DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-212
PROPOSED DEVELOPMENT:	Multiple Dwellings (1 existing - 2 new)
LOCATION:	32 Twelfth Avenue West Moonah
APPLICANT:	Axis Homes Tas
ADVERTISING START DATE:	16/01/2026
ADVERTISING EXPIRY DATE:	2/02/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (**www.gcc.tas.gov.au**) until **2/02/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **2/02/2026**, or for postal and hand delivered representations, by 5.00 pm on **2/02/2026**.

374 Main Road, Glenorchy
PO Box 103, Glenorchy TAS 7010
(03) 6216 6800 | gccmail@gcc.tas.gov.au
www.gcc.tas.gov.au
ABN 19 753 252 493

SITE INFORMATION

Title Reference Number:	**96482/311**	Volume / Folio
Wind Classification:	**N2**	Refer to Site Assessment Report
Soil Classification	**M**	Refer to Site Assessment Report
Climate Zone:	**7**	TBC
BAL Level:	**N/A**	NA / Refer to Site Assessment Report
Alpine Area:	**N/A**	Refer to NCC
Corrosion Environment:	**Low**	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, Medium; NCC Vol. 2 Part 7.2.2 (sheet roofing) & Part 6.3.9 (Structural Steel). Cladding and fixings to manufacturer's recommendations.
Other Hazards:	**TBC**	High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsistence, landfill, snow & ice or other relevant factors.

NCC/BCA 2022 Note:
All NCC references are to National Construction Code NCC 2022 Volume 2 & Housing Provisions.

SITE AREA

Site area:	**759m2**
Existing Dwelling (Strata):	**349m2**
Townhouse 1 (Strata):	**205m2**
Townhouse 2 (Strata):	**205m2**
Townhouse Strata area:	**410m2**

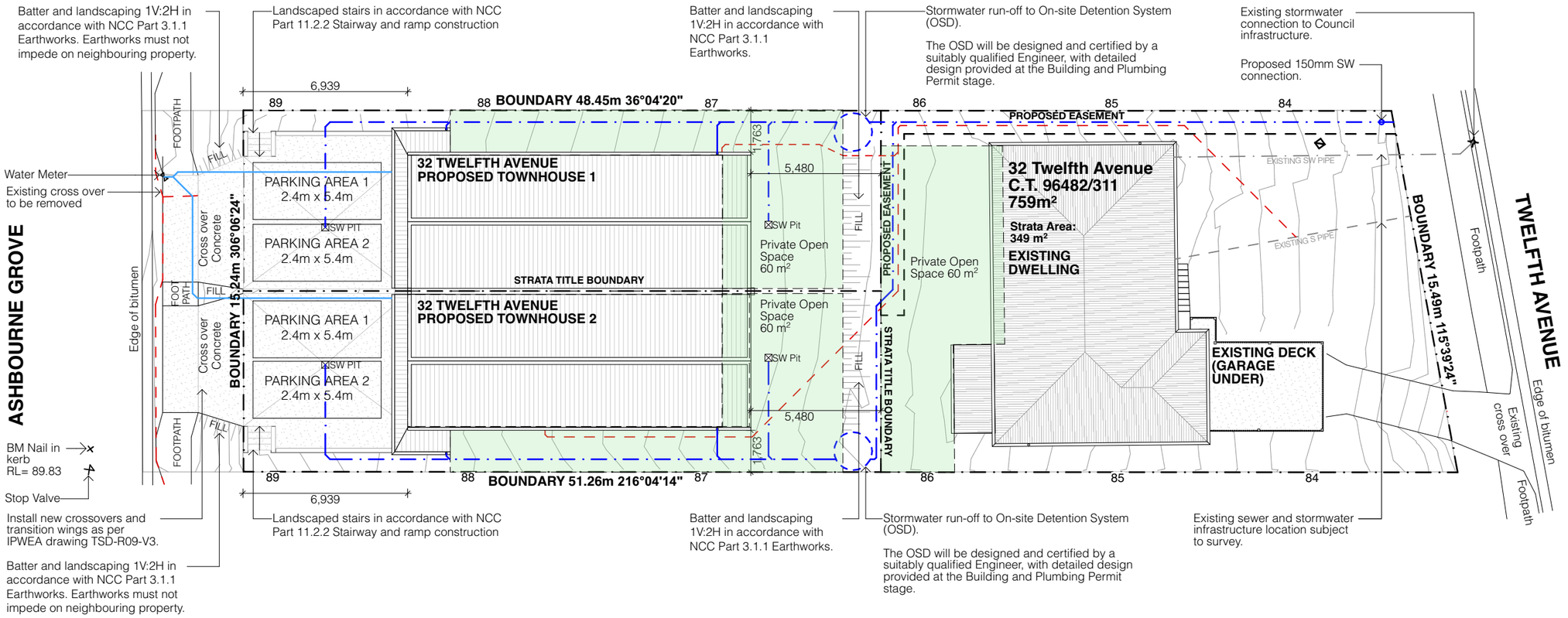
FLOOR AREA

Existing Dwelling:	**107m2**
Townhouse 1:	**136m2**
Townhouse 2:	**136m2**
Townhouse Footprint:	**147m2**
Site coverage (%):	**33.46%**

DRAWING SCHEDULE

ID	Layout Name
01	Cover
02	Site Plan
03	Floor Plan- Existing Dwelling
04	Elevations- Existing Dwelling
05	Elevations- Existing Dwelling
06	Floor Plan- Ground
07	Floor Plan- First
08	Elevations
09	Elevations
10	3D Visualisation
11	Planning Response- 8.4.1 Defining Compatability
12	Planning Response- 8.4.1 Quantative Context
13	Planning Response- 8.4.1 Built Form / Social Benefit
14	Planning Response- 8.4.2 Adjoining Seperation
15	Planning Response- 8.4.2 P3(a)
16	Planning Response- C2.6.2
17	Planning Response- C2.6.2

