

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-109
PROPOSED DEVELOPMENT:	Additions and alterations, retaining walls and altered parking
LOCATION:	104 Sunshine Road, Austins Ferry
APPLICANT:	Pettit Designs
ADVERTISING START DATE:	16/01/2026
ADVERTISING EXPIRY DATE:	02/02/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **02/02/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **02/02/2026**, or for postal and hand delivered representations, by 5.00 pm on **02/02/2026**.

Proposed Approval of Unapproved Alterations for Oanh Ngoc Nguyen at 104 Sunshine Road Austins Ferry

TITLE REFERENCE:	volume - 138990
	folio - 38
PROPERTY ID:	2180498
COUNCIL:	GLENORCHY CITY
PLANNING ZONE:	GENERAL RESIDENTIAL
AFFECTED OVERLAYS:	N/A
SITE AREA	737.7m ²
SITE COVER	215.66m ² = 29%
PRIVATE OPEN SPACE	>100m ²
CAR PARKING	2
EXISTING LOWER FLOOR AREA	87.8m ²
EXISTING UPPER FLOOR AREA	111.46m ²
EXISTING VERANDAH	95.2m ²
(ENCLOSED VERANDA FLOOR AREA)	75.8m ²
EXISTING GARDEN SHED	9m ²
TOTAL	303.46m ²
BUSHFIRE ATTACK LEVEL (BAL)	LOW
ALPINE ZONE CLASSIFICATION	N/A
CLIMATE ZONE	7
CORROSION CLASSIFICATION (STRUCTURAL)	LOW
CORROSION CLASSIFICATION (ROOFING)	LOW
WIND SPEED CLASSIFICATION	---
SOIL CLASSIFICATION	---

Job No. 241002

PLANNING APPLICATION

NOT TO BE USED
FOR CONSTRUCTION PURPOSES

PETTIT DESIGNS

A.B.N. 87 667 918 807

Phone: (03) 62730986
Mobile: 0406 481283
Email: matthew.pettit@bigpond.com

Matthew Pettit
Accredited Building
Practitioner

Licence No. CC5092U
(Building Designer - Domestic)

PAGE	DRAWING	SCALE
0.	Cover	
1.	Location plan	1:3000
2.	Bush fire hazard plan	1:1000
3.	Site plan	1:200
4.	Elevations	1:100
5.	Elevations	1:100
6.	Lower floor plan	1:100
7.	Upper floor plan	1:100
8.	Section A	1:50

ADENDUM:
The following attachments must be read in conjunction with the plans and form part of the documentation for the project:
* Original House Plans by G.J. Gardner P/L
* Original Verandah Addition Plans by DRH Design Drafting

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-25-109
DATE RECEIVED: 18/11/2025

0/8

COVER

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DRAFTED BY: MATTHEW RICHARD PETTIT
ACCREDITATION No. : CC5092U
DATE: August 2025

NOTES TO PLANS: To be read in conjunction with plans and specifications

- Figured dimensions to be used. Do not scale drawings.
- It is recommended that all levels, set outs and dimensions be verified by a registered Surveyor.
- All materials to be in accordance with the relevant SAA Code, NCC and/or Manufacturers specifications.
- All work to be carried out in accordance with relevant SAA Code, Manufacturers specifications and NCC
- Pettit Designs hereby guarantee that the plans and specifications will meet requirements of the Permit Authority.
Although every care is taken no responsibility is accepted for misinterpretation error or omission. It is the Contractors responsibility at all times to verify dimensions and levels etc. prior to and during constructions.
- These drawings to be read in conjunction with Engineers reports and associated details thereof.
- All plumbing and drainage to Local Authority specifications and NCC where applicable.



