Glenorchy Planning Authority Meeting

Monday, 8 December 2025

AGENDA

Notice is hereby given of a Meeting of the Glenorchy Planning Authority to be held at the Council Chambers commencing at 3:30pm.

GLENORCHY CITY COUNCIL

Elected Members with an interest or concern in relation to a particular item on this Agenda, are invited to attend the meeting.

All application information is available to Elected Members for inspection upon request to the relevant Planning Officer.

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1 PLANNING AUTHORITY DECLARATION

The Chairperson stated that the Glenorchy Planning Authority (GPA) intended to act as a Planning Authority under the Land Use Planning and Approvals Act 1993.

2 APOLOGIES

3 PECUNIARY INTEREST NOTIFICATION

4 CONFIRMATION OF MINUTES (OPEN MEETING)

That the minutes of the Glenorchy Planning Authority meeting held on 10 November 2025 be confirmed.

5 PROPOSED USE AND DEVELOPMENT – SIX (6) MULTIPLE DWELLINGS – LOT 1 ALLUNGA ROAD, CHIGWELL

PROPOSED USE AND DEVELOPMENT - SIX (6) MULTIPLE DWELLINGS - LOT 1 ALLUNGA ROAD CHIGWELL

Author:	**Planning Officer: Sylvia Jeffreys**
Qualified Person:	**Planning Officer: Sylvia Jeffreys**
Property ID:	**9945568**

REPORT SUMMARY

Application No.:	**PLN-25-093**
Applicant:	**Field Labs**
Owner:	**Homes Tasmania (Hobart)**
Zone:	**General Residential Zone**
Use Class	**Residential**
Application Status:	**Discretionary**
Discretions:	**8.4.2 P1 Setbacks and building envelopes for all dwellings** **8.4.2 P3 Setbacks and building envelopes for all dwellings** **8.4.3 P2 Site coverage and private open space for all dwellings** **8.4.5 P1 Width of openings for garages and carports for all dwellings** **8.4.8 P1 Waste storage for multiple dwellings** **C2.5.1 P1.1 and P1.2 Car parking numbers** **C3.5.1 P1 Traffic generation at a vehicle crossing, level crossing or new junction** **C7.6.1 P1.1 Buildings and works within a waterway and coastal protection area or a future coastal refugia area** (The proposal meets all other applicable standards as demonstrated in the attached appendices)

Level 2 Activity?	**No**
42 Days Expires:	**9 December 2025**
Existing Land Use:	**Vacant**
Representations:	**1**
Recommendation:	**Approval, subject to conditions**
GPA Delegation	**Officers do not have delegation to determine 6 (six) or more multiple dwellings or residential car parking variations**

REPORT IN DETAIL

PROPOSAL

The application is for six (6) multiple dwellings on a vacant lot and includes a shared carport.

The proposed dwellings would be in two groups of three conjoined dwellings on either side of a carparking area. The dwellings are single storey with a raised basement and skillion roof. Each dwelling would have an open plan kitchen and living room area, two bedrooms and amenities on a floor area of 67.55m^2. There would be a small deck at the rear, a private front yard, as well as a backyard for each dwelling of at least 60m^2.

The proposed carparking area would provide for eight car parking spaces. There would be a space for each dwelling and two visitor spaces. The parking area would be covered by a carport. The access/egress would be in the middle and have a width of 5.5m. There would be two screened bin areas in front of the parking area on either side that would be at least 2.2m from the front boundary.

The proposal is shown in Figure 1 and Figure 2 below.

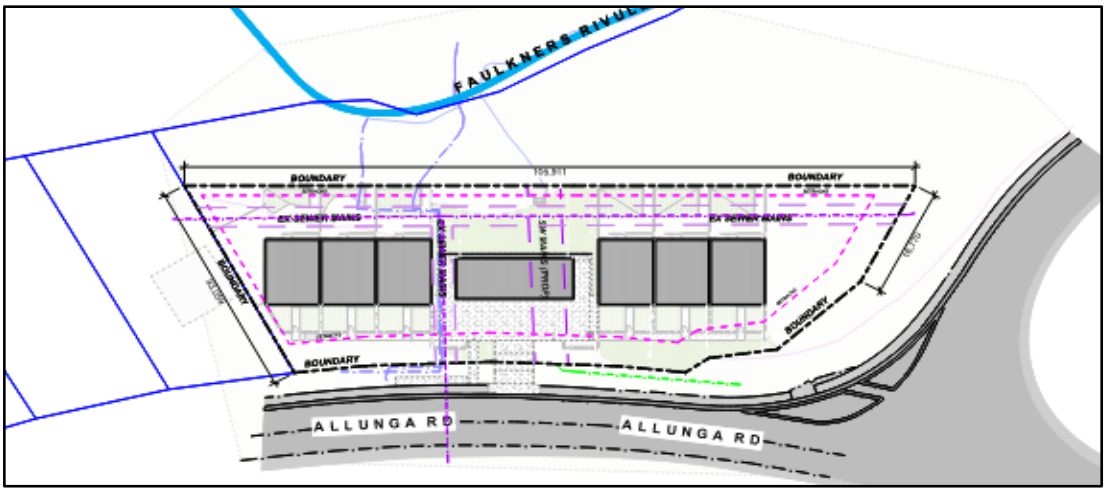


Figure 1: Proposed site layout - Field Labs

Figure 2: Image of proposal - Field Labs

The application was advertised for the statutory 14-day period with 1 representation received. The representation was concerned about flooding from a nearby creek.

The application is discretionary with regards to the frontage setback, building envelope, grade of private outdoor space, openings of carport, bins enclosure setback, parking shortfall of six spaces, traffic generation at a new crossover and works within a waterway and coastal protection area.

SITE and LOCALITY

The subject lot with title reference CT 187401/1, is located on the western side of Allunga Road, near the intersection with Claremont Link Road. The lot is vacant and has an irregular, elongated shape with an area of 2461m^2. A portion of the lot sits below a small embankment. The lot has a gentle slope towards Faulkners Rivulet that runs in the vicinity of the rear boundary. The lot is covered in grass except for a small group of trees. The only adjoining residential lot to the south contains a single dwelling. The other adjoining land is public land. The subject property is shown in Figure 3.

Figure 3: Subject property - theList

ZONE

The subject property is within the General Residential Zone (red) and adjoins the Environmental Management Zone (green) at the rear. The zoning map is shown in Figure 4.

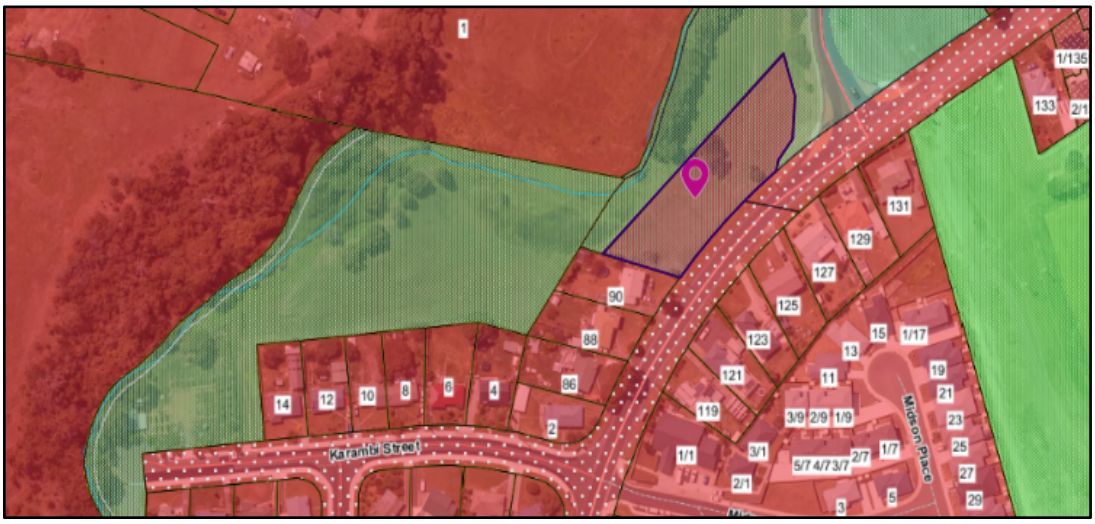


Figure 4: Zoning Map - theList

BACKGROUND

Extension of Time

The applicant granted an extension of time until 9 December 2025 to enable the application to be considered by the Glenorchy Planning Authority.

Application Documents

The following consultant report was submitted with the application:

- Traffic Impact Assessment – Hubble Traffic- October 2025

ASSESSMENT

STATE POLICIES, OBJECTIVES of LUPAA

There are no inconsistencies with any other State Policies or with the objectives of the *Land Use Planning and Approvals Act 1993* (LUPAA).

A condition is recommended requiring appropriate soil and water management to prevent erosion and the transport of sediments into surface waters, consistent with the State Policy on Water Quality Management.

TASMANIAN PLANNING SCHEME - GLENORCHY 2021

State Planning Provisions (SPP)

Administration

Exemptions (Tables 4.1 – 4.6)

There are no exemptions applicable.

Planning Scheme Operation (Does a General Provision, SAP or Code override Zone provisions?)

No general provisions or specific area plan apply. The following codes apply and prevail over the relevant Zone provisions if there is any conflict.

- C2.0 Parking and Sustainable Transport Code
- C3.0 Road and Railway Assets Code
- C7.0 Natural Assets Code

Use Class Description (Table 6.2):

The application is for multiple dwellings which fits under the use class Residential. The use is defined in Table 6.2 Use Classes as follows:

> *Residential: use of land for self-contained or shared accommodation. Examples include a secondary residence, boarding house, communal residence, home-based business, home-based child care, residential care facility, residential college, respite centre, assisted housing, retirement village and single or multiple dwellings.*

Other relevant definitions (Clause 3.0):

The following meanings in 3.0 Planning Terms and Definitions are of particular relevance:

> *Multiple Dwellings: means 2 or more dwellings on a site.*
>
> *Dwelling: means a building, or part of a building, used as a self-contained residence and which includes food preparation facilities, a bath or shower, laundry facilities, a toilet and sink, and any outbuilding and works normally forming part of a dwelling.*

Discretionary Use or Development

The application is discretionary under Clause 6.8.1 as follows:

> *The planning authority has discretion to refuse or permit a use or development if:*
>
> *(a) the use is within a use class specified in the applicable Use Table as being a use which is discretionary;*
>
> *(b) the use or development complies with each applicable standard but relies upon a performance criterion to do so; or*
>
> *(c) it is discretionary under any other provision of the planning scheme,*

The proposal is discretionary under (b) above as it relies on Performance Criteria as follows:

- *8.4.2 P1 Setbacks and building envelopes for all dwellings*
- *8.4.2 P3 Setbacks and building envelopes for all dwellings*
- *8.4.3 P2 Site coverage and private open space for all dwellings*
- *8.4.5 P1 Width of openings for garages and carports for all dwellings*
- *8.4.8 P1 Waste storage for multiple dwellings*
- *C2.5.1 P1.1 and P1.2 Car parking numbers*
- *C3.5.1 P1 Traffic generation at a vehicle crossing, level crossing or new junction*
- *C7.6.1 P1.1 Buildings and works within a waterway and coastal protection area or a future coastal refugia area*

General Provisions

No general provisions apply.

Zones

The land is within the General Residential Zone and the following zone purpose statements, use table, use standards and/or development standards apply to this proposal:

Zone Purpose Statements

The purpose of the General Residential Zone is:

8.1.1 To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided.

8.1.2 To provide for the efficient utilisation of available social, transport and other service infrastructure.

8.1.3 To provide for non-residential use that:

(a) primarily serves the local community; and

(b) does not cause an unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts.

8.1.4 To provide for Visitor Accommodation that is compatible with residential character.

Comment

The proposal accords with the zone purpose statement as it is for a residential use in an area where full infrastructure services are provided.

Use Table

The use class Residential (Multiple Dwellings) is 'permitted' within the General Residential Zone in 8.2 Use Table.

Use Standards

The standards in clause 8.3 Use Standards specifically relate to discretionary uses and visitor accommodation and are therefore not applicable to this proposal.

Development Standards for dwellings

The proposal accords with the relevant acceptable solutions as demonstrated in the attached Appendix, except as follows:

8.4.2 P1 Setbacks and building envelope for all dwellings

The proposal does not accord with the acceptable solution in clause 8.4.1 A1 with respect to the frontage setback. Therefore, the proposal relies on the related performance criteria as follows:

> *P1*
>
> *A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.*

Comment

The acceptable solution requires a frontage setback of 4.5m.

The front walls of the dwellings are well setback, but the design also includes level courtyards in front of each dwelling. Two of these courtyards step within the setback margin due to an irregular front boundary. The courtyard of Unit 5 has a setback of 3.975m and that of Unit 6 is 2.796m, with a retaining wall to elevate the area such that it is level. The other courtyards would comply. The courtyards have concrete base panels topped with slated fencing to a maximum height of 1.367m. These courtyards would sit partially below street level.

There would be also two bin enclosures that only have frontage setbacks of 2.235m and 2.656m. These have a 5.2m long, 1.1m high street front façade. The bin enclosures are assessed under the standard for waste storage that includes consideration of the frontage setback as the enclosure would meet the frontage fence exemption and is therefore not required to be assessed as a building envelope discretion.

The layout of the site shows the front enclosures stepping over the pink line which denotes the 4.5m frontage setback margin in Figure 5.

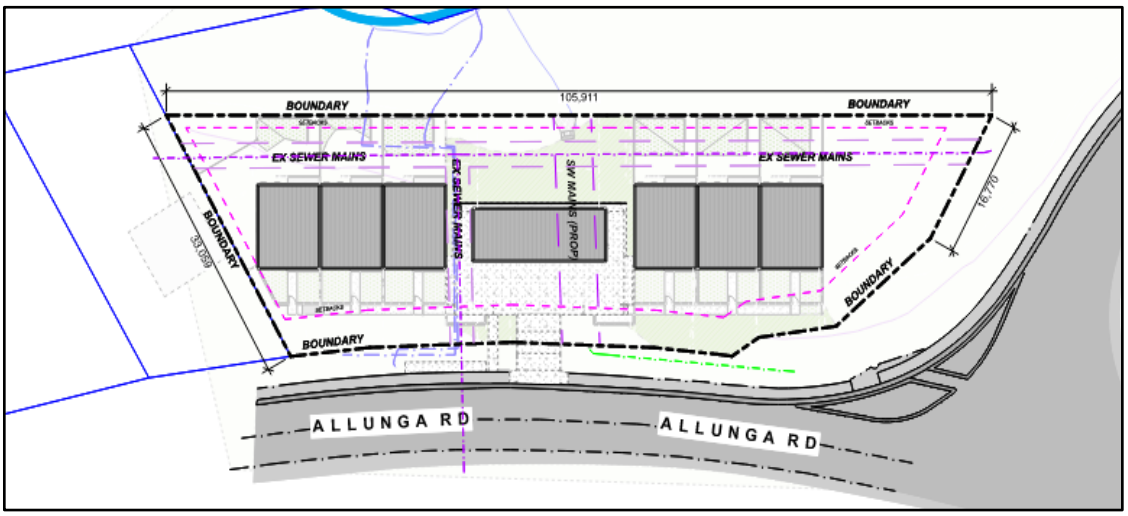


Figure 5: Site plan with setback margin - Field Labs

The plan shows that the width of the nature strip widens adjacent to the front boundary outside Unit 5 and 6. This gives a reasonably consistent setback from the road alignment for all dwellings. Therefore, it is considered that the proposed frontage setback would be acceptable as it would be compatible with the streetscape and is also reasonable due to the irregular front boundary.

The proposal is considered to accord with the performance criteria and therefore the standard is met.

8.4.2 P3 Setbacks and building envelope for all dwellings

The proposal does not accord with the acceptable solution in clause 8.4.2 A3 with respect to the building envelope. Therefore, the proposal relies on the related performance criteria as follows:

P3

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

(i) an adjoining property; or

(ii) another dwelling on the same site.

Comment

The acceptable solution requires, in simple terms, that buildings are contained within the building envelope and have specified setbacks. Front setbacks of 4.5m are required. Side and rear setbacks need to be 1.5m, unless the section that steps within the setback is no longer than 9m and contained within the building envelope.

The front enclosure of Unit 5 and 6 and the two bin enclosures have a frontage setback of less than 4.5m (this is also discussed with relevance to standards for front setbacks and waste storage).

The dwellings are within the building envelope in terms of height, side and rear setbacks. There is a 5.196m long section of the front enclosure that has a side setback of 1.355m that would also comply.

The areas outside the building envelope only relate to the front setback, which although it does not really relate to the purpose of this standard, requires assessment. The building envelope standard aims to achieve sufficient separation between dwellings and sunlight to private outdoor space, which is achieved. In addition, there are separate standards controlling front setbacks and waste storage. This means that the proposal would be acceptable with regards to areas outside the building envelope.

The proposal is considered to accord with the performance criteria and therefore the standard is met.

8.4.3 P2 Site coverage and private open space for all dwellings

The proposal does not accord with the acceptable solution in clause 8.4.3 A2 with respect to the grade of the private outdoor space. Therefore, the proposal relies on the related performance criteria as follows:

> *P2*
>
> *A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:*
>
> *(a) conveniently located in relation to a living area of the dwelling; and*
>
> *(b) orientated to take advantage of sunlight.*

Comment

The acceptable solution requires that each dwelling has private outdoor space of 24m^2 with a minimum horizontal dimension of 4m and has a gradient not steeper than 1:10. If this area is proposed to be at the front of the dwelling, the property frontage must be oriented between 30 degrees west of true north and 30 degrees east of true north.

The dwellings would all have private outdoor space at the rear of more than 24m^2 with a minimum width of more than 4m. However, the areas would have a gradient of 1:6 which does not accord with the acceptable solution. Each dwelling would also have a deck at the rear of 8.94m^2 and one at the front of 6.9m^2.

The dwellings would also have over 24m2 of level private open space at the front, but this area is oriented to face south, not north.

It is considered that the provision of private open space is acceptable in this instance. There is sufficient room for outdoor seating, a clothesline and a garden or play area. These are conveniently located and receive adequate sunlight. The grade is not so steep as to make the areas unusable.

The proposal is considered to accord with the performance criteria and therefore the standard is met.

8.4.5 P1 Width of openings for garages and carports for all dwellings

The proposal does not accord with the acceptable solution in clause 8.4.5 A1 with respect to carport openings. Therefore, the proposal relies on the related performance criteria as follows:

> *P1*
>
> *A garage or carport for a dwelling must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.*

Comment

The acceptable solution requires that carport openings facing the primary frontage are not more than 6m wide or half the width of the frontage (whichever is lesser), if within 12m of the primary frontage.

The proposed carport would have a frontage setback of approximately 10m and would have openings facing the frontage of 17.198m in width. It would be approximately 0.6m further setback than the dwellings and has a finished floor level approximately 1m below street level.

The dwellings themselves are cojoined in groups of three, which provide building façade widths of approximately 24m either side of the carport, thus providing context for the width of the proposed carport in the streetscape.

It is considered that the location and size of the proposed carport is acceptable in this instance. The carport is not considered overly dominate because it is a significantly setback from the boundary, somewhat recessed, narrower than, and further setback than the dwellings.

The proposal is considered to accord with the performance criteria and therefore the standard is met.

8.4.8 P1 Waste storage for multiple dwellings

The proposal does not accord with the acceptable solution in clause 8.4.8 A1 with respect to the frontage setback of the bin enclosures. Therefore, the proposal relies on the related performance criteria as follows:

> *P1*
>
> *A multiple dwelling must have storage for waste and recycling bins that is:*
>
> *(a) capable of storing the number of bins required for the site;*
>
> *(b) screened from the frontage and any dwellings; and*

(c) if the storage area is a common storage area, separated from any dwellings to minimise impacts caused by odours and noise.

Comment

The acceptable solution requires that common bin storage is at least 1.5m^2 per dwelling, has a frontage setback of at least 4.5m, separation from a dwelling not less than 5.5m and screening from a frontage or a dwelling to a height of 1.2m above finished surface level.

The proposal provides for two bin enclosures of 1.2m W x 5.2m L each. This results in a floor area of 2m^2 per dwelling, which is sufficient to store the required bins.

The bin enclosures would have a front setback of 2.235m and 2.656m from the frontage. There is a nature strip adjoining the front boundary of at least 3.6m width. The bin enclosures would sit partially below street level and would be screened. This would reduce any visual impact from the street.

The bin enclosures provide for screening of variable height on the street side due to the slope of the natural ground level from approximately 0.9m to 1.1m. The floor of the bin enclosure would sit below ground, but it appears that the top of the screen may be only 1.1m from finished surface level. The plans are not conclusive. A condition is recommended that the screens for the bin enclosures are not less than 1.2 above the finished surface level of the storage area. This will ensure proper screening of standard 240 L wheelie bins which have a height of 1.07m.

No screening is provided to the bin enclosure to separate it from the dwellings. However, the dwellings are all provided front courtyards, with fences up to approximately 1m in height. Further to this, the bin enclosures are slightly offset and set back over 5m from the nearest dwellings, so they do not occupy the full view out of the kitchen windows.

The proposal is considered to accord with the performance criteria and therefore the standard is met.

Codes

The following codes of the Scheme apply to this proposal:

C2.0 Parking and Sustainable Transport Code

The proposal accords with the relevant acceptable solutions as demonstrated in the attached Appendix, except as follows:

C2.5.1 P1 Car parking numbers

The proposal does not accord with the acceptable solution in clause C2.5.1 A1 with respect to car parking numbers. Therefore, the proposal relies on the related performance criteria as follows:

P1.1

The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to:

(a) the availability of off-street public car parking spaces within reasonable walking distance of the site;

(b) the ability of multiple users to share spaces because of:

(i) variations in car parking demand over time; or

(ii) efficiencies gained by consolidation of car parking spaces;

(c) the availability and frequency of public transport within reasonable walking distance of the site;

(d) the availability and frequency of other transport alternatives;

(e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;

(f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;

(g) the effect on streetscape; and

(h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development.

P1.2

The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:

(a) the nature and intensity of the use and car parking required;

(b) the size of the dwelling and the number of bedrooms; and

(c) the pattern of parking in the surrounding area.

Comment

The applicable number of carparking spaces is the requirement in Table C2.1, which is two (2) spaces per dwelling and one (1) visitor space per four dwellings (rounded up to the nearest number). This means that a total of fourteen (14) spaces would be required.

The proposal provides for eight (8) carparking spaces, so that there would be shortfall of six (6) spaces. It is noted that the dwellings, at 67m^2 and with two-bedrooms are quite small.

The proposal was assessed by Council's Consultant Development Engineer who considered the Traffic Impact Assessment that was submitted by the applicant in support of the shortfall.

The assessment is available in Attachment 2. In summary it was found that the while the shortfall is acceptable, a condition should be applied restricting each household to one car per dwelling.

The proposal is considered to accord with the performance criteria and therefore the standard is met.

C3.0 Road and Railway Assets Code

The proposal accords with the relevant acceptable solutions as demonstrated in the attached Appendix, except as follows:

C3.5.1 P1 Traffic generation at a vehicle crossing, level crossing or new junction

The application does not accord with the acceptable solution in clause C3.51 as a new vehicle crossing is proposed. Therefore, the proposal relies on the related performance criteria as follows:

> *P1*
>
> *Vehicular traffic to and from the site must minimise any adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road or rail network, having regard to:*
>
> *(a) any increase in traffic caused by the use;*
>
> *(b) the nature of the traffic generated by the use;*
>
> *(c) the nature of the road;*
>
> *(d) the speed limit and traffic flow of the road;*
>
> *(e) any alternative access to a road;*
>
> *(f) the need for the use;*
>
> *(g) any traffic impact assessment; and*
>
> *(h) any advice received from the rail or road authority.*

Comment

The application was assessed by the Traffic Engineer. The traffic generated by the development is expected to be 30 trips per day and 3 trips during peak hour. The Traffic Impact Assessment provided by the applicant showed that the development will have no adverse impact on the traffic efficiency of the junction. The Traffic Engineer concours and is satisfied that the proposal meets the performance criteria. The assessment is available in Attachment 2.

The proposal is considered to accord with the performance criteria and therefore the standard is met.

C7.0 Natural Assets Code

The waterway and coastal protection overlay of the Natural Assets Code applies to a small part of the subject property where buildings are proposed along the rear boundary as shown in Figure 6.

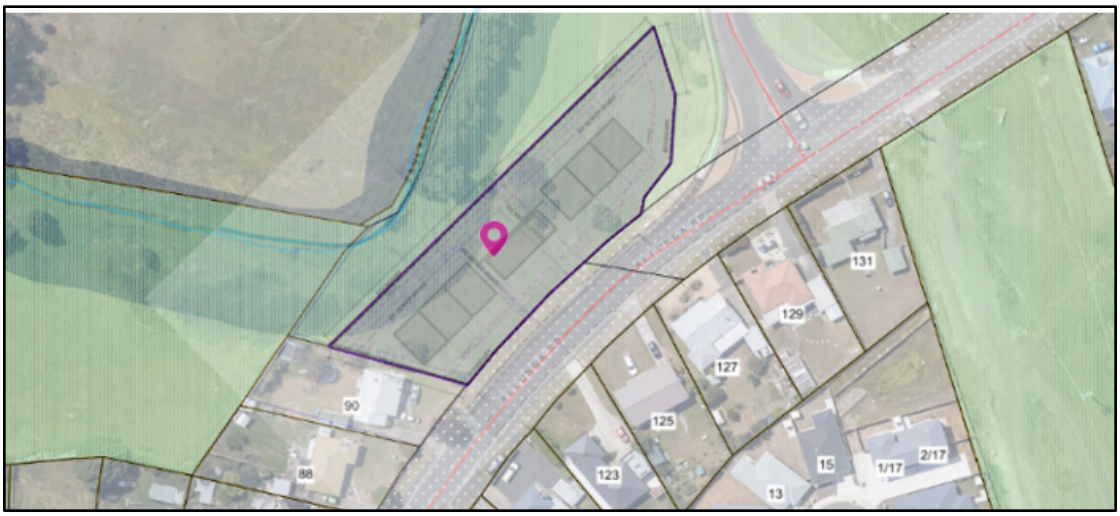


Figure 6: Natural Assets Code waterway and coastal protection overlay (theList) and proposal plan superimposed

C7.6.1 P1.1 Buildings and works within a waterway and coastal protection area or a future coastal refugia area

The proposal does not accord with the relevant acceptable solution in clause C7.6.1 A1 which requires buildings to be located within a building area on a sealed plan. Therefore, the proposal relies on the related performance criteria as follows:

P1.1

P1.1
Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to:

(a) impacts caused by erosion, siltation, sedimentation and runoff;

(b) impacts on riparian or littoral vegetation;

(c) maintaining natural streambank and streambed condition, where it exists;

(d) impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;

(e) the need to avoid significantly impeding natural flow and drainage;

(f) the need to maintain fish passage, where known to exist;

(g) the need to avoid land filling of wetlands;

(h) the need to group new facilities with existing facilities, where reasonably practical;

(i) minimising cut and fill;

(j) building design that responds to the particular size, shape, contours or slope of the land;

(k) minimising impacts on coastal processes, including sand movement and wave action;

(l) minimising the need for future works for the protection of natural assets, infrastructure and property;

(m) the environmental best practice guidelines in the Wetlands and Waterways Works Manual; and

(n) the guidelines in the Tasmanian Coastal Works Manual.

Comment

The acceptable solution requires building and works to be within a building area on a sealed plan approved under the Tasmanian Planning Scheme. There is no building area defined on the subject title so that the proposal relies on the performance criteria.

The proposed buildings slightly encroach on the waterway overlay at the rear, as shown in Figure 6. The title to the property does not have a building area. This means that the performance criteria apply.

The performance criteria seek to minimise any adverse impacts on the waterway. The proposed buildings are a significant distance from the streambed, approximately 18m. The area within the overlay as well as the adjacent area have been previously modified and are vegetated with grass. Building works will need to be managed in accordance with an Erosion and Sediment Control Plan. There would be minimal impact caused by way of erosion or earthworks. It is not expected that there would be any obstruction to the natural flow, fish passage or loss of littoral vegetation.

The proposal is considered to accord with the performance criteria and therefore the standard is met.

C12.0 Flood-Prone Areas Hazard Code

The Flood-Prone Areas Hazard overlay applies to a small part of the subject property along the rear boundary as shown in Figure 7.

Figure 7: Flood-prone hazard area overlay (theList) and proposal plan superimposed

The proposed dwellings are outside the flood-prone hazard area overlay. The code only applies to development of land within the flood-prone hazard area. This means that the code does not apply.

Nevertheless, the Hydraulics Engineer has provided some comments in response to a representor being concerned about flooding, discussed later in this report.

INTERNAL REFERRALS

The application was referred to:

- Development Engineer
- Traffic Engineer
- Hydrologist
- Waste Management Officer

The referral assessments are within Attachment 2 to this report.

EXTERNAL REFERRALS

TasWater

The application was referred to TasWater, which has nominated a number of conditions should the application be approved. The *Water and Sewerage Industry Act 2008* requires the Planning Authority to include conditions from TasWater, if a permit is granted.

REPRESENTATIONS

The application was advertised for the statutory 14-day period with 1 representation being received. The issues raised are as follows:

Flooding

The representor states that their property is located further down Alunga Road below the proposed development and regularly floods during heavy rainfall. According to the applicant, water from Faulkners Rivulet spills across the road and surrounding properties near their property. The representation states that the proposal requires a comprehensive flood assessment.

Comment

The representor did not provide an address. Therefore, it is difficult to verify the statement and identify the area that was being referred to. Nevertheless, the application was forwarded to council's Hydraulics Engineer, although it is noted that the buildings are outside the mapped Flood-Prone Area overlay so that the Code does not apply. The Hydraulics Engineer has provided the following comments:

Council has reviewed the application in accordance with the Tasmanian Planning Scheme, including the Flood-Prone Areas Hazard Code. Based on available data and mapping, the proposed development and associated structures are located outside the 1% Annual Exceedance Probability (AEP) flood extent (commonly referred to as the 1 in 100-year flood event). These extents can be viewed on publicly accessible resources such as Council's web maps or LISTmap.

Any earthworks and temporary works associated with the development will be undertaken in accordance with an approved Soil and Water Management Plan to ensure appropriate environmental controls are in place.

Council's hydraulic engineering assessment has included a review of habitable floor levels and confirmed compliance with relevant standards. The assessment also ensures that the development will not result in adverse impacts to adjoining properties, which is a standard requirement for any proposal subject to the Flood-Prone Areas Hazard Code.

CONCLUSION

The application is for six (6) multiple dwellings. The proposal relies on performance criteria for frontage setback, building envelope, grade of private outdoor space, openings of carport, bins enclosure setback, parking shortfall of six spaces, traffic generation at a new crossover and buildings and works within a waterway and coastal protection overlay. The proposal complies with all performance criteria so that all standards are met.

The most significant discretion is a parking space shortfall of six spaces. The Consultant Development Engineer supports the application subject to a condition that will restrict each household to one car per dwelling.

The application was advertised for the statutory 14-day period with one (1) representation received. The representation was concerned about flooding from Faulkners Rivulet. The Hydrologist advised that the proposed development is outside the 1 in 100-year flood level and would therefore not be at risk of flooding.

In conclusion, the proposal is assessed to substantially comply with the requirements of Schedule 1 of the *Land Use Planning and Approvals Act 1993* and the *Tasmanian Planning Scheme – Glenorchy,* subject to the recommended conditions.

RECOMMENDATION

That a permit be granted for the Six (6) Multiple Dwellings at Lot 1 Allunga Road Chigwell subject to the following conditions:

Planning

1. Use and development must be substantially in accordance with planning permit application No. PLN-25-093 and endorsed documents, except as otherwise required by this permit.

2. Any conditions and/or advice as determined by TasWater, and set out in the attached Submission to Planning Authority Notice, reference No. TWDA 2025/00493-GCC, dated 27/08/2025, form part of this permit.

3. The window on the north elevation of Unit 3 that faces the carport must have a sill height of at least 1.7m above the floor area of the dwelling. This dimension must be shown on plans submitted with the Building Permit application.

4. The bin enclosures must have a screen not less than 1.2 above the finished surface level of the storage area. This dimension must be shown on plans submitted with the Building Permit application.

Engineering

5. Prior to the issuing of a Building Approval or the commencement of works on site, including demolition (whichever occurs first), submit an Erosion and Sediment Control (ESC) plan detailing proposed sediment and erosion control measures to the satisfaction of Council's Development Engineer.

   The approved control measures must be installed prior to any disturbance of soil or construction activity such as concrete cutting, demolition and must be regularly inspected and maintained during the construction and demolition period to prevent soil and other materials entering the local stormwater system, roadways, or adjoining properties.

   The approved control measures must remain in place until such time as all construction activity likely to generate sediment has been completed or all

disturbed areas have been stabilised using vegetation and/or restored or sealed to the satisfaction of the Council.

The approved Erosion and Sediment Control plan (ESC) forms part of this permit and must be complied with.

Advice: For further information please refer to Erosion and Sediment Control (ESC) Fact Sheets published by the Department of Primary Industries, Parks, Waters and Environment. These are available from Council or online at www.derwentestuary.org.au/stormwater/

6. The loading and unloading of goods from vehicles, including building materials and equipment, must only be carried out on the land.

7. The property owner is to ensure that Council's Road Assets and Infrastructure are protected during the demolition and building process. The owner is to ensure that damage to road assets, footpaths, kerb and channel, drainage pits, nature strips and other services is kept to a minimum, and any damaged assets are reinstated. Should damages occur, the repair costs associated with such damages are the responsibility of the property owner. If reinstatement works are not undertaken promptly or to Council's satisfaction, Council may elect to reinstate or rectify any defects and recover the expenses reasonably incurred in doing so from the property owner.

8. Prior to the issue of building approval and/or commencement of works (whichever occurs first), including excavation, a Construction Management Plan, must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Lead Statutory Planner. The plan must provide details of the following:

   (a) Hours for construction activity in accordance with any other condition of this permit.

   (b) Measures to control noise, dust, water and sediment laden runoff.

   (c) Measures relating to removal of hazardous or dangerous material from the site, where applicable.

   (d) A plan showing the location of parking areas for construction and sub-contractors' vehicles on and surrounding the site, to ensure that vehicles associated with construction activity cause minimum disruption to surrounding premises. Any basement car park on the land must be made available for use by sub-constructors/tradespersons upon completion of such areas, without delay.

   (e) A plan showing the location and design of a vehicle wash-down bay for construction vehicles on the site.

   (f) Measures to ensure that sub-contractors/tradespersons operating on the

site are aware of the contents of the construction management plan.

(g) Contact details of key construction site staff.

(h) A site plan showing the location of any site sheds, on-site amenities, building waste storage and the like, noting that Council does not support site sheds on Council Road reserves; and

(i) Any other relevant matters

9. Prior to the issue of building approval and/or commencement of works (whichever occurs first), plans showing the detailed design of the new vehicle crossing must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Senior Development Engineer. The design and construction must be in accordance with the Tasmanian standard drawing TSD-R09-v3, the vehicle crossing must be completed prior to the occupancy of the dwelling.

10. Prior to the issue of building approval and/or commencement of works (whichever occurs first), plans showing the driveway and parking details must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Senior Development Engineer. The design and construction of the parking, access and turning areas must comply with the approved plans or be substantially in accordance with the Australian Standard, Parking facilities, Part 1: Off-Street Car parking, AS 2890.1 – 2004 and the following:

(a) Be constructed to a sealed finish and the finished gradient shall not exceed the maximum gradient of 25% or 1 in 4.

(b) Vertical alignment shall include transition curves (or straight sections) at all grade changes greater than 12.5%.

(c) Total of eight (8) clearly marked car parking spaces (1 space per each dwelling and 2 visitor spaces) must be provided in accordance with the approved plan received by Council and always kept available for these purposes.

