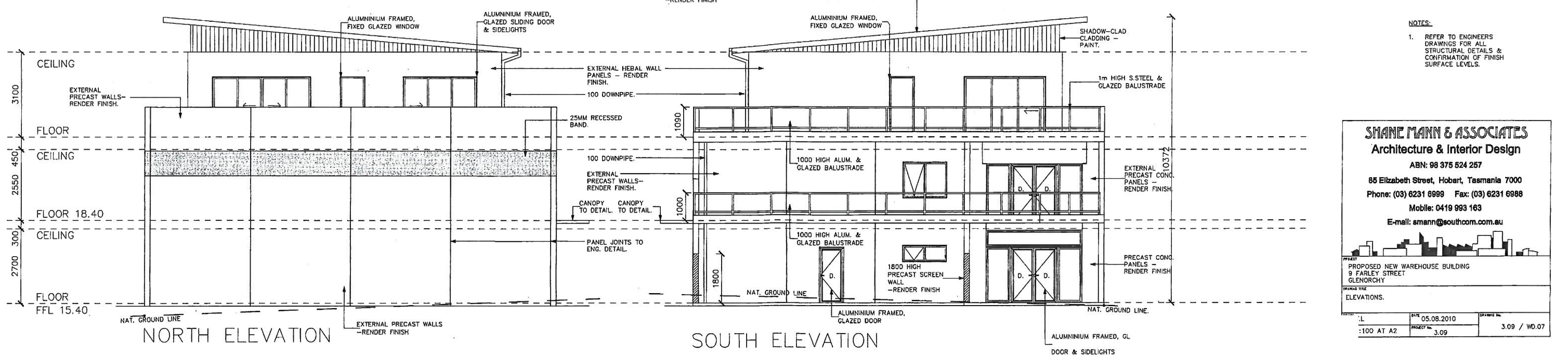
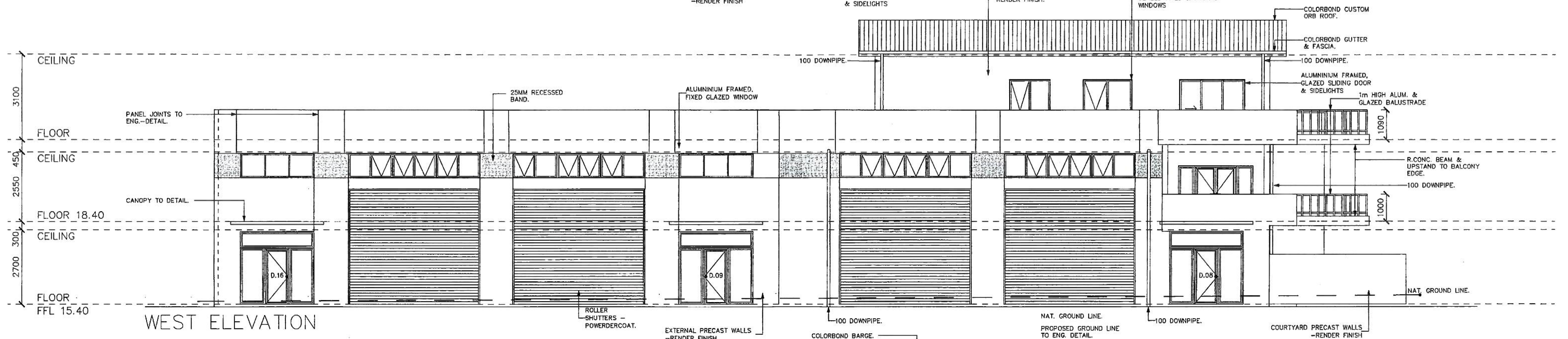
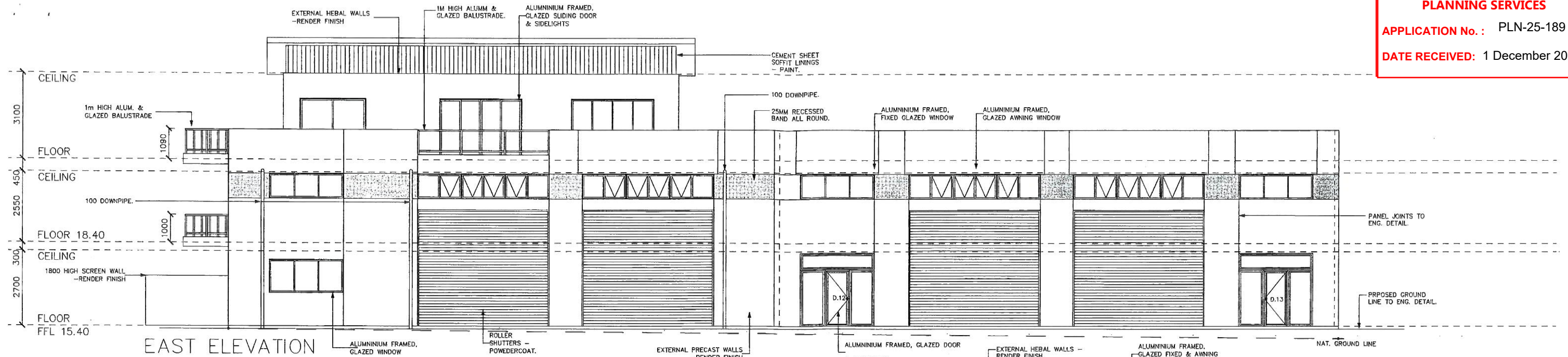
DATE: 05.08.2010