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8km TO GLENORCHY

3km TO BRIDGENATER
BRIDGE (GRANTON)

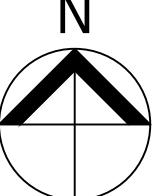


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LOCATION PLAN

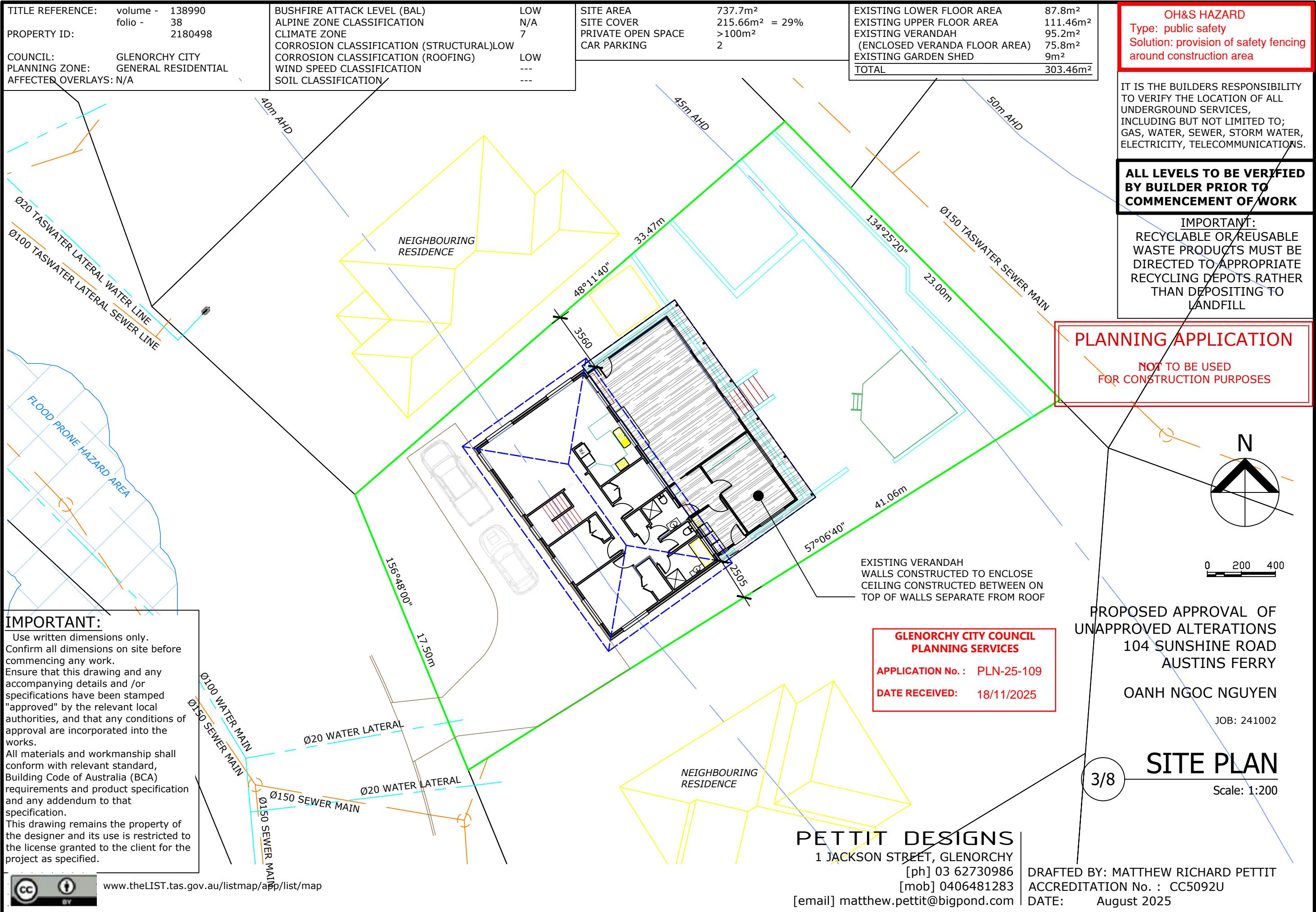
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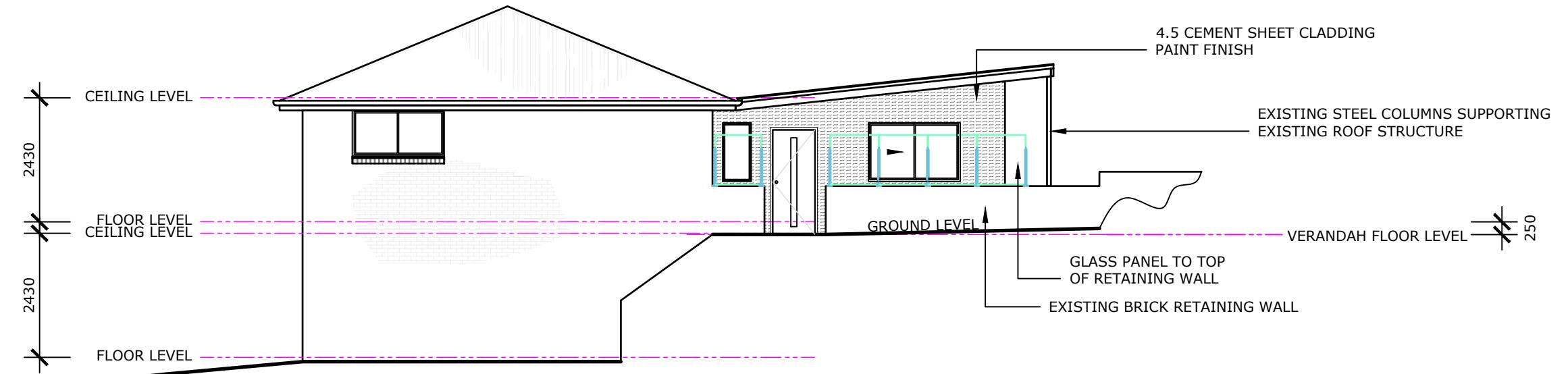
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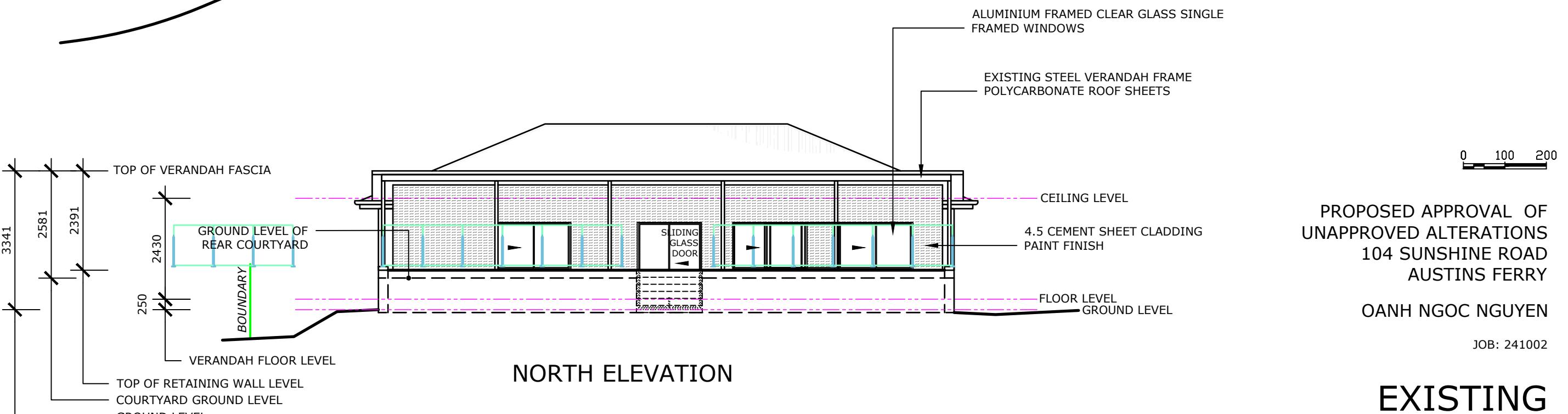