(d) All runoff from paved and driveway areas must be discharged into Council’s stormwater system.

(e) The crossfall along the footpath must not exceed 4%.

(f) The gradient of any parking area must not exceed 5% and

(g) Aisle width is to be no less than 6.0 meters.

(h) Demonstrate single manoeuvre swept path into and out of car spaces can

be achieved.

(i) Provide blind aisle extensions for car spaces

(j) Detailed earth retaining structures

(k) All work required by this condition must be installed prior to the occupancy.

11. A barrier compliant with the Australian Standard AS 1170.1 must be installed to prevent vehicles running off the edge of a carriageway, raised platform or deck where the drop from the edge of the trafficable area to a lower level is 600mm or greater or has a gradient that is greater than 1/4. Wheel stops must also be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit. All works required by this condition must be installed prior to the occupancy of any dwelling.

12. Additional overflow carpark onto Allunga Road is to be prevented by restricting the households to one (1) car per dwelling. This restriction is to be managed and enforced by Homes Tasmania and subsequent property managers for the design life of the unit development.

    Prior to the issue of building approval and/or commencement of works (whichever occurs first), detail on how single vehicle restriction is to be enforced must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Senior Traffic Engineer or Development Engineer.

13. No civil works related to or associated with the use or development approved by this permit are to occur on or external to the site unless these works are in accordance with engineering drawings that have been approved by Council's Development Engineer. Changes to the design and/or location of civil works will require the submission of amended engineering drawings prepared by a licensed civil engineer for approval by Council's Engineer.

14. Engineering design drawings must be submitted and approved, prior to the construction and prior to the Plumbing and/or Building Permit, whichever occurs first. The engineering drawings must:

    (a) be certified by a qualified and experienced Engineer.

    (b) show in both plan and long-section the proposed stormwater and sewer, including but not limited to, connections, flows, velocities, hydraulic grade lines, clearances to surface and other services, cover, gradients, sizing, material, pipe class, adequate working platforms around manholes, easements, inspection openings and penetration.

    All work required by this condition must be undertaken in accordance with the

approved engineered drawings.

15. Prior to the first occupation / commencement of use, documentation by a suitably qualified engineer certifying that relevant conditions have been met and construction is in accordance with the approved drawings must be lodged with Council and the building surveyor.

Advice to Applicant

This advice does not form part of the permit but is provided for the information of the applicant.

General Manager's Consent for Stormwater Management

Any conditions and/or advice as set out in the attached General Manager's Consent for Stormwater Management, reference No. PLN-25-093 dated 13/11/2025, is associated with this permit.

Other Permits

Please be aware that this planning permit is a planning approval issued under the Tasmanian Planning Scheme - Glenorchy. You should consult with an accredited Building Surveyor prior to commencing this use or work to ensure all relevant requirements of the *Building Act 2016* are complied with.

In addition to this planning permit, a building permit and/or plumbing permit may also be required. If further clarification is required, please contact Council's Building Section on 6216 6800.

Other Services

The designer must ensure that the needs of all providers including TasWater, TasGas, TasNetworks, and Telstra are catered for both in the design and construction of the works. Underground service providers should be contacted for line marking of their services and any requirements or conditions they may have prior to commencing any works on site. Phone 1100, Dial Before You Dig or visit www.dialbeforeyoudig.com.au for information on the location of underground services and cables in relation to the proposed development prior to commencing any works on site.

Waste Management

- Waste Services to the proposed multiple dwelling development at Lot 1 Allunga Rd Chigwell would be Council's standard bin service collected fortnightly.
- The Council's Standard Bin Service includes one (1) x 140L wheelie bin for Waste, one (1) x 240L wheelie bin for recycling and (1) x 240L FOGO bin to each of the dwelling, collected fortnightly.

- Please note that this property would have a total of eighteen (18) bins, six (6) Waste bins and six (6) Recycling Bins, and six (6) FOGO bins.
- This property has an existing kerbside/nature strip area for placement of the bins therefore the dwellings would have their own individual bins.
- All bins are to be six (6) recycling bins out for collection one week and six (6) FOGO bins out for collection the following week.
- Council's Waste Management Contractor collection trucks will not enter the property to collect and empty the wheelie bins.

APPENDIX

8.0 General Residential Zone

Standard	Acceptable Solution	Proposed	Complies?
	8.3 Use Standards		
8.3.1 Discretionary uses	**A1** Hours of operation of a use listed as Discretionary, excluding Emergency Services, must be within the hours of 8.00am to 6.00pm		NA
	A2 External lighting for a use listed as Discretionary: (a) must not operate within the hours of 7.00pm to 7.00am, excluding any security lighting; and (b) security lighting must be baffled to ensure direct light does not extend into the adjoining property.		NA
	A3 Commercial vehicle movements and the unloading and loading of commercial vehicles for a use listed as Discretionary, excluding Emergency Services, must be within the hours of: (a) 7:00am to 7:00pm Monday to Friday; (b) 9:00am to 12 noon Saturday; and (c) nil on Sunday and public holidays.		NA
	A4 No acceptable solution.		NA
8.3.2 Visitor Accommodation	**A1** Visitor Accommodation must: (a) accommodate guests in existing habitable buildings; and		NA

	(b) have a gross floor area of not more than 200m2 per lot.		
	A2 Visitor Accommodation is not for a strata lot that is part of a strata scheme where another strata lot within that strata scheme is used for a residential use.		NA
8.4 Development Standards for Dwellings			
8.4.1 **Residential density for multiple dwellings**	**A1** Multiple dwellings must have a site area per dwelling of not less than 325m2.	Lot area: 2464m^2: 6 = 410m^2	Yes
8.4.2 **Setbacks and building envelopes for all dwellings**	**A1** Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is: (a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; (b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; (c) if for a vacant site and there are existing dwellings on adjoining properties on the same	The front enclosure of Unit 5 and 6 and two bin enclosures have a frontage setback of less than 4.5m. The remainder of the proposal would comply. For more details, please refer to report.	No- Discretion

	street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or (d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.		
	A2 A garage or carport for a dwelling must have a setback from a primary frontage of not less than: (a) 5.5m, or alternatively 1m behind the building line; (b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or (c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.	Carport setback: 9.3m	Yes
	A3 A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must: (a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by: (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear	The proposed structures would comply with respect to rear and side setback as they would be within the building envelope, but do not comply with the frontage setback. For more details, please refer to report.	No -Discretion

	boundary of a property with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and (b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling: (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).		
8.4.3 **Site coverage and private open space for all dwellings**	**A1** Dwellings must have: (a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and (b) for multiple dwellings, a total area of private open space of not less than 60m2 associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).	Each dwelling would have a roofed area of 81.48m^2, which is a total of 488.88m^2. The carport would have a roofed area of 109.27m^2. This is a total for all buildings on site of 598.15m^2. The lot has an area of 2464m^2. The results in site coverage of 24%, which complies. Each dwelling would have a back yard of at least 61m2, plus the front enclosure, which complies.	Yes
	A2 A dwelling must have private open space that: (a) is in one location and is not less than: (i) 24m^2; or	Each dwelling would have a minimum area of POS of 4x 6, which would comply. However, the grade would be 1:6, which does not comply.	No-Discretion

	(ii) 12m^2, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); (b) has a minimum horizontal dimension of not less than: (i) 4m; or (ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); (c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and (d) has a gradient not steeper than 1 in 10.	Each dwelling also has a second compliant sized and graded area at the front, but the orientation of the frontage is to the north not the south, which does not comply.	

8.4.4 **Sunlight to private open space of multiple dwellings**	**A1** A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c): (a) the multiple dwelling is contained within a line projecting (see Figure 8.4): (i) at a distance of 3m from the northern edge of the private open space; and (ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal; (b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and (c) this Acceptable Solution excludes that part of a multiple dwelling consisting of: (i) an outbuilding with a building height not more than 2.4m; or (ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling.	The dwellings are all in alignment with POS at the rear with northwest orientation, which is compliant.	Yes
8.4.5 **Width of openings for garages and carports for all dwellings**	**A1** A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).	The proposed carport would have openings of 17.198m and would be setback approximately 10m from the front boundary, which does not accord with the acceptable solution.	No-Discretion
8.4.6 **Privacy for all dwellings**	**A1**		Yes

	A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a: (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary; (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m: (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or (ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.	All dwellings have balconies at the rear that have a finished floor level more than 1m above NGL. Balconies comply with all side and rear setbacks and have 1.7m high screens separating the balconies. The floor level of the parking area is a maximum of 1m above NGL. This complies with the acceptable solution.	
	A2 A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b): (a) the window or glazed door: (i) is to have a setback of not less than 3m from a side boundary;	Unit 3 that faces the carport appears to have a sill height of at least 1.7m above the floor area of the dwelling, however this is not clear and should be confirmed via a condition All other windows comply.	Yes

	(ii) is to have a setback of not less than 4m from a rear boundary; (iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and (iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site. (b) the window or glazed door: (i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; (ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or (iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.		

	A3 A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than: (a) 2.5m; or (b) 1m if: (i) it is separated by a screen of not less than 1.7m in height; or (ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.	The parking area is approximately 1.2m from Unit 3 and Unit 4. Unit 3 has a living room window with a sill height at 1.7m above the floor area facing the carport. Unit 4 has a bathroom window facing the parking area, which is non-habitable room. This accords with the acceptable solution.	Yes
8.4.7 **Frontage Fences for all dwellings**	**A1** No Acceptable Solution[1]. *([1] An exemption applies for fences in this zone – see Table 5.6 in Exemptions)*	No frontage fence is proposed. The front enclosures do have a slatted structure similar to a fence, but they are not located on any boundary.	N/A
8.4.8 **Waste Storage for multiple dwellings**	**A1** A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m2 per dwelling and is within one of the following locations: (a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or (b) a common storage area with an impervious surface that:		No-Discretion

	(i) has a setback of not less than 4.5m from a frontage; (ii) is not less than 5.5m from any dwelling; and (iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.	The proposal provides for two bin enclosures for 9 bins each. The bin enclosures have screens of 1.2m and are at least 11m from the front wall of the nearest dwelling. However, the frontage setback is only 2.235m and 2.656m for each bin enclosure. Please refer to report for more details.	

APPENDIX
C2.0 Parking and Sustainable Transport Code

Standard	Acceptable Solution	Proposed	Complies?
C2.5 Use Standards			
C2.5.1	**A1**	Fourteen required – 8 provided	No

Standard	Acceptable Solution	Proposed	Complies?
Car parking numbers	The number of on-site car parking spaces must be no less than the number specified in Table C2.1, less the number of car parking spaces that cannot be provided due to the site including container refund scheme space, excluding if: (a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan; (b) the site is contained within a parking precinct plan and subject to Clause C2.7; (c) the site is subject to Clause C2.5.5; or (d) it relates to an intensification of an existing use or development or a change of use where: (i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or (ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows: N = A + (C- B) N = Number of on-site car parking spaces required A = Number of existing on site car parking spaces B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1		

Standard	Acceptable Solution	Proposed	Complies?
	C= Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.		
C2.5.2 **Bicycle parking numbers**	**A1** Bicycle parking spaces must: (a) be provided on the site or within 50m of the site; and (b) be no less than the number specified in Table C2.1.		N/A
C2.5.3 **Motorcycle parking numbers** *This applies to:* *Business and Professional Services;* *Community Meeting and Entertainment;* *Custodial Facility;* *Crematoria and Cemeteries;* *Educational and Occasional Care;* *Food Services;* *General Retail and Hire;* *Hospital Services;* *Hotel Industry;* *Pleasure Boat Facility;* ***Residential if for a communal residence, multiple dwellings or hostel use**;* *Sports and Recreation; and* *Tourist Operation.*	**A1** The number of on-site motorcycle parking spaces for all uses must: (a) be no less than the number specified in Table C2.4; and (b) if an existing use or development is extended or intensified, the number of on-site motorcycle parking spaces must be based on the proposed extension or intensification, provided the existing number of motorcycle parking spaces is maintained.		N/A
C2.5.4 **Loading bays** *This applies to:* *Bulky Goods Sales;*	**A1** A loading bay must be provided for uses with a floor area of more than 1000m² in a single occupancy.		N/A

Standard	Acceptable Solution	Proposed	Complies?
General Retail and Hire; *Manufacturing and Processing; and* *Storage.*			
C2.5.5 **Number of car parking spaces within the General Residential Zone and Inner Residential Zone** *This applies to:* *Business and Professional Services;* *Community Meeting and Entertainment;* *Educational and Occasional Care;* *Emergency Services;* *Food Services;* *General Retail and Hire;* *Sports and Recreation; and* *Utilities, if not for minor utilities.*	**A1** Within existing non-residential buildings in the General Residential Zone and Inner Residential Zone, on-site car parking is not required for: (a) Food Services uses up to 100m² floor area or 30 seats, whichever is the greater; and (b) General Retail and Hire uses up to 100m² floor area, provided the use complies with the hours of operation specified in the relevant Acceptable Solution for the relevant zone.		N/A
C2.6 Development Standards for Building Works			
C2.6.1 **Construction of parking areas**	**A1** All parking, access ways, manoeuvring and circulation spaces must: (a) be constructed with a durable all weather pavement; (b) be drained to the public stormwater system, or contain stormwater on the site; and (c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space	Sealed and drained car park proposed	Met

Standard	Acceptable Solution	Proposed	Complies?
	Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement		
C2.6.2 **Design and layout of parking areas**	**A1.1** Parking, access ways, manoeuvring and circulation spaces must either: (a) comply with the following: (i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6; (ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces; (iii) have an access width not less than the requirements in Table C2.2; (iv) have car parking space dimensions which satisfy the requirements in Table C2.3; (v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces; (vi) have a vertical clearance of not less than 2.1m above the parking surface level; and (vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or (b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6. **A1.2** Parking spaces provided for use by persons with a disability must satisfy the following: (a) be located as close as practicable to the main entry point to the building; (b) be incorporated into the overall car park design; and	Car park design is in general accordance with AS 2890.1	Met

Standard	Acceptable Solution	Proposed	Complies?
	(c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities.		
C2.6.3 **Number of accesses for vehicles**	**A1** The number of accesses provided for each frontage must: (a) be no more than 1; or (b) no more than the existing number of accesses, whichever is the greater.	One access Provided	Met
	A2 Within the Central Business Zone or in a pedestrian priority street no new access is provided unless an existing access is removed.		N/A
C2.6.4 **Lighting of parking areas within the General Business Zone and Central Business Zone**	**A1** In car parks within the General Business Zone and Central Business Zone, parking and vehicle circulation roads and pedestrian paths serving 5 or more car parking spaces, which are used outside daylight hours, must be provided with lighting in accordance with Clause 3.1 "Basis of Design" and Clause 3.6 "Car Parks" in *Australian Standard/New Zealand Standard AS/NZS 1158.3.1:2005 Lighting for roads and public spaces Part 3.1: Pedestrian area (Category P) lighting – Performance and design requirements*.		N/A
C2.6.5 **Pedestrian access**	**A1.1** Uses that require 10 or more car parking spaces must: (a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by: (i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or		N/A

Standard	Acceptable Solution	Proposed	Complies?
	(ii) protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and (b) be signed and line marked at points where pedestrians cross access ways or parking aisles. **A1.2** In parking areas containing accessible car parking spaces for use by persons with a disability, a footpath having a width not less than 1.5m and a gradient not steeper than 1 in 14 is required from those spaces to the main entry point to the building.		
C2.6.6 **Loading bays**	**A1** The area and dimensions of loading bays and access way areas must be designed in accordance with *Australian Standard AS 2890.2–2002, Parking facilities, Part 2: Off-street commercial vehicle facilities*, for the type of vehicles likely to use the site.		N/A
	A2 The type of commercial vehicles likely to use the site must be able to enter, park and exit the site in a forward direction in accordance with *Australian Standard AS 2890.2 – 2002, Parking Facilities, Part 2: Parking facilities Offstreet commercial vehicle facilities.*		N/A
C2.6.7 **Bicycle parking and storage facilities within the General Business Zone and Central Business Zone**	**A1** Bicycle parking for uses that require 5 or more bicycle spaces in Table C2.1 must: (a) be accessible from a road, cycle path, bicycle lane, shared path or access way; (b) be located within 50m from an entrance;		N/A

Standard	Acceptable Solution	Proposed	Complies?
	(c) be visible from the main entrance or otherwise signed; and (d) be available and adequately lit during the times they will be used, in accordance with Table 2.3 of Australian/New Zealand Standard AS/NZS 1158.3.1: 2005 Lighting for roads and public spaces -- Pedestrian area (Category P) lighting -- Performance and design requirements.		
	A2 Bicycle parking spaces must: (a) have dimensions not less than: (i) 1.7m in length; (ii) 1.2m in height; and (iii) 0.7m in width at the handlebars; (b) have unobstructed access with a width of not less than 2m and a gradient not steeper than 5% from a road, cycle path, bicycle lane, shared path or access way; and (c) include a rail or hoop to lock a bicycle that satisfies Australian Standard AS 2890.3-2015 Parking facilities -- Part 3: Bicycle parking.		N/A
C2.6.8 **Siting of parking and turning areas**	**A1** Within an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone or General Business Zone, parking spaces and vehicle turning areas, including garages or covered parking areas must be located behind the building line of buildings, excluding if a parking area is already provided in front of the building line.		NA
	A2 Within the Central Business Zone, on-site parking at ground level adjacent to a frontage must:		N/A

Standard	Acceptable Solution	Proposed	Complies?
	(a) have no new vehicle accesses, unless an existing access is removed; (b) retain an active street frontage; and (c) not result in parked cars being visible from public places in the adjacent roads.		
C2.7 Parking Precinct Plan			
C2.7.1 **Parking Precinct Plan**	**A1** Within a parking precinct plan, on--site car parking must: (a) not be provided; or (b) not be increased above existing parking numbers.		NA

C3 Road and Railway Assets Code

Standard	Acceptable Solution	Proposed	Complies?
C3.5 Use Standards			
C3.5.1 **Traffic generation at a vehicle crossing, level crossing or new junction**	**A1.1** For a category 1 road or a limited access road, vehicular traffic to and from the site will not require: (a) a new junction; (b) a new vehicle crossing; or (c) a new level crossing. **A1.2**	New crossover	No- Discretion

Standard	Acceptable Solution	Proposed	Complies?
	For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority. **A1.3** For the rail network, written consent for a new private level crossing to serve the use and development has been issued by the rail authority. **A1.4** Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than: (a) the amounts in Table C3.1; or (b) allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road. **A1.5** Vehicular traffic must be able to enter and leave a major road in a forward direction.		
C3.6 Development Standards for Buildings and Works			

Standard	Acceptable Solution	Proposed	Complies?
C3.6.1 **Habitable buildings for sensitive uses within a road or railway attenuation area**	**A1** Unless within a building area on a sealed plan approved under this planning scheme, habitable buildings for a sensitive use within a road or railway attenuation area, must be: (a) within a row of existing habitable buildings for sensitive uses and no closer to the existing or future major road or rail network than the adjoining habitable building; (b) an extension which extends no closer to the existing or future major road or rail network than: (i) the existing habitable building; or (ii) an adjoining habitable building for a sensitive use; or (c) located or designed so that external noise levels are not more than the level in Table C3.2 measured in accordance with Part D of the *Noise Measurement Procedures Manual, 2nd edition, July 2008*.		N/A
C3.7 Development Standards for Subdivision			
C3.7.1 **Subdivision for sensitive uses within a road or railway attenuation area**	**A1** A lot, or a lot proposed in a plan of subdivision, intended for a sensitive use must have a building area for the sensitive use that is not within a road or railway attenuation area.		N/A

C7.0 Natural Assets Code

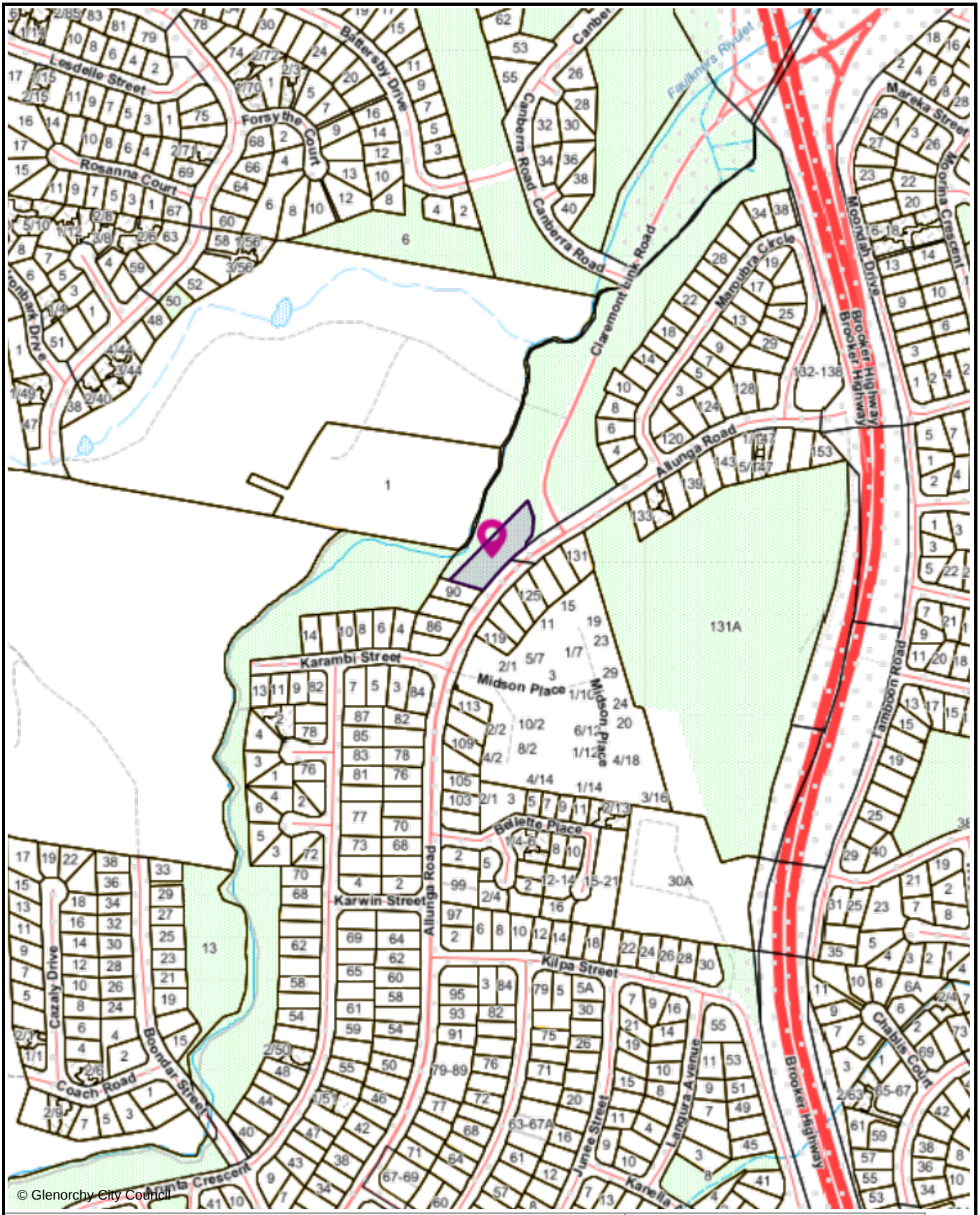
Standard	Acceptable Solution	Proposed	Complies?
C7.6 Development Standards for Buildings and Works			
C7.6.1 Buildings and works within a waterway and coastal protection area or a future coastal refugia area	**A1** Buildings and works within a waterway and coastal protection area must: (a) be within a building area on a sealed plan approved under this planning scheme; (b) in relation to a Class 4 watercourse, be for a crossing or bridge not more than 5m in width; or (c) if within the spatial extent of tidal waters, be an extension to an existing boat ramp, car park, jetty, marina, marine farming shore facility or slipway that is not more than 20% of the area of the facility existing at the effective date.	buildings and works located within waterway and coastal protection overlay	No – Discretion
	A2 Buildings and works within a future coastal refugia area must be located within a building area on a sealed plan approved under this planning scheme.		N/A
	A3 Development within a waterway and coastal protection area or a future coastal refugia area must not involve a new stormwater point discharge into a watercourse, wetland or lake.		Yes
	A4 Dredging or reclamation must not occur within a waterway and coastal protection area or a future coastal refugia area.	Not proposed	N/A

Standard	Acceptable Solution	Proposed	Complies?
	A5 Coastal protection works or watercourse erosion or inundation protection works must not occur within a waterway and coastal protection area or a future coastal refugia area.		N/A
C7.6.2 Clearance within a priority vegetation area	**A1** Clearance of native vegetation within a priority vegetation area must be within a building area on a sealed plan approved under this planning scheme.	Not applicable	N/A
C7.7 Development Standards for Subdivision			
C7.7.1 Subdivision within a waterway and coastal protection area or a future coastal refugia area	**A1** Each lot, or a lot proposed in a plan of subdivision, within a waterway and coastal protection area or a future coastal refugia area, must: (a) be for the creation of separate lots for existing buildings; (b) be required for public use by the Crown, a council, or a State authority; (c) be required for the provision of Utilities; (d) be for the consolidation of a lot; or (e) not include any works (excluding boundary fencing), building area, services, bushfire hazard management area or vehicular access within a waterway and coastal protection area or future coastal refugia area.		N/A
C7.7.2 Subdivision within a priority vegetation area	**A1** Each lot, or a lot proposed in a plan of subdivision, within a priority vegetation area must:		N/A

Standard	Acceptable Solution	Proposed	Complies?
	(a) be for the purposes of creating separate lots for existing buildings; (b) be required for public use by the Crown, a council, or a State authority; (c) be required for the provision of Utilities; (d) be for the consolidation of a lot; or (e) not include any works (excluding boundary fencing), building area, bushfire hazard management area, services or vehicular access within a priority vegetation area.		

GPA – Attachment 1:

PLN-25-093 - Location Plan, Advertised Plans, Civil Drawings and TasWater Referral



Lot 1 Allunga Road, Chigwell TAS 7011

26-Nov-2025

N

The graphic information on this map is produced by Glenorchy City Council. As errors or omissions may occur please verify data before any projects are commenced. The representation of roads or tracks is no evidence of right of way. This map is not to be used as a site plan for making an application to council.

100 m

CONSTRUCTION NOTES:

INTERNAL FINISHES:
NOTE: ALL FLOORS TO BE RAFT SLAB ON GROUND / FILL, ALL INTERNAL FLOOR FINISHES TO BE INSTALLED OVER CONCRETE SLAB.

TI01: FLOOR TILES, ALLOW $60 /M2 FOR SUPPLY, BUILDER TO ALLOW FOR INSTALLATION
FF01: LOOSE-LAY TIMBER LOOK LVT VINYL PLANK FLOORING OVER ACOUSTIC UNDLERLAY
FF02: CARPET ON UNDERLAY, TBA
IW1: 10MM PLASTER WALL, BACK BLOCK AND TAPE ALL JOINS, SQUARE SET ALL ROUND, ALLOW FOR TEAR-OFF STRIPS TO ALL BUTT JOIN EDGES WITH DIFFERENT MATERIAL. PAINT FINISH, UNDERCOAT + MIN 2X TOP COATS WATER BASED ACRYLIC, COLOUR TBS.
CF01: 10MM PLASTER CEILING, BACK BLOCK AND TAPE ALL JOINS, SQUARE SET ALL ROUND, ALLOW FOR TEAR-OFF STRIPS TO ALL BUTT JOIN EDGES WITH DIFFERENT MATERIAL. PAINT FINISH, UNDERCOAT + MIN 2X TOP COATS WATER BASED ACRYLIC, COLOUR TBS.
ST01: LAMINATE BENCHTOPS, MELAMINE CARCASSES THROUGHOUT
SKIRTS: NOM 100X12 TAS OAK, CLEAR SEAL TO MATCH FLOORS
DOOR REVEALS: TAS OAK, CLEAR SEAL TO MATCH FLOORS
WINDOW REVEALS: TAS OAK, CLEAR SEAL TO MATCH FLOORS

WET AREAS: MR PLASTERBOARD. TO AS3740, MEMBRANES INSTALLED BELOW FLOOR FINISHES AND BEHIND WALL FINISHES TO FORM IMPERVIOUS BARRIER.
*** WET AREAS TO COMPLY WITH NCC 10.2 Wet area waterproofing AND AS 3740 - 2021**
WET AREA CEILINGS: MR PLASTERBOARD, SQUARE SET AND PAINT FINISH, UNDERCOAT AND 2 COATS PAINT, COLOUR TBC

ACCESSIBILITY NOTES:

NOTES:
- MINIMUM DOOR WIDTHS OF 820MM THROUGHOUT
- WHERE THRESHOLD AT ENTRANCE EXCEEDS 5MM, PROVIDE A RAMPED THRESHOLD < 56MM COMPLIANT WITH AS1828.1
- ALLOW FOR SLIP RESISTANT FLOOR TILES
- ALLOW FOR HOBLESS SHOWER RECESS
- ALLOW FOR ADDITIONAL NOGGINS AND 12MM PLY RECESSED LINING IN SHOWER AND TOILET FOR FUTURE INSTALLATION OF GRAB HANDLES
- ALL LIGHT SWITCHES TO BE NOM 1100MM ABOVE FFL
- ALL POWER POINTS TO BE NOM 300MM ABOVE FFL

EXTERNAL FINISHES:
TD01: 19MM EKODEK OR SIMILAR COMPOSITE DECKING, SS TWIST NAIL, 3MM GAP, OVER TREATED PINE FRAMING
TB01: RADIAL TIMBER BATTEN BALUSTRADE, MAX SPACING 120MM. NOM 40X40 HW SCREEN ON STEEL FRAME
TB02: RADIAL TIMBER PRIVACY SCREEN, MAX 30% TRANSPARENCY. NOM 40X40 HW SCREEN ON STEEL FRAME
EF02: 16MM FC LINEA 150MM WEATHERBOARD, PAINT FINISH IN DULUX "SNOWY MOUNTAINS HALF"
EF03: ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF04: 1000H GLASS BALUSTRADE, STEEL HANDRAIL + BALUSTERS
EF05: 9.5MM WEATHERTEX WEATHERGROOVE 75 NATURAL, PAINT FINISH TBA
EF06: SUNSHADE, POWDERCOATED 6MM ALUMINIUM
EF07: SEMI TRANSPARENT BATTEN FENCE, REFER LANDSCAPE DOCS
EF08: ISLAND BLOCK FREESTONE ECO "PEWTER ECO" GRAVITY BLOCK LANDSCAPE RETAINING WALL
EF09: CRASH BARRIER WALL, ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF10: MASS SANDSTONE GRAVITY BLOCK, REFER LANDSCAPE DOCS
RF01: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
RF02: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
CF03: 9MM VILLABOARD, FLUSH FINISH, BACK BLOCK AND TAPE ALL JOINS, SQUARE SET ALL ROUND. PAINT FINISH, UNDERCOAT + MIN 2X TOP COATS, COLOUR TBS.
CF01: CONCRETE SLAB, DECORATIVE FINISH DMXST/42 TASSIE GOLD / 7 / 10MM LIMESTONE,
CF02: CONCRETE SLAB DRIVEWAY, BROOMED FINISH
DP: DOWNPIPE, PAINT FINISH
FG: FIXED GLASS
PARTY WALLS: SYSTEM TO BE CONFIRMED

FENCE 1: NOM 900H SLATTED FENCE (MIN 30% TRANSPARENCY) (NOM 70MM BATTEN, 30MM GAP)
FENCE 2: NOM 1800H TIMBER PALING (SOLID)

THERMAL PERFORMANCE:
ALL REASONABLE MEASURES ARE TO BE TAKEN BY BUILDER TO MAINTAIN AIR TIGHT BUILDING ENVELOPE FOR OPTIMAL THERMAL PERFORMANCE:
* TAPE ALL BUILDING MEMBRANE JOINS
* CONTINUOUS MASTIC OR FOAM SEAL AROUND WINDOW FRAMES AND DOORS TO MINIMISE DRAUGHTS
* CONTINUOUS MASTIC BEAD UNDER EXTERNAL WALL PLATES TO FLOOR JUNCTION
* ALL PENETRATIONS THROUGH EXTERNAL FABRIC TO BE TAPED AND OR SILICONE SEALED
INSULATION: FLOOR: R1.5 BULK INSULATION THROUGHOUT TIMBER FLOORS IN HABITABLE AREAS
INSULATION: FLOOR: R1.5 XPS INSULATION UNDER SLAB FLOORS IN HABITABLE AREAS
INSULATION: INTERNAL TIMBER FRAMED WALLS: R2.7 SOUNDSCREEN BULK INSULATION
INSULATION: EXTERNAL WALLS: R2.7 SOUNDSCREEN BULK INSULATION
INSULATION: EXTERNAL MASONRY: R2.7 XPS TO CAVITY TO HABITABLE ROOMS
INSULATION: ROOF: R6.0 HIGH PERFORMANCE BULK INSULATION EG BRADFORD HIGH PERFORMANCE GOLD
WALL WRAP: CLASS 4 PROCTORWRAP RW TO ALL EXTERNAL WALLS, TAPE ALL JOINS AND PENETRATIONS TO MAINTAIN WEATHERPROOFING AND DRAUGHT SEALS. FULLY SARK.
ROOF WRAP: CLASS 4 PROCTORWRAP HTR TO ALL ROOF, TAPE ALL JOINS AND PENETRATIONS TO MAINTAIN WEATHERPROOFING AND DRAUGHT SEALS. FULLY SARK.
ROOF VENTILATION:
* INSTALL LYSAGHT VENT-A-ROOF FOR RIDGE CAPPING, MIN 25,000mm2 / M
* INSTALL PROCTOR Over Fascia Vent FV25 AND PROCTOR VENT EAVES COMB FILLER TO ALL FACIAS

GLAZING:
ALL GLAZING TO BE THERMALLY BROKEN POWDERDCOATED ALUMINIUM FRAMES WITH DOUBLE GLAZING

CONSTRUCTION NOTES:
*** REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL DETAILS**
*** WET AREAS TO COMPLY WITH NCC 10.2 Wet area waterproofing AND AS 3740 - 2021**
*** ALL OPENINGS MUST BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904 - 1995 TO PREVENT THE INGRESS OF WATER**
*** ALLOW FOR SUBFLOOR VENTILATION TO COMPLY WITH NCC Part 6.2 Subfloor ventilation**
*** ALL WORK SHALL BE IN ACCORDANCE AND COMPLY WITH THE NCC 2022, COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS AND CURRENT WORKPLACE STANDARDS CODES OF PRACTICE**
*** ALL STRUCTURAL STEEL TO BE HOT DIP GALVANISED OR PAINT GALVANISED TO BE PROTECTED FROM MODERATE CORROSION TO COMPLY WITH NCC CLAUSE 6.3.9 Corrosion Protection**
*** ALL EXTERNAL STAINLESS STEEL FIXTURES TO BE 316 STAINLESS**
*** SHEET ROOFING TO NCC 7.2, INLCUDING CORROSION PROTECTION**
*** ALL WINDOWS AND DOORS TO BE DESIGNED AND CONSTRUCTED TO AS1288-2006 AND AS2047-2014**
*** KITCHEN + LAUNDRY EXHAUST TO BE DUCTED DIRECTLY TO THE OUTSIDE OF THE BUILDING**

DRIVEWAY NOTES:

THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY TO PROPERTY ACCESS:
(A) ALL-WEATHER CONSTRUCTION;
(B) LOAD CAPACITY OF AT LEAST 4.5GVM TONNES, INCLUDING FOR BRIDGES AND CULVERTS;
(C) MINIMUM CARRIAGEWAY WIDTH OF 3.8 METRES;
(D) MINIMUM VERTICAL CLEARANCE OF 4 METRES;
(E) MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
(F) CROSS FALLS OF LESS THAN 3° (1:20 OR 5%);
(G) DIPS LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE;
(H) CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;
(I) MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS;

ALLOW FOR 1200MM WIDE PEDESTRIAN PATHWAYS
ALL CROSSOVER DETAILS TO TASMANIAN STANDARD DRAWINGS AS NOTED

KEY:

NATURAL GROUND

CONTROLLED FILL - YARD

PRIVATE OUTDOOR SPACE / YARD

CONCRETE PAVING

CONTROLLED FILL - LANDSCAPE

POS 1.00 m²

PRIVATE OUTDOOR SPACE MAX 1:6 GRADE

UNIT FLOOR AREAS

	ITEM	TYPE	AREA
TYPE C - GF			
	---	---	---
	CONCRETE	DECK	6.90
	TIMBER	DECK	8.94
	TYPE C	2 BED	67.55
			83.39 m²
GROUND FLOOR			
	---	---	---
	CONCRETE	DECK	41.40
	TIMBER	DECK	53.64
	TYPE C	2 BED	405.30
			500.34 m²
ROOF			
	---	---	---
	CARPORT	CARPARK	109.27
	TYPE C	HOUSE	488.88
			598.15 m²

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 20/10/2026

Field Labs
Telephone: 0437-255-439
Email: james@fieldlabs.com.au
Accreditation: CC 1043M

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA
Project Name
ALLUNGA RD
Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: NOTES - CONSTRUCTION NOTES
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A0000 **REV D**

Print Date: 20 October 2025, 2:54 PM

Field Labs

Telephone:
0437-255-439
Email:
james@fieldlabs.com.au
Accreditation:
CC 1043M

Drawings to be read in conjunction with specification by FIELD LABS and all drawings and documents by engineers and subconsultants referred to in these plans. Contractors are to verify all dimensions on site before commencing any work or producing shop drawings. Larger scale drawings and written dimensions take preference.
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HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: N
Corrosion Environment: Low
BAL Rating: N/A
Site Class: N
Wind Region: N3

Drawing Title:
SITE - LOCATION

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /

Drawing No.:
A1000
REV D

Print Date: 20 October 2025, 2:54 PM

IMPORTANT NOTE:
The lot shown upon this plan is part of a proposed land subdivision and therefore its title has not yet issued.

