

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-354
PROPOSED DEVELOPMENT:	Change of Use to Visitor Accommodation
LOCATION:	17 Wendourie Parade Austins Ferry
APPLICANT:	S N Lovell and C A M Lovell
ADVERTISING START DATE:	20/01/2026
ADVERTISING EXPIRY DATE:	04/02/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **04/02/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **04/02/2026**, or for postal and hand delivered representations, by 5.00 pm on **04/02/2026**.



WATERSIDE ON WENDOURIE

Welcome to Your Home Away from Home!

Dear Guest,

We are thrilled to welcome you to our property. Whether you are here for relaxing getaway, a business trip, or an adventure, we hope your stay is comfortable and memorable.

This property was built in 2020. A deck offers a relaxing space and a good spot to catch a glimpse of beautiful dolphins in the Derwent River that visits sometimes.

Inside the folder, you will find all the information you need to make your stay as easy and enjoyable as possible, including house rules, local recommendations, and essential details about the property.

If you have any questions or need assistance during your stay, do not hesitate to reach out. We are here to help!

Host Contact Number [REDACTED]

Enjoy your stay!

House Rules:

1. Check-in/Check-out
 - Check-in: 2:00 PM or later
 - Check-out: 10:00 AM or earlier
 - Please adhere to these times to allow us to prepare the space for the next guests.
2. Noise:
 - Please keep noise to a minimum, especially between 10:00 PM and 8:00 AM, to respect our neighbours.
3. Smoking:
 - Strictly NO SMOKING inside the house or on the deck. The property has a strict no smoking policy.
4. Pets:
 - Pets are not allowed. Strictly no pets inside or outside the property.
5. Parties and Events:
 - The property has strict no parties or events policy.
6. Visitors:
 - Only registered guests are allowed to stay overnight. Additional fee will be charged for an extra person. If an extra person is required, please advise in advance.
7. Cleanliness:
 - Please clean up after yourself, including washing dishes, wiping down counters, and disposing of trash properly. Additional cleaning fee will be charged if property left in an unacceptable condition including the BBQ. Additionally, should any damage be done, this will also be charged back to you.
8. Respect the Property:
 - Treat the space as if it were your own home. Report any damages or issues immediately so they can be addressed.
9. Security:
 - Lock all doors and windows when leaving the property. We are not responsible for lost or stolen items.
10. Parking:
 - Please Park in designate parking areas only. Do not park on the street.
11. Check-out instructions:
 - Please turn off lights, appliances, and heating/cooling systems when you are vacating the house. Please ensure you return the keys to the lock box at the end of your stay.

Thank you for your understanding and cooperation!

LOCAL INFORMATION:

RESTAURANTS, CAFÉ, SHOPS (refer to flyers and printed menu for more options)

- THE CLAREMONT VILLAGE offers varieties of shops and cafes including WOOLWORTHS, REJECT SHOP, CHEMISTS, BANJO'S, BAKER'S DELIGHT, ETC. It is 1.9 km (3 minutes' drive or 27 minutes' walk).
- IGA X-PRESS AUSTINS FERRY (600 km)
162 Main Rd, Austins Ferry (03) 6249 2344
- THE GRANADA TAVERN (4.5 km)
666 Main Rd, Berriedale (03) 6249 1100
- PEKING RESTAURANT (1.9 km)
40 Main Rd, Claremont (03) 6249 4401
- PEP PIZZA AUSTINS FERRY (750 m)
125 Main Rd, Austins Ferry (03) 6249 8995
- DINO PIZZA (our preference) (2.1 km)
7/22 Wyndham Rd, Claremont (03) 6249 1999
- MinFu Restaurant
Shop 5a, 26 Wyndham Rd, Claremont (03) 6249 8438

ATTRACTI0NS:

- SHOOBRIDGE PARK (1.0 km)
- JAMES AUSTINS COTTAGE (1.0 km)
12-16 Austins Ferry Rd
Opening Hours: Sunday 1PM-4PM
- MONA MUSEUM of OLD and NEW ART (4.4 km)

TRANSPORTATION:

Please see **BUS TIMETABLE** for time schedule of the buses. Timetable was current on the date printed. Please check online for the current timetable. The bus stop going to MONA and Hobart City is on the opposite side of the road to the IGA, STOP 42 No. 174 Main Rd.