EXISTING BUILDINGS

THIS DRAWING IS AN ARCHITECTURAL
REPRESENTATION OF BUILDINGS ALREADY
CONSTRUCTED



EAST ELEVATION



NORTH ELEVATION

PROPOSED APPROVAL OF
UNAPPROVED ALTERATIONS
104 SUNSHINE ROAD
AUSTINS FERRY
OANH NGOC NGUYEN

JOB: 241002

EXISTING ELEVATIONS

4/8

Scale 1:100

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GLENORCHY CITY COUNCIL PLANNING SERVICES

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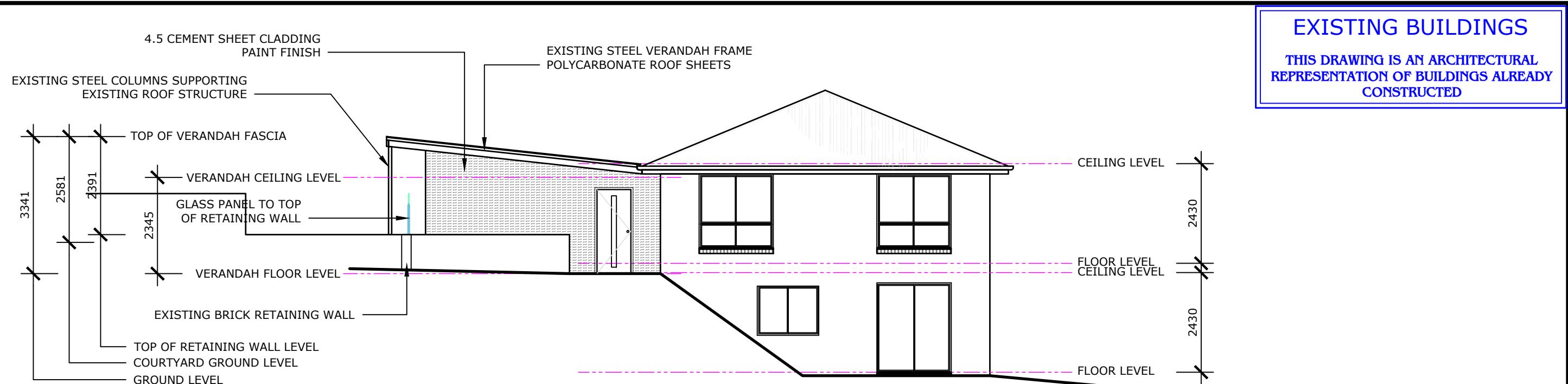
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WEST ELEVATION



SOUTH ELEVATION

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104 SUNSHINE ROAD
AUSTINS FERRY
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**EXISTING
ELEVATIONS**