Site Plan
scale1:200



LEGEND

- Existing drain
- Stormwater drain
- Ag drain
- Sewer drain
- Water

GENERAL NOTES

Any services must be located onsite prior to excavation

Exact locations of existing buildings and boundaries are subject to survey and must be confirmed onsite prior to construction

Bulk excavation must not impede on nearby structures, neighbouring property nor boundary fences

Surface drainage shall be designed and constructed to avoid water ponding against or near the footing in accordance with AS2870. The ground in the immediate vicinity of the perimeter footing, including the ground uphill from the slab on cut-and-fill sites, shall be graded to fall 50 mm minimum away from the footing over a distance of 1m and shaped to prevent ponding of water. Where filling is placed adjacent to the building, the filling shall be compacted and graded to ensure drainage of water away from the building.

All works must be in accordance with relevant Australian Standards, the National Building Code, manufacturers specification and all other relevant regulatory bodies including local council

Soil & Water Management Strategies
Downpipes to be connected into Council stormwater or tanks as soon as the roof is installed.

Exact stormwater and wastewater connection location to be confirmed onsite.

General Manager's Consent for Interference with Public Stormwater Systems

You are required to provide the following information to enable Council to assess stormwater management aspects of the proposal under section 14(1) of the Urban Drainage Act 2013.

1. Provide a concept stormwater servicing plan showing the location of services and their connections to public infrastructure. The servicing plan must clearly indicate the following:

a. How all additional stormwater from the site, including hardstand drainage, driveway, and parking areas, as well as any detention, will be discharged to Council infrastructure with sufficient receiving capacity.

Advice: Property SW connection must be minimum 150mm or equivalent.

b. Display all existing and proposed stormwater lines and connections. c.

Advice: The applicant must accurately locate, size, and plot the stormwater infrastructure on the submitted site plans. It is also recommended to provide a stormwater management report with the plans, including all relevant calculations for OSD design, and the drainage system design.

Response

a & b
Please refer to the Site and Plumbing Plan, which demonstrates that all stormwater run-off from hardstand, driveway, and parking areas as well as the On-site Stormwater Detention (OSD) System will be discharged to Council infrastructure by a 150mm UPVC stormwater connection.

The OSD and stormwater management report will be designed and certified by a suitably qualified Engineer, with detailed design provided at the Building and Plumbing Permit stage.

Exact location and size of existing stormwater infrastructure to be provided at Building and Plumbing stage.

www.axishomes.com
ABN 31 639 378 751
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info@axishomes.com

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Drawn by **NT / HF**
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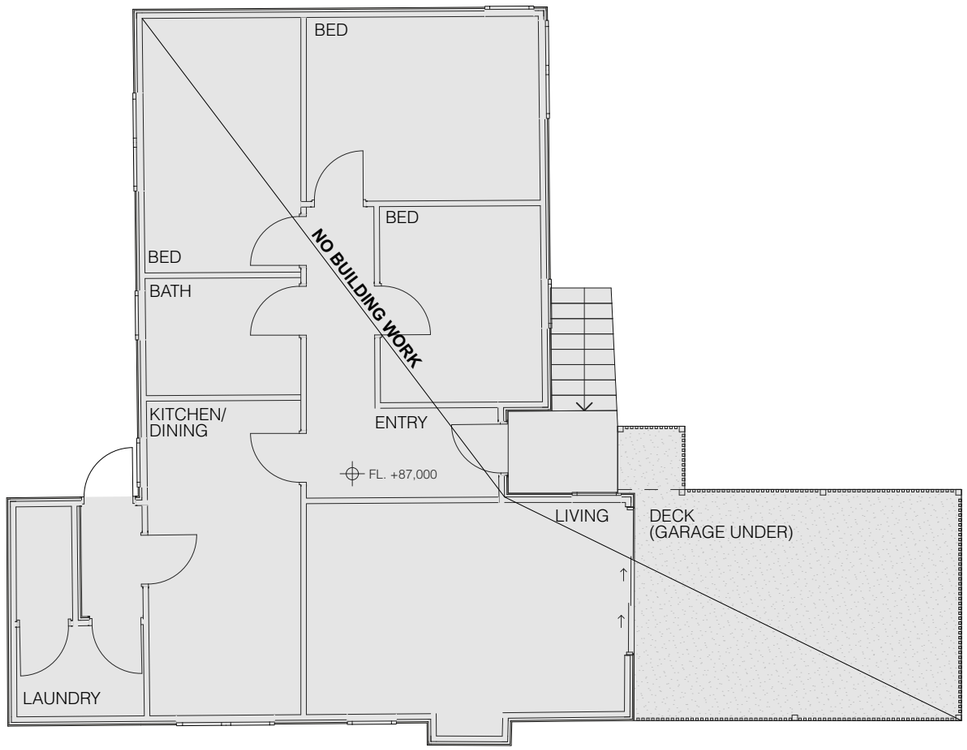
Floor Plan- Existing Dwelling

scale1:100



LEGEND

Existing

Proposed

To be Demolished

Existing levels
New levels
FL - Finished floor level (top of particle board / slab)

Fixtures & Fittings

AC	Air Conditioner
AC-OUT	Air Conditioner- Outdoor Unit
BI	Built-in Cupboard
BS	Basin
CJ	Control joint
CT	Cooktop
COL	Column
CT	Cooktop
CL	Ceiling level
DP	Down pipe
FFL	Finished Floor level
FR	Fridge
FP	Fire Pit
GB	Glass balustrade
GD	Garage Door
GRD	Grated Drain
HWS	Hot Water System
LDRY	Laundry
MB	Meter box
NBN	NBN Modem
NBN-EXT	NBN connection box
OV	Oven
RWH	Rainwater Head
SHR	Shower
SK	Skylight
S	Sink
TAP	Water Tap
TR	Trough
TV	Television
WC	Toilet
WH	Wood Heater
WM	Washing Machine
WIR	Walk-in Robe
WIP	Walk-in Pantry