The dimensions, area and easements are subject to the final plan of survey.

Any decisions regarding design based on the dimensions, area and easements shown upon the attached plan should be made with appropriate caution.

N MGA

RIVULET

FAULKNERS

CLAREMONT LINK ROAD

ALLUNGA

UNREG. LOT 1
2463m²

BM Star
RL = 35.512

Exposed poly at creek crossing

BM Star
RL = 33.617

Sewer MH
Lid: 33.93
INV IN: 32.13
INV OUT: 32.05

105.911
44°36'36"

342°38'46"
16.770

3°34'35"
16.038

Ø225 CO

SW Headwall
INV A: 36.87
INV B: 36.83

Sewer MH
Lid: 36.92
INV IN A: 35.61
INV IN B: 35.48
INV OUT: 35.41

Ø150 CO

11°18'36"
4.100

36°52'12"
10.004

BM Spike
RL = 39.063

SW MH
Lid: 39.05
INV IN: 37.86
INV OUT: 37.82

DRAINAGE EASEMENT
3.00 WIDE

PIPELINE & SERVICES EASEMENT
3.00 WIDE

46°39'13"
18.216

51°34'08"
1.895

SW MH
Lid: 38.78
INV IN: 37.56
INV OUT: 37.50

Sewer Main
INV: 35.49
(per UDM)

105°45'12"
33.059

50°12'13"
8.097

SW MH
Lid: 38.91
INV OUT: 37.96
NOTE: There is no Ø150 invert at SW SEP downflow. It is assumed to intersect the SW main per GCC drawings.

SW MH
Lid: 38.97
INV IN: 37.19
INV OUT: 37.14

SW SEP
Lid: 39.00
INV IN: 37.79
INV OUT: 37.79

SW GP
Lid: 38.94
INV OUT: 37.98

42°39'13"
18.286

38°38'03"
10.270

BM Nail
RL = 39.702

Sewer MH
Lid: 39.76
INV OUT: 38.07

NOTE: Sewer manhole at #90 Allunga Road could not be located at time of survey. Assumed to be buried.

NOTE: Water main could not be located at time of survey. GPR technique was attempted. Evidence of trench located, treat as approximate only.

NOTE: Water main located at time of survey by UDM.

NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary. or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM9565 with reputed AHD level of 40.161 from SURCOM on 28/08/2024

At the time of this survey, PART OF CT.197749/1 was owned by THE CROWN. Boundaries plotted per yet to be registered subdivision.

Date of Survey : 27/08/2024

- TITLE BOUNDARY
- EASEMENT BOUNDARY
- BANK TOP
- BANK BOTTOM
- TREE
- SIDE ENTRY PIT
- GRATED PIT
- HEADWALL
- CULVERT 300
- BITUMEN CENTRE
- BITUMEN EDGE
- TITLE PEG
- SURVEY MARK
- NAIL
- SPIKE
- NATURAL SURFACE
- TREE
- DRAIN
- SW MANHOLE
- CULVERT 100
- CULVERT 150
- CULVERT 225
- CULVERT 300
- ROAD SIGN
- PYLON
- TELSTRA PIT
- SEWER MANHOLE
- STOP VALVE
- WATER MARKER POST
- STAYWIRE
- KERB INVERT
- KERB BACK
- FOOTPATH
- CONCRETE SLAB
- ROAD SIGN
- HOUSE
- WALL
- RETAINING WALL
- WINDOW
- RIDGE LINES
- UNDERSIDE OF EAVES
- GUTTER LIP
- CABLE HYDRO O'HEAD
- OPTIC FIRBRE U'GROUND
- CABLE TELSTRA O'HEAD
- SEWER U'GROUND
- WATER MAIN
- STAYWIRE
- FENCE

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

AMENDMENTS

No.	Revision/Issue	Date

LEARYCOX&CRIPPS
LAND & ENGINEERING SURVEYORS

Unit G04 40 Molle Street,
HOBART TAS 7000
P 03 6118 2030
E admin@lccsurvey.com

Project Name and Address
ALLUNGA ROAD / CLAREMONT LINK ROAD, CHIGWELL 7011

Drawing Title
DETAIL PLAN

Client
FIELD LABS
PART OF CT.197749/1

SCALE
0 5 10 15
1:400 at A3

Contour Interval 0.200 m
Date 28 / 08 / 24
SHEET 1 of 1
DRAWN BP
CHK'D TC

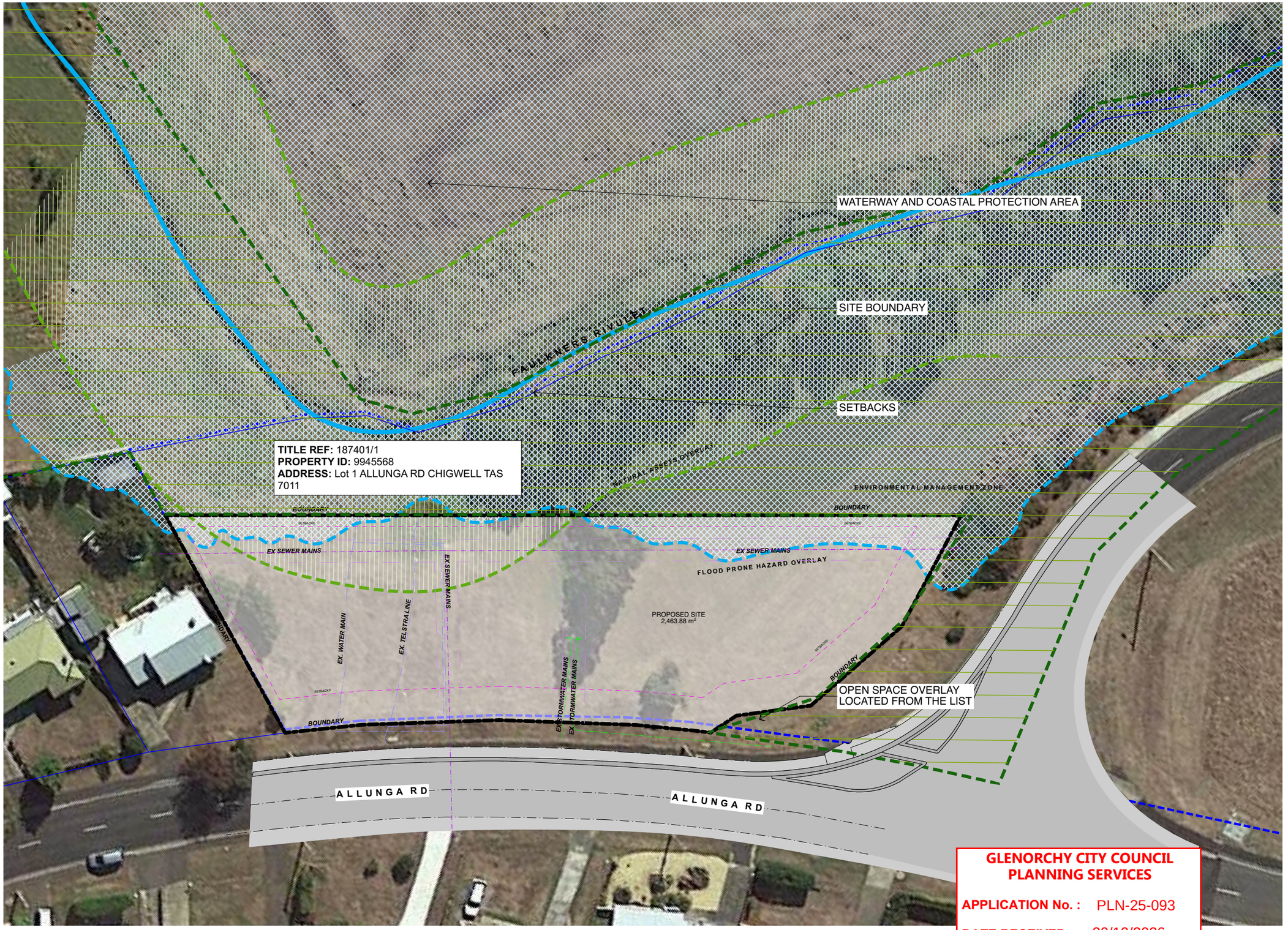
FILE REF: 14101
Geocivil Ref 1410101
AutoCAD Ref 1410101
DATUM Horz: MGA2020
Vert: AHD

This information is provided from Glenorchy City Council

FLOOD HAZARD OVERLAY

NATURAL ASSETS OVERLAY

ENVIRONMENTAL MANAGEMENT OVERLAY



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

1:500 SITE PLAN / PLANNING

Field Labs

Telephone: 0437-255-439
Email: james@fieldlabs.com.au
Accreditation: CC 1043M

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LAND SURVEYOR - Leary Cox

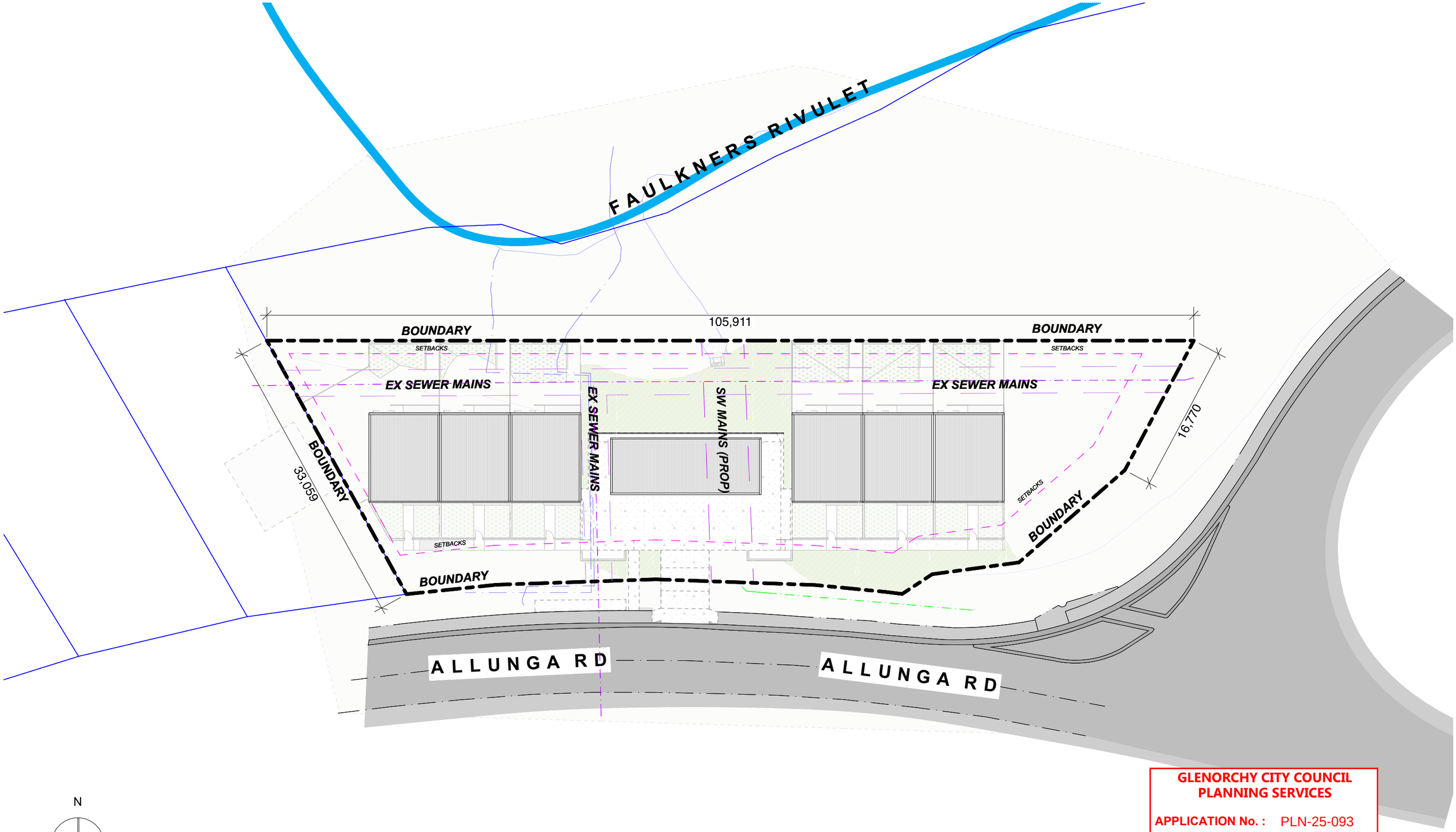
Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: PROPOSED - SITE PLAN PLANNING
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3101
REV D



N

1:400 PROPOSED SITE PLAN

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

Field Labs

Telephone:
0437-255-439
Email:
james@fieldlabs.com.au
Accreditation:
CC 1043M

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Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

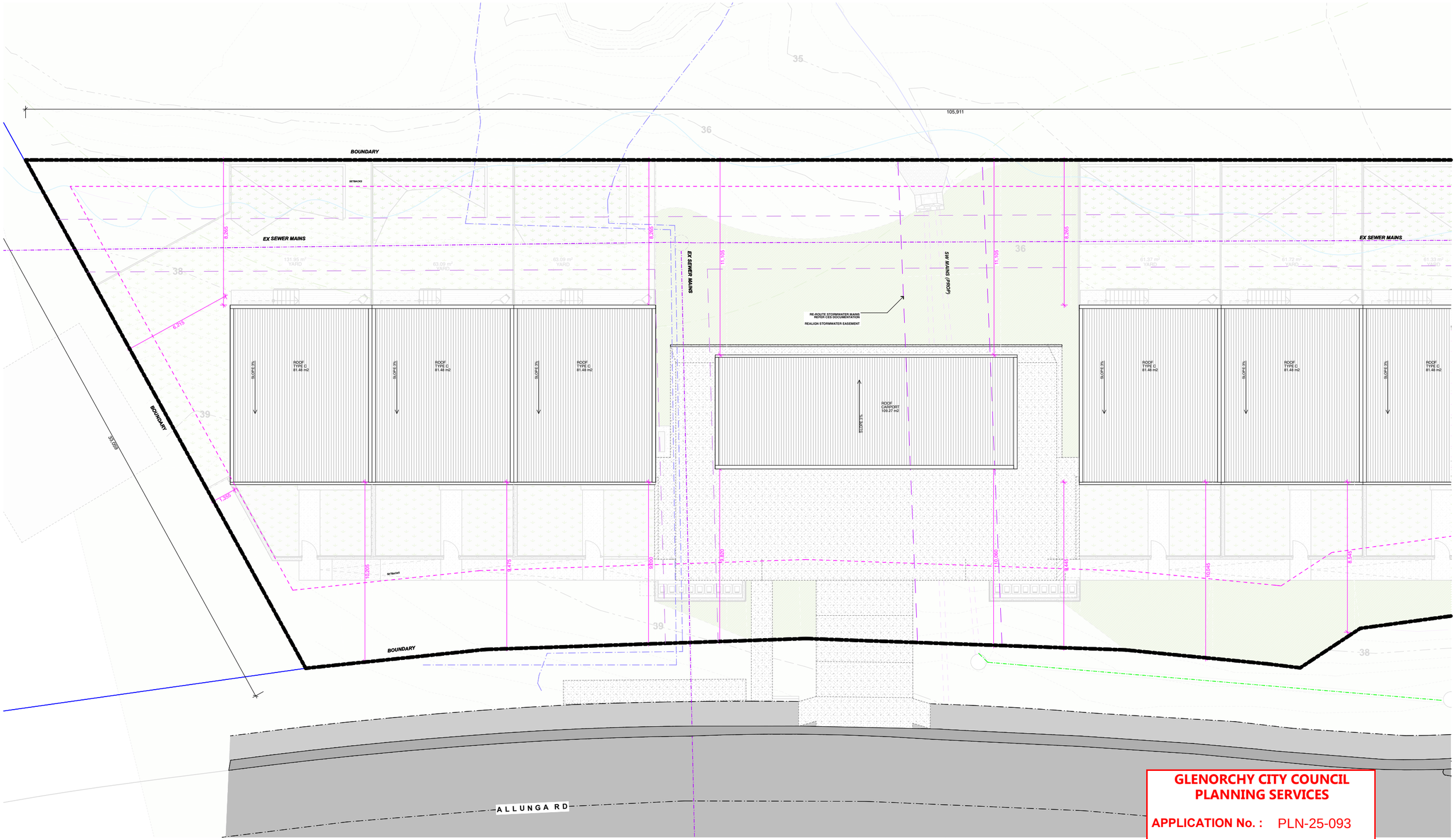
Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - SITE PLAN 500

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /

Drawing No.:
A3102
REV D



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

1:200 3. ROOF (200)

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

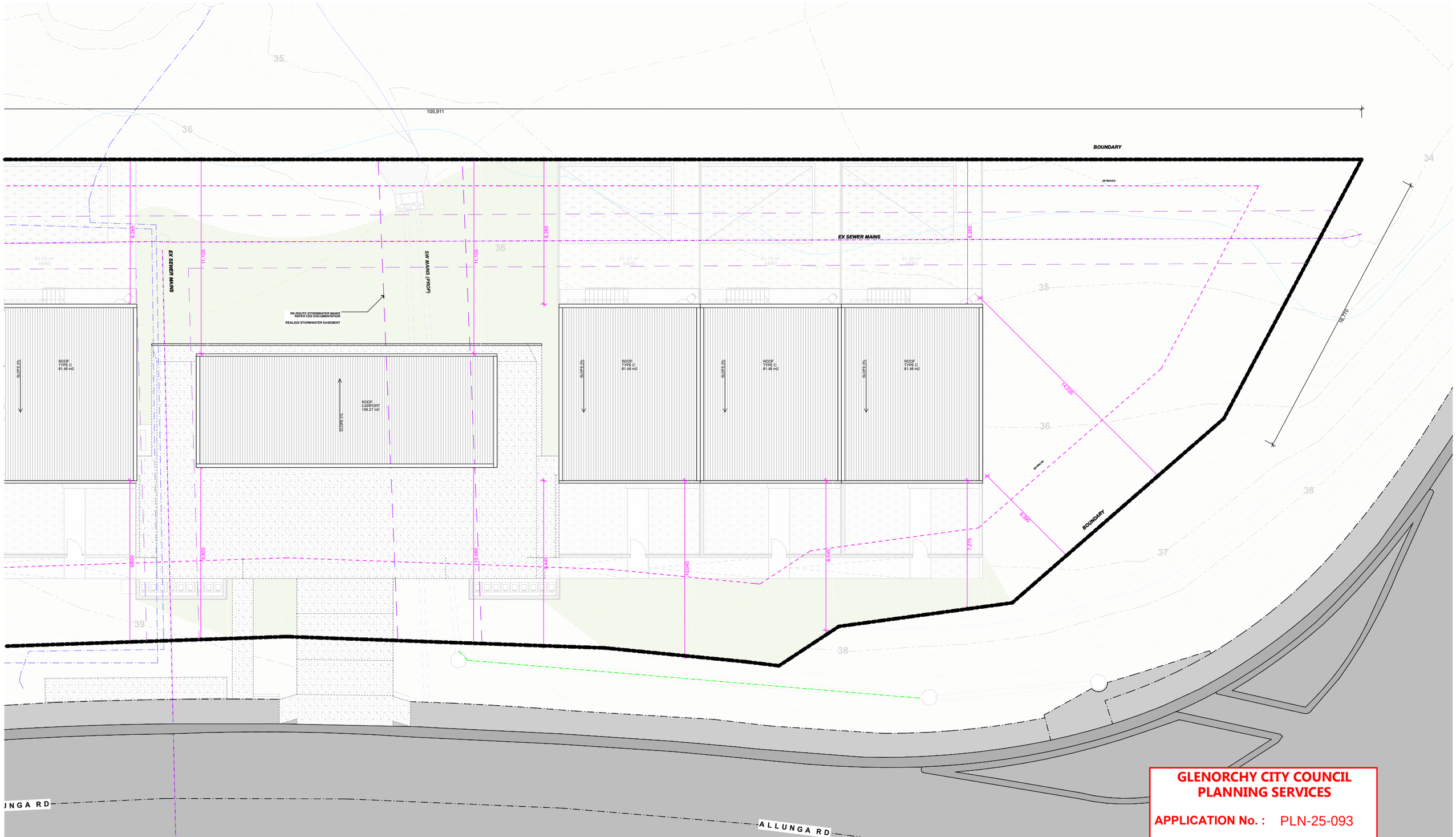
Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - SITE PLAN 200

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /

Drawing No.:
A3103
REV D



GLENORCHY CITY COUNCIL
PLANNING SERVICES

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1:200 3. ROOF (200)

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
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REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

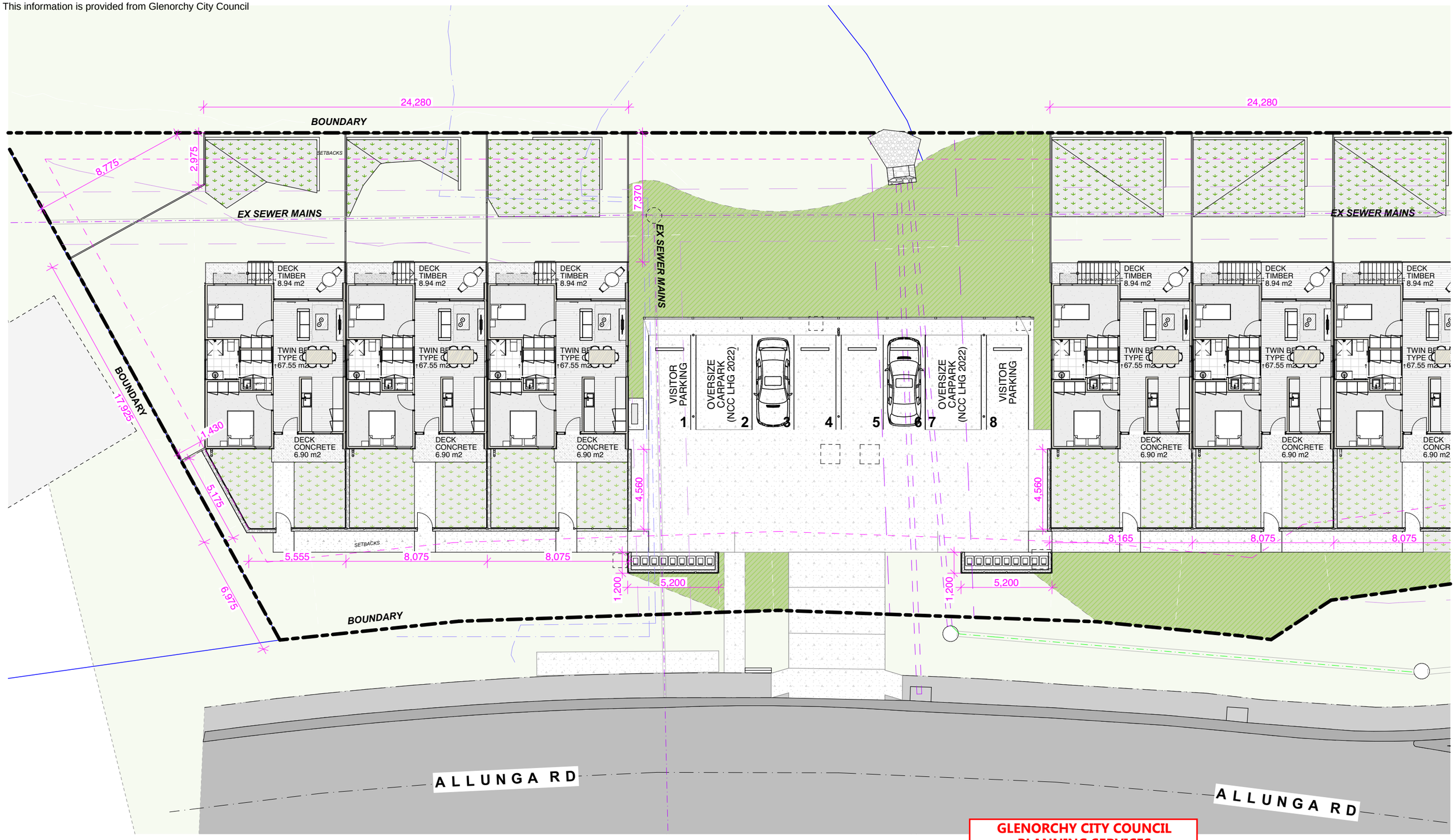
Issue ID	Issue Name	Issue Date

Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: PROPOSED - SITE PLAN 200
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3104
REV D

Print Date: 20 October 2025, 2:54 PM



1:200 2. GROUND (PROPOSED) FENCES

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

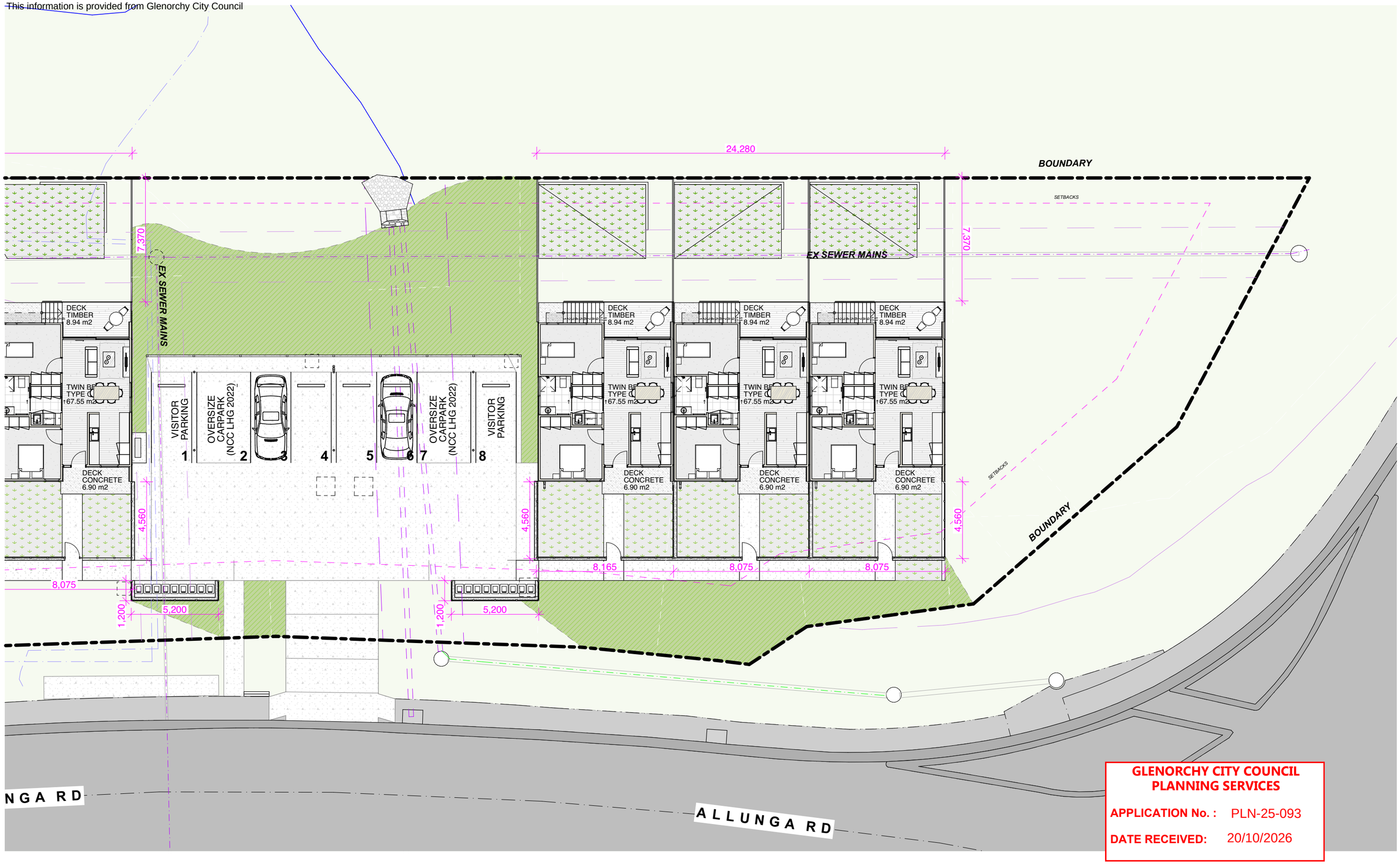
Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - SITE PLAN 200 FENCE

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /

Drawing No.:
A3105
REV D



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

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1:200 2. GROUND (PROPOSED) FENCES

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - SITE PLAN 200 FENCE

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /

Drawing No.:
A3106
REV D

GRADE HATCHED AREA TO MAX 1:6

GRADE HATCHED AREA TO MAX 1:6

GRADE HATCHED AREA TO MAX 1:6

EX SEWER MAINS

TYPE 2 FENCE

131.95 m² YARD

63.09 m² YARD

63.09 m² YARD

38

39

BOUNDARY

4 A4001

6,100

1,500

1,570

DECK TIMBER 8.94 m2

DECK

CF01

TD01

FF02

BED 02

BED 01

LIVING

DINING

TWIN BED TYPE C 67.55 m2

ROBE

LINEN

TI01

BATH

LAUNDRY

WM

UNIT 1

UNIT 2

UNIT 3

FF01

KITCHEN

FR

PA

ENTRY

DECK CONCRETE 6.90 m2

+39,300

+39,250

+38,950

+38,650

+38,700

+38,237

+38,214

+38,123

+38,394

+38,288

+38,480

+38,700

+39,000

+39,300

RELOCATE WATER MAINS

9,607

EX SEWER MAINS

3,000

1,575

1,625

SEWER MAINS BELOW

REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES

REALIGN STOI

600H STEEL CRASH BARRIER

37

2

5 A4002

11 A4005

VISITOR PARKING

OVERSIZE CARPARK (NCC LHG 2022)

MSB ON 150 CONCRETE PLINTH + BOLLARDS

SEWER MAINS BELOW

1,815

NOM 400MM RETAINING SEMI TRANSPARENT FENCE OVER TO NOM 900H ABOVE FGL

SHARED PATHWAY INSTALL GROUND MARKINGS

EXTEND EXISTING TP PALING FENCE NOM 1700H

TYPE 1 FENCE

900H FENCE

NOM 300 RETAINING

GATE

SETBACKS

NOM 400MM RETAINING SEMI TRANSPARENT FENCE OVER TO NOM 900H ABOVE FGL

NOM 400MM RETAINING SEMI TRANSPARENT FENCE OVER TO NOM 900H ABOVE FGL

SW PIT

BIN ENCLOSURE (UNITS 1-3) 1200H

4,690

4,950

9,633

8,075

870

2,235

4,500

1,200

10,400

310

NEW PEDESTRIAN ACCESS

14 A3120

BOUNDARY

BIN HARDSTAND (UNITS 1-6)

NEW DRIVEWAY

1:100 2. GROUND (PROPOSED)

GLENORCHY CITY COUNCIL PLANNING SERVICES

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

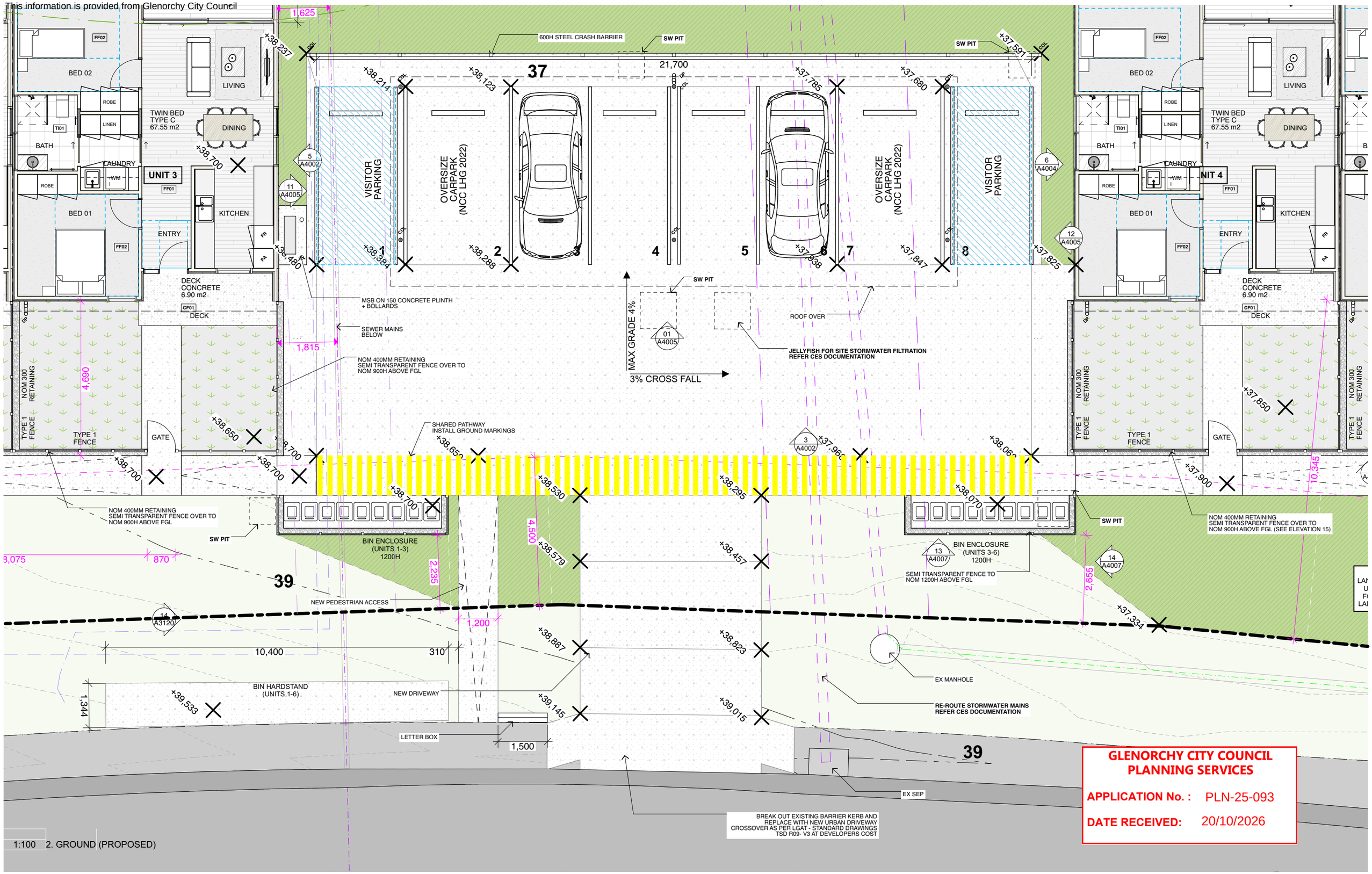
Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: PROPOSED - GROUND SETOUT 1-3
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3107 **REV D**