Scale: 1:100

5/8

PLANNING APPLICATION
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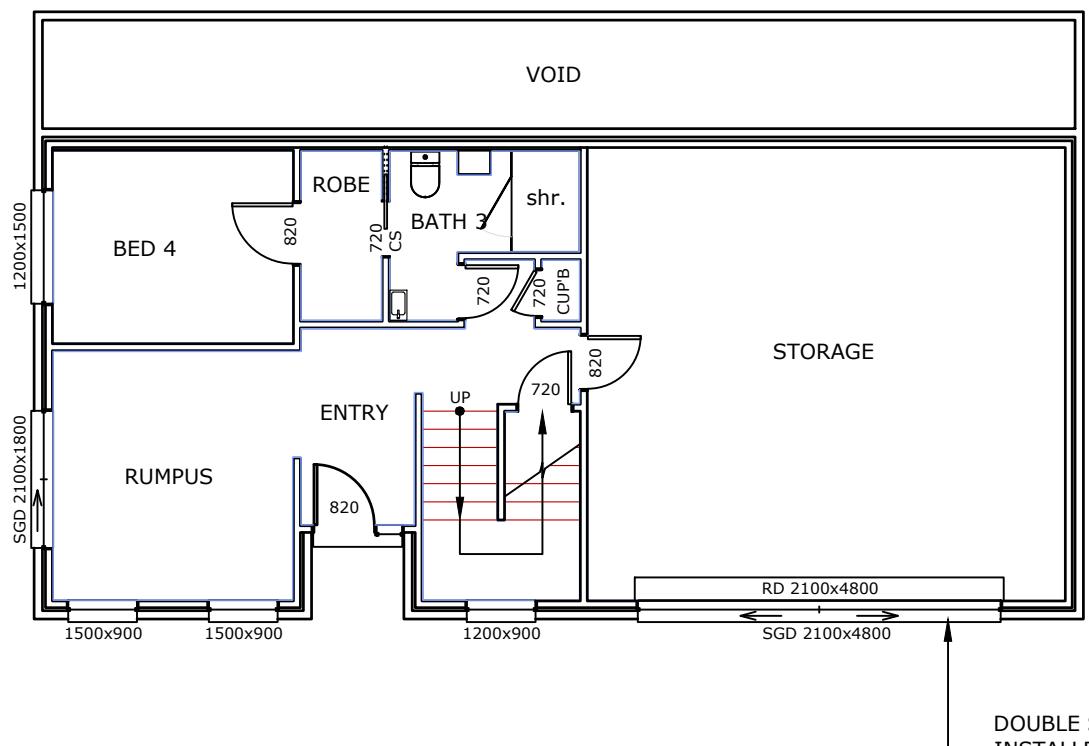
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EXISTING BUILDINGS

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NOTES:

- 1) BATH 3 WAS ORIGINALLY DENOTED AS WC AND STORE (SEE ORIGINAL PLANS BY G.J. GARDNER HOMES)
- 2) STORAGE WAS ORIGINALLY DENOTED AS DOUBLE GARAGE (SEE ORIGINAL PLANS BY G.J. GARDNER HOMES), BUT NOW HAS SLIDING GLASS DOORS INSTALLED IN DOOR OPENING. ROLLER DOOR IS STILL IN PLACE BEHIND THE GLASS DOORS. OPENING IS STILL WIDE ENOUGH TO ADMIT A CAR IF NEEDED.