Material/ Finish

Conc	Concrete paving slab.
Cpt	Carpet
Paving	Paving
Scrn	Screen
Tile	Floor tile
Tim	Plank flooring

GENERAL NOTES

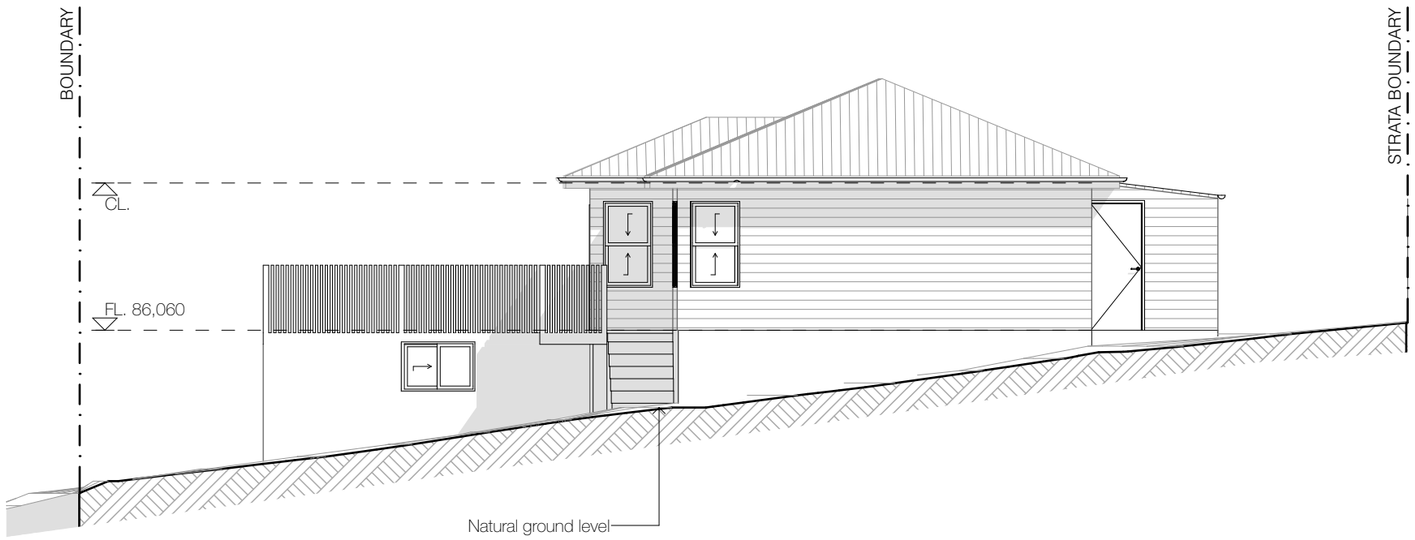
Finished landscaping must prevent water build up near footings, onto nearby structures and the driveway by providing sufficient fall and drainage systems in accordance with Australian Standards

All works must be in accordance with relevant Australian Standards, the National Building Code, manufacturers specification and all other relevant regulatory bodies including local council.

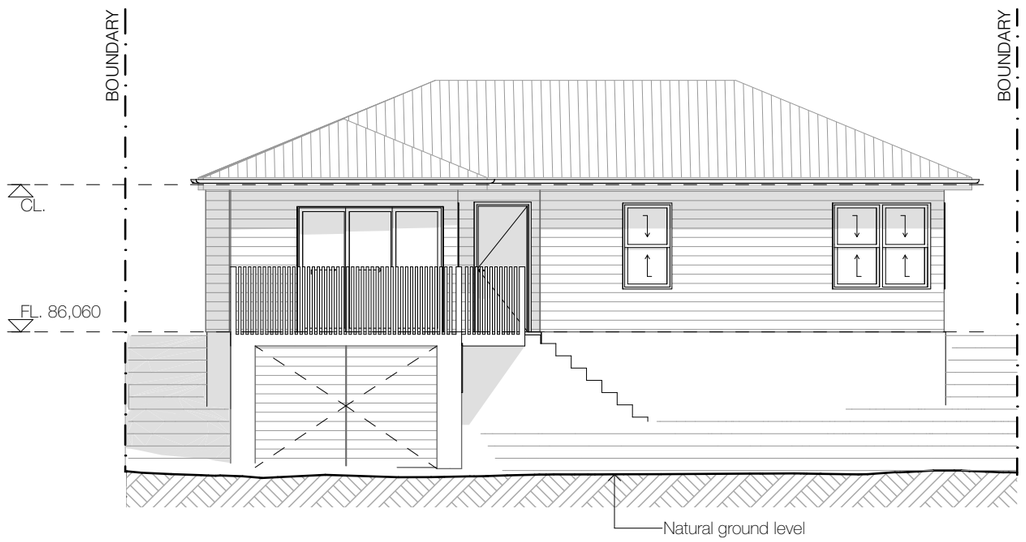
NOTES

- Dashed lines indicate overhangs
- Window and door layouts indicative and subject to change
- Drawings may be scaled 1cm = 1.0m
- House area excludes garage, outdoor living areas and overhangs

West Elevation
scale1:100



North Elevation
scale1:100



LEGEND

AC Air Conditioner
AC-OUT Air Conditioner- Outdoor /unit
AW - Awning window
BB - Batten balustrade
CJ - Control joint
CL - Ceiling level
DP - Downpipe
F - Fixed window
GB - Glass balustrade
GD - Garage door
HD - Glass door
FL - Finished Floor level
SD - Sliding door
SW - Sliding window
TAP - Water tap
WB - Wire balustrade