1:100 2. GROUND (PROPOSED)

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

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Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

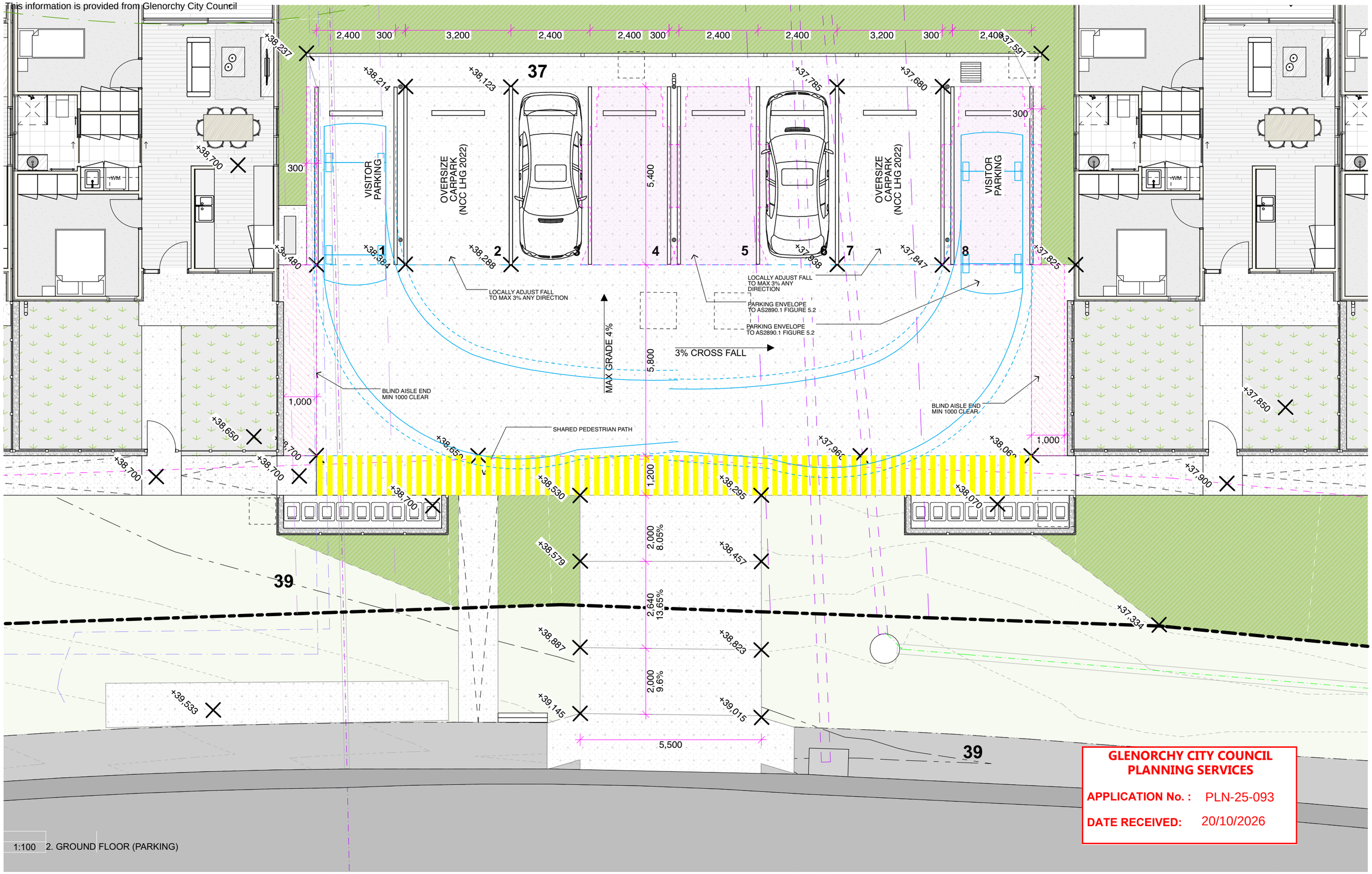
Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - GROUND SETOUT PARKING

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3108
REV D



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

1:100 2. GROUND FLOOR (PARKING)

Field Labs

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

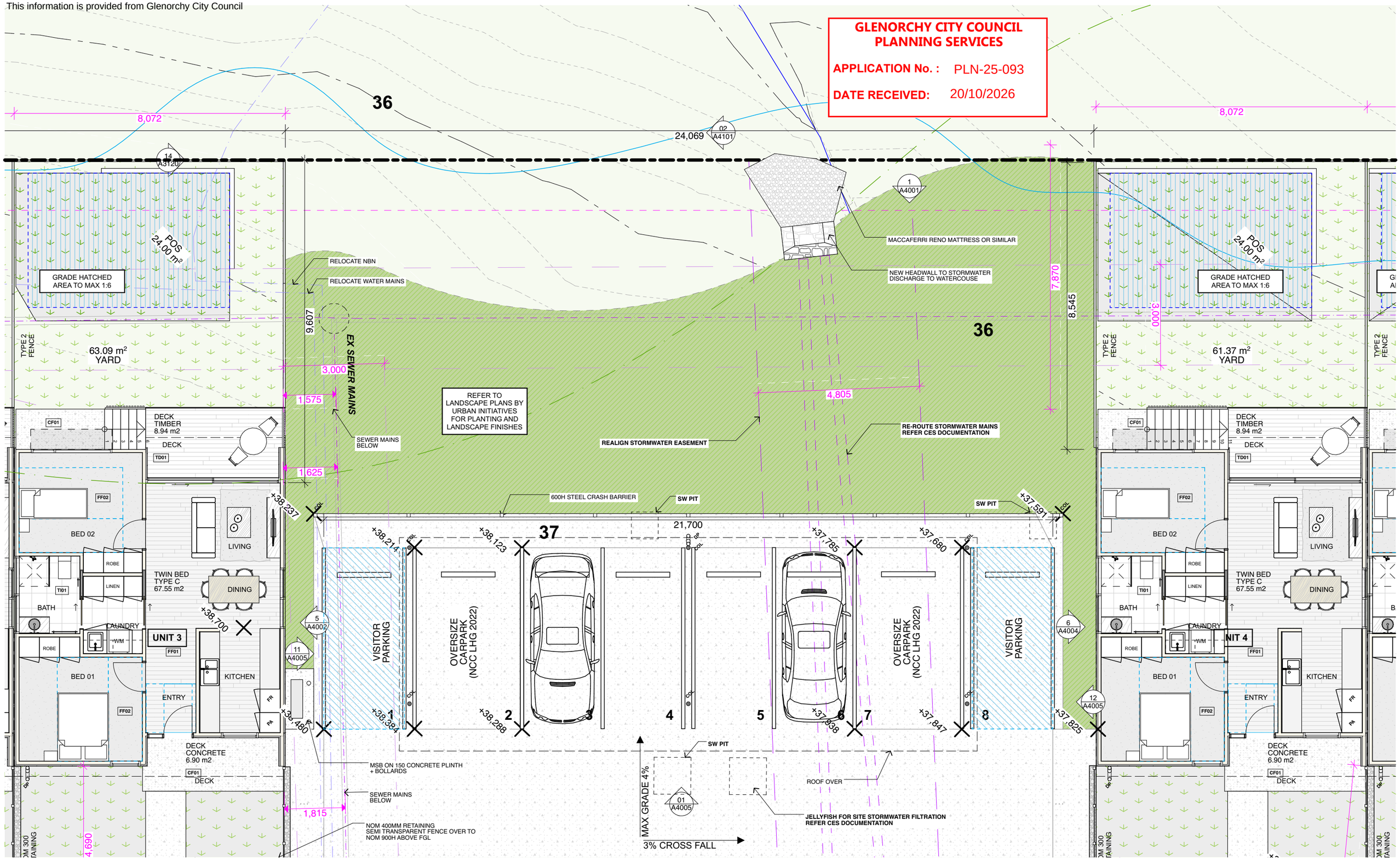
Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - GROUND SETOUT PARKING

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3109
REV D



1:100 TYPICAL FLOOR PLAN

Field Labs
Telephone: 0437-255-439
Email: james@fieldlabs.com.au
Accreditation: CC 1043M

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HYDRAULIC ENGINEER - Coordinated Engineering Serv
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LAND SURVEYOR - Leary Cox

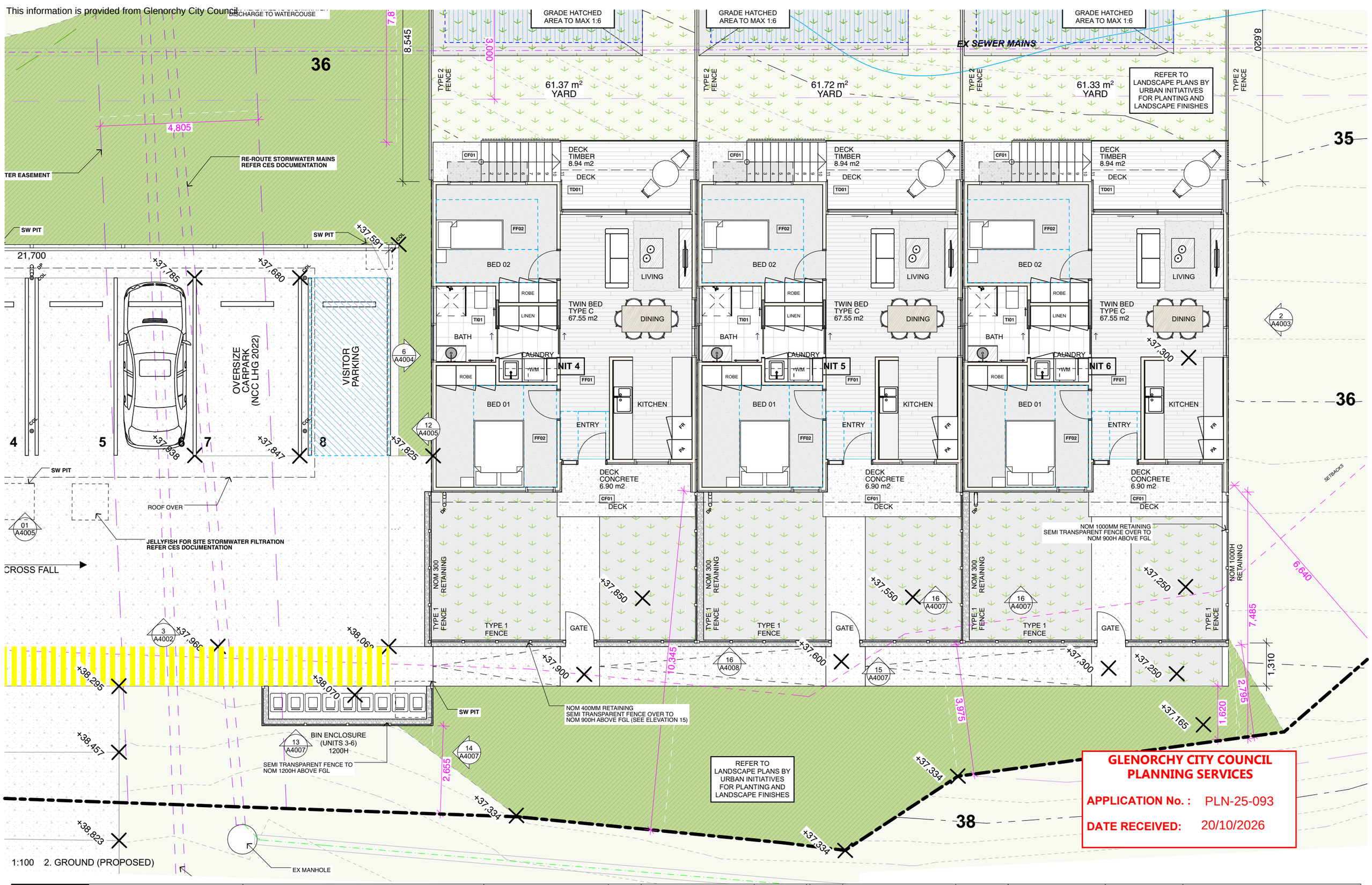
Issue ID	Issue Name	Issue Date
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: PROPOSED - GROUND SETOUT STORMW
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3110
REV D



GLENORCHY CITY COUNCIL
PLANNING SERVICES

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REV A	CONCEPT	13/2/2024
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REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

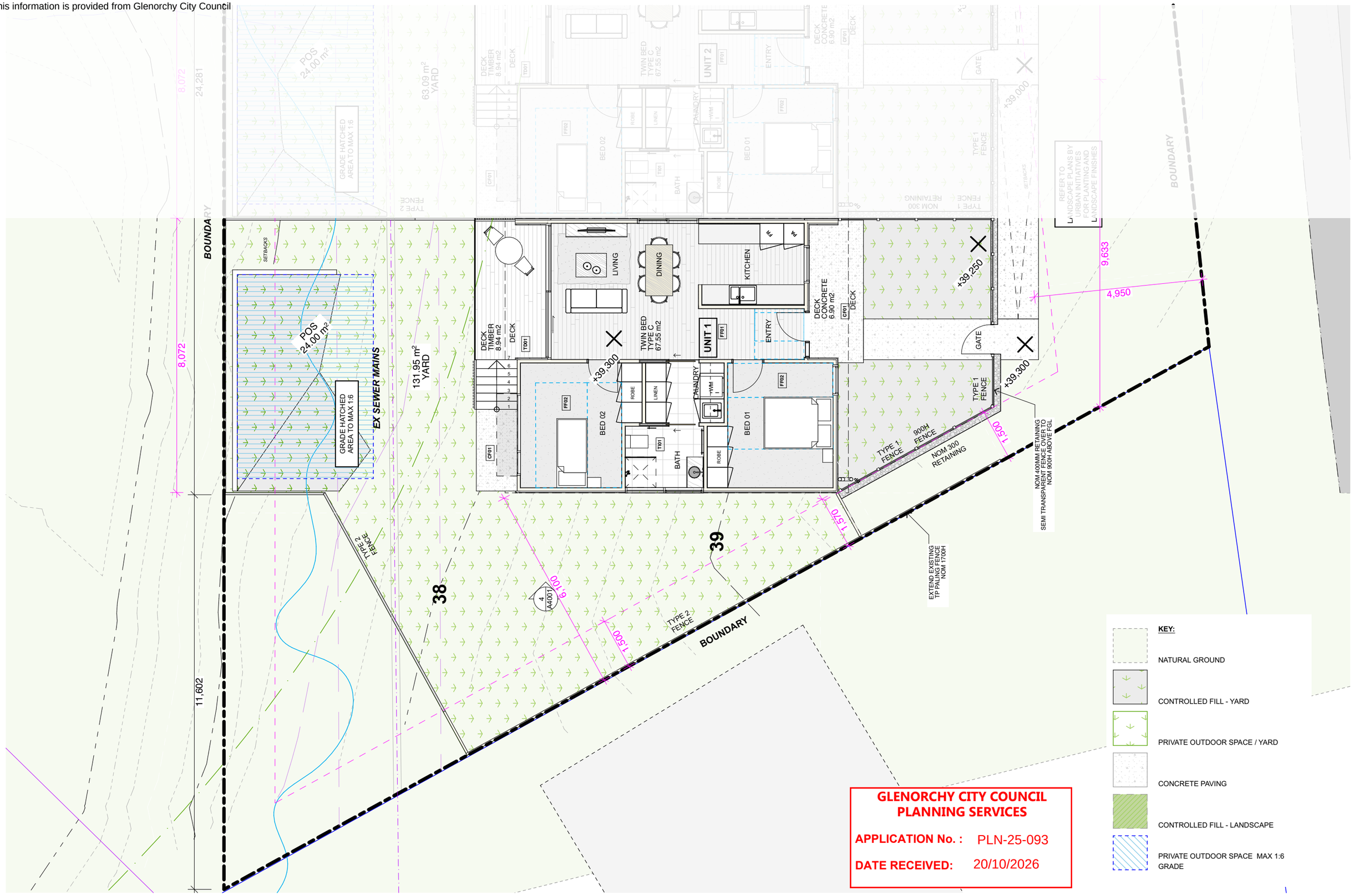
Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - GROUND SETOUT 3-4

Scale: AS SHOWN @ A3
Date: 20/10/2025
Status: CONCEPT PLANS
Drawn / Checked By: JW /

Drawing No.:
A3111
REV D

Print Date: 20 October 2025, 2:54 PM



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

1:100 UNIT 1 FLOOR PLAN

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Accreditation:
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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

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REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - UNIT 1

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3112
REV D

1:100 UNIT 2 FLOOR PLAN

Field Labs
Telephone: 0437-255-439
Email: james@fieldlabs.com.au
Accreditation: CC 1043M

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: PROPOSED - UNIT 2
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3113
REV D

KEY:

- NATURAL GROUND
- CONTROLLED FILL - YARD
- PRIVATE OUTDOOR SPACE / YARD
- CONCRETE PAVING
- CONTROLLED FILL - LANDSCAPE
- PRIVATE OUTDOOR SPACE MAX 1:6 GRADE

1:100 UNIT 3 FLOOR PLAN

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: PROPOSED - UNIT 3
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3114
REV D

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

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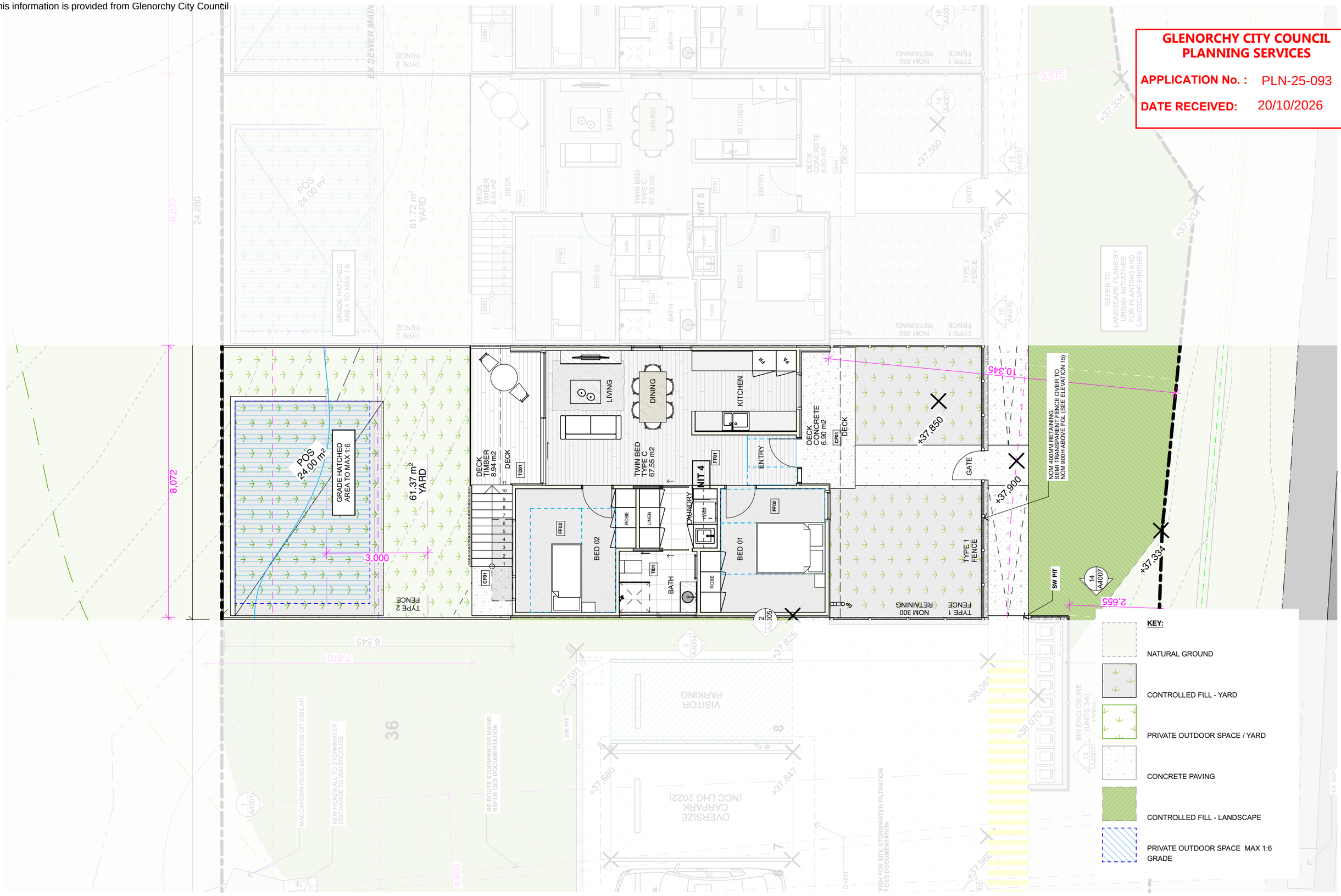


KEY:

- NATURAL GROUND
- CONTROLLED FILL - YARD
- PRIVATE OUTDOOR SPACE / YARD
- CONCRETE PAVING
- CONTROLLED FILL - LANDSCAPE
- PRIVATE OUTDOOR SPACE MAX 1:6 GRADE

1:100 UNIT 4 FLOOR PLAN

Field Labs

Telephone: 0437-255-439
Email: james@fieldlabs.com.au
Accreditation: CC 1043M

Drawings to be read in conjunction with specification by FIELD LABS and all drawings and documents by engineers and subconsultants referred to in these plans. Contractors are to verify all dimensions on site before commencing any work or producing shop drawings. Larger scale drawings and written dimensions take preference.
DO NOT SCALE FROM DRAWINGS.

ALL DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.
NOTE: ALL BUILDING LEVELS TO **AHD** UNLESS OTHERWISE NOTED.

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - UNIT 4

Scale: AS SHOWN @ A3
Date: 20/10/2025
Status: CONCEPT PLANS
Drawn / Checked By: JW /
Drawing No.: A3115
REV D

1:100 UNIT 5 FLOOR PLAN

Field Labs
Telephone: 0437-255-439
Email: james@fieldlabs.com.au
Accreditation: CC 1043M

Drawings to be read in conjunction with specification by FIELD LABS and all drawings and documents by engineers and subconsultants referred to in these plans. Contractors are to verify all dimensions on site before commencing any work or producing shop drawings. Larger scale drawings and written dimensions take preference.
DO NOT SCALE FROM DRAWINGS.

ALL DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.
NOTE: ALL BUILDING LEVELS TO **AHD** UNLESS OTHERWISE NOTED.

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

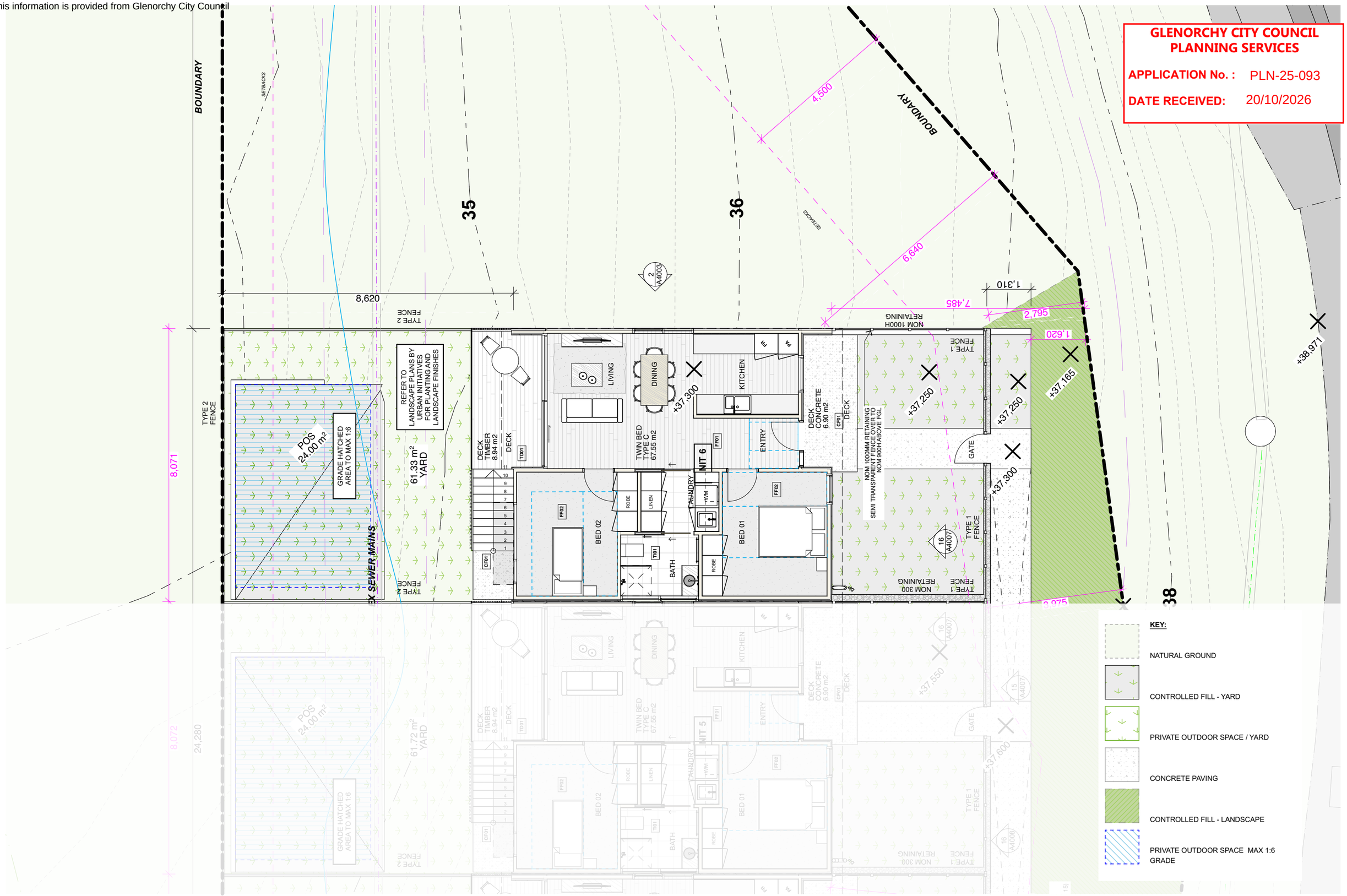
Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: PROPOSED - UNIT 5
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3116
REV D



KEY:

- NATURAL GROUND
- CONTROLLED FILL - YARD
- PRIVATE OUTDOOR SPACE / YARD
- CONCRETE PAVING
- CONTROLLED FILL - LANDSCAPE
- PRIVATE OUTDOOR SPACE MAX 1:6 GRADE

1:100 UNIT 6 FLOOR PLAN

Field Labs
Telephone: 0437-255-439
Email: james@fieldlabs.com.au
Accreditation: CC 1043M

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

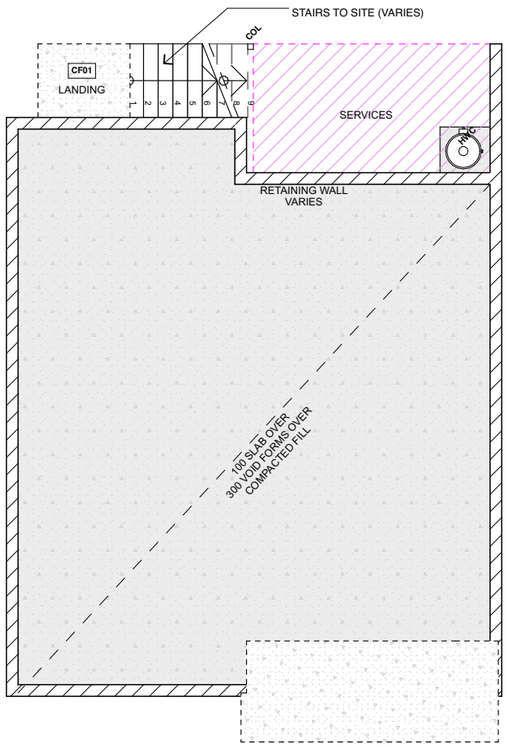
Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

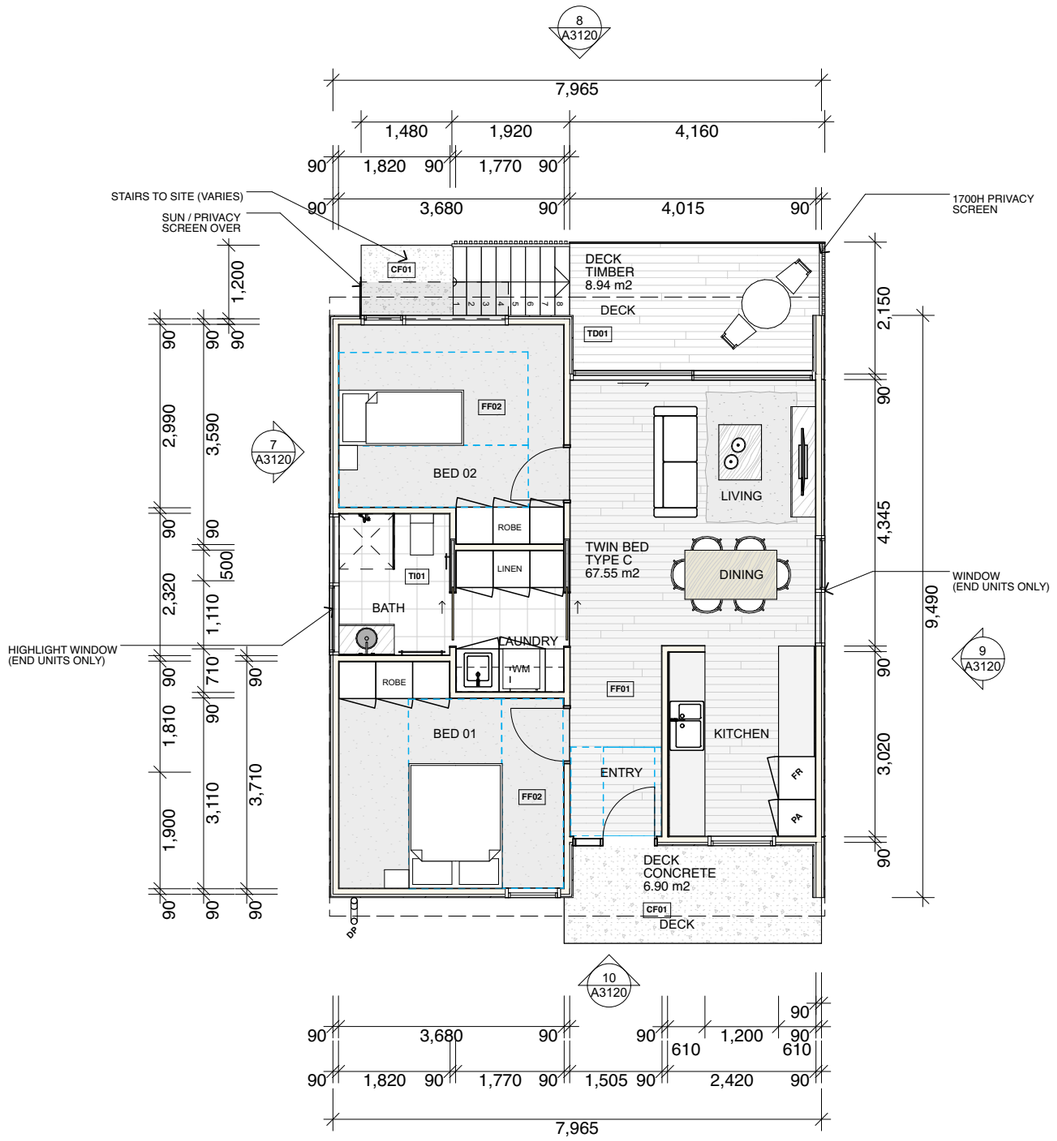
Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

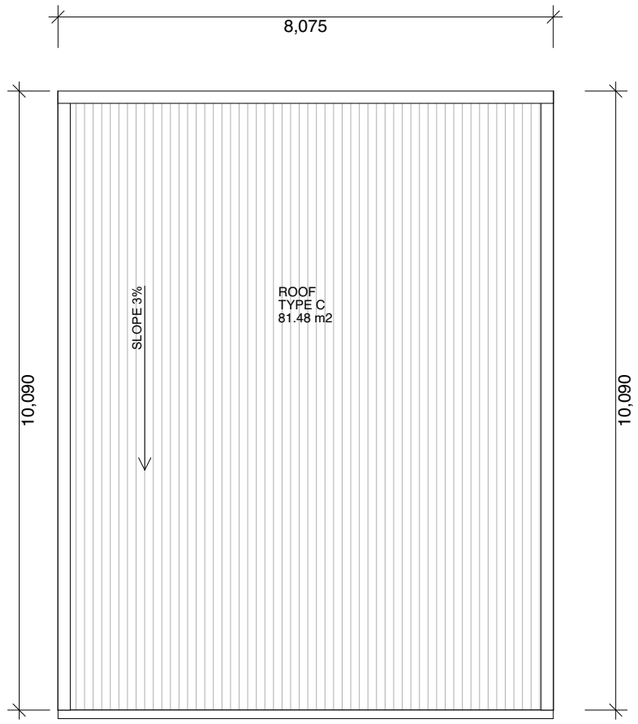
Drawing Title: PROPOSED - UNIT 6
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3117 **REV D**



1:100 TYPE C - BASEMENT



1:100 TYPE C - GROUND FLOOR



1:100 TYPE C - ROOF

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

Field Labs

Telephone:
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Email:
james@fieldlabs.com.au
Accreditation:
CC 1043M

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DO NOT SCALE FROM DRAWINGS.

ALL DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR.
NOTE: ALL BUILDING LEVELS TO **AHD** UNLESS OTHERWISE NOTED.