SCALE: 1:100 AT A2

PROJECT No. 3.09



- LEGEND.
- HP HEAT PUMP TO ENG. DETAIL
 - TV ARIAL & POWER FOR TV TO ENG. DETAIL
 - H/P HOTPLATES WITH EXHAUST HOOD OVER.
 - WO WALL OVEN
 - F FRIDGE
 - W WASHING MACHINE.
 - T TROUGH
 - S SHOWER CUBICLE
 - SPA SPA BATH
 - VB VANITY BASIN
 - PJ PANEL JOINT.
 - DD DECK DRAIN
 - DP DOWNPIPE.
 - HWC HOT WATER CYLINDER.



- NOTES:**
1. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL DETAILS & CONFIRMATION OF FINISH SURFACE LEVELS.

SHANE MANN & ASSOCIATES
Architecture & Interior Design

ABN: 98 375 524 257

85 Elizabeth Street, Hobart, Tasmania 7000

Phone: (03) 6231 6999 Fax: (03) 6231 6988

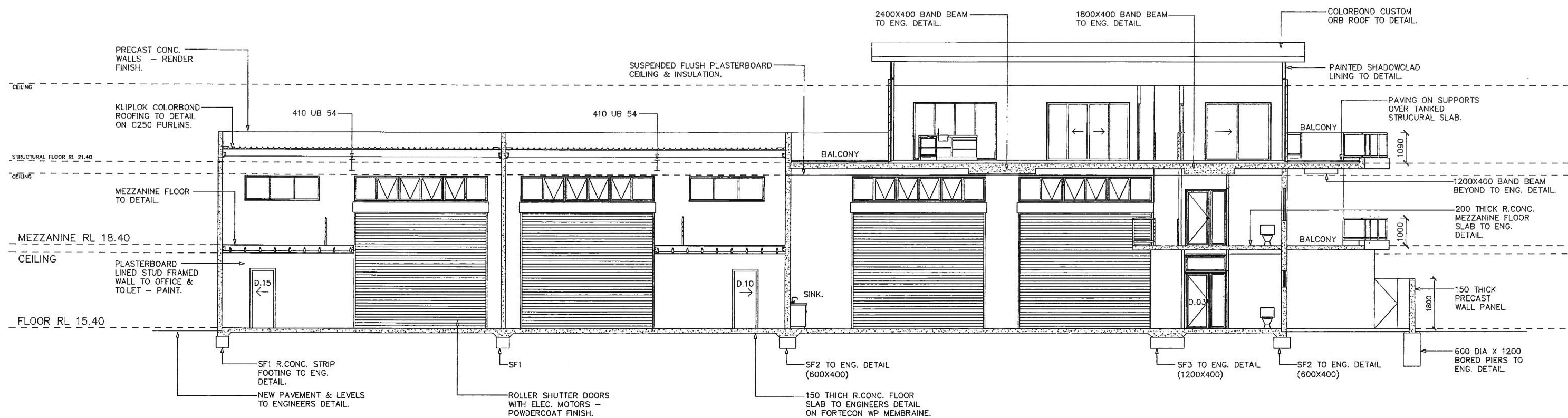
Mobile: 0419 993 163

E-mail: smann@southcom.com.au



PROPOSED NEW WAREHOUSE BUILDING
9 FARLEY STREET
GLENORCHY

DATE	05.08.2010	PROJECT No.	3.09 / W0.07
SCALE	1:100 AT A2	PROJECT No.	3.09



SHANE MANN & ASSOCIATES
Architecture & Interior Design

ABN: 98 375 524 257

85 Elizabeth Street, Hobart, Tasmania 7000

Phone: (03) 6231 6999 Fax: (03) 6231 6988

Mobile: 0419 993 183

E-mail: smann@southcom.com.au

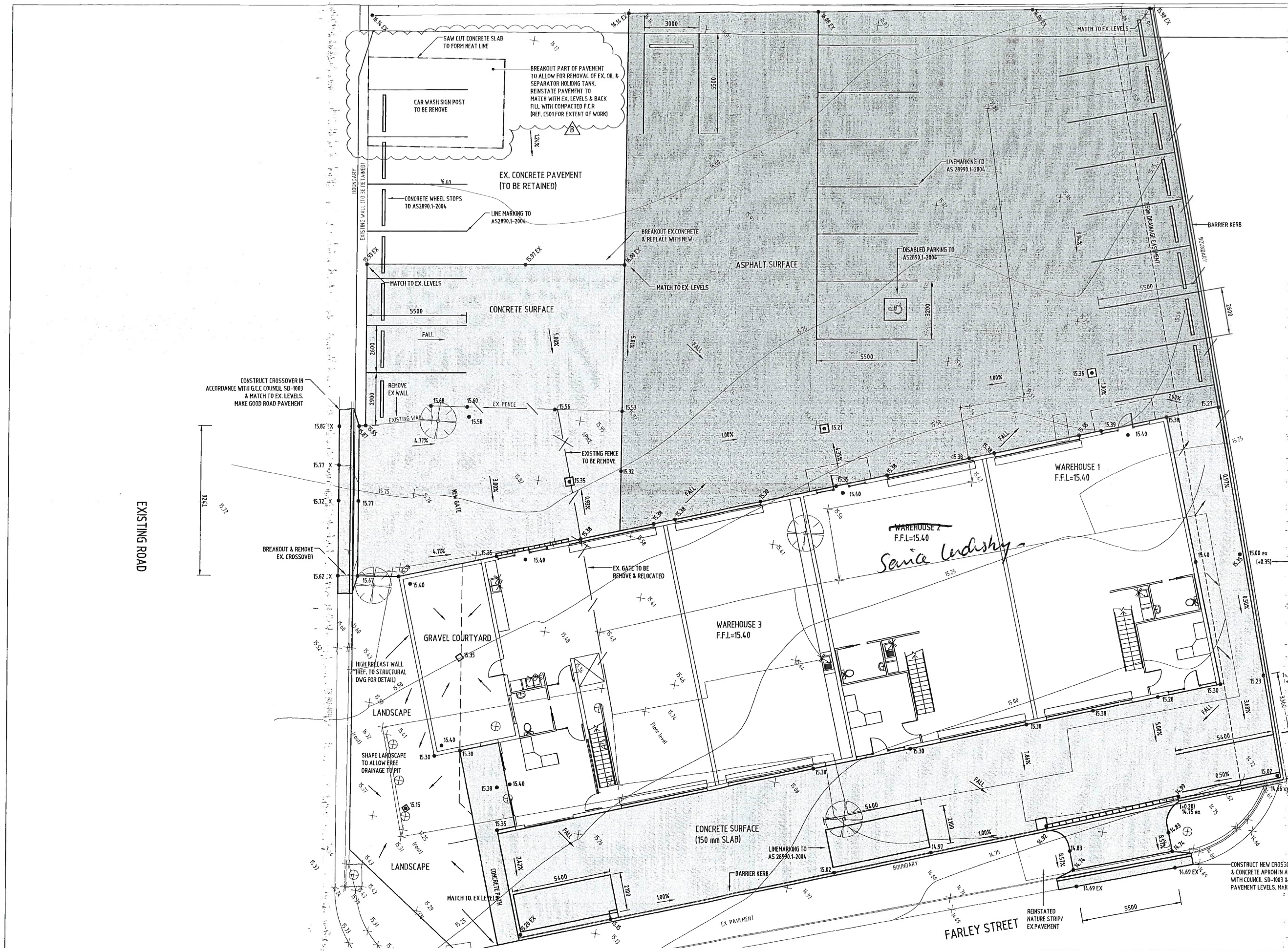
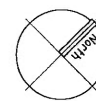