SCHEDULE

CL:01 Blockwork
Colour: Beige

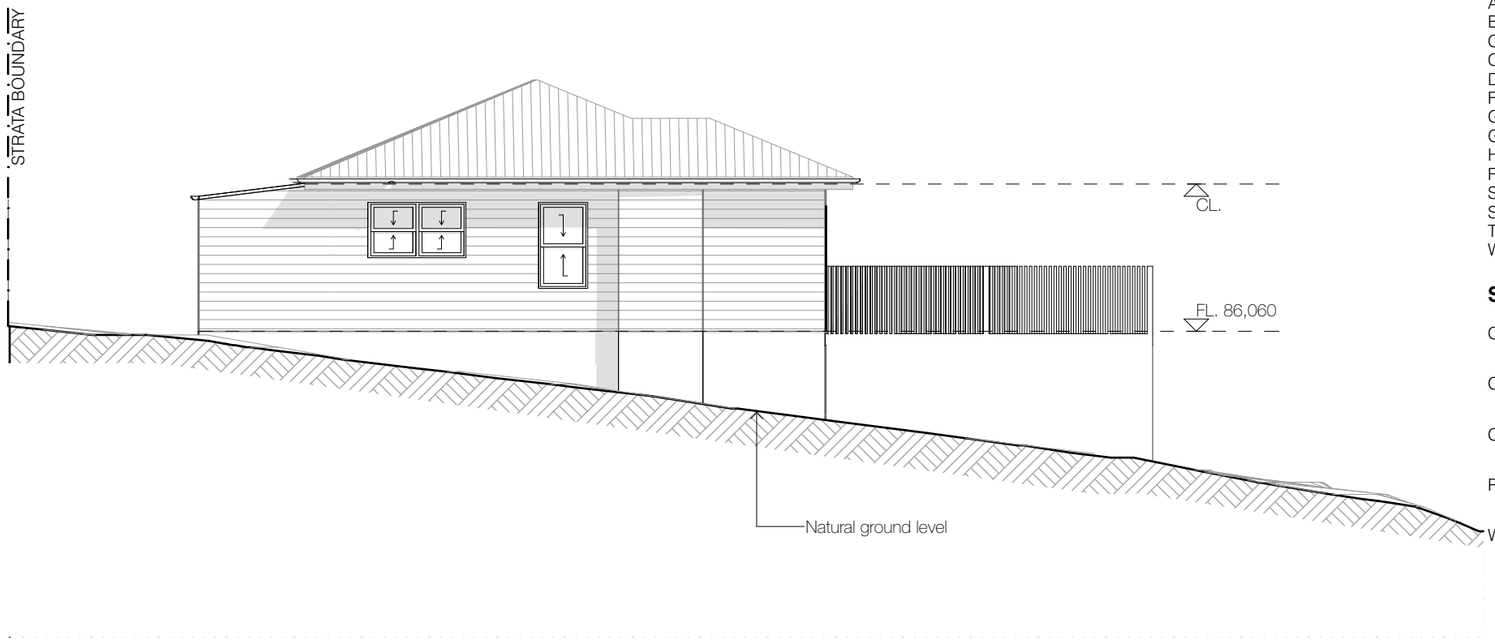
CL:02 Lightweight cladding
Colour: White

CL:03 Timber cladding.

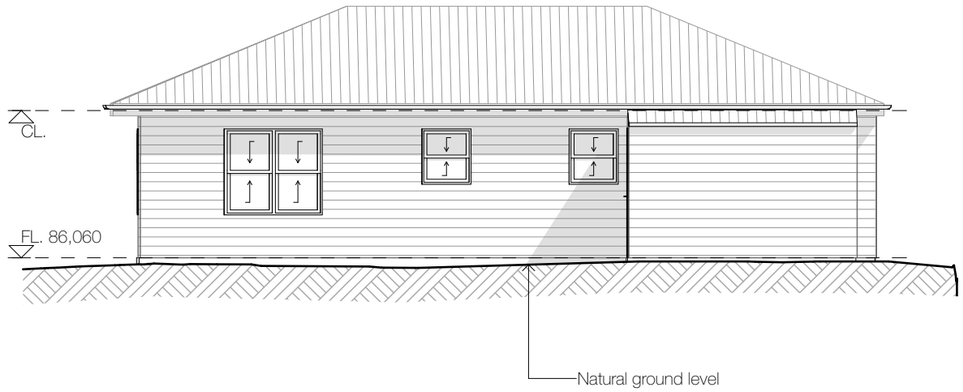
RF:01 Roofing
Colour: White

WF:01 Window and External Doors
Type: Double glazed aluminium frame
Glass Tint: NA
Frame colour: White

East Elevation
scale1:100



South Elevation
scale1:100



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Floor Plan- Ground
scale1:100

LEGEND

Existing

Proposed

To be Demolished

Existing levels
New levels
FL - Finished floor level (top of particle board / slab)

Fixtures & Fittings

AC	Air Conditioner
AC-OUT	Air Conditioner- Outdoor Unit
BI	Built-in Cupboard
BS	Basin
CJ	Control joint
CT	Cooktop
COL	Column
CT	Cooktop
CL	Ceiling level
DP	Down pipe
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HWS	Hot Water System
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S	Sink
TAP	Water Tap
TR	Trough
TV	Television
WC	Toilet
WH	Wood Heater
WM	Washing Machine
WIR	Walk-in Robe
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Material/ Finish