Refer to Consultant documentation where directed:
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CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

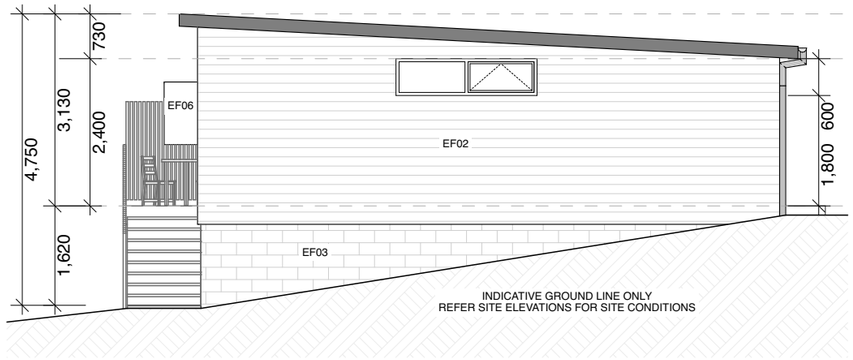
Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - TYPE C PLANS

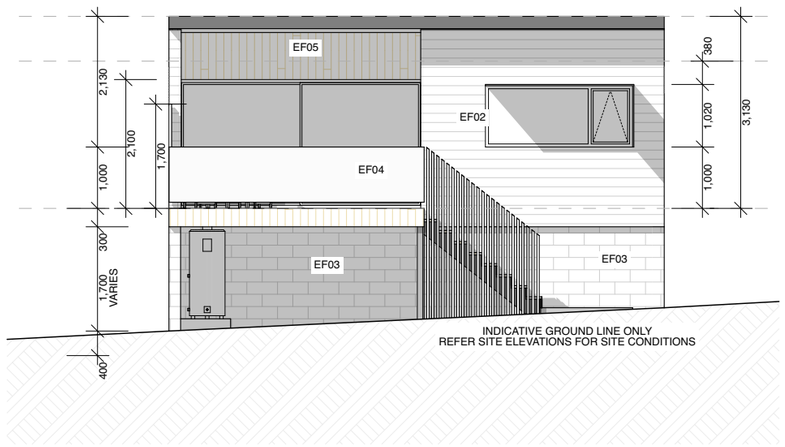
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A3119 **REV D**

Print Date: 20 October 2025, 2:54 PM

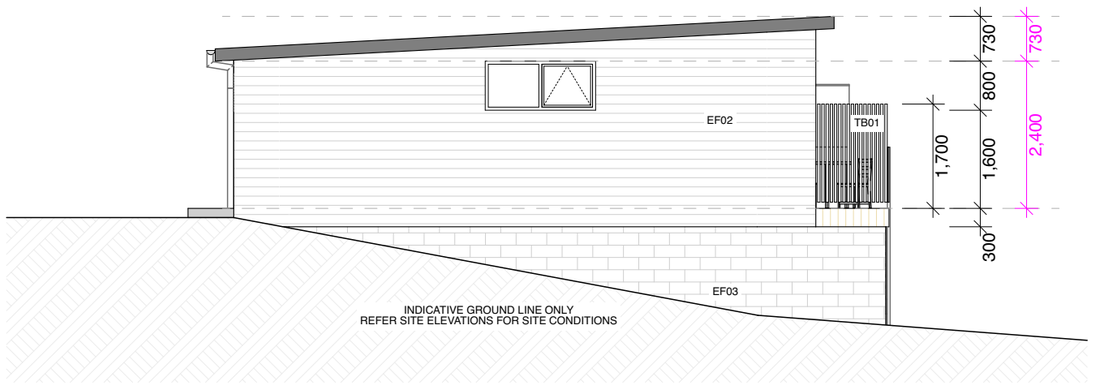
1:100 10 EAST UNIT



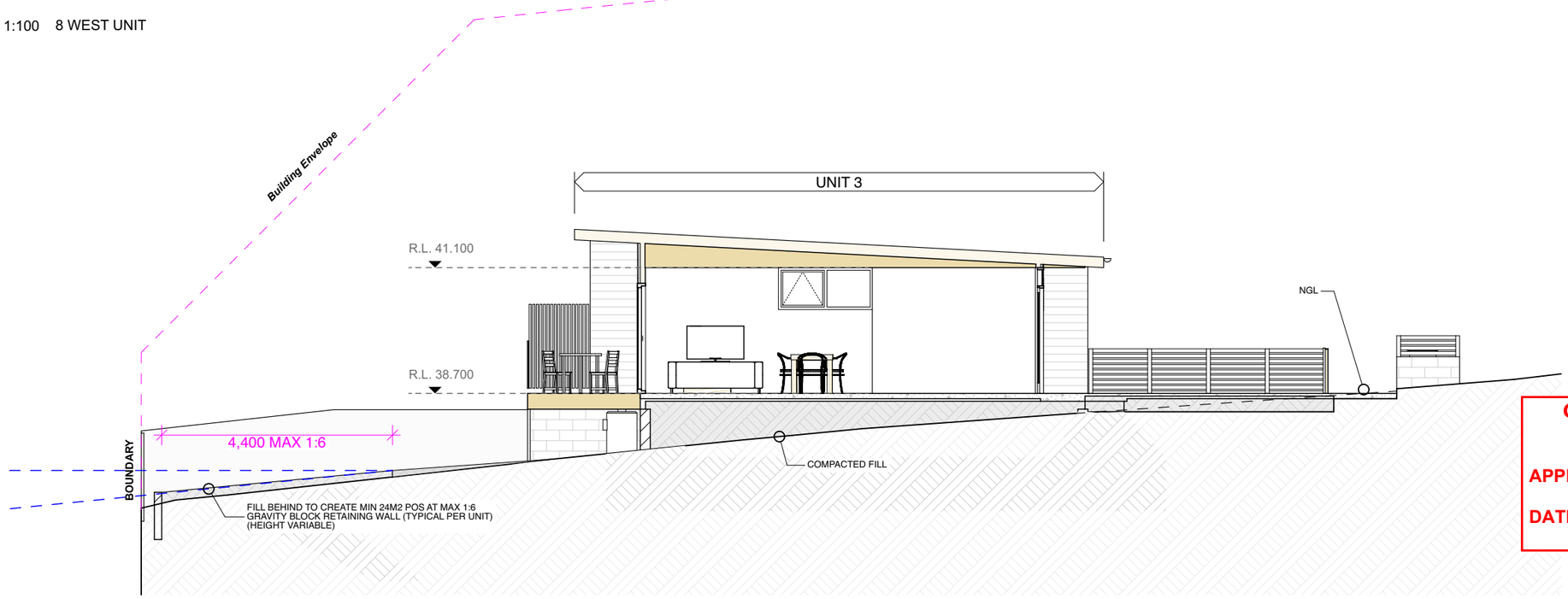
1:100 7 SOUTH UNIT



1:100 9 NORTH UNIT



1:100 8 WEST UNIT



TYPICAL BUILDING ELEVATIONS
(SHOWING TYPICAL UNIT IN ISOLATION)

NOTE ALL UNITS ARE CONJOINED
AS PER SITE ELEVATIONS

REFER TO SITE ELEVATIONS FOR SITE LEVELS

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

Field Labs

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0437-255-439

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james@fieldlabs.com.au

Accreditation:
CC 1043M

1:100 14 SECTION A

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Servi
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

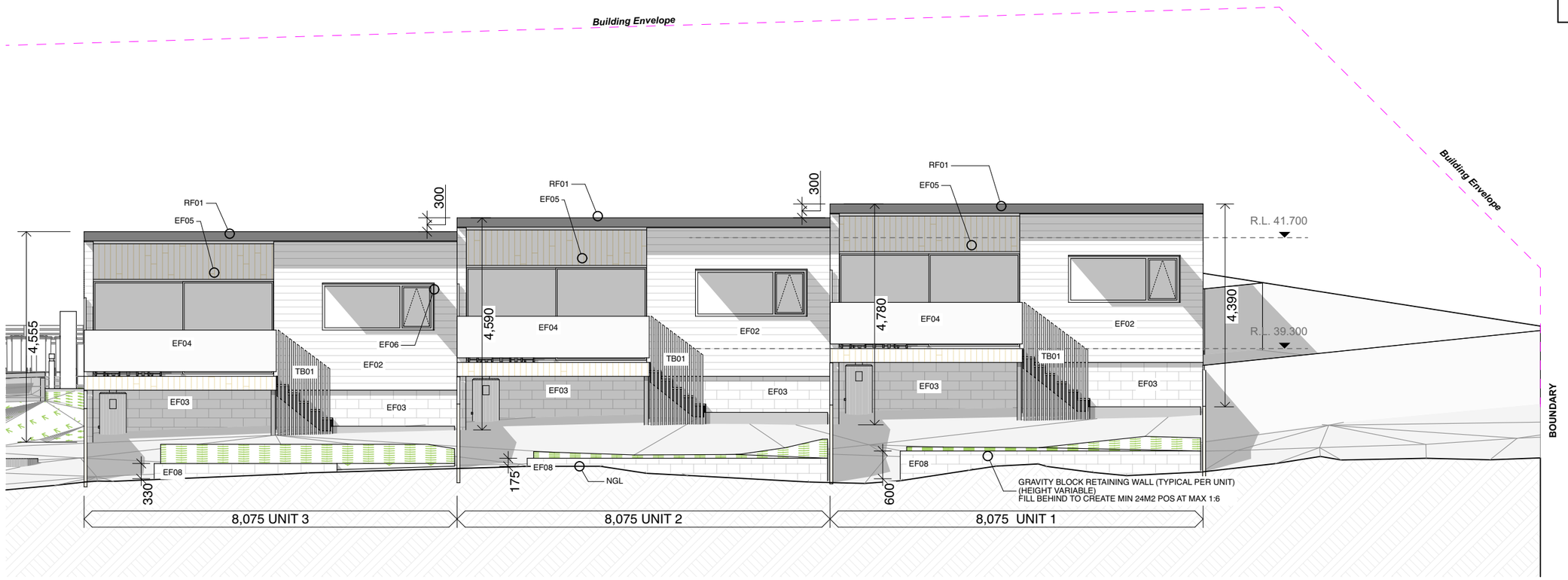
Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
PROPOSED - TYPICAL BUILDING

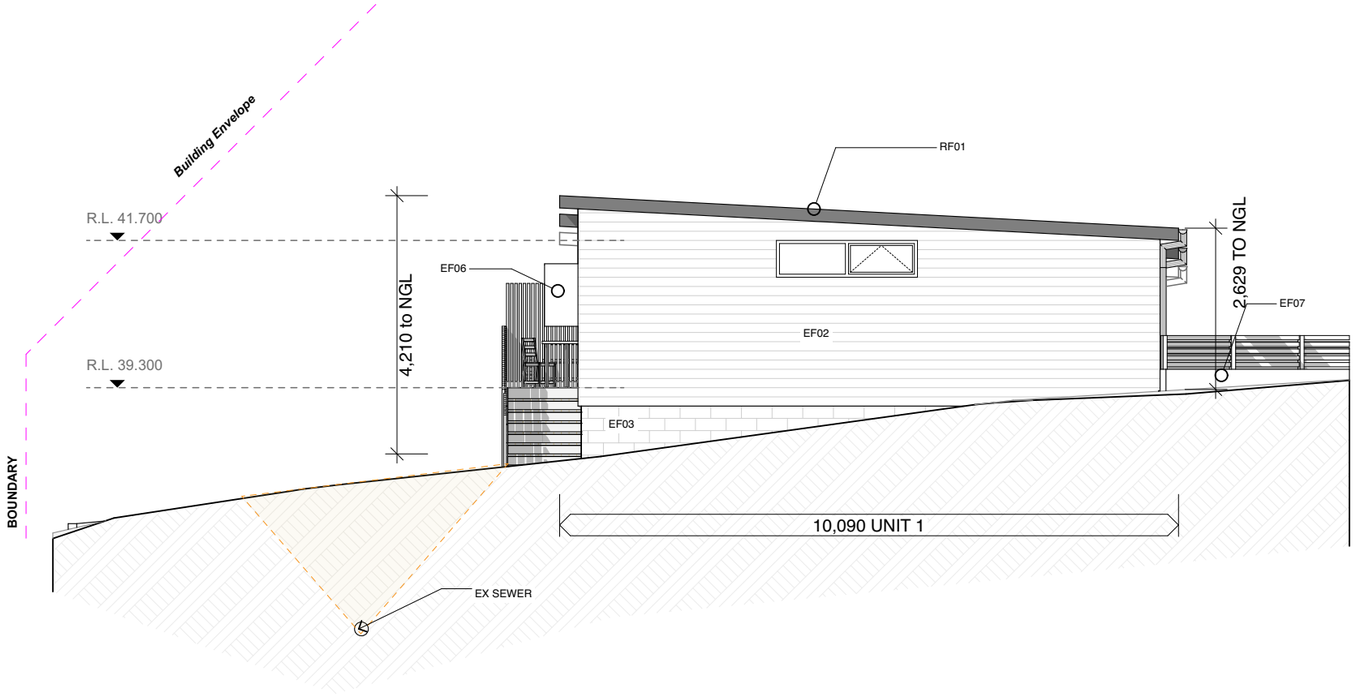
Scale: AS SHOWN @ A3
Date: 20/10/2025
Status: CONCEPT PLANS
Drawn / Checked By: JW /

Drawing No.:
A3120
REV D

REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES



1:100 1 WEST



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

EXTERNAL FINISHES:

TD01: 19MM EKODEK OR SIMILAR COMPOSITE DECKING, SS TWIST NAIL, 3MM GAP, OVER TREATED PINE FRAMING
TB01: RADIAL TIMBER BATTEN BALUSTRADE, MAX SPACING 120MM. NOM 40X40 HW SCREEN ON STEEL FRAME
TB02: RADIAL TIMBER PRIVACY SCREEN, MAX 30% TRANSPARENCY. NOM 40X40 HW SCREEN ON STEEL FRAME
EF02: 16MM FC LINEA 150MM WEATHERBOARD, PAINT FINISH IN DULUX "SNOWY MOUNTAINS HALF"
EF03: ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF04: 1000H GLASS BALUSTRADE, STEEL HANDRAIL + BALUSTERS
EF05: 9.5MM WEATHERTEX WEATHERGROOVE 75 NATURAL, PAINT FINISH TBA
EF06: SUNSHADE, POWDERCOATED 6MM ALUMINIUM
EF07: SEMI TRANSPARENT BATTEN FENCE, REFER LANDSCAPE DOCS
EF08: ISLAND BLOCK FREESTONE ECO "PEWTER ECO" GRAVITY BLOCK LANDSCAPE RETAINING WALL
EF09: CRASH BARRIER WALL, ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF10: MASS SANDSTONE GRAVITY BLOCK, REFER LANDSCAPE DOCS
RF01: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
RF02: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
CF03: 9MM VILLABOARD, FLUSH FINISH, BACK BLOCK AND TAPE ALL JOINS, SQUARE SET ALL ROUND. PAINT FINISH, UNDERCOAT + MIN 2X TOP COATS, COLOUR TBS.
CF01: CONCRETE SLAB, DECORATIVE FINISH DMXST/42 TASSIE GOLD / 7 / 10MM LIMESTONE,
CF02: CONCRETE SLAB DRIVEWAY, BROOMED FINISH
DP: DOWNPIPE, PAINT FINISH
FG: FIXED GLASS
PARTY WALLS: SYSTEM TO BE CONFIRMED

FENCE 1: NOM 900H SLATTED FENCE (MIN 30% TRANSPARENCY) (NOM 70MM BATTEN, 30MM GAP)
FENCE 2: NOM 1800H TIMBER PALING (SOLID)

Field Labs

1:100 4 SOUTH (UNIT 1)
Telephone:
0437-255-439
Email:
james@fieldlabs.com.au
Accreditation:
CC 1043M

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

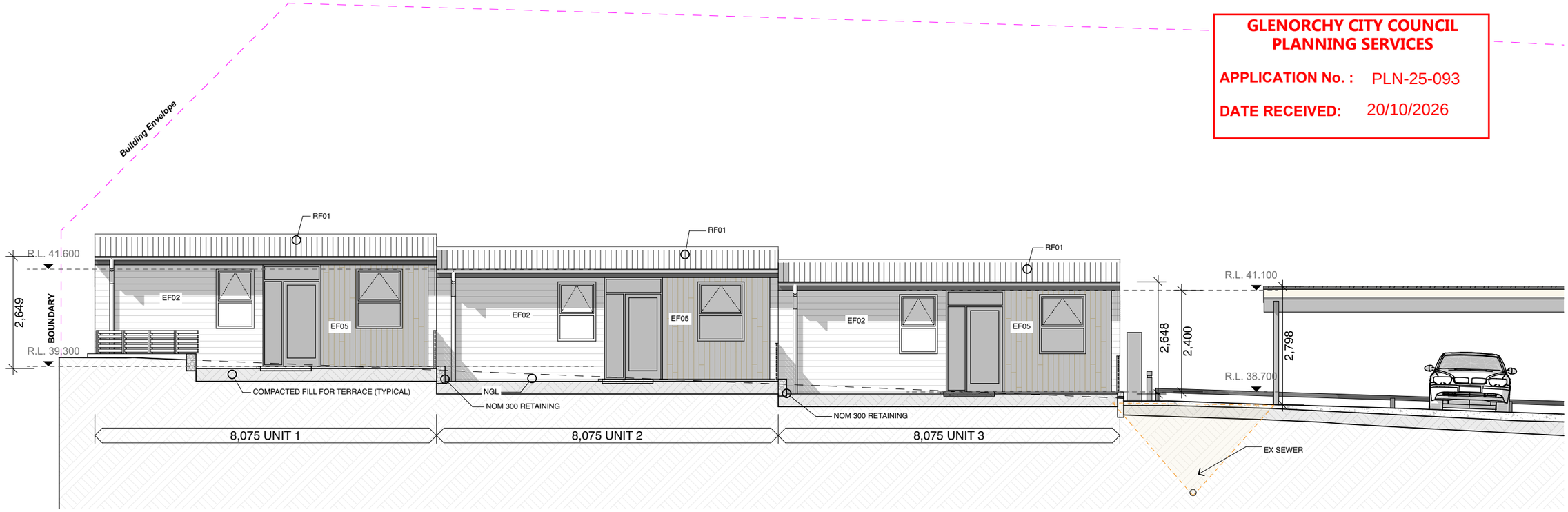
Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA
Project Name
ALLUNGA RD
Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference
9945568

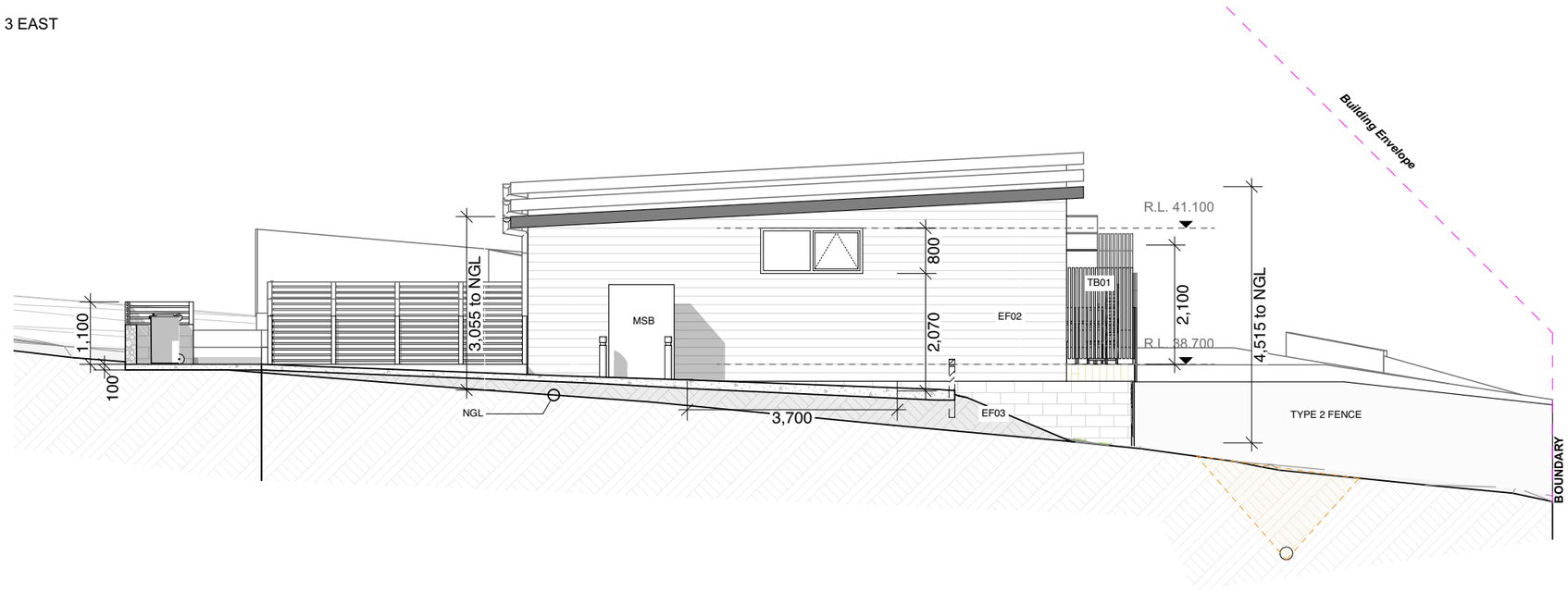
Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
ELEVATION - ELEVATIONS 1-3
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.:
A4001
REV D

REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES



1:100 3 EAST



1:100 5 NORTH (UNIT 3)

EXTERNAL FINISHES:

TD01: 19MM EKODEK OR SIMILAR COMPOSITE DECKING, SS TWIST NAIL, 3MM GAP, OVER TREATED PINE FRAMING
TB01: RADIAL TIMBER BATTEN BALUSTRADE, MAX SPACING 120MM. NOM 40X40 HW SCREEN ON STEEL FRAME
TB02: RADIAL TIMBER PRIVACY SCREEN, MAX 30% TRANSPARENCY. NOM 40X40 HW SCREEN ON STEEL FRAME
EF02: 16MM FC LINEA 150MM WEATHERBOARD, PAINT FINISH IN DULUX "SNOWY MOUNTAINS HALF"
EF03: ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF04: 1000H GLASS BALUSTRADE, STEEL HANDRAIL + BALUSTERS
EF05: 9.5MM WEATHERTEX WEATHERGROOVE 75 NATURAL, PAINT FINISH TBA
EF06: SUNSHADE, POWDERCOATED 6MM ALUMINIUM
EF07: SEMI TRANSPARENT BATTEN FENCE, REFER LANDSCAPE DOCS
EF08: ISLAND BLOCK FREESTONE ECO "PEWTER ECO" GRAVITY BLOCK LANDSCAPE RETAINING WALL
EF09: CRASH BARRIER WALL, ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF10: MASS SANDSTONE GRAVITY BLOCK, REFER LANDSCAPE DOCS
RF01: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
RF02: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
CF03: 9MM VILLABOARD, FLUSH FINISH, BACK BLOCK AND TAPE ALL JOINS, SQUARE SET ALL ROUND. PAINT FINISH, UNDERCOAT + MIN 2X TOP COATS, COLOUR TBS.
CF01: CONCRETE SLAB, DECORATIVE FINISH DMXST/42 TASSIE GOLD / 7 / 10MM LIMESTONE,
CF02: CONCRETE SLAB DRIVEWAY, BROOMED FINISH
DP: DOWNPIPE, PAINT FINISH
FG: FIXED GLASS
PARTY WALLS: SYSTEM TO BE CONFIRMED

FENCE 1: NOM 900H SLATTED FENCE (MIN 30% TRANSPARENCY) (NOM 70MM BATTEN, 30MM GAP)
FENCE 2: NOM 1800H TIMBER PALING (SOLID)

Field Labs
Telephone:
0437-255-439
Email:
james@fieldlabs.com.au
Accreditation:
CC 1043M

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

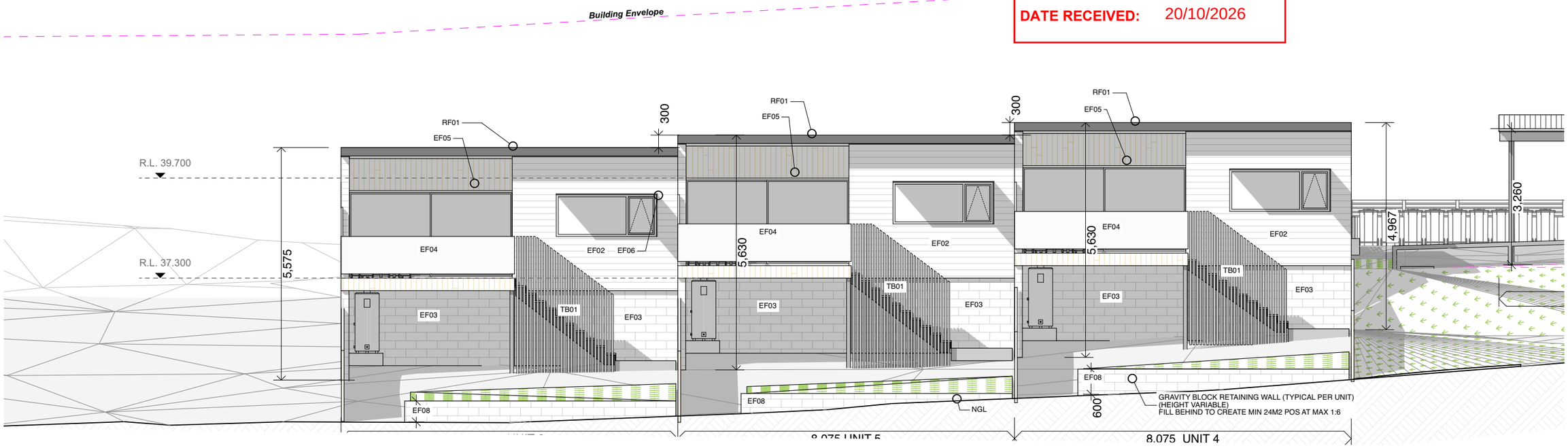
Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA
Project Name
ALLUNGA RD
Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference
9945568

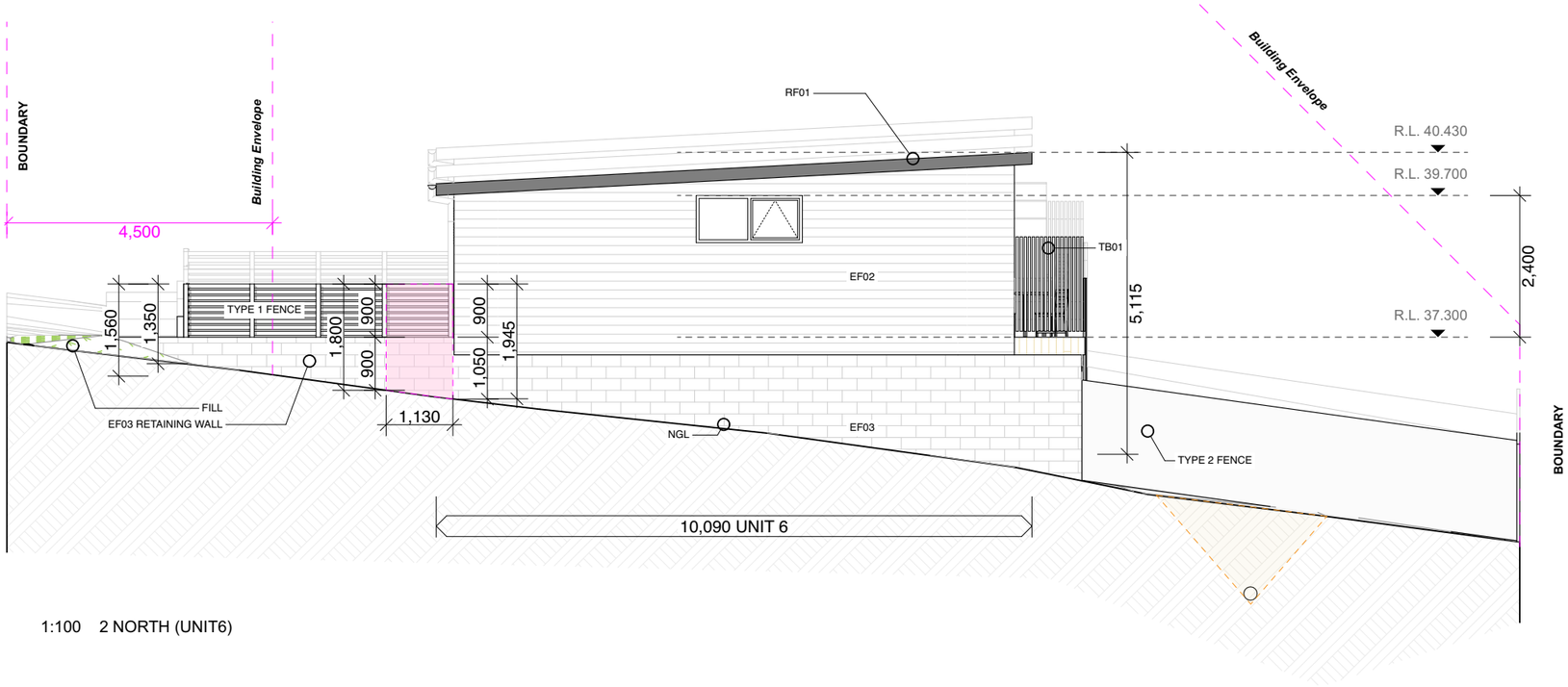
Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
ELEVATION - ELEVATIONS 1-3
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.:
A4002
REV D

REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES



1:100 1 WEST



1:100 2 NORTH (UNIT6)

EXTERNAL FINISHES:
TD01: 19MM EKODEK OR SIMILAR COMPOSITE DECKING, SS TWIST NAIL, 3MM GAP, OVER TREATED PINE FRAMING
TB01: RADIAL TIMBER BATTEN BALUSTRADE, MAX SPACING 120MM. NOM 40X40 HW SCREEN ON STEEL FRAME
TB02: RADIAL TIMBER PRIVACY SCREEN, MAX 30% TRANSPARENCY. NOM 40X40 HW SCREEN ON STEEL FRAME
EF02: 16MM FC LINEA 150MM WEATHERBOARD, PAINT FINISH IN DULUX "SNOWY MOUNTAINS HALF"
EF03: ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF04: 1000H GLASS BALUSTRADE, STEEL HANDRAIL + BALUSTERS
EF05: 9.5MM WEATHERTEX WEATHERGROOVE 75 NATURAL, PAINT FINISH TBA
EF06: SUNSHADE, POWDERCOATED 6MM ALUMINIUM
EF07: SEMI TRANSPARENT BATTEN FENCE, REFER LANDSCAPE DOCS
EF08: ISLAND BLOCK FREESTONE ECO "PEWTER ECO" GRAVITY BLOCK LANDSCAPE RETAINING WALL
EF09: CRASH BARRIER WALL, ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF10: MASS SANDSTONE GRAVITY BLOCK, REFER LANDSCAPE DOCS
RF01: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
RF02: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
CF03: 9MM VILLABOARD, FLUSH FINISH, BACK BLOCK AND TAPE ALL JOINS, SQUARE SET ALL ROUND. PAINT FINISH, UNDERCOAT + MIN 2X TOP COATS, COLOUR TBS.
CF01: CONCRETE SLAB, DECORATIVE FINISH DMXST/42 TASSIE GOLD / 7 / 10MM LIMESTONE,
CF02: CONCRETE SLAB DRIVEWAY, BROOMED FINISH
DP: DOWNPIPE, PAINT FINISH
FG: FIXED GLASS
PARTY WALLS: SYSTEM TO BE CONFIRMED

FENCE 1: NOM 900H SLATTED FENCE (MIN 30% TRANSPARENCY) (NOM 70MM BATTEN, 30MM GAP)
FENCE 2: NOM 1800H TIMBER PALING (SOLID)

Field Labs
Telephone:
0437-255-439
Email:
james@fieldlabs.com.au
Accreditation:
CC 1043M

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

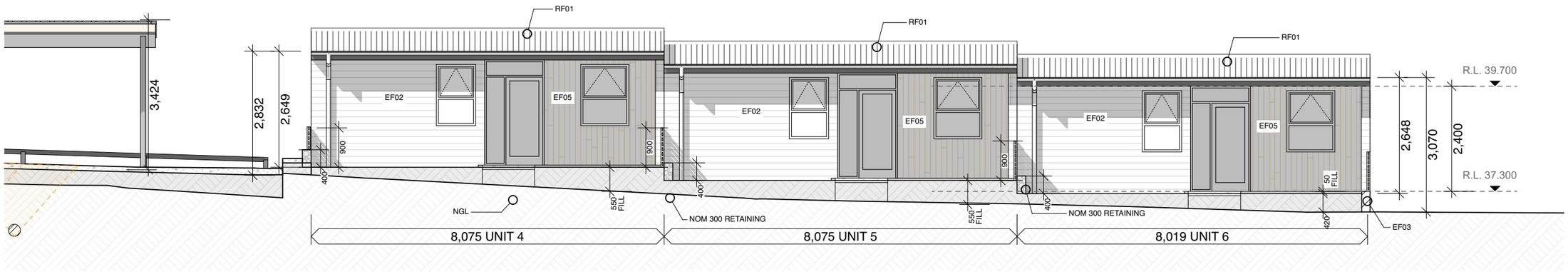
Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA
Project Name
ALLUNGA RD
Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference
9945568

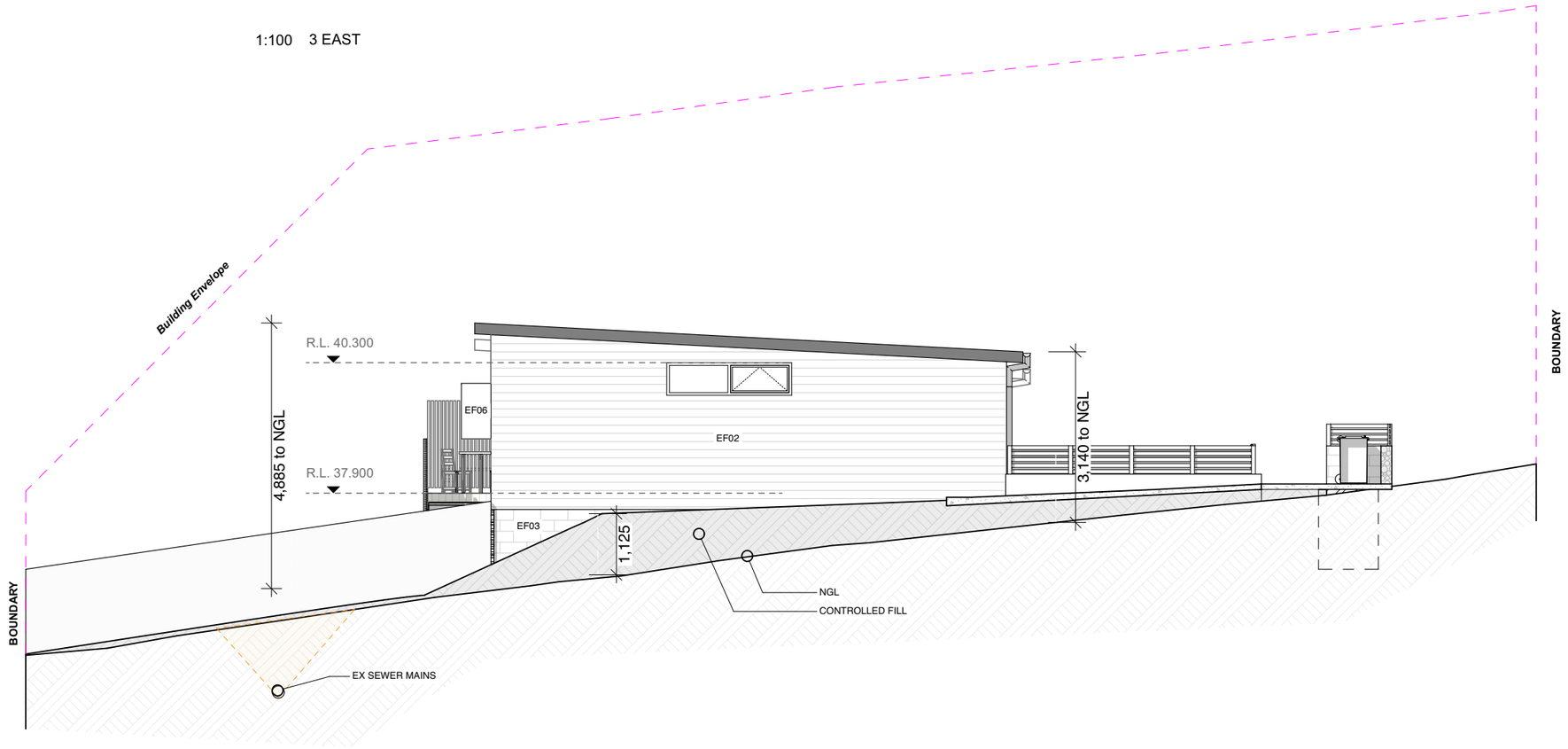
Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
ELEVATION - ELEVATIONS 4-6
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.:
A4003
REV D

REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES



1:100 3 EAST



1:100 6 SOUTH (UNIT 4)

EXTERNAL FINISHES:

TD01: 19MM EKODEK OR SIMILAR COMPOSITE DECKING, SS TWIST NAIL, 3MM GAP, OVER TREATED PINE FRAMING
TB01: RADIAL TIMBER BATTEN BALUSTRADE, MAX SPACING 120MM. NOM 40X40 HW SCREEN ON STEEL FRAME
TB02: RADIAL TIMBER PRIVACY SCREEN, MAX 30% TRANSPARENCY. NOM 40X40 HW SCREEN ON STEEL FRAME
EF02: 16MM FC LINEA 150MM WEATHERBOARD, PAINT FINISH IN DULUX "SNOWY MOUNTAINS HALF"
EF03: ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF04: 1000H GLASS BALUSTRADE, STEEL HANDRAIL + BALUSTERS
EF05: 9.5MM WEATHERTEX WEATHERGROOVE 75 NATURAL, PAINT FINISH TBA
EF06: SUNSHADE, POWDERCOATED 6MM ALUMINIUM
EF07: SEMI TRANSPARENT BATTEN FENCE, REFER LANDSCAPE DOCS
EF08: ISLAND BLOCK FREESTONE ECO "PEWTER ECO" GRAVITY BLOCK LANDSCAPE RETAINING WALL
EF09: CRASH BARRIER WALL, ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF10: MASS SANDSTONE GRAVITY BLOCK, REFER LANDSCAPE DOCS
RF01: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
RF02: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
CF03: 9MM VILLABOARD, FLUSH FINISH, BACK BLOCK AND TAPE ALL JOINS, SQUARE SET ALL ROUND. PAINT FINISH, UNDERCOAT + MIN 2X TOP COATS, COLOUR TBS.
CF01: CONCRETE SLAB, DECORATIVE FINISH DMXST/42 TASSIE GOLD / 7 / 10MM LIMESTONE,
CF02: CONCRETE SLAB DRIVEWAY, BROOMED FINISH
DP: DOWNPIPE, PAINT FINISH
FG: FIXED GLASS
PARTY WALLS: SYSTEM TO BE CONFIRMED

FENCE 1: NOM 900H SLATTED FENCE (MIN 30% TRANSPARENCY) (NOM 70MM BATTEN, 30MM GAP)
FENCE 2: NOM 1800H TIMBER PALING (SOLID)

Field Labs
Telephone: 0437-255-439
Email: james@fieldlabs.com.au
Accreditation: CC 1043M

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

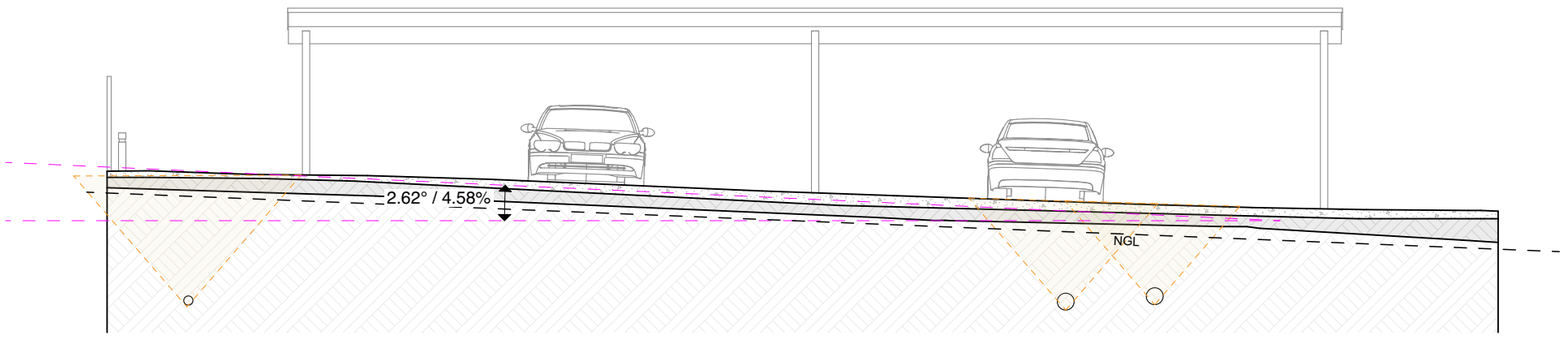
Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: ELEVATION - ELEVATIONS 4-6
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A4004
REV D



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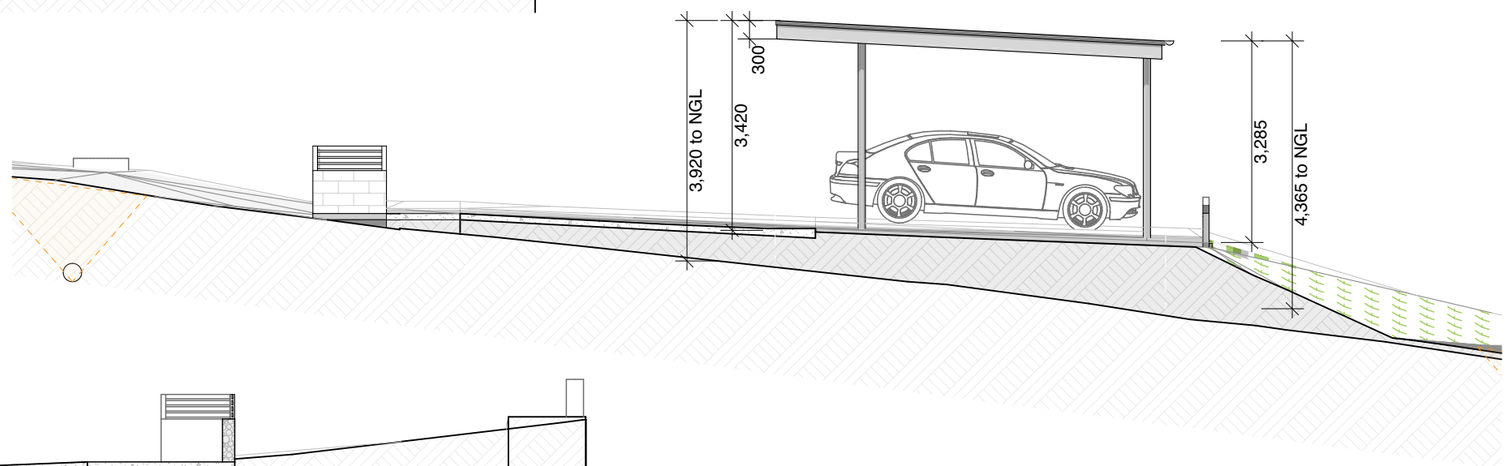
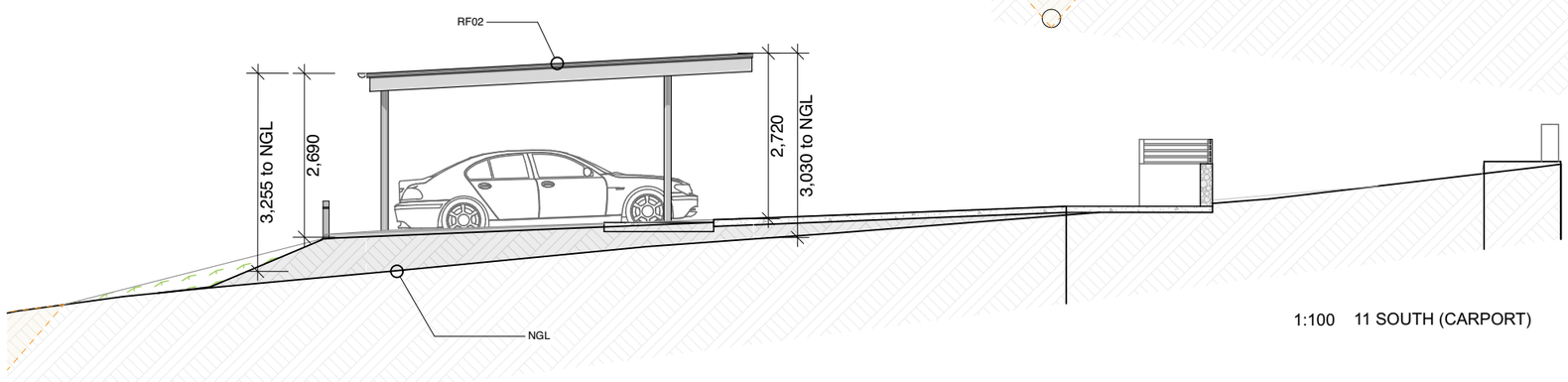
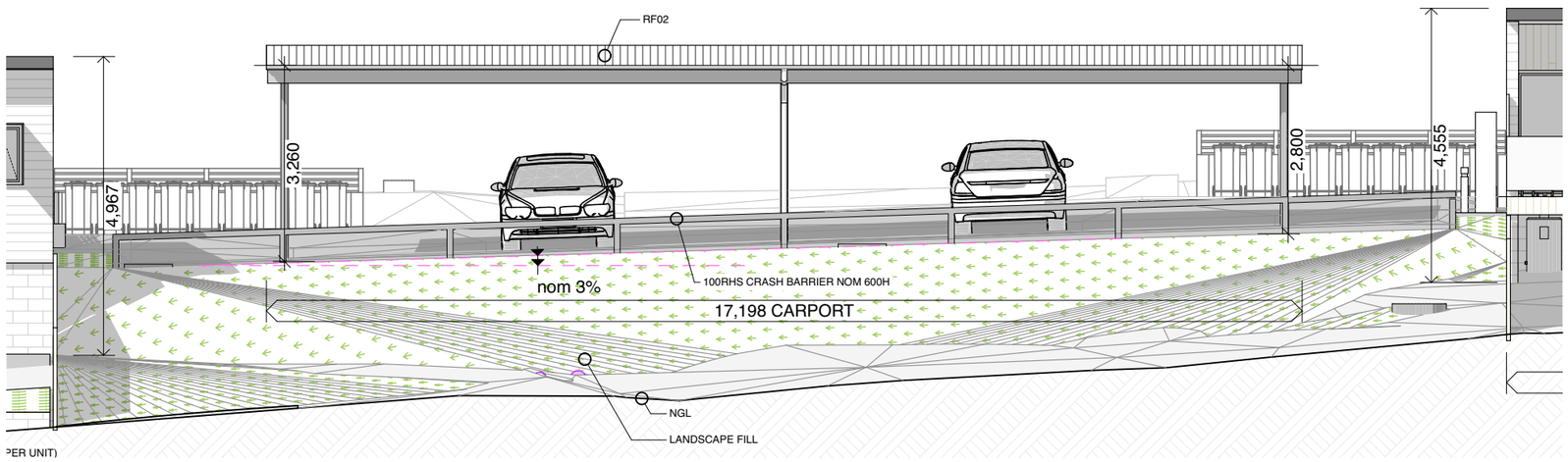


1:100 12 NORTH (CARPORT)



1:100 11 SOUTH (CARPORT)



1:100 1 WEST

REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES

Field Labs

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

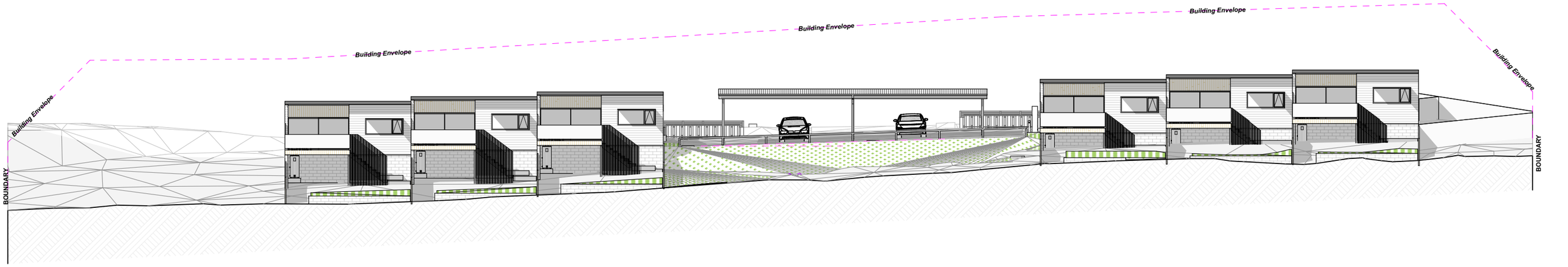
Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

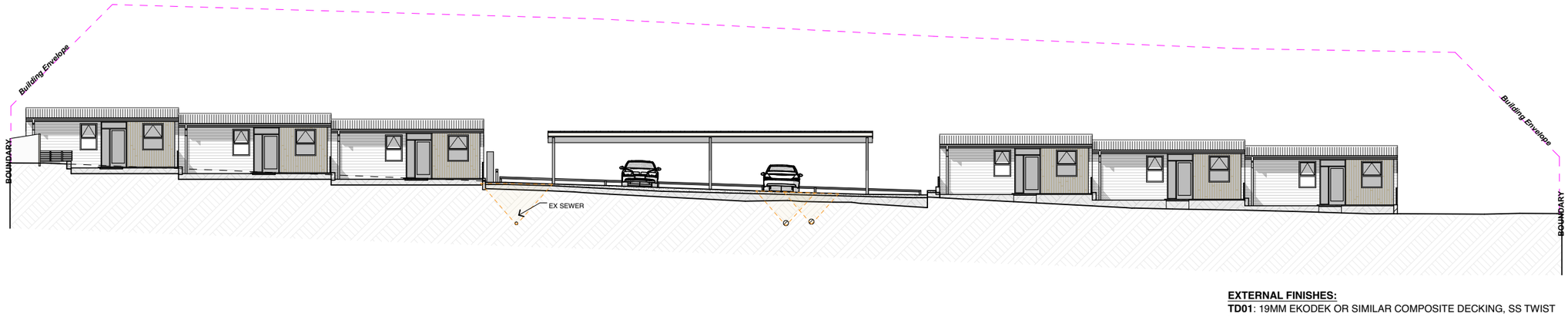
Drawing Title:
ELEVATION - CARPORT

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A4005
REV D

REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES



1:250 1 WEST



1:250 3 EAST

EXTERNAL FINISHES:

TD01: 19MM EKODEK OR SIMILAR COMPOSITE DECKING, SS TWIST NAIL, 3MM GAP, OVER TREATED PINE FRAMING
TB01: RADIAL TIMBER BATTEN BALUSTRADE, MAX SPACING 120MM. NOM 40X40 HW SCREEN ON STEEL FRAME
TB02: RADIAL TIMBER PRIVACY SCREEN, MAX 30% TRANSPARENCY. NOM 40X40 HW SCREEN ON STEEL FRAME
EF02: 16MM FC LINEA 150MM WEATHERBOARD, PAINT FINISH IN DULUX "SNOWY MOUNTAINS HALF"
EF03: ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF04: 1000H GLASS BALUSTRADE, STEEL HANDRAIL + BALUSTERS
EF05: 9.5MM WEATHERTEX WEATHERGROOVE 75 NATURAL, PAINT FINISH TBA
EF06: SUNSHADE, POWDERCOATED 6MM ALUMINIUM
EF07: SEMI TRANSPARENT BATTEN FENCE, REFER LANDSCAPE DOCS
EF08: ISLAND BLOCK FREESTONE ECO "PEWTER ECO" GRAVITY BLOCK LANDSCAPE RETAINING WALL
EF09: CRASH BARRIER WALL, ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF10: MASS SANDSTONE GRAVITY BLOCK, REFER LANDSCAPE DOCS
RF01: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
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CF01: CONCRETE SLAB, DECORATIVE FINISH DMXST/42 TASSIE GOLD / 7 / 10MM LIMESTONE,
CF02: CONCRETE SLAB DRIVEWAY, BROOMED FINISH
DP: DOWNPIPE, PAINT FINISH
FG: FIXED GLASS
PARTY WALLS: SYSTEM TO BE CONFIRMED

FENCE 1: NOM 900H SLATTED FENCE (MIN 30% TRANSPARENCY) (NOM 70MM BATTEN, 30MM GAP)
FENCE 2: NOM 1800H TIMBER PALING (SOLID)

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

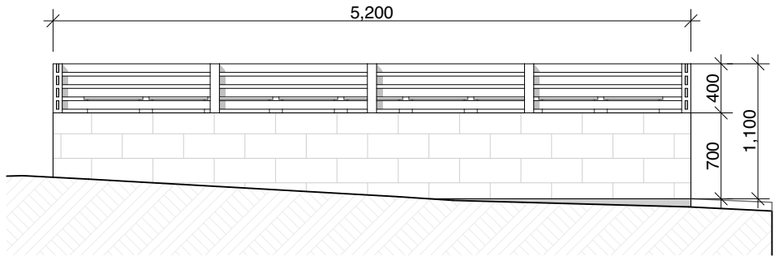
Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

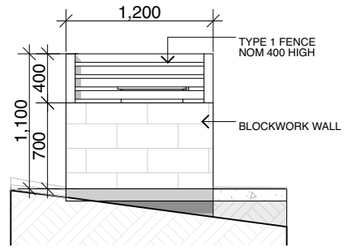
Drawing Title:
ELEVATION - ELEVATIONS SITE

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A4006
REV D

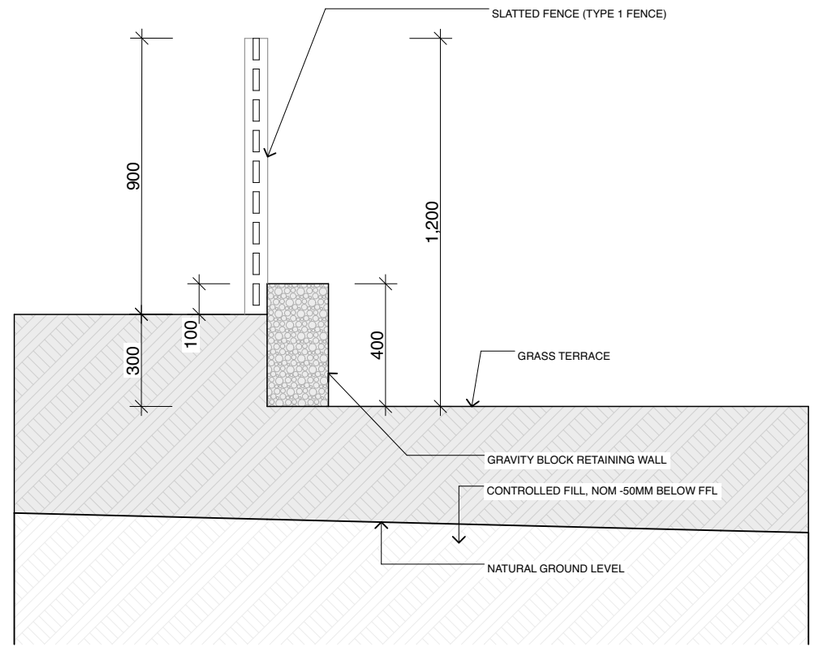
REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES



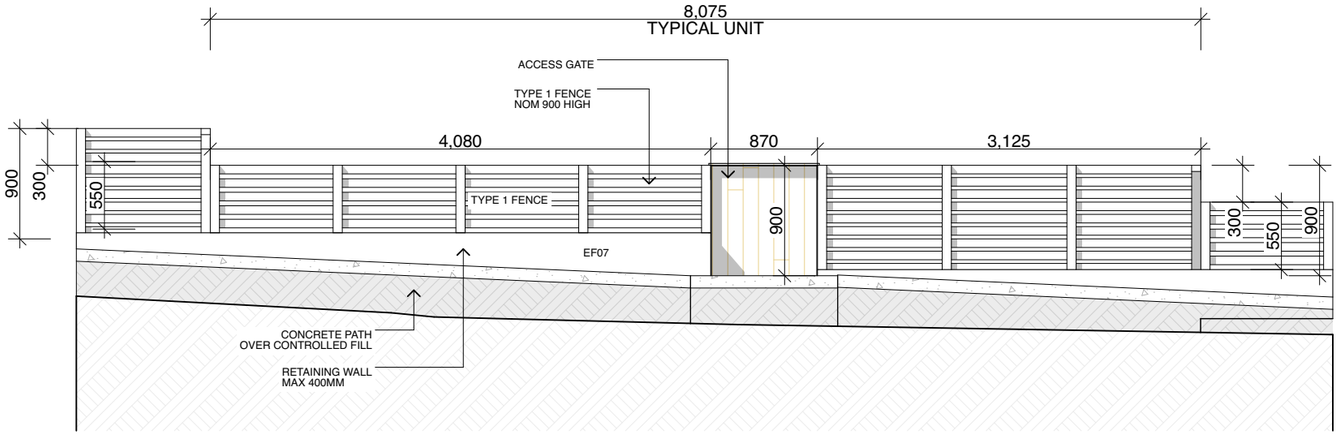
1:50 13 EAST (BIN ENCLOSURE)



1:50 14 NORTH (BIN ENCLOSURE)



1:20 16 SECTION A



1:50 15 SOUTH (TYPICAL FENCE)

EXTERNAL FINISHES:

TD01: 19MM EKODEK OR SIMILAR COMPOSITE DECKING, SS TWIST NAIL, 3MM GAP, OVER TREATED PINE FRAMING
TB01: RADIAL TIMBER BATTEN BALUSTRADE, MAX SPACING 120MM. NOM 40X40 HW SCREEN ON STEEL FRAME
TB02: RADIAL TIMBER PRIVACY SCREEN, MAX 30% TRANSPARENCY. NOM 40X40 HW SCREEN ON STEEL FRAME
EF02: 16MM FC LINEA 150MM WEATHERBOARD, PAINT FINISH IN DULUX "SNOWY MOUNTAINS HALF"
EF03: ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF04: 1000H GLASS BALUSTRADE, STEEL HANDRAIL + BALUSTERS
EF05: 9.5MM WEATHERTEX WEATHERGROOVE 75 NATURAL, PAINT FINISH TBA
EF06: SUNSHADE, POWDERCOATED 6MM ALUMINIUM
EF07: SEMI TRANSPARENT BATTEN FENCE, REFER LANDSCAPE DOCS
EF08: ISLAND BLOCK FREESTONE ECO "PEWTER ECO" GRAVITY BLOCK LANDSCAPE RETAINING WALL
EF09: CRASH BARRIER WALL, ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF10: MASS SANDSTONE GRAVITY BLOCK, REFER LANDSCAPE DOCS
RF01: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
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CF03: 9MM VILLABOARD, FLUSH FINISH, BACK BLOCK AND TAPE ALL JOINS, SQUARE SET ALL ROUND. PAINT FINISH, UNDERCOAT + MIN 2X TOP COATS, COLOUR TBS.
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CF02: CONCRETE SLAB DRIVEWAY, BROOMED FINISH
DP: DOWNPIPE, PAINT FINISH
FG: FIXED GLASS
PARTY WALLS: SYSTEM TO BE CONFIRMED

FENCE 1: NOM 900H SLATTED FENCE (MIN 30% TRANSPARENCY) (NOM 70MM BATTEN, 30MM GAP)
FENCE 2: NOM 1800H TIMBER PALING (SOLID)

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV D	DA RFI 02	29/9/2025

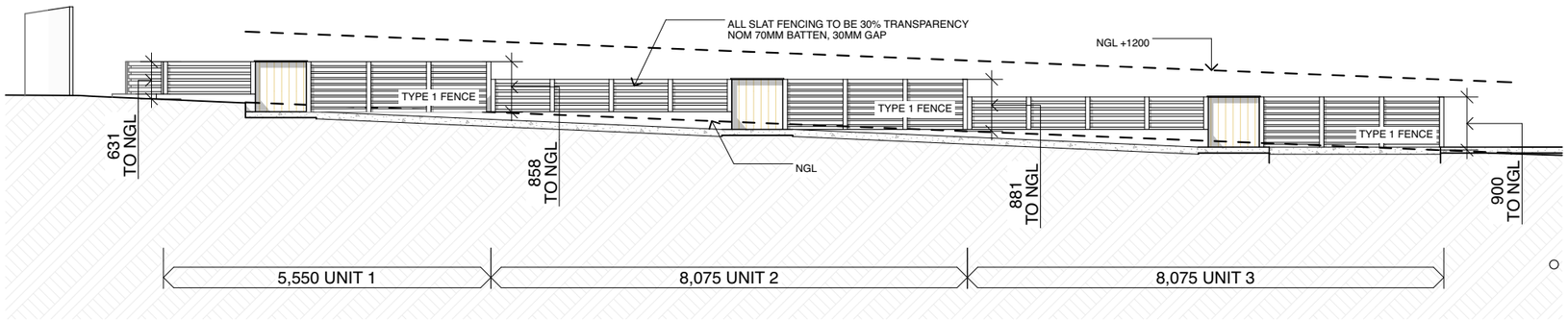
Issue ID	Issue Name	Issue Date

Client HOMES TASMANIA
Project Name ALLUNGA RD
Project Address Lot 1 ALLUNGA RD CHIGWELL TAS 7011
Title Reference 9945568

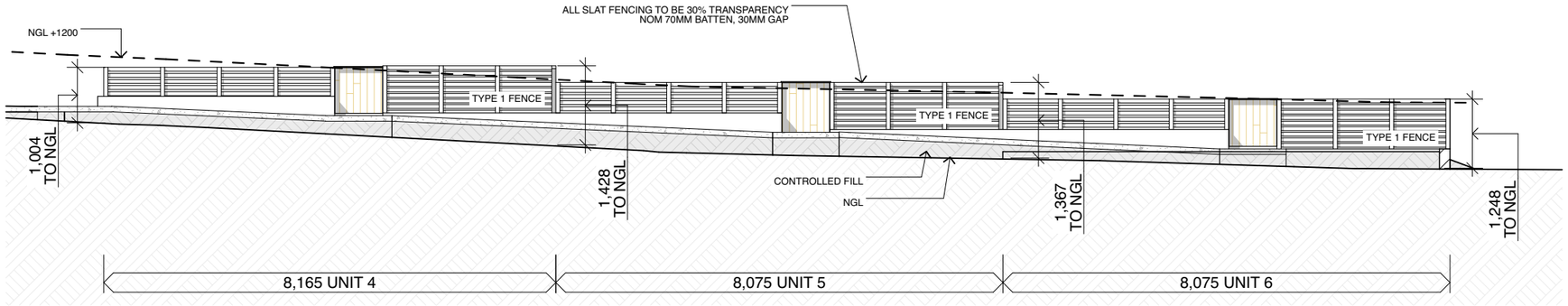
Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title: ELEVATION - TYPICAL FENCE DETAILS
Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A4007
REV D

REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES



1:100 FENCE ELEVATIONS (SOUTH)



1:100 FENCE ELEVATIONS (SOUTH)

EXTERNAL FINISHES:
TD01: 19MM EKODEK OR SIMILAR COMPOSITE DECKING, SS TWIST NAIL, 3MM GAP, OVER TREATED PINE FRAMING
TB01: RADIAL TIMBER BATTEN BALUSTRADE, MAX SPACING 120MM. NOM 40X40 HW SCREEN ON STEEL FRAME
TB02: RADIAL TIMBER PRIVACY SCREEN, MAX 30% TRANSPARENCY. NOM 40X40 HW SCREEN ON STEEL FRAME
EF02: 16MM FC LINEA 150MM WEATHERBOARD, PAINT FINISH IN DULUX "SNOWY MOUNTAINS HALF"
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EF04: 1000H GLASS BALUSTRADE, STEEL HANDRAIL + BALUSTERS
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EF06: SUNSHADE, POWDERCOATED 6MM ALUMINIUM
EF07: SEMI TRANSPARENT BATTEN FENCE, REFER LANDSCAPE DOCS
EF08: ISLAND BLOCK FREESTONE ECO "PEWTER ECO" GRAVITY BLOCK LANDSCAPE RETAINING WALL
EF09: CRASH BARRIER WALL, ISLAND BLOCK 20.01 "PEWTER ECO" BLOCK COLOR MATCHED MORTAR, RAKED JOINS, STRETCHER BOND
EF10: MASS SANDSTONE GRAVITY BLOCK, REFER LANDSCAPE DOCS
RF01: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
RF02: TRIMDEK ROOF, COLORBOND IN "WALLABY". SCREW FIX, MATCHING FLASHINGS, GUTTERS AND DOWNPIPES
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CF01: CONCRETE SLAB, DECORATIVE FINISH DMXST/42 TASSIE GOLD / 7 / 10MM LIMESTONE,
CF02: CONCRETE SLAB DRIVEWAY, BROOMED FINISH
DP: DOWNPIPE, PAINT FINISH
FG: FIXED GLASS
PARTY WALLS: SYSTEM TO BE CONFIRMED

FENCE 1: NOM 900H SLATTED FENCE (MIN 30% TRANSPARENCY) (NOM 70MM BATTEN, 30MM GAP)
FENCE 2: NOM 1800H TIMBER PALING (SOLID)

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

Field Labs

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Email:
james@fieldlabs.com.au
Accreditation:
CC 1043M

Drawings to be read in conjunction with specification by FIELD LABS and all drawings and documents by engineers and subconsultants referred to in these plans. Contractors are to verify all dimensions on site before commencing any work or producing shop drawings. Larger scale drawings and written dimensions take preference.
DO NOT SCALE FROM DRAWINGS.

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NOTE: ALL BUILDING LEVELS TO **AHD** UNLESS OTHERWISE NOTED.

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CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

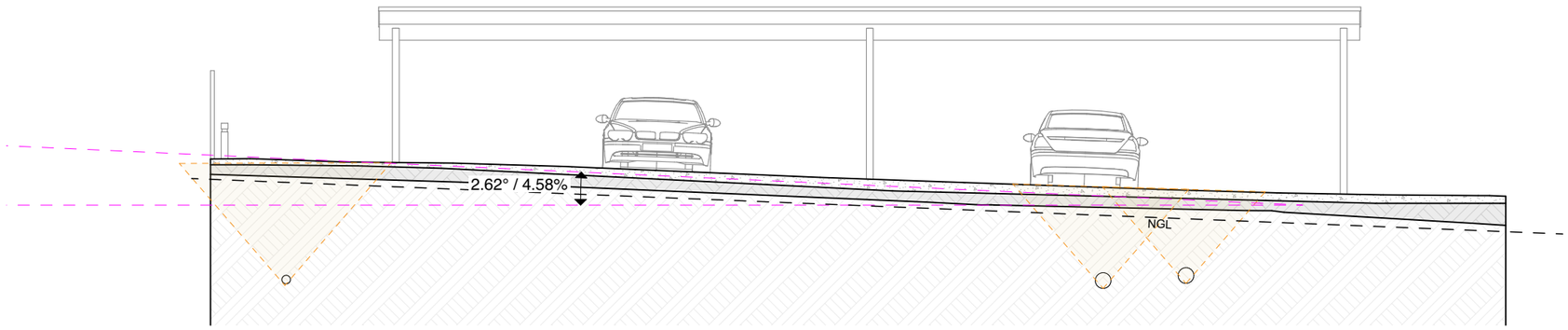
Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

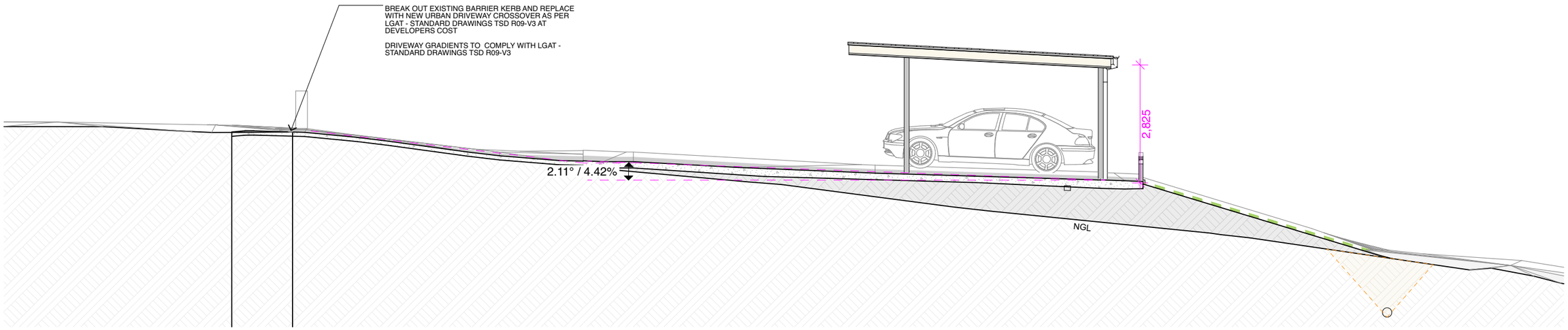
Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
ELEVATION - TYPICAL FENCE DETAILS

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /
Drawing No.: A4008 **REV D**



1:100 01 SECTION A



1:100 02 SECTION B

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV C	DA RFI 01	5/8/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
SECTION - SECTION

Scale: AS SHOWN @ A3
Date: 20/10/2025
Status: CONCEPT PLANS
Drawn / Checked By: JW /

Drawing No.:
A4101
REV D

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

FENCES SHOWN AS TRANSPARENT FOR CLARITY ONLY, REFER TO LANDSCAPE PLANS BY URBAN INITIATIVES FOR PLANTING AND LANDSCAPE FINISHES

3D ARTISTIC IMPRESSION

Field Labs

Telephone:
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CIVIL ENGINEER - Coordinated Engineering Services
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STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
IMAGES - PROPOSED 01

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /

Drawing No.:
A9001
REV D

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

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3D ARTISTIC IMPRESSION

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Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
IMAGES - PROPOSED 02

Scale: AS SHOWN @ A3 **Date:** 20/10/2025

Status: CONCEPT PLANS **Drawn / Checked By:** JW /

Drawing No.:
A9002
REV D

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-093

DATE RECEIVED: 20/10/2026

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3D ARTISTIC IMPRESSION

Field Labs

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Email:
james@fieldlabs.com.au
Accreditation:
CC 1043M

Refer to Consultant documentation where directed:
BUIDLING SURVEYOR - TBC
CIVIL ENGINEER - Coordinated Engineering Services
HYDRAULIC ENGINEER - Coordinated Engineering Serv
STRUCTURAL ENGINEER - Coordinated Engineering Se
LAND SURVEYOR - Leary Cox

Issue ID	Issue Name	Issue Date
REV A	CONCEPT	13/2/2024
REV B	DEVELOPMENT APPLICATION	1/7/2025
REV D	DA RFI 02	29/9/2025

Issue ID	Issue Name	Issue Date

Client
HOMES TASMANIA

Project Name
ALLUNGA RD

Project Address
Lot 1 ALLUNGA RD CHIGWELL TAS 7011

Title Reference
9945568

Climate Zone: 7
Corrosion Environment: Low
BAL Rating: N/A
Site Class: H
Wind Region: N3

Drawing Title:
IMAGES - PROPOSED 06

Scale: AS SHOWN @ A3 **Date:** 20/10/2025
Status: CONCEPT PLANS **Drawn / Checked By:** JW /

Drawing No.:
A9006
REV D

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 15/09/2025

eS-MH3
RL: 33.93m
INLET IL1: 32.13m
OUTLET IL: 32.05m

EXISTING TASWATER Ø225
CONCRETE SEWER LINE.

eS-MH2
RL: 36.92m
INLET IL1: 35.61m
INLET IL2: 35.48m
OUTLET IL: 35.41m

EXISTING TASWATER Ø225
CONCRETE SEWER LINE.