0 100 200

PROPOSED APPROVAL OF
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EXISTING LOWER FLOOR PLAN

6/8

Scale: 1:100

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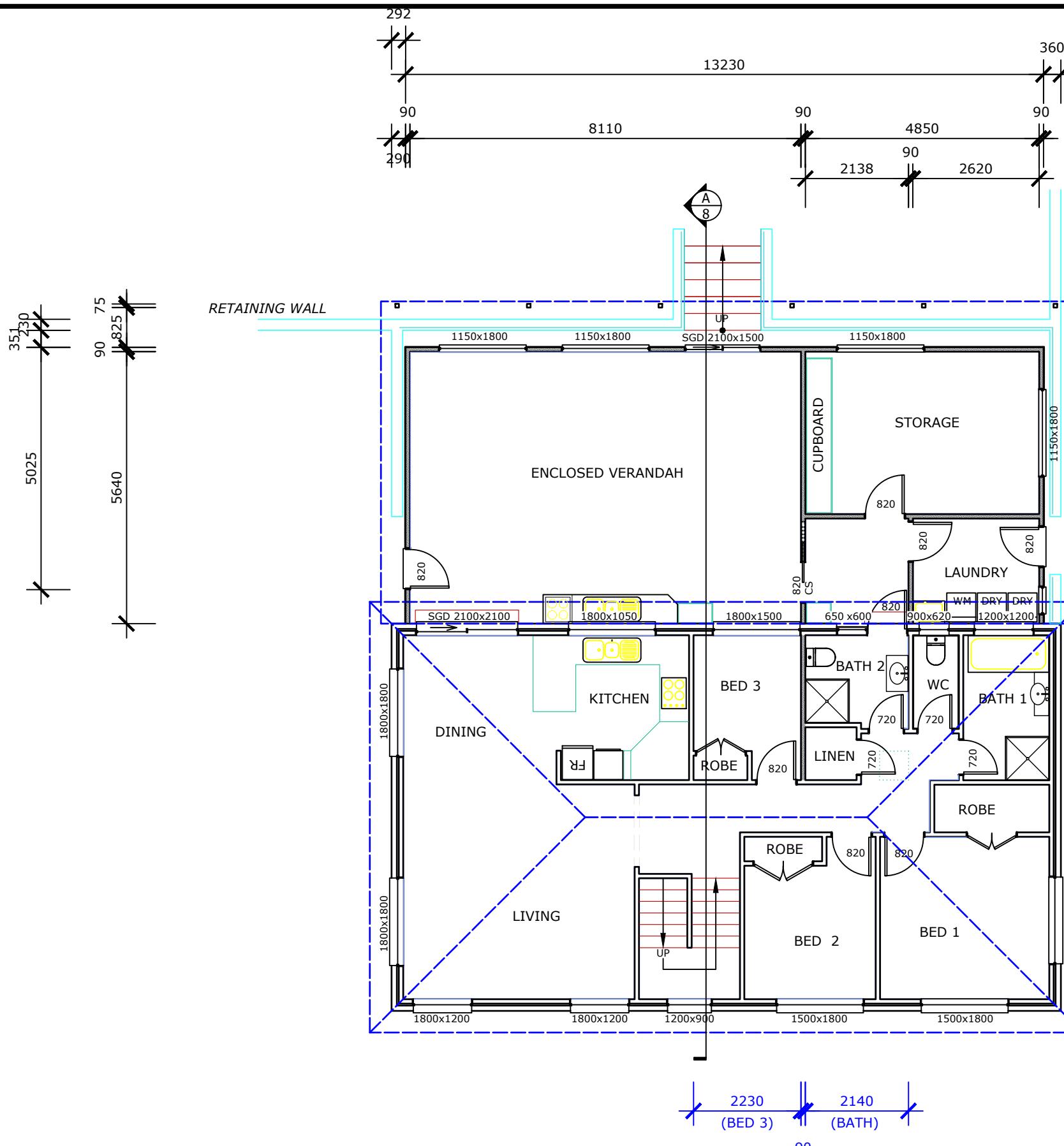
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EXISTING BUILDINGS

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NOTES:

- 1) BATH 2 WAS ORIGINALLY DENOTED AS LAUNDRY (SEE ORIGINAL PLANS BY G.J. GARDNER HOMES)
- 2) WALL BETWEEN BATH 2 AND BED 3 HAS BEEN MOVED TO INCREASE SIZE OF BATH 2
- 3) VERANDAH HAS BEEN ENCLOSED WITH WALLS AND CEILING BUT REMAINS AN UNCONDITIONED SPACE

EXISTING VERANDAH

PROPOSED APPROVAL OF
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104 SUNSHINE ROAD
AUSTINS FERRY

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EXISTING UPPER FLOOR PLAN

7/8

Scale: 1:100

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STRUCTURAL STEEL - LOW CORROSIVE ENVIRONMENT

Corrosion protection to be provided as per Table 6.3.9a of NCC - HOUSING PROVISIONS -MINIMUM PROTECTIVE COATINGS FOR STRUCTURAL STEEL MEMBERS

LOW CORROSIVE ENVIRONMENT (MILD STEEL CORROSION RATE 1.3 TO 25µm/YEAR) > 1km FROM SHELTERED BAYS
ALL STRUCTURAL STEEL TO BE HOT DIP GALVANISED (HDG75) OR COATED AS PER PAINT SPECIFICATION BELOW.
ALL CUT SURFACES OR WELDED JOINTS TO BE TREATED AS PER PAINT SPECIFICATION BELOW.