Conc	Concrete paving slab.
Cpt	Carpet
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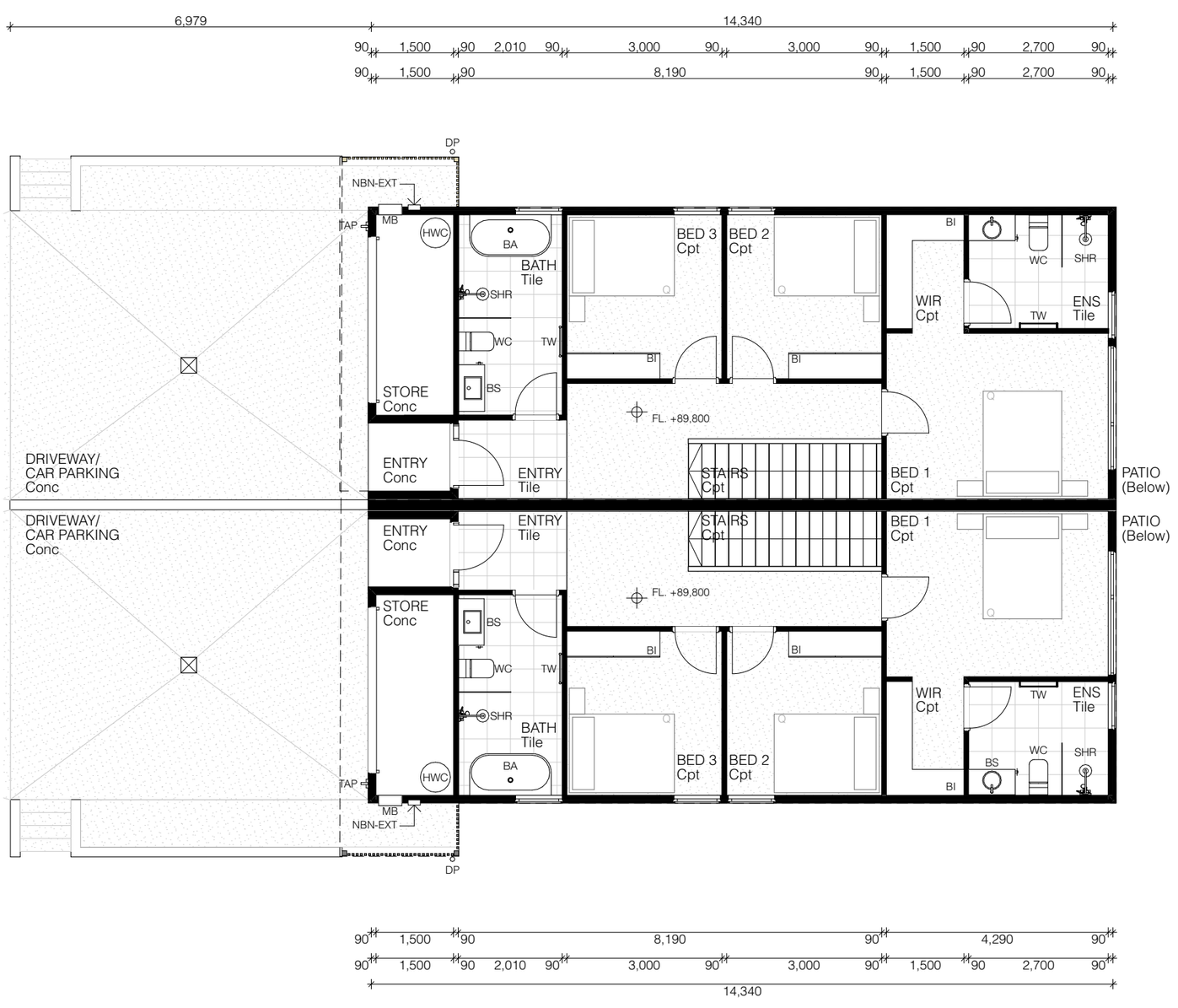
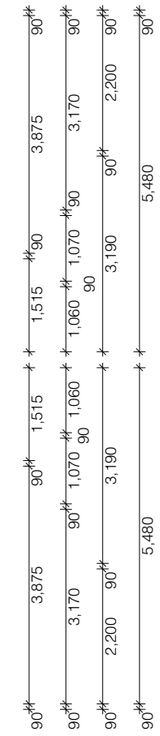
Floor Plan- First
scale1:100





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Proposed
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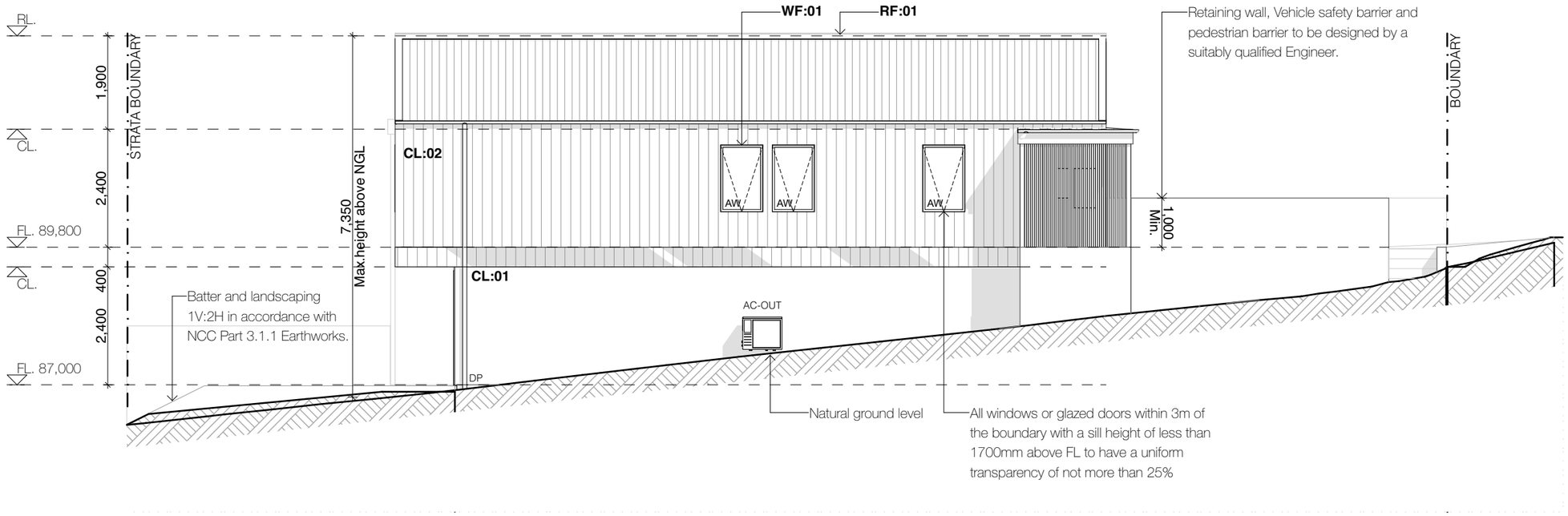
West Elevation
scale1:100