EXISTING DN50 TASWATER PROPERTY CONNECTION, CONTRACTOR TO LOCATE AND TERMINATE TO TASWATER SATISFACTION. TERMINATION BY TASWATER AT DEVELOPERS COST.

EXISTING UNDERGROUND OPTICAL FIBRE CABLE.

90 ALLUNGA RD
CHIGWELL TAS 7011
PID: 5297667
CT: 14444/10

eSW-MH
RL: 39.05m
INLET IL: 37.86m
OUTLET IL: 37.82m

EXISTING Ø300 COUNCIL STORMWATER LINE.

eSW-MH
RL: 38.78m
INLET IL: 37.56m
OUTLET IL: 37.50m

EXISTING Ø300 COUNCIL STORMWATER LINE.

eSW-HW
INLET IL1: 36.87m
INLET IL2: 36.83m

EXISTING DN150 uPVC COUNCIL STORMWATER LINE FROM GIS, MAPPING SURVEYOR TO CONFIRM ALIGNMENT.

EXISTING Ø300 COUNCIL STORMWATER LINE.

eSW-MH
RL: 38.97m
INLET IL: 37.19m
OUTLET IL: 37.14m

EXISTING Ø300 COUNCIL STORMWATER LINE.

eSW-SEP
RL: 39.00m
INLET IL: 37.79m
OUTLET IL: 37.79m

EXISTING Ø300 COUNCIL STORMWATER LINE.

eSW-GP
RL: 38.94m
IL: 37.98m

EXISTING TASWATER Ø150
CONCRETE SEWER LINE.

eS-MH1
RL: 39.76m
IL: 38.07m

EXISTING DN150 CAST IRON TASWATER WATER MAIN.

EXISTING DN50 PE80B TASWATER WATER MAIN.

FAULKNERS RIVULET

TITLE BOUNDARY

3.0m WIDE DRAINAGE EASEMENT

CLAREMONT LINK ROAD

ALLUNGA ROAD

35.5 36.0 36.5 37.0 37.5 38.0 38.5 39.0 39.5

EXISTING SURVEY PLAN
SCALE 1:250

Issue	Description	Date	By
P3	ISSUED FOR DEVELOPMENT APPLICATION	09/09/2025	AK
P2	ISSUED FOR DEVELOPMENT APPLICATION	29/07/2025	AK
P1	ISSUED FOR INFORMATION	23/07/2025	AK

Legend: P = Preliminary T = Tender C = Construction A = Amendments

PRELIMINARY ISSUE
FOR INFORMATION ONLY

CES | Coordinated Engineering Services
93-97 Campbell Street, Hobart | (03) 6294 6033
73 Paterson Street, Launceston | (03) 6338 9974

ALLUNGA RD

Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

Field Labs

CIVIL SERVICES
EXISTING SURVEY PLAN

Drawn:	AK	Project / Sheet: 246118-C100	Issue: P3
Authorised:	WC		
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

300mm 200mm 100 50 10mm 0

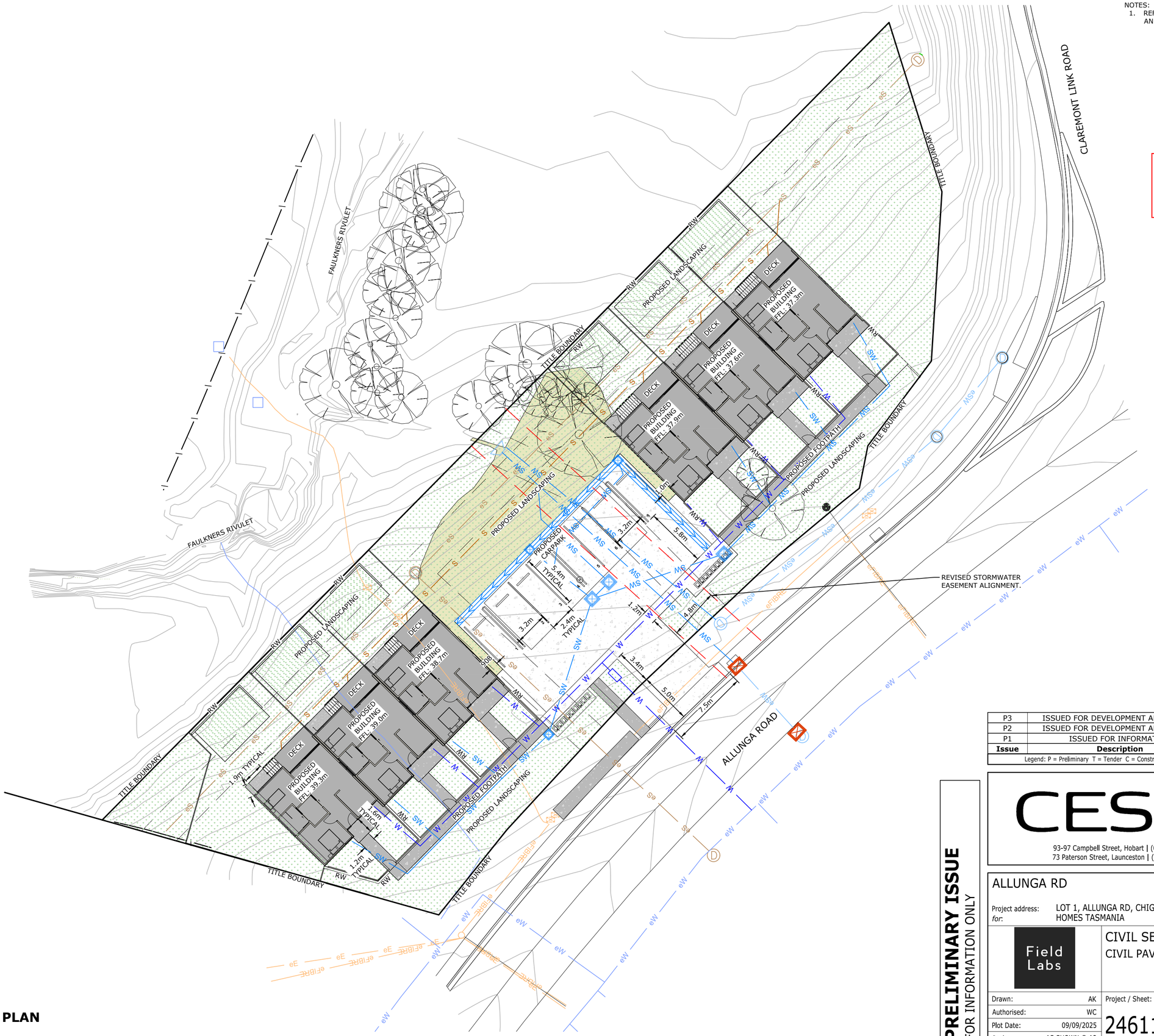
Original sheet size A2 (594x420) Plot date: 09/09/2025 246118-07.DWG

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

SITE AREAS

IMPERVIOUS AREA	967.0m²
PERVIOUS AREA	1496.9m²
TOTAL AREA	2463.9m²

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 15/09/2025



CIVIL PAVEMENT PLAN
SCALE 1:250

Issue	Description	Date	By
P3	ISSUED FOR DEVELOPMENT APPLICATION	09/09/2025	AK
P2	ISSUED FOR DEVELOPMENT APPLICATION	29/07/2025	AK
P1	ISSUED FOR INFORMATION	23/07/2025	AK

Legend: P = Preliminary T = Tender C = Construction A = Amendments

PRELIMINARY ISSUE
FOR INFORMATION ONLY

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73 Paterson Street, Launceston | (03) 6338 9974

ALLUNGA RD

Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

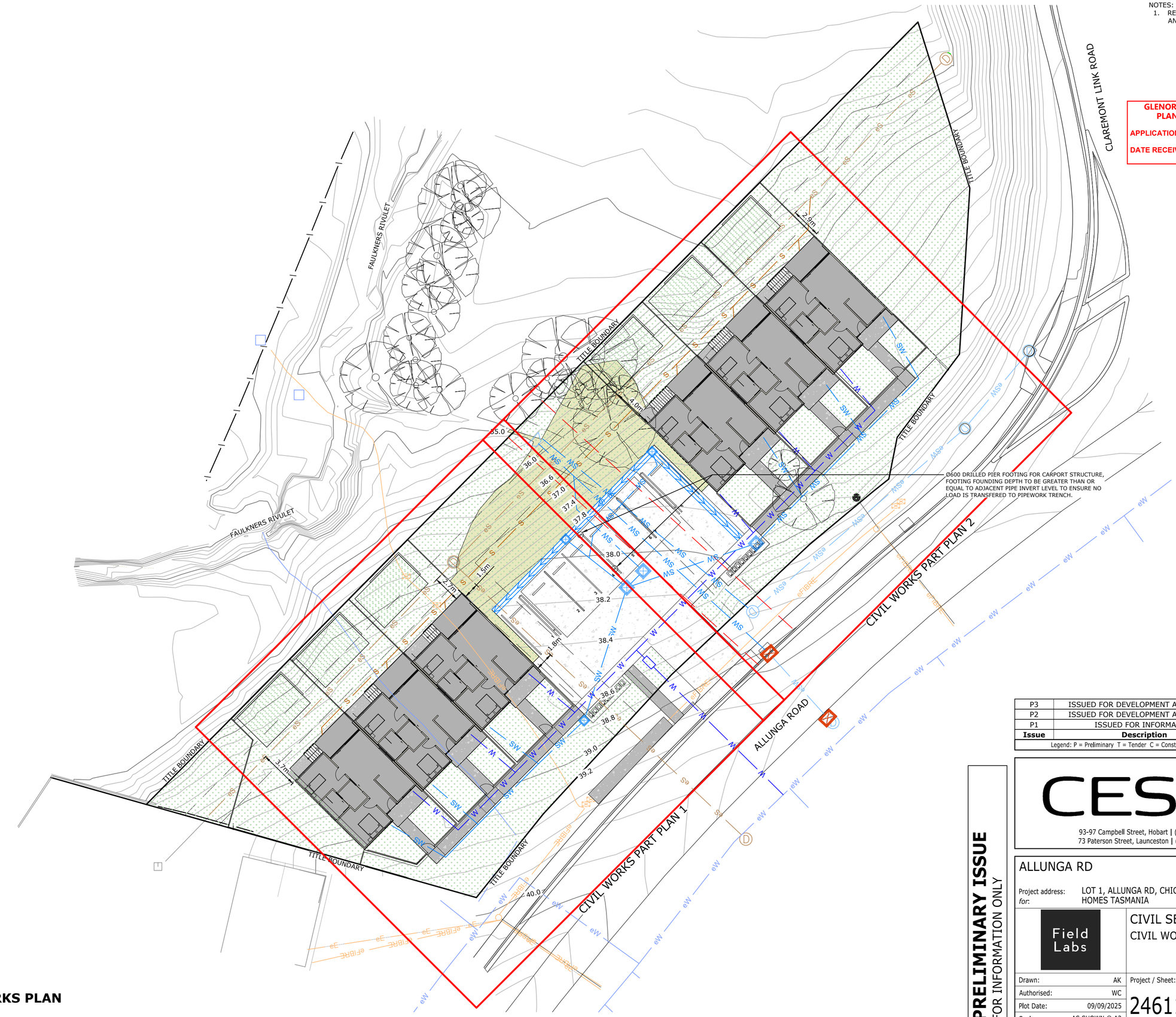
Field Labs

CIVIL SERVICES
CIVIL PAVEMENT PLAN

Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C200	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 15/09/2025



CIVIL WORKS PLAN
SCALE 1:250

P3	ISSUED FOR DEVELOPMENT APPLICATION	09/09/2025	AK
P2	ISSUED FOR DEVELOPMENT APPLICATION	29/07/2025	AK
P1	ISSUED FOR INFORMATION	23/07/2025	AK
Issue	**Description**	**Date**	**By**

Legend: P = Preliminary T = Tender C = Construction A = Amendments

PRELIMINARY ISSUE
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ALLUNGA RD

Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

Field Labs

CIVIL SERVICES
CIVIL WORKS PLAN

Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C201	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

300mm 200mm 100 50 10mm 0

Original sheet size A2 (594x420) Plot date: 09/09/2025 246118-07.DWG

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 15/09/2025

Issue	Description	Date	By
P3	ISSUED FOR DEVELOPMENT APPLICATION	09/09/2025	AK
P2	ISSUED FOR DEVELOPMENT APPLICATION	29/07/2025	AK
P1	ISSUED FOR INFORMATION	23/07/2025	AK

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PRELIMINARY ISSUE
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ALLUNGA RD

Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

Field Labs

CIVIL SERVICES
CIVIL WORKS PART PLAN 1

Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C202	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

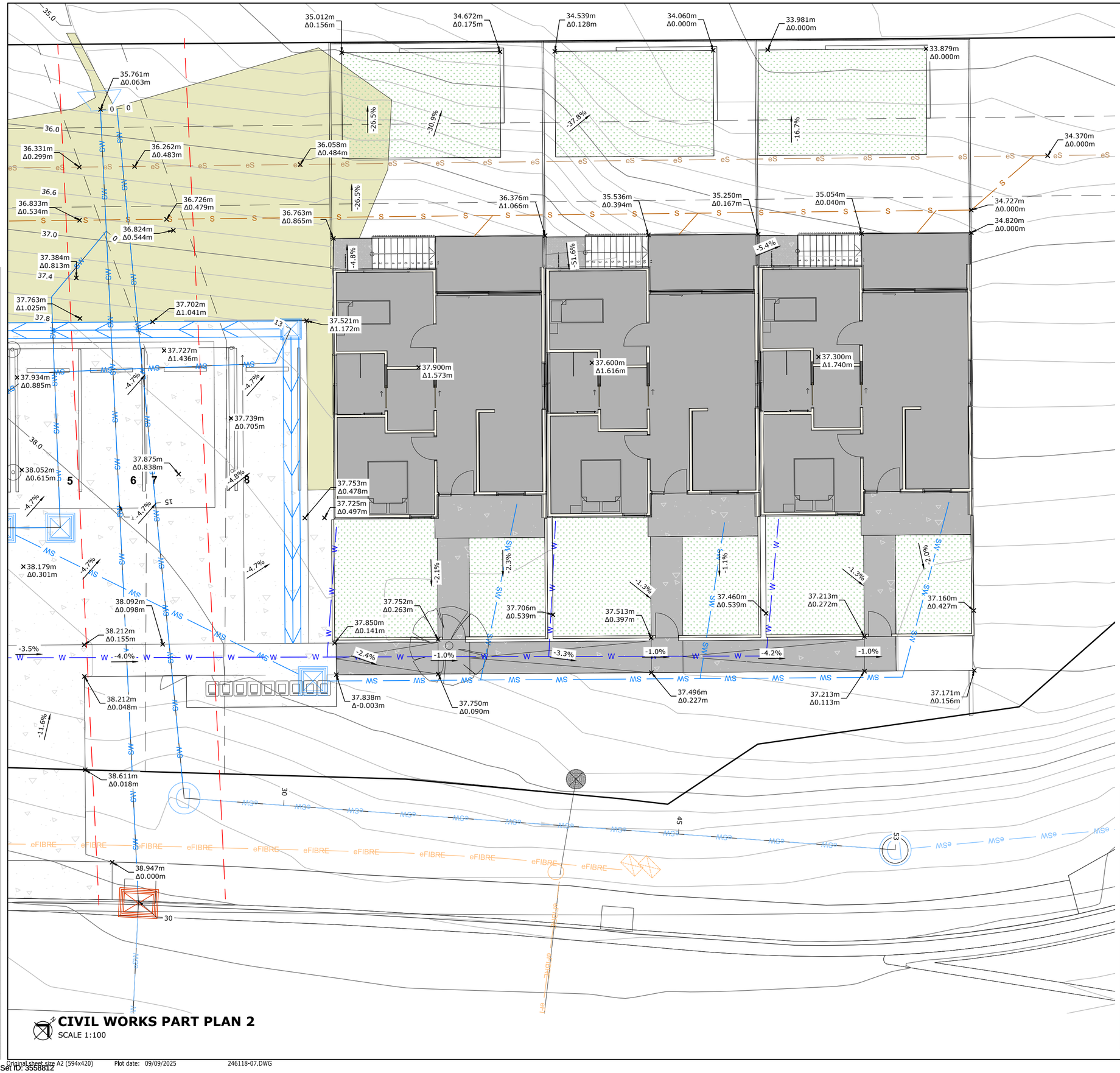
CIVIL WORKS PART PLAN 1
SCALE 1:100

300mm 200mm 100 50 10mm 0

Original sheet size A2 (594x420) Plot date: 09/09/2025 246118-07.DWG

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 15/09/2025



CIVIL WORKS PART PLAN 2
SCALE 1:100

P3	ISSUED FOR DEVELOPMENT APPLICATION	09/09/2025	AK
P2	ISSUED FOR DEVELOPMENT APPLICATION	29/07/2025	AK
P1	ISSUED FOR INFORMATION	23/07/2025	AK
Issue	**Description**	**Date**	**By**

Legend: P = Preliminary T = Tender C = Construction A = Amendments

PRELIMINARY ISSUE
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CES | Coordinated Engineering Services
93-97 Campbell Street, Hobart | (03) 6294 6033
73 Paterson Street, Launceston | (03) 6338 9974

ALLUNGA RD

Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

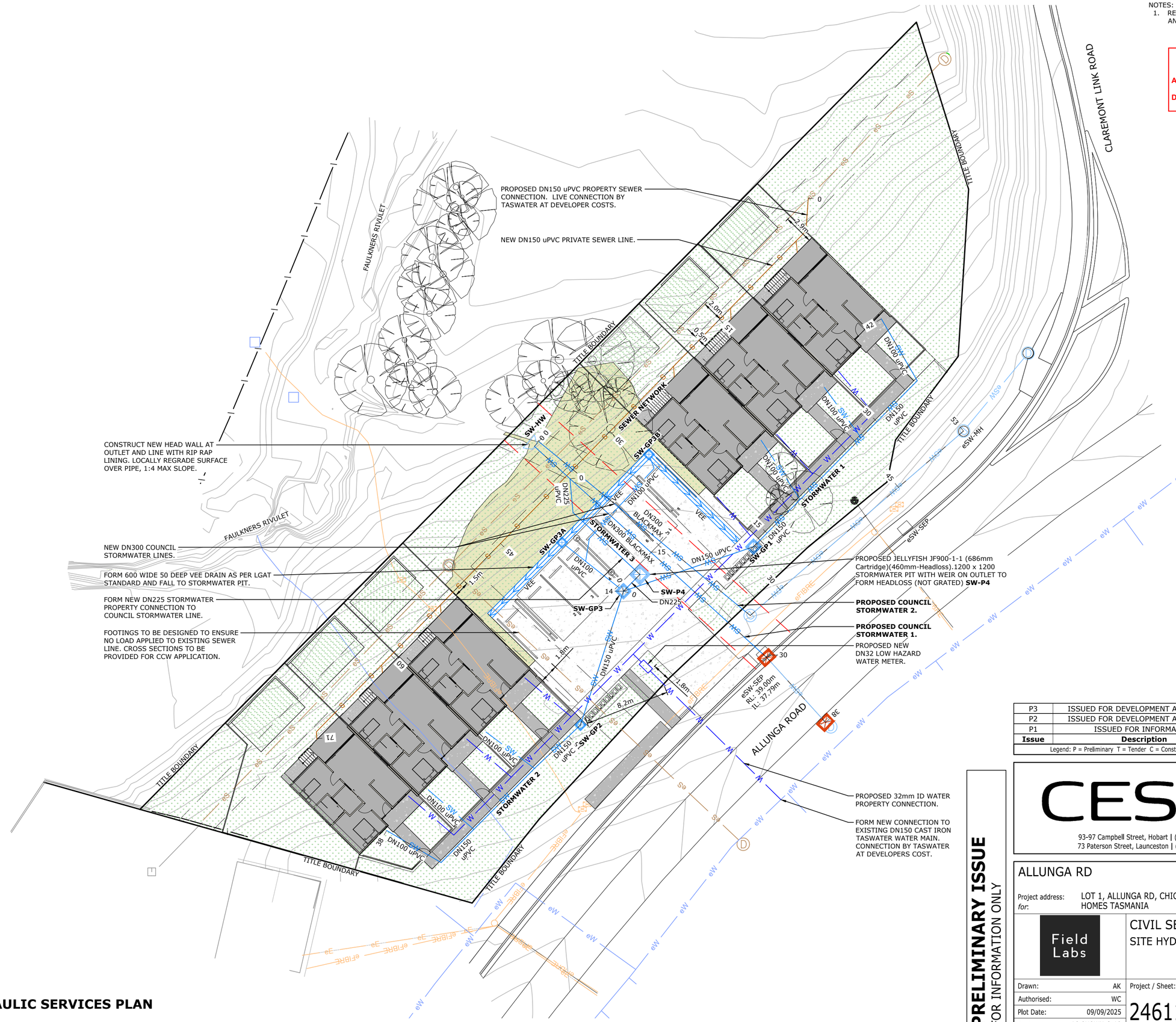
Field Labs

CIVIL SERVICES
CIVIL WORKS PART PLAN 2

Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C203	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 15/09/2025



SITE HYDRAULIC SERVICES PLAN
SCALE 1:250

PRELIMINARY ISSUE
FOR INFORMATION ONLY

P3	ISSUED FOR DEVELOPMENT APPLICATION	09/09/2025	AK
P2	ISSUED FOR DEVELOPMENT APPLICATION	29/07/2025	AK
P1	ISSUED FOR INFORMATION	23/07/2025	AK
Issue	**Description**	**Date**	**By**

Legend: P = Preliminary T = Tender C = Construction A = Amendments

CES | Coordinated Engineering Services
93-97 Campbell Street, Hobart | (03) 6294 6033
73 Paterson Street, Launceston | (03) 6338 9974

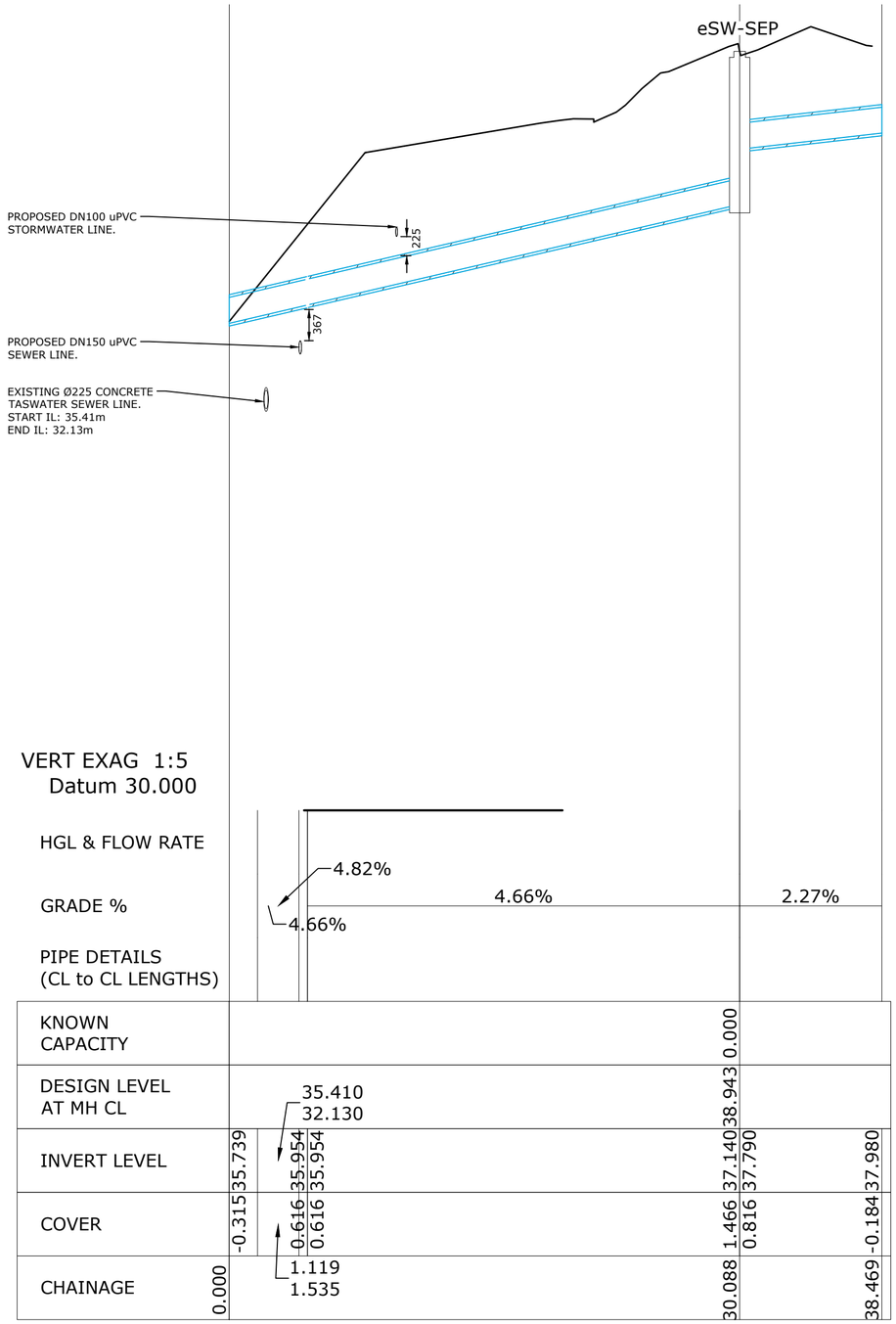
ALLUNGA RD

Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

Field Labs

CIVIL SERVICES
SITE HYDRAULIC SERVICES PLAN

Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C300	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

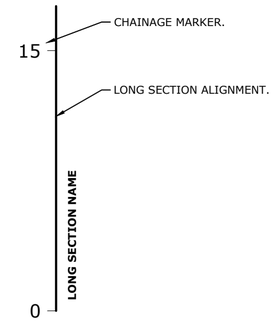


PROPOSED COUNCIL STORMWATER 1 LONG SECTION

SCALE 1:250

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

LONG SECTION LEGEND



GLENORCHY CITY COUNCIL
PLANNING SERVICES
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PRELIMINARY ISSUE
FOR INFORMATION ONLY

CES | Coordinated Engineering Services
93-97 Campbell Street, Hobart | (03) 6294 6033
73 Paterson Street, Launceston | (03) 6338 9974

ALLUNGA RD

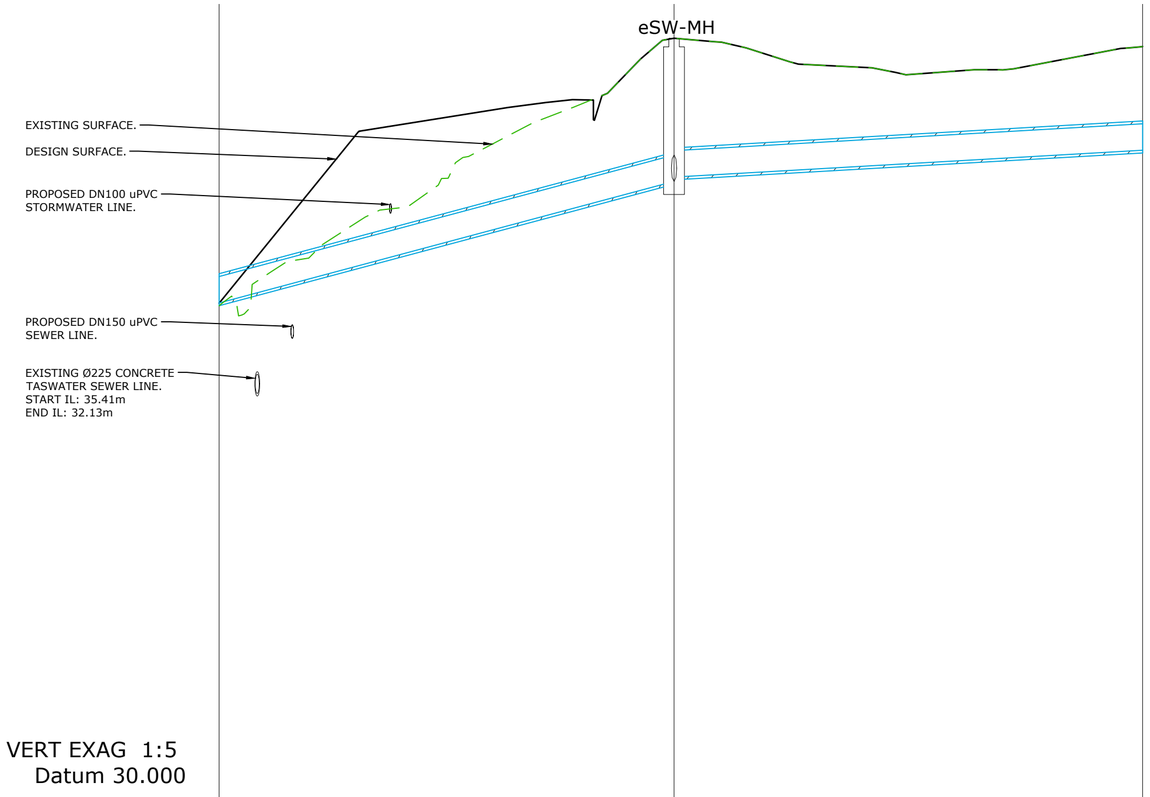
Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

Field Labs

CIVIL SERVICES
PROPOSED COUNCIL STORMWATER LONG SECTION

Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C301	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

300mm
200mm
100
50
10mm
0



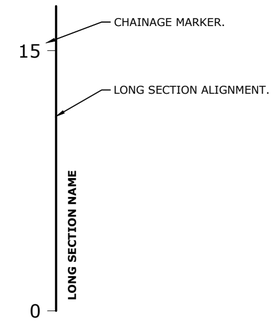
VERT EXAG 1:5
Datum 30.000

HGL & FLOW RATE						
GRADE %		5.34%		4.82%	1.15%	
PIPE DETAILS (CL to CL LENGTHS)		DN300 BLACKMAX			EXISTING DN300	
KNOWN CAPACITY				0.000		
DESIGN LEVEL AT MH CL				38.791		
INVERT LEVEL		35.739	35.410	37.140	37.190	32.500
COVER		-0.370	1.119	1.314	1.264	0.838
CHAINAGE	0.000			26.225		53.239

PROPOSED COUNCIL STORMWATER 2 LONG SECTION
SCALE 1:250

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

LONG SECTION LEGEND



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 15/09/2025

Issue	Description	Date	By
P3	ISSUED FOR DEVELOPMENT APPLICATION	09/09/2025	AK
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PRELIMINARY ISSUE
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93-97 Campbell Street, Hobart | (03) 6294 6033
73 Paterson Street, Launceston | (03) 6338 9974

ALLUNGA RD

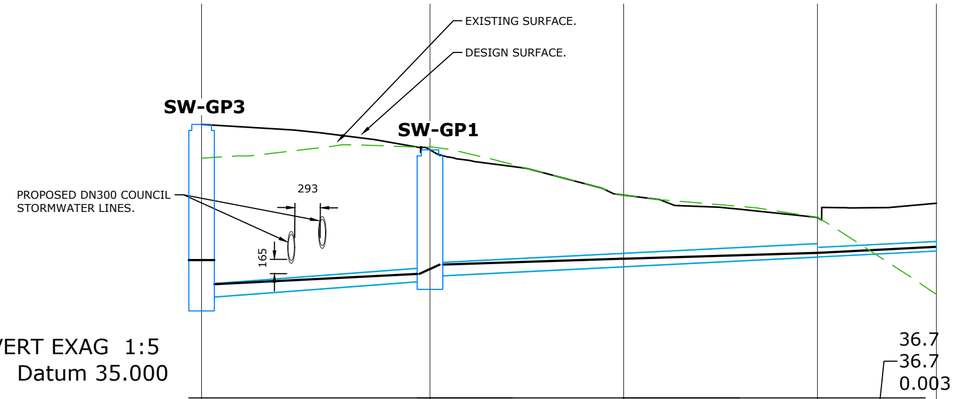
Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

Field Labs

CIVIL SERVICES
PROPOSED COUNCIL STORMWATER LONG SECTION

Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C302	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

300mm
200mm
100
50
10mm
0

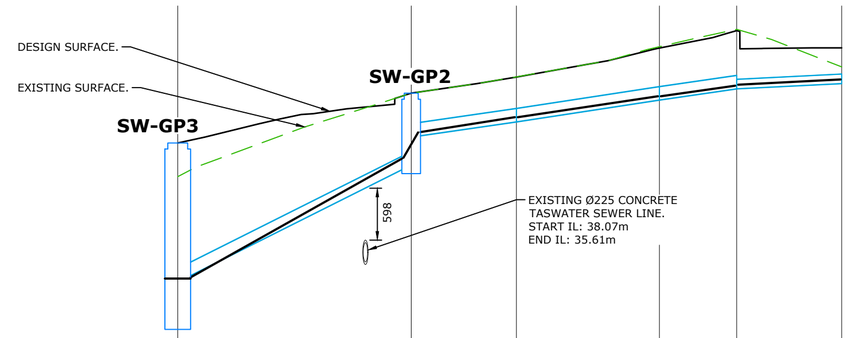


VERT EXAG 1:5
Datum 35.000

HGL & FLOW RATE	36.4	0.008	36.3	36.6	0.005	36.5	36.7	0.003	36.6	36.7 36.7 0.003	
GRADE %		1.50%			1.00%			1.00%		1.00%	
PIPE DETAILS (CL to CL LENGTHS)		DN150 uPVC				DN150 uPVC				DN100 uPVC	
KNOWN CAPACITY											
DESIGN LEVEL AT MH CL	38.154	36.481		37.861		36.678			36.789		
INVERT LEVEL	36.154			36.352 36.402		36.514 36.514			36.626 36.626	36.695	
COVER	1.844			1.353 1.303		0.670 0.669			0.301 0.345	0.440	
CHAINAGE	0.000			13.168		24.336			35.504	42.362	

PROPOSED STORMWATER 1 LONG SECTION

SCALE 1:250



VERT EXAG 1:5
Datum 35.000

HGL & FLOW RATE	38.0	0.008	36.6	38.5 38.3 0.008		38.7	0.005	38.5	38.8 38.7 0.003	38.9 38.8 0.003	
GRADE %		10.01%		2.90%		3.05%			2.89%	1.00%	
PIPE DETAILS (CL to CL LENGTHS)		DN150 uPVC				DN150 uPVC				DN100 uPVC	
KNOWN CAPACITY											
DESIGN LEVEL AT MH CL	38.154			38.728							
INVERT LEVEL	36.552			37.900 38.222		38.398 38.398			38.650 38.650	38.779 38.779	38.839
COVER	1.446			0.672 0.350		0.360 0.360			0.442 0.442	0.515 0.560	0.300
CHAINAGE	0.000			13.460		19.524			27.767	32.226	38.274

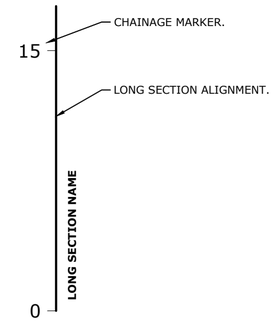
PROPOSED STORMWATER 2 LONG SECTION

SCALE 1:250

STORMWATER PIT/MANHOLE SCHEDULE					
MARK	SIZE (in mm)	TYPE	C.L.	I.L.	COMMENTS
SW-GP1	900 x 900	CLASS B GRATED	37.861m	36.352m	-
SW-GP2	600 x 600	CLASS B GRATED	38.728m	37.900m	-
SW-GP3	900 x 900	CLASS C GRATED	38.154m	36.104m	-
SW-P4	1200 x 1200	CLASS C GRATED	38.084m	36.031m	-
SW-GP3A	600 x 600	CLASS C GRATED	37.908m	37.002m	-
SW-GP3B	600 x 600	CLASS C GRATED	37.550m	36.869m	-