Safety Information:

Your safety is our top priority during your stay. We want to ensure you have a safe and enjoyable stay. Please review the following important safety details:

Emergency Contacts:

- Emergency Number: 000
- Host Contact: Phone Number: 0433 874 410
- Nearest Hospital: Royal Hobart Hospital (RHH)
Liverpool Street, Hobart, Tas 7000
(03) 6166 8308

Safety Features:

- Smoke Detectors: Located in the downstairs hallway and in the living room.
- Fire Aid Kit: Under the microwave
- Fire Escape Plan: Exit through the front door and assemble at the driveway near the entrance.

General Safety Guidelines:

- Always lock doors and windows when you leave.
- Do not share access codes or keys.
- Keep children away from sharp objects and hazardous areas.
- Be cautious of wet floors in bathrooms and kitchen.
- Kindly watch your step on the stairs and use handrails.

Outdoor Safety:

- Always supervise children on the deck, avoid climbing on the glass fence.
- Ensure the BBQ is turned off after use.

Natural Hazardous:

- Earthquake Safety: Drop, cover, and hold on during shaking.
- Weather Alerts: Stay inside during severe weather.

Household Safety:

- Never leave cooking appliance unattended.

Evacuation Plan:

- In case of emergency, exit through the front door and proceed to the driveway near the carport.

Thank you for reviewing these safety details. If you have any questions or concerns, do not hesitate to reach out!

AMENITIES:

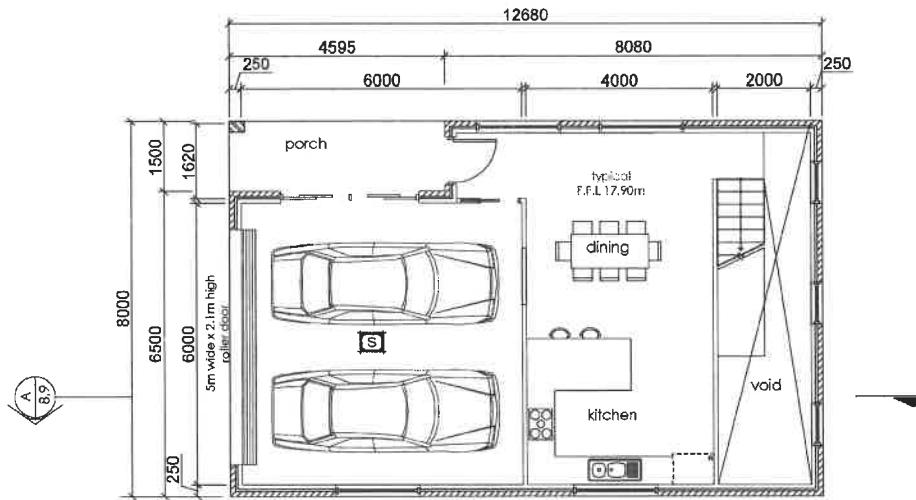
- BBQ is on the deck. (Please leave clean when leaving).
- Appliances in the kitchen: Coffee machine, air fryer, oven, refrigerator, toaster, kettle, dishwasher, microwave and cordless vacuum.
- In the lounge room: Electric heat pump, TV and the board games inside the tv stand.
- In the bathroom: Shampoo and Conditioner brand is Palmolive, Body Wash brand is Glow Lab nature+science and Hand Wash brand is Palmolive. For bathtub-Radox muscle soothe baths.
- When using the bathtub ensure to place a rubber mat stopper in the bathtub before running the water to prevent you from slipping off while sitting in the bathtub. The rubber mat stopper is located under the sink.