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SCHEDULE

CL:01 Blockwork
Colour: Beige

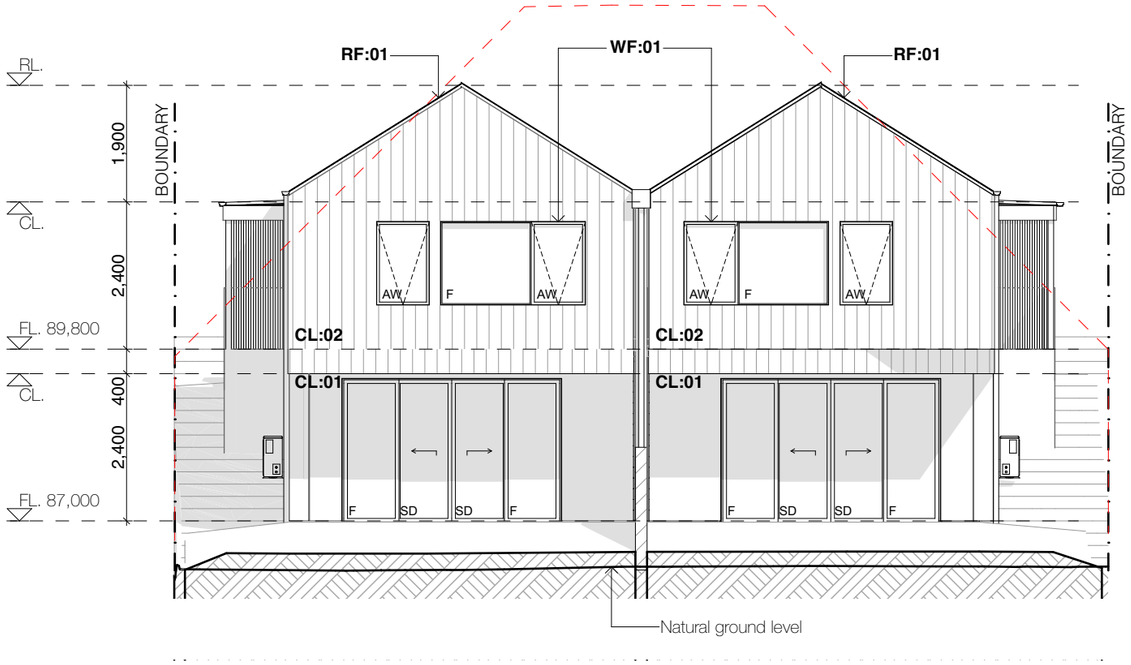
CL:02 Lightweight cladding
Colour: White

CL:03 Timber cladding.

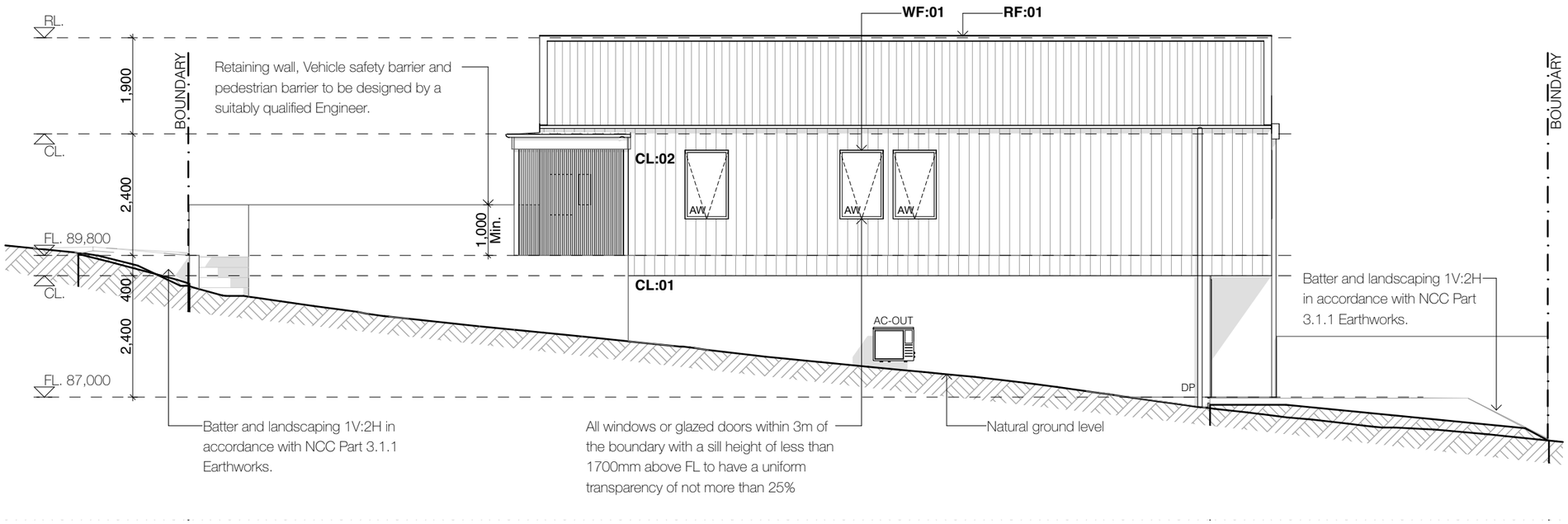
RF:01 Roofing
Colour: White

WF:01 Window and External Doors
Type: Double glazed aluminium frame
Glass Tint: NA
Frame colour: White