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

LONG SECTION LEGEND



GLENORCHY CITY COUNCIL PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 15/09/2025

Issue	Description	Date	By
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PRELIMINARY ISSUE
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ALLUNGA RD

Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

Field Labs

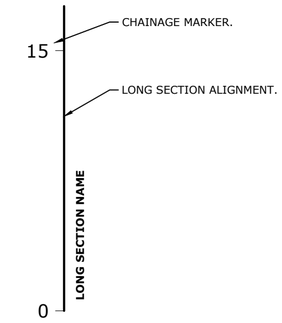
CIVIL SERVICES
PROPOSED STORMWATER LONG SECTION

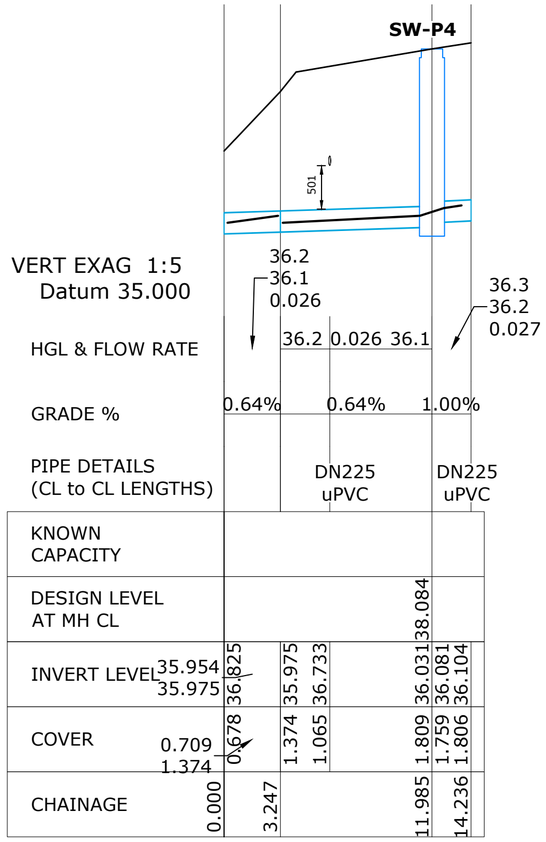
Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C303	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

300mm
200mm
100
50
10mm
0

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

LONG SECTION LEGEND





PROPOSED STORMWATER 3 LONG SECTION

SCALE 1:250

Issue	Description	Date	By
P3	ISSUED FOR DEVELOPMENT APPLICATION	09/09/2025	AK
P2	ISSUED FOR DEVELOPMENT APPLICATION	29/07/2025	AK
P1	ISSUED FOR INFORMATION	23/07/2025	AK

Legend: P = Preliminary T = Tender C = Construction A = Amendments

PRELIMINARY ISSUE
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ALLUNGA RD

Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

Field Labs

CIVIL SERVICES
PROPOSED SEWER LONG SECTION

Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C304	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

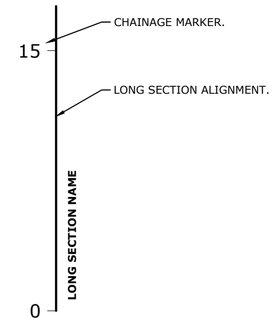
300mm
200mm
100
50
10mm
0

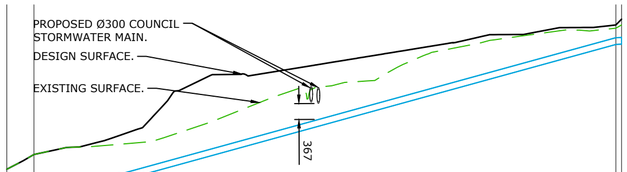
Original sheet size A2 (594x420) Plot date: 09/09/2025 246118-07.DWG

NOTES:
1. REFER TO DRAWINGS C00 FOR GENERAL NOTES AND LEGEND OF SYMBOLS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-093
DATE RECEIVED: 15/09/2025

LONG SECTION LEGEND





VERT EXAG 1:5
Datum 30.000

HGL & FLOW RATE				
GRADE %		4.40%	5.50%	1.00%
PIPE DETAILS (CL to CL LENGTHS)				
KNOWN CAPACITY		DN150 uPVC		
DESIGN LEVEL AT MH CL		33.739		37.429
INVERT LEVEL		33.438 33.576	33.576 37.266	37.266 37.273
COVER		0.995		0.291 0.419
CHAINAGE	0.000	3.141 0.793 0.995		70.892 70.234

PROPOSED SEWER LONG SECTION
SCALE 1:500

Issue	Description	Date	By
P3	ISSUED FOR DEVELOPMENT APPLICATION	09/09/2025	AK
P2	ISSUED FOR DEVELOPMENT APPLICATION	29/07/2025	AK
P1	ISSUED FOR INFORMATION	23/07/2025	AK

Legend: P = Preliminary T = Tender C = Construction A = Amendments

PRELIMINARY ISSUE
FOR INFORMATION ONLY

CES | Coordinated Engineering Services
93-97 Campbell Street, Hobart | (03) 6294 6033
73 Paterson Street, Launceston | (03) 6338 9974

ALLUNGA RD

Project address: LOT 1, ALLUNGA RD, CHIGWELL, TAS 7011
for: HOMES TASMANIA

Field Labs

CIVIL SERVICES
PROPOSED SEWER LONG SECTION

Drawn:	AK	Project / Sheet:	Issue:
Authorised:	WC	246118-C305	P3
Plot Date:	09/09/2025		
Scale:	AS SHOWN @ A2		

300mm
200mm
100
50
10mm
0

Original sheet size A2 (594x420) Plot date: 09/09/2025 246118-07.DWG

Submission to Planning Authority Notice

Application details

Council Planning Permit No.	PLN-25-093
Council notice date	9/05/2025
TasWater Reference No.	TWDA 2025/00493-GCC
Date of response	27/08/2025
TasWater Contact	Timothy Carr
Phone No.	0419 306 130

Response issued to

Council name	GLENORCHY CITY COUNCIL
Contact details	gccmail@gcc.tas.gov.au
Development details	
Address	LOT 1 ALLUNGA RD, CHIGWELL
Property ID (PID)	9945568
Description of development	Multiple Dwellings x 6 for Social Housing

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
Field Labs	Proposed Ground Setout – A3105 – A3108	C	5/08/2025
CES	Existing Survey Plan – C100	P2	29/07/2025
CES	Site Hydraulics Services Plan -	P2	29/07/2025

Conditions

Pursuant to the *Water and Sewerage Industry Act* 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connection(s) and sewerage system and connection(s) to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.

   Advice: *The existing water connection that currently services 1 Claremont LInk Road and is located through the land of Lot 1 Allunga Road, will be relocated/constructed through the Pipeline and Services Easement (adjacent to the proposed unit 3) by TasWater at TasWaters cost. This service will come off the new water connection road crossing, that is proposed to service the new unit development.*

2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.

3. Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

ASSET CREATION & INFRASTRUCTURE WORKS

4. Prior to applying for a Certificate for Certifiable Works, the developer must physically locate all existing infrastructure to provide sufficient information for accurate design and physical works to be undertaken.

5. Plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.

6. Prior to undertaking any works related to water and sewerage, physical markers must be in place that clearly identify where water and/or sewer connections are to be made in accordance with any approved plan to TasWater's satisfaction.

7. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.

8. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.

56W CONSENT

9. When applying for a Certificate for Certifiable Work (Building) and/or (Plumbing), the application documentation must include an application to TasWater, pursuant to section 56W of the Water and Sewerage Industry Act 2008, for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.

10. Prior to any development works or use commencing on the site, the applicant or landowner as the case may be, must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.

DEVELOPER CHARGES

11. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling $4,568.20 to TasWater for water infrastructure for 2.60 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

12. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling $6,149.50 to TasWater for sewerage infrastructure for 3.50 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

DEVELOPMENT ASSESSMENT FEES

13. The applicant or landowner as the case may be, must pay a development assessment fee of $417.63 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit
https://www.taswater.com.au/building-and-development/technical-standards
For application forms please visit
https://www.taswater.com.au/building-and-development/development-application-form

Important Notice Regarding Plumbing Plans and Associated Costs

The SPAN includes references to documents submitted as part of the application. These plans are acceptable for planning purposes only and are subject to further detailed assessment and review during the next stage of the development proposal.
TasWater's assessment staff will ensure that the design contains sufficient detail to assess compliance with relevant codes and regulations. Additionally, the plans must be clear enough for a TasWater contractor to carry out any water or sewerage-related work.
Depending on the nature of the project, your application may require Building and/or Plumbing permits or could be exempt from these requirements. Regardless, TasWater's assessment process and associated time are recoverable through an assessment fee.
Please be aware that your consultant may need to make revisions to their documentation to ensure the details are fit for construction. Any costs associated with updating these plans should be discussed directly with your consultant.

Developer Charges

For information on Developer Charges please visit the following webpage -
https://www.taswater.com.au/building-and-development/developer-charges

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

a. A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
b. TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit https://www.taswater.com.au/building-and-development/service-locations for a list of companies.
c. Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.
   NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 – SECT 56ZB A regulated entity may charge a person for the reasonable cost of –
   (a) a meter; and
   (b) installing a meter.

56W Consent

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

a. Existing pipe depth and proposed finished surface levels over the pipe;
b. The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
c. A note on the plan indicating how the pipe location and depth were ascertained.
d. The location of the property service connection and sewer inspection opening (IO).

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

GPA – Attachment 2: Internal Referral Reports

DEVELOPMENT APPLICATIONS

TRAFFIC ENGINEER REFERRAL

DA No:.	PLN-25-093	**Date Referred:**	9/05/2025
Development Engineer:		**Date Returned:**	16/05/2025
Traffic Engineer:	Emily Burch	**Property File No:**	9945568
Standard:		**Discretionary Permitted**	Discretionary

Details of Application:	**Applicant's Name:**	Field Labs
	Business Contact Name:	James Wilson
	Contact Email:	james@fieldlabs.com.au
	Address of Development:	Lot 1 Allunga Road Chigwell
	Proposal in Detail:	Six (6) Multiple Dwellings

Comments:

Introduction

The developer proposes to construct six two-bedroom unit at 1 Allanga Road, Chigwell which is next to the junction with Claremont Link Road. The number of proposed car parking spaces is 8 spaces, consisting of one car park per the two-bedroom units and two visitor parking spaces.

The assessment below is based on the Traffic Impact Assessment (TIA) undertaken by Hubble Traffic dated October 2025 and plan 10B-Rev D by Field Labs.

Traffic Generation

The traffic generated by the development is expected to be 30 trips per day and 3 trips during peak hour based on medium density residential units from the RMS Guide (Roads and Maritime Services) Road Traffic Authority NSW Guide to Traffic Generation Development. As the development is creating a new driveway crossover the performance criteria under C3.5.1 Traffic Generation has been addressed in the TIA.

Allunga Road and Claremont Link Road are both collector roads which can carry up to 10,000 vehicles per day. The TIA undertook a traffic survey at the junction of Allunga Road and Claremont Link Road on Thursday 28 November 2024. The survey found that during the morning peak there were 331 vehicles on Allunga Road and 360 vehicles on Claremont Link Road. During the evening peak there were 434 vehicles on Allunga Road and 460 vehicles on Claremont Link Road.

The TIA undertook traffic modelling of the junction using SIDRA analysis. The analysis showed that the junction operates at the highest level of service (contributing factors being density, gaps in traffic steams, expected delays and queues) and will continue to after the development. The modelling showed that the development will have no adverse impact on the traffic efficiency of the junction.

The additional traffic on Allunga Road and Claremont Link Road, is minimal compared to the traffic on these collector roads. The additional three vehicle trips during peak hour will still mean that the volume of traffic on the collector roads is below the acceptable of 500 vehicles per hour in accordance with the Austroads Guide.

The crash history in the last five years shows that there have been two crashes near the site, one property damage at the junction and one first aid on Allunga Road south of Karambi Street. This is not considered significant or represents an issue in the network.

The TIA is accepted, and it can be concluded that the additional traffic should not have a significate impact on the safety and efficiency of the road network. The performance criteria C3.5.1 P1 is met.

Parking Supply

The development is proposing to have 8 parking spaces, consisting of one car park per two-bedroom units and two visitor parking spaces. The planning scheme under C2.5.1 requires 14 spaces, of which two parking spaces per dwelling and two visitor parking spaces. As the parking does not meet the requirement of the planning scheme, the performance criteria was addressed in the TIA.

The development is proposed to be for social housing in which car ownership is often less than that required in the planning scheme. This was demonstrated in the TIA by the following:

- Outer metropolitan Melbourne research showed that two-bedroom dwellings have an average rate of 0.96 vehicles per dwelling from ABS data and 0.63 vehicles per dwelling based on survey data.
- Centacare surveyed six sites in southern Tasmania in the inner metro with a maximum car ownership of 0.47 per dwellings.
- Quens Walk social housing rate prior to new development, was 0.72 cars per unit.

The above shows that car ownership is lower for social housing in Tasmania. The proposed development would be best described as outer metro due to the frequency of public transport, distance to activity centres and education facilities. Based on this, it is considered appropriate that there is one parking space per dwelling for this six-unit development, supported by two visitor parking spaces.

In the TIA, Home Tasmanian has additionally provided a letter saying that tenancy allocation will be based on assessment need, with a single vehicles per household condition clearly communicated and monitored through ongoing tenancy management. This approach mitigates the risk of overflow parking.

It is concluded that the number of on-site car parking spaces for the development, meets the reasonable needs of the use and the performance criteria C2.5.1 P1.2 is met.

Driveway Access, Waste Collection and Pedestrian Access

The development proposes a new 5.5m wide driveway crossover onto Allunga Road which was assessed in the TIA. The sight distance at the driveway crossover exceeds 70m, which is above the requirement in AS2890.5. Sight distances at the junction of Allunga Road and Claremont Link Road, were also assessed due to the development and still exceed the required 100m for safe intersection sight distance.

The car park has been designed to allow cars to enter and exit forward facing. A medium rigid vehicle 8.8m in length, such as a fire truck will be able to enter the car park in a forward direction but will need to reverse out. This is considered acceptable for the site.

A pedestrian path is proposed from the site to Council's footpath, to allow pedestrians to safely exit the site and to place their waste bins on the footpath. The footpath where bins will be placed will be widened to allow pedestrians to pass. A pedestrian path will also be provided along the frontage of the site, as shown in Figure 1 below, meeting the acceptable solution for C2.6.5 Pedestrian Access.

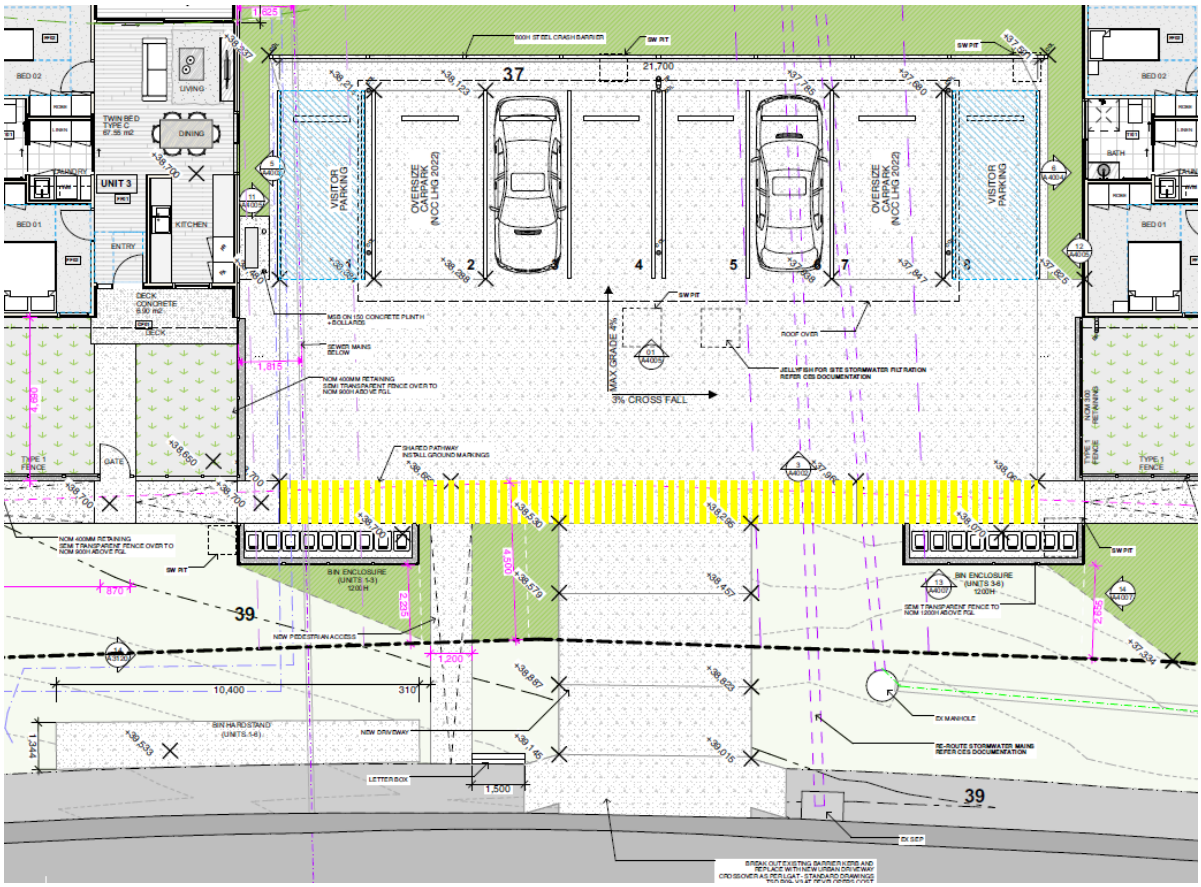


Figure 1 – 10B Rev D by Field Labs

CONCLUSION

As the proposed development is not expected to have any significant detrimental impacts on the surrounding road network in terms of traffic efficiency, parking or road safety, I have no objection to the development on traffic engineering or road safety grounds.

DEVELOPMENT APPLICATIONS

DEVELOPMENT ENGINEER REFERRAL

DA No.	PLN-25-093	**Date Referred**	9/05/2025
Planner	Sylvia Jeffreys	**To Be Returned By**	14/11/2025
Development Engineer	Arete Engineering	**Date Returned**	Select
Property File No.	9945568	**Discretionary Permitted**	Discretionary

Details of Application	**Applicant**	Field Labs
	Business Contact Name	James Wilson
	Contact Email	james@fieldlabs.com.au
	Address of Development	Lot 1 Allunga Road, Chigwell
	Proposal in Detail	Six (6) Multiple Dwellings

Comments

Site: Lot 1 Allunga Road, Chigwell
Proposal: Six new dwellings with 6 car spaces and 2 visitor parking spaces

The six-unit development and car parking arrangement are a functional design with no concerns from council regarding overall design, drainage and manoeuvring on site. No disabled parking is provided.

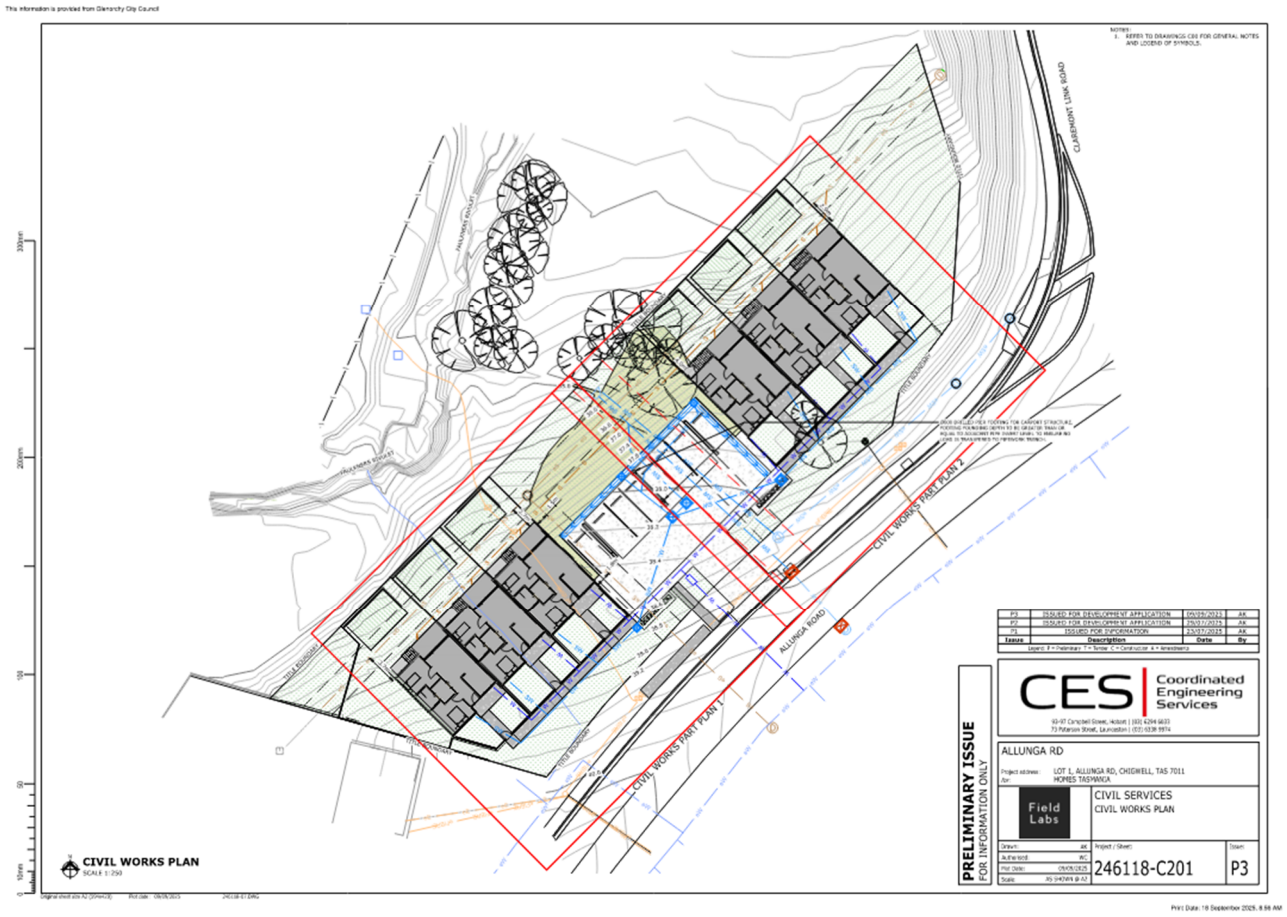
The development has a shortfall in parking of 6 spaces. This shortfall in traffic would force on street parking. This is a concern for council given the nature and traffic on Allunga Rd and the developments proximity to Claremont Link Road.

Management of the property owners by restricting residents to 1 car park per dwelling is assured by Home Tasmania and confirmed that this will be manageable was assured to council by Peter Hubble.

Line marking in to prevent parking in front of the property was rejected by council as this would only move the parking deficiency to another section of Allunga Rd.

The applicant has provided some evidence to suggest that previous applications have been supported with less than required parking spaces. However, these developments either are close to sufficient off-street parking or in the case of the Campbell St development, were for residents of an age not able to obtain a licence.

Development Engineering reluctantly supports this application. This reluctance is based on the car parking shortfall and Homes Tasmania capacity to seriously be able to manage this.



Standard Conditions

1. Use and development must be substantially in accordance with planning permit application advertised plans DA No. PLN-25-093 Architectural Plans by Field Labs; Revision D (06/10/2025) and Engineering Plans by CES Project No. 246118 P3. except as otherwise required by this permit as otherwise required by this permit.

2. Prior to the issuing of a Building Approval or the commencement of works on site, including demolition (whichever occurs first), submit an Erosion and Sediment Control (ESC) plan detailing proposed sediment and erosion control measures to the satisfaction of Council's Development Engineer.
   The approved control measures must be installed prior to any disturbance of soil or construction activity such as concrete cutting, demolition and must be regularly inspected and maintained during the construction and demolition period to prevent soil and other materials entering the local stormwater system, roadways, or adjoining properties.
   The approved control measures must remain in place until such time as all construction activity

likely to generate sediment has been completed or all disturbed areas have been stabilised using vegetation and/or restored or sealed to the satisfaction of the Council.
The approved Erosion and Sediment Control plan (ESC) forms part of this permit and must be complied with.
Advice: For further information please refer to Erosion and Sediment Control (ESC) Fact Sheets published by the Department of Primary Industries, Parks, Waters and Environment. These are available from Council or online at www.derwentestuary.org.au/stormwater/

3. The loading and unloading of goods from vehicles, including building materials and equipment, must only be carried out on the land.

4. The property owner is to ensure that Council's Road Assets and Infrastructure are protected during the demolition and building process. The owner is to ensure that damage to road assets, footpaths, kerb and channel, drainage pits, nature strips and other services is kept to a minimum, and any damaged assets are reinstated. Should damages occur, the repair costs associated with such damages are the responsibility of the property owner. If reinstatement works are not undertaken promptly or to Council's satisfaction, Council may elect to reinstate or rectify any defects and recover the expenses reasonably incurred in doing so from the property owner.

5. Prior to the issue of building approval and/or commencement of works (whichever occurs first), including excavation, a Construction Management Plan, must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Senior Statutory Planner. The plan must provide details of the following:

   (a) Hours for construction activity in accordance with any other condition of this permit.
   (b) Measures to control noise, dust, water and sediment laden runoff.
   (c) Measures relating to removal of hazardous or dangerous material from the site, where applicable.
   (d) A plan showing the location of parking areas for construction and sub-contractors' vehicles on and surrounding the site, to ensure that vehicles associated with construction activity cause minimum disruption to surrounding premises. Any basement car park on the land must be made available for use by sub-constructors/tradespersons upon completion of such areas, without delay.
   (e) A plan showing the location and design of a vehicle wash-down bay for construction vehicles on the site.
   (f) Measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the construction management plan.
   (g) Contact details of key construction site staff.
   (h) A site plan showing the location of any site sheds, on-site amenities, building waste storage and the like, noting that Council does not support site sheds on Council Road reserves; and
   (i) Any other relevant matters

   Advice: This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit

6. Prior to the issue of building approval and/or commencement of works (whichever occurs first), plans showing the detailed design of the new vehicle crossing must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Senior Development Engineer. The design and construction must be in accordance with the Tasmanian standard drawing TSD-R09-v3, the vehicle crossing must be completed prior to the occupancy of the dwelling.

   Advice: This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

7. Prior to the issue of building approval and/or commencement of works (whichever occurs first), plans showing the driveway and parking details must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Senior Development Engineer. The design and construction of the parking, access and turning areas must comply with the approved plans or be substantially in accordance with the Australian Standard, Parking facilities, Part 1: Off-Street Car parking, AS 2890.1 – 2004 and the following:

   (a) Be constructed to a sealed finish and the finished gradient shall not exceed the maximum gradient of 25% or 1 in 4.
   (b) Vertical alignment shall include transition curves (or straight sections) at all grade changes greater than 12.5%.
   (c) Total of eight (8) clearly marked car parking spaces (1 spaces per each dwelling and 2 visitor) must be provided in accordance with the approved plan received by Council and always kept available for these purposes.
   (d) All runoff from paved and driveway areas must be discharged into Council's stormwater system.
   (e) The crossfall along the footpath must not exceed 4%.
   (f) The gradient of any parking area must not exceed 5% and
   (g) Aisle width is to be no less than 6.0 meters.
   (h) Demonstrate single manoeuvre swept path into and out of car spaces can be achieved.
   (i) Provide blind aisle extensions for car spaces
   (j) Detailed earth retaining structures

   All work required by this condition must be installed prior to the occupancy.

   Advice: This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

8. A barrier compliant with the Australian Standard AS 1170.1 must be installed to prevent vehicles running off the edge of a carriageway, raised platform or deck where the drop from the edge of the trafficable area to a lower level is 600mm or greater or gradient is greater than 1/4. Wheel stops must also be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit. All works required by this condition must be installed prior to the occupancy of the dwelling.

9. Additional overflow carpark onto Allunga Rd is to be prevented by restricting the households to 1 car per dwelling. This restriction is to be managed and enforced by Homes Tasmania and subsequent property managers for the design life of the unit development.

   Prior to the issue of building approval and/or commencement of works (whichever occurs first), detail on how single vehicle restriction is to be enforced must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Senior Traffic or Development Engineer.

10. No civil works related to or associated with the use or development approved by this permit are to occur on or external to the site unless these works are in accordance with engineering drawings that have been approved by Council's Development Engineer. Changes to the design and/or location of civil works will require the submission of amended engineering drawings prepared by a licensed civil engineer for approval by Council's Engineer.

11. Engineering design drawings must be submitted and approved, prior to the construction and prior to the Plumbing and/or Building Permit, whichever occurs first. The engineering drawings must:

    (a) be certified by a qualified and experienced Engineer.
    (b) show in both plan and long-section the proposed stormwater and sewer, including but not limited to, connections, flows, velocities, hydraulic grade lines, clearances to surface and other services, cover, gradients, sizing, material, pipe class, adequate working platforms around manholes, easements, inspection openings and penetration.

All work required by this condition must be undertaken in accordance with the approved engineered drawings.

12. Prior to the first occupation / commencement of use, documentation by a suitably qualified engineer certifying that relevant conditions have been met and construction is in accordance with the approved drawings must be lodged with Council and building surveyor.

GLENORCHY CITY COUNCIL

Our ref: **PLN-24-270**
Enquiries **Bree Narksut**
Direct phone: (03) 6216 6800
Email: gccmail@gcc.tas.gov.au

13/11/2025

James Wilson
Field Labs
21a Cross Street
New Town TAS 7008

Email: james@fieldlabs.com.au

Dear Sir/Madam

GENERAL MANAGER'S CONSENT – S.14 URBAN DRAINAGE ACT 2013

I refer to the proposed Multiple dwellings (6 new), and parking at Lot 1 Allunga Road, Chigwell. Related Planning Permit for this consent is PLN-25-093.

It is advised that the consent of the General Manger to interfere with the public stormwater system for the use/development approved by the Related Planning Permit has been granted by Council pursuant to Section 14(1) of the *Urban Drainage Act 2013*.

This consent is subject to the compliance with the conditions set out in Attachment 1. You must comply with the conditions of this consent.

Advice relevant to this consent is provided in Attachment 2. Please take time to read and consider the advice before commencing works.

Yours sincerely

David Morley
Development Engineer

Attachment 1 – Conditions of General Manager's Consent

1. Use and development must be substantially in accordance with planning permit application advertised plans DA No. PLN-25-093 Architectural Plans by Field Labs; Revision D (06/10/2025) and Engineering Plans by CES Project No. 246118 P3. except as otherwise required by this permit as otherwise required by this permit.

2. No stormwater works are to commence until the Related Planning Permit has force and effect. (Please refer to Advice in Attachment 2.)

3. This consent remains valid while the Related Planning Permit continues to have force and effect. If the Related Planning Permit lapses pursuant to Section 53(5) of the *Land Use Planning and Approvals Act 1993*, this consent also lapses.

4. All internal hydraulic service works required for the development must be at the Developer's expense and must comply with the requirements of Council's Plumbing Surveyor. Any alterations or works to the public stormwater system must be undertaken by Council at the developer's cost.

5. The property owner is to ensure that Council's Road Assets and Infrastructure are protected during the construction of the stormwater works. The owner is to ensure that damage to road assets, footpaths, kerb and channel, drainage pits, nature strips and other services is kept to a minimum and any damaged assets are reinstated. Should damages occur, the repair costs associated with such damages are the responsibility of the property owner.

6. If reinstatement works are not undertaken promptly or to Council's satisfaction, Council may elect to reinstate or rectify any defects and recover the expenses reasonably incurred in doing so from the property owner.

7. The development must incorporate the Water Sensitive Urban Design (WSUD) as indicated in the service report by Collective Consulting. The WSUD components must be designed and constructed to the satisfaction of the Council's Senior Civil Engineer and completed prior to the sealing of the Final Plan / issue of a Completion Certificate. Submit a MUSIC model with report prepared by a suitably qualified professional. Detailed design of the WSUD components must include inlet, outlet configuration – offline treatment preferred, primary treatment and unrestricted access points to allow future maintenance.

8. In association with a plumbing Application, Maintenance Schemes for WSUD and OSD elements must be submitted for approval, to the satisfaction of Council's Senior Civil Engineer, defining the maintenance method and frequency for each WSUD and OSD element incorporated in the development. The Owner and all successors in title must ensure ongoing compliance with the approved WSUD Maintenance Scheme for the

duration of the approved use. Council must first approve any changes to the approved Maintenance Schemes.

9. The new stormwater infrastructure must be constructed prior to the sealing of the issue of an occupancy certificate.

Attachment 2 – Advice

Related Planning Permit

Please ensure you have obtained a copy of the Related Planning Permit before undertaking stormwater works. In addition to complying with the conditions of this consent, all stormwater works must be undertaken in a manner that is consistent with the approved plans and conditions of the Related Planning Permit for the use/development.

Planning permits for which representations were received do not have force and effect until 14 days after notice is served on the representors. Planning permits may also be subject of an appeal by the applicant or representors to the Resource Management and Planning Appeals Tribunal (RMPAT). Where an appeal is lodged the permit does not have force and effect until the appeal is determined or abandoned. To confirm whether the Related Planning Permit has force and effect, please contact Council's Planning Section on (03) 6216 6800.

Other Permits

Please be aware that this consent is for stormwater works and has been issued under the *Urban Drainage Act 2013*. You should consult with an accredited Building Surveyor prior to commencing work to ensure all relevant requirements of the Building Act 2016 are complied with. In addition to this consent, a building permit and/or plumbing permit may also be required. If further clarification is required, please contact Council's Building Section on (03) 6216 6800.

Other Services

The designer must ensure that the needs of all providers including TasWater, TasGas, TasNetworks, and Telstra are catered for both in the construction of the stormwater works. Underground service providers should be contacted for line marking of their services and any requirements or conditions they may have prior to commencing any works on site. Phone 1100, Dial Before You Dig or visit www.dialbeforeyoudig.com.au for information on the location of underground services and cables in relation to the proposed development prior to commencing any works on site.

DEVELOPMENT APPLICATIONS

WASTE MANAGEMENT REFERRAL

DA No:.	PLN-25-093	**Date Referred:**	15/05/2025
Planner:	Sylvia Jeffreys	**To Be Returned By:**	22/05/2025
Waste Management Rep:	Gaye Hunt	**Date Returned:**	21/05/2025
Property File No:	9945568	**Discretionary Permitted**	Discretionary

Details of Application:	**Applicant's Name:**	Field Labs
	Business Contact Name:	James Wilson
	Contact Email:	james@fieldlabs.com.au
	Address of Development:	Lot 1 Allunga Road Chigwell
	Proposal In Detail:	Six (6) Multiple Dwellings

Comments:

Waste Services to the proposed multiple dwelling development at Lot 1 Allunga Rd Chigwell would be Council's standard bin service collected fortnightly.

- The Council's Standard Bin Service includes one (1) x 140L wheelie bin for Waste, one (1) x 240L wheelie bin for recycling and (1) x 240L FOGO bin to each of the dwelling, collected fortnightly.
- Please note that this property would have a total of eighteen (18) bins, six (6) Waste bins and six (6) Recycling Bins, and six (6) FOGO bins.
- This property has an existing kerbside/nature strip area for placement of the bins therefore the dwellings would have their own individual bins.
- All bins are to be six (6) recycling bins out for collection one week and six (6) FOGO bins out for collection the following week.
- Council's Waste Management Contractor collection trucks will not enter the property to collect and empty the wheelie bins.

Regards

Evan Brown Waste Services Co-ordinator