- **WI-FI NAME: NetComm 4246 WI-FI PASSWORD: dejiyuxobe**
- NETFLIX
- KAYO

If you need anything or have any special requests, please feel free to contact anytime. I am here to make sure you have the best experience possible.

Warm Regards,

Phone Number: [REDACTED]



GENERAL NOTES:			
Contractors shall verify all dimensions and levels on site before commencement of any work.			
Contractors shall clarify any discrepancies before commencement of any work.			
Drawings must not be scaled.			
Contractors shall submit samples and shop drawings before commencing work. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.			
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REV.	DATE	AMENDMENT
1.0	04/12/17	window size in garage and kitchen

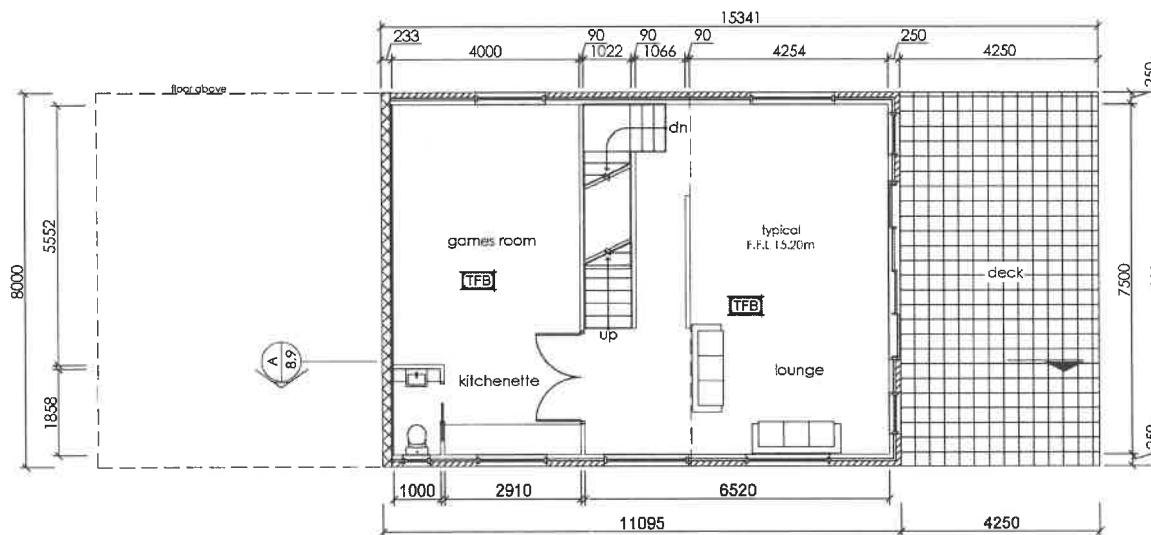


PROJECT: Proposed class 1a house
 ADDRESS: 17 Wendouree Parade, Austin's Ferry
 CLIENT: Shane & Chemey Lovell
 DRAWING: Floor plan

PLOT DATE: 19/05/2017
 REFERENCE: A - 290
 DRAWN: D.Djekanovic
 DRAWING NO: 05
 REV. —

DHK DHK ARCHITECTURE
 215 Elizabeth Street, Hobart
 p: (03) 6286 8440
 e: daniel@dhkarchitecture.com
 Acc. No: CC6540