PROJECT
PROPOSED NEW WAREHOUSE BUILDING
9 FARLEY STREET
GLENORCHY

DRAWING TITLE
SECTION EE

DATE T.L.	DATE 05.08.2010	DATE 3.09 / WD.12
SCALE 1:100 AT A2	PROJECT NO. 3.09	

NOTE:
1. PARKING & TURNING AREAS WERE IN ACCORDANCE WITH AS2890.1-2004
2. LOCATE, CAP-OFF, SEAL & ABANDON FOR ANY REDUNDANT SERVICES.

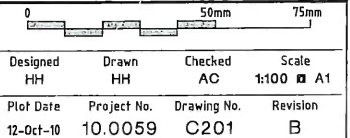
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consulting engineers

159 Davey Str
T 03 6223 8877
E mail@gandy

PROPOSED WAREHOUSE BUILDING
9 FARLEY STREET GLENORCHY

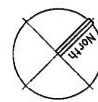
DRAWING TITLE
SITWORKS PLAN



1. PARKING & TURNING AREAS WERE IN ACCORDANCE WITH AS2890.1-2004.
2. LOCATE, CAP-OFF, SEAL & ABANDON FOR ANY REDUNDANT SERVICES.



REV	DESCRIPTION	APP'D	DATE
A	BUILDING APPROVAL	LS	02.08.10



consulting engineers
GANDY AND ROBERTS
159 Davey Street Hobart 7000
T 03 6223 8877 F 03 6223 7183
E mail@gandyandroberts.com.au

PROPOSED WAREHOUSE BUILDING
9 FARLEY STREET GLENORCHY
DRAWING TITLE
SITEWORKS PLAN

Designed HH	Drawn HH	Checked AC	Scale 1:100 @ A1
Plot Date 1-Aug-10	Project No. 10.0059	Drawing No. C201	Revision A

This architectural site plan depicts a property with several buildings and complex topography. The plan is oriented with a north arrow pointing towards the upper left. Key elements include:

- Boundaries:** The site is bounded on the left by an "EXISTING WALL (TO BE RETAINED)", on the bottom by "EX. PAVEMENT", and on the right by a "BOUNDARY".
- Topography:** Contour lines are drawn across the site, with numerous elevation points marked by crosses and numerical values such as 15.00, 15.75, 15.50, 15.25, 14.75, and 14.50.
- Buildings:** Several building footprints are shown, including a large central structure and smaller buildings along the boundaries. Internal details like stairs and room divisions are visible within some buildings.
- Infrastructure:** Features include an "EX. FENCE" and "EX. PAVEMENT" at the bottom, and an "EXISTING WALL" on the left. A "Floor level" is indicated in the central area.
- Other Markings:** The plan includes various symbols for trees, walls, and other site features, along with labels like "BOUNDARY" and "EX. BUTTRESS".

Designed HH	Drawn HH	Checked AC	Scale 1:100 @ A1
Plot Date 1-Aug-10	Project No. 10.0059	Drawing No. C203	Revision A



**McPHERSON'S AUTO
& MARINE TRIMMERS**
— TRADING HOURS —
Monday 8:00am - 5:00pm
Tuesday 8:00am - 5:00pm
Wednesday 8:00am - 5:00pm
Thursday 8:00am - 5:00pm
Friday 8:00am - 5:00pm
0437 389 953

800 +
800

**AUTO
TRIMMING
HERE!**