MINIMUM PROTECTIVE PAINTED COATING FOR EXTERNAL STRUCTURAL STEEL IN LOW CORROSION ENVIRONMENT

System as specified by AS2312.1

Surface Prep as per ISO 8501-1. Sa 2.5 VERY THOROUGH BLAST-CLEANING

(DFT refers to dry film thickness measured in µm)

SYSTEM	SURFACE PREP	1st COAT	2nd COAT	3rd COAT	TOTAL
ACL2	Sa 2.5	Zinc rich primer (75DFT)	Acrylic latex (40DFT)	Acrylic latex (40DFT)	155DFT
ACC2	Sa 2.5	Epoxy primer (75DFT)	Acrylic 2 pack (50DFT)	N/A	125DFT
Izs1	Sa 2.5	Inorganic zinc silicate (75DFT)	N/A	N/A	75DFT
PUR2A	Sa 2.5	Zinc rich primer (75DFT)	High build polyurethane (75DFT)	N/A	150DFT

GLAZING

ALL GLAZING TO AS1288, AS2047 AND NCC - HOUSING PROVISION: PART 8

CERTIFICATION OF COMPLIANCE WITH ABOVE AND TO RELEVANT BUSHFIRE ATTACK

LEVEL (BAL) (IF REQUIRED) TO BE PROVIDED TO BUILDING SURVEYOR

GLASS PANES WITHIN 500mm OF FLOOR LEVEL MUST BE OF GRADE A SAFETY GLASS
OR MONOLITHIC ANNEALED GLASS >5mm NOMINAL THICKNESS WITH AN AREA <1.2m²

FIRE SAFETY

Denotes position of wired-in smoke detectors (refer floor plan).

All detectors to be interconnected on same circuit.

INTERNAL WALL & CEILING LININGS

10mm plasterboard on furring channel to ceilings except where otherwise noted.

10mm plasterboard to wall areas except where otherwise noted.

WET AREA FINISHES TO AS3740

VILLABOARD OR SIMILAR TO ALL WALLS AND CEILINGS.
CERAMIC TILES OR SIMILAR TO 1800mm ABOVE SHOWER BASE. CERAMIC TILES OR SIMILAR TO 150mm MIN ABOVE VANITY BASIN. CERAMIC TILES OR SIMILAR TO ALL FLOORS WITH FLEXIBLE ADHESIVE OVER SEALER.
WATERPROOFING AS REQUIRED IN STRICT ACCORDANCE WITH AS3740 AND NCC (BCA-HOUSING PROVISIONS) PART 10.2.1

EXTERNAL WALL CLADDINGS

All external claddings to be fixed to manufacturers specifications.

Wall cladding: JAMES HARDIE HARDIE FLEX (OR SIMILAR), PAINT FINISH TO CLIENTS SELECTION

Roof cladding: POLYCARBONATE CORRUGATED SHEET

FRAMING MGP10 (2400mm high)