- Timber Classification and frame construction - in accordance with AS 1684.4 - 1999 'Residential Timber Framed Construction'
 Wall framing:
 load bearing* -90x45 F17 Studs/450 crs
 -90x45 F17 Plates
 Non-Load bearing -90x35 F5 Pine Studs/450 crs
 -90x45 F5 Pine Plates
 Double studs adjacent to openings
 * External wall load bearing stud frames <2700mm high may be F5 Pine. Internal load bearing stud walls <2700mm may be F5 pine
- Hardwired Smoke Alarms - in accordance with NCC Part 3.7.2.3 (Refer to reflected ceiling plan)
 Smoke alarms MUST be installed on or near the ceiling in:
 - Any Storey Containing:
 - Between each part of the dwelling containing bedrooms and the remainder of the dwelling; and
 - Where bedrooms are served by a hallway, in that hallway.
 - All smoke detectors are to be interconnected so that if one is triggered all are activated
- Ceiling Heights - in accordance with NCC Part 3.9.2
 -2400mm in habitable rooms unless noted otherwise.
- Sanitary Compartment - in accordance with NCC Part 3.8.3
 -Door must:
 - Open Outwards;
 - Slide;
 - Be removable from the outside (escape hinges), or;
 - Have a minimum clearance of 1200mm from door and toilet.
- Ventilation - in accordance with NCC Part 3.8.5.2
 -Exhaust fan HPM 100mm Diameter heavy duty fan installed to ceiling. Fan ducted to outside air and connected to light switch with adjustable time delay. Air displacement rate minimum 90m³/hour ducts to be fitted with self closing dampers as required by NCC Part 3.12.3
- Wet Areas - in accordance with NCC Part 3.8.1
 -Wet areas; Bathrooms, showers, laundry and sanitary compartments to be waterproofed or water resistant in accordance with NCC Table 3.8.1.1
 -Walls and ceiling to be lined with wet area (water resistant) plasterboard or viva board cement sheeting.
 -Wet area waterproof membrane, system and installation to be strictly in accordance with manufacturer's instructions. NCC Part 3.8.1 and AS 3740
- Insulation
 -Install reflective foil to all external walls and roof, breathable foil to clad walls or as noted
 -Thermal batts to external walls and internal walls of garage and all ceilings or as noted
 -Refer to energy efficiency calculations by others (if applicable) for full specifications

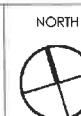


First level Floor Plan
scale 1:200

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REV. DATE AMENDMENT

1.0 04/12/17 window size in gamers room and lounge



PROJECT: Proposed class 1a house

ADDRESS: 17 Wendouree Parade, Austin's Ferry

CLIENT: Shane & Cherry Lovell

DRAWING:

Floor Plan

PLOT DATE: 19/05/2017

REFERENCE: A - 290

DRAWN: D.Djekanovic

DRAWING NO: 04

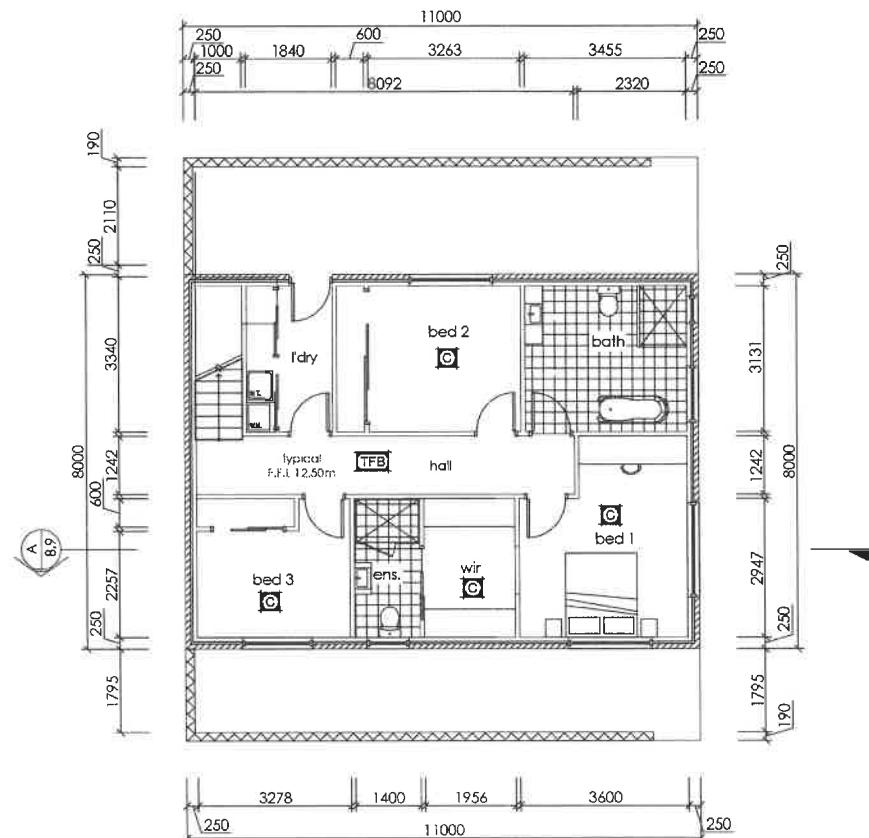
REV. -

Floor finish legend

- carpet
- exposed slab
- ceramic tiles
- polished concrete
- timber / bamboo floor boards

1. Timber Classification and frame construction - in accordance with AS 1684.4 - 1999 'Residential Timber Framed Construction'
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load bearing* - 90x35 F17 Studs/450 crs
- 90x45 F17 Plates
Non-Load bearing - 90x35 F5 Pine Studs/450 crs
- 90x45 F5 Pine Plates
Double studs adjacent to openings
* External wall load bearing stud frames <2700mm high may be F5 Pine. Internal load bearing stud walls < 2700mm may be F5 pine
2. Hardwired Smoke Alarms - in accordance with NCC Part 3.7.2.3 (Refer to reflected ceiling plan)
Smoke alarms MUST be installed on or near the ceiling in:
a) Any Storey Containing:
i. Between each part of the dwelling containing bedrooms and the remainder of the dwelling; and
ii. Where bedrooms are served by a hallway, in that hallway.
iii. All smoke detectors are to be interconnected so that if one is triggered all are activated
3. Ceiling Heights - in accordance with NCC Part 3.9.2
-2400mm in habitable rooms unless noted otherwise.
4. Sanitary Compartment - in accordance with NCC Part 3.8.3.3
-Door must:
a) Open Outwards;
b) Slide;
c) Be removable from the outside (escape hinges); or,
d) Have a minimum clearance of 1200mm from door and toilet.
5. Ventilation - in accordance with NCC Part 3.8.5.2
-Exhaust fan HPM 100mm Diameter heavy duty fan installed to ceiling. Fan ducted to outside air and connected to light switch with adjustable time delay. Air displacement rate minimum 90m³/hour ducts to be fitted with self closing dampers as required by NCC Part 3.12.3
6. Wet Areas - in accordance with NCC Part 3.8.1
-Wet areas: Bathrooms, showers, laundry and sanitary compartments to be waterproofed or water resistant in accordance with NCC Table 3.8.1.1
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7. Insulation
-Install reflective foil to all external walls and roof, breathable foil to clad walls or as noted
-Thermal bath to external walls and internal walls of garage and all ceilings or as noted
- Refer to energy efficiency calculations by others (if applicable) for full specifications

DHK ARCHITECTURE
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Acc. No: CC6540



Ground Floor Plan
scale 1:200

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REV. DATE AMENDMENT



PROJECT: Proposed class 1a house
ADDRESS: 17 Wendorf Parade, Austin's Ferry
CLIENT: Shane & Cherry Lovell
DRAWING:
Floor Plan

PLOT DATE: 19/05/2017
REFERENCE: A - 290
DRAWN: D.Djekanovic
DRAWING NO: 03
REV. -

DHK DHK ARCHITECTURE
215 Elizabeth Street, Hobart
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e: danjal@dhkarchitecture.com
Acc. No: CC6540

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-Thermal bath to external walls and internal walls of garage and all ceilings or as noted
- Refer to energy efficiency calculations by others (if applicable) for full specifications

Floor finish legend

- [Carpet symbol] - carpet
- [Exposed slab symbol] - exposed slab
- [Ceramic tiles symbol] - ceramic tiles
- [Polished concrete symbol] - polished concrete
- [Timber/bamboo symbol] - timber / bamboo floor boards