North Elevation
scale1:100



East Elevation
scale1:100



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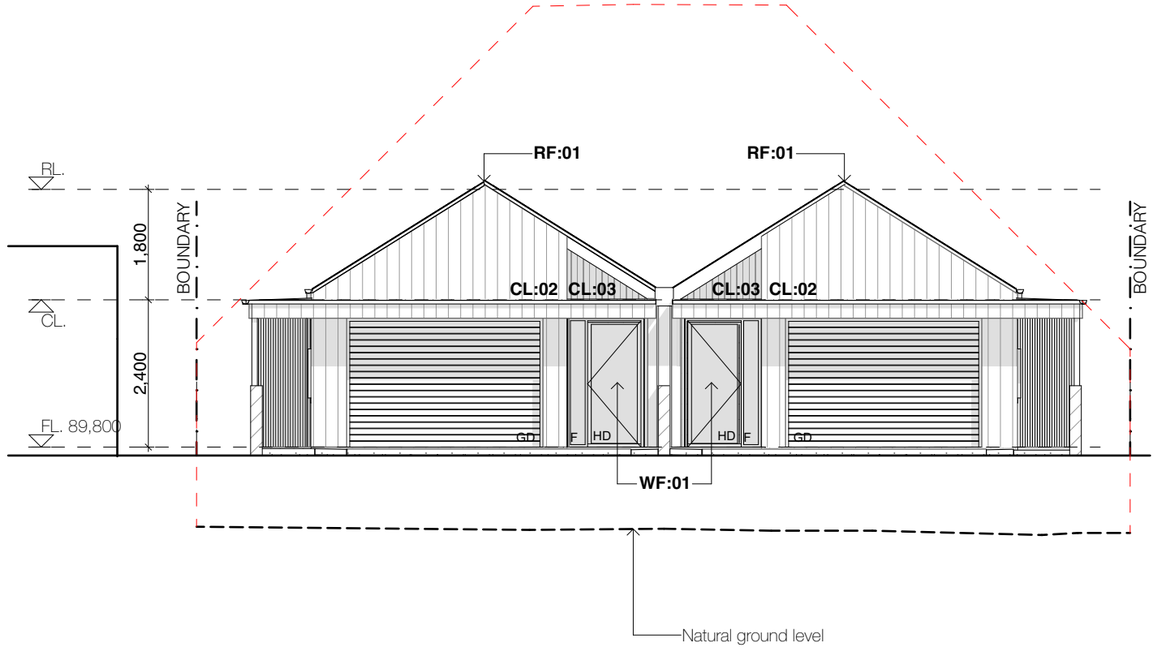

3D Visualisation
streetscape

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Revision
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Planning Response- 8.4.1 Defining Compatability

scale1:1.29

8.4.1 Residential density for multiple dwellings

Objective:
That the density of multiple dwellings:
(a) makes efficient use of land for housing; and
(b) optimises the use of infrastructure and community services.

Performance Criteria
P1
Multiple dwellings must only have a site area per dwelling that is less than 325m2, if the development will not exceed the capacity of infrastructure services and:

(a) is compatible with the density of existing development on established properties in the area; or

(b) provides for a significant social or community benefit and is:
(i) wholly or partly within 400m walking distance of a public transport stop;
(ii) omitted - NA

Response P1 (a)

Defining Compatible Density

The term compatible density is dynamic and should not be considered purely as a mathematical equation and rather must take into account the context of the surrounding built environment as well as urban planning and environmental considerations.

Compatibility does not infer or inherently require duplication of existing lot patterns, but rather a density that can sit comfortably within the established context without creating unreasonable visual or functional contrast.

For the purposes of zoning and transition compatible density is being responded to contextually rather than mathematically.

Compatible density is achieved by;
- Responding to contextual position within the General Residential Zone, being neither of a high density that would appear inconsistent with the rural fringe, where a more spacious residential pattern is preferred, nor of a low density that would underutilise land closer to the inner residential interface, where higher densities are encouraged to support housing diversity and transition (refer to Figure 1);

- Reflecting established local precedents of similar scale and intensity within the surrounding General Residential Zone, contributing to the intended pattern of medium-density infill (refer to Figure 2);

- Maintaining a logical built form transition to neighbouring lots, ensuring the scale, height and site coverage respond appropriately to adjoining single dwellings and the established rhythm of the streetscape (refer to Figure 3); and

- Avoids any adverse cumulative effects on residential amenity or infrastructure capacity, supporting the zone's strategic role in consolidating housing within serviced urban areas.

Figure 1 (Source: maps.thelist.tas.gov.au)

General Residential Zone
Inner Residential Zone
Light Industrial Zone
Commercial Zone
General Business Zone
Open Space
Community Purpose Zone
Utilities Zone

Planning Response- 8.4.1 Quantative Context

scale NA

8.4.1 Residential density for multiple dwellings

Objective:
That the density of multiple dwellings:
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(b) optimises the use of infrastructure and community services.