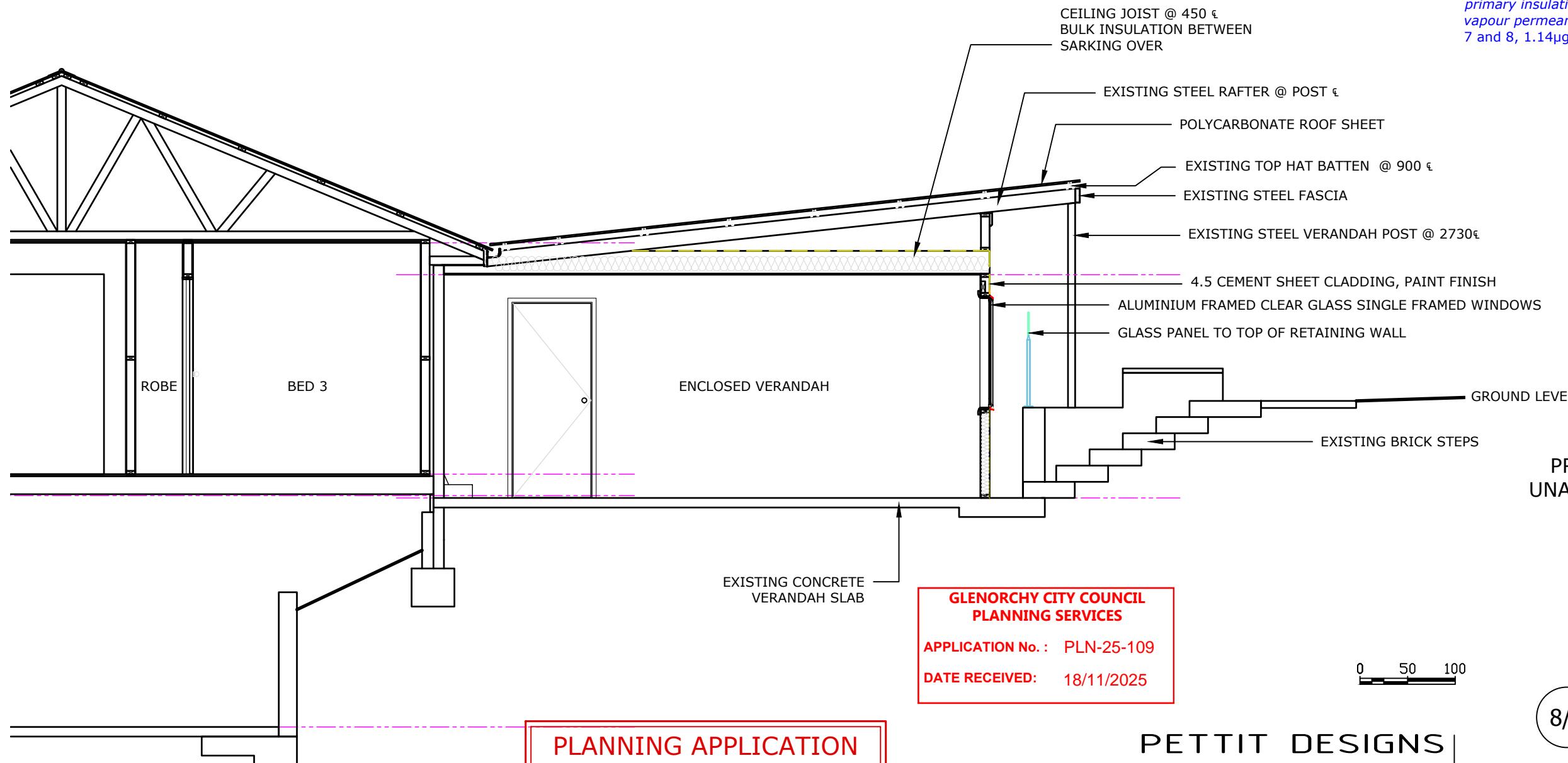
Studs	90x35 at 450mm crs.
Jamb studs (sheet roof)	2/90x35 to max 2400mm opening
Jamb studs (tile roof)	3/30x35 to max 3600mm opening
Bottom plate	90x35 to max 1500mm opening
	2/90x45 to max 2400mm opening
Top plate	3/90x45 to max 3600mm opening
Nogging	90x35 - concrete slab
	90x35 - timber floor where studs positioned over or within 50mm of floor joists. Refer AS1684.4 for other than above.
	2/90x35 where trusses/rafters over or within 100mm of same. Refer AS1684.4 for other than above.
	90x35 at 1350 crs. max

NCC Housing Provisions 2022

Part 10: Health and amenity

Sub-part 10.8: Condensation Management

(2) Where a *pliable membrane, sarking-type material* or insulation layer is installed on the exterior side of the *primary insulation layer* of an *external wall* it must have a *vapour permeance* of not less than - (b) in *climate zones 6, 7 and 8*, 1.14µg/N.s.



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SECTION A

Scale: 1:50

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