Performance Criteria
P1
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(a) is compatible with the density of existing development on established properties in the area; or

(b) provides for a significant social or community benefit and is:
(i) wholly or partly within 400m walking distance of a public transport stop;
(ii) omitted - NA

Response P1 (a)

Quantitative Context
A mathematical quantitive analysis of the surrounding pattern of development demonstrates that the proposed site area per dwelling—at approximately 205m² per unit- is within the range already present in the local area- Refer Figure 2.

This demonstrates that densities at or below 325m² per dwelling already consistently exist within 400m of the site, indicating the proposal is quantitatively compatible with the evolving local pattern.

The following precedents illustrates that the proposal is appropriate and compatible with the density of the existing mix of single and multi-unit residential properties.

100 METRES
Existing multi-residential properties within 100m of the subject site with an area less than 325m2:

Precedent 1 (P1)
3 strata units

Precedent 2 (P2)
2 strata units

200 METRES
Existing multi-residential properties within 200m of the subject site with an area less than 325m2:

Precedent 3 (P3)
4 strata units

Precedent 4 (P4)
4 strata units

300 METRES
Precedent 5 (P5)
4 strata units

400 METRES
Precedent 6 (P6)
5 strata units

Precedent 7 (P7)
9 strata units

Precedent 8 (P8)
4 strata units

Precedent 9 (P9)
3 strata units

[Data set for this analysis is taken only from the map area captured in Figure 3 and additional precedent likely occur].

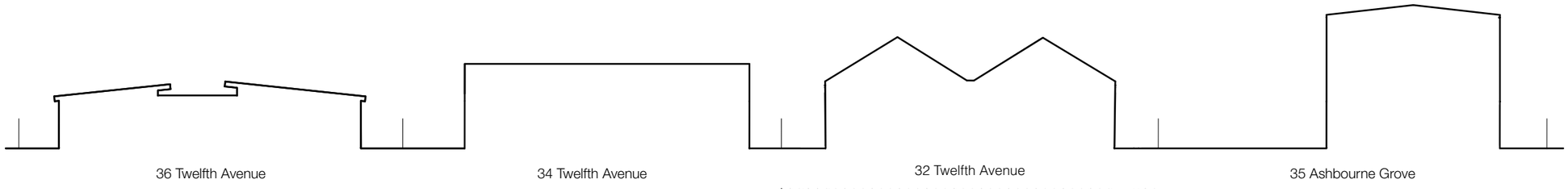
Figure 2 (Source: maps.thelist.tas.gov.au)

Existing properties in the area that have multiple dwellings with a site area more than 325m2

Existing properties in the area that have multiple dwellings with a site area less than 325m2

BS General Access Bus Stop- within 400m of subject site

Planning Response- 8.4.1 Built Form / Social Benefit
scale NA



Streetscape Massing

8.4.1 Residential density for multiple dwellings

Objective:
That the density of multiple dwellings:
(a) makes efficient use of land for housing; and
(b) optimises the use of infrastructure and community services.

Performance Criteria
P1
Multiple dwellings must only have a site area per dwelling that is less than 325m2, if the development will not exceed the capacity of infrastructure services and:

(a) is compatible with the density of existing development on established properties in the area; or

(b) provides for a significant social or community benefit and is:
(i) wholly or partly within 400m walking distance of a public transport stop;
(ii) omitted - NA

Response P1 (a)

Built Form Compatibility

The proposal has been designed to read as a natural and sensitive addition within the existing streetscape. Its built form is consistent with the prevailing height, scale, spacing, and orientation of dwellings within the General Residential Zone, ensuring a balanced relationship between new and established development.

Although the site achieves a higher yield than traditional single dwellings, the apparent density as experienced from the street remains low and well integrated. This is achieved through a combination of thoughtful form articulation, responsive siting, and contextually appropriate design treatments, including:

- Building footprints that preserve generous setbacks and maintain substantial areas of private open space, ensuring the development retains the sense of openness typical of the area;

- Roof forms, materials, and façade composition that reflect the local vernacular—incorporating simple gable and pitched forms, lightweight claddings, and muted tones consistent with surrounding dwellings;

- Modest overall height and articulation of massing, which breaks the building into smaller, legible volumes to reduce visual bulk and promote a fine-grained residential scale;

- Sensitive placement of entries, glazing, and landscaping, contributing to a coherent and pedestrian-friendly streetscape rhythm; and

- Appropriate spatial separation between dwellings and adjoining properties, ensuring privacy and amenity are maintained on all sides.

Through these design responses, the proposal demonstrates how a this density can be sensitively accommodated without altering the established character or amenity of the locality. The outcome supports the planning intent of the General Residential Zone specifically 8.4.1 by encouraging efficient use of land while preserving the visual qualities and liveability that define the surrounding suburban context.

Response P1 (b)

Social / Community Benefit

While the proposal does not constitute a significant social or community benefit in the strict sense—such as the delivery of public, affordable, or special needs housing—it is consistent with the policy intent behind this provision. The development contributes to housing supply and diversity within an existing serviced area and is located within walking distance of public transport - Refer to Figure 2.

At a broader level, this form of modest infill development supports the Tasmanian Government's objectives to address housing availability and affordability pressures by increasing dwelling opportunities within established urban areas, where infrastructure and services already exist. Although the community benefit is indirect, it is real and measurable at a policy scale: each well-designed additional dwelling contributes incrementally to easing supply constraints within the state's ongoing housing crisis.

References – Tasmanian Housing and Planning Policy Context

Tasmanian Housing Strategy 2023–2043
Department of Premier and Cabinet, Tasmanian Government.
- Outlines the long-term framework to increase housing supply, improve affordability, and encourage infill in serviced urban areas.
https://www.tasmanianhousingstrategy.tas.gov.au

Tasmanian Housing Strategy – Action Plan 2023–2027
Department of Premier and Cabinet, Tasmanian Government.
- Specifically identifies infill and higher-density development near services and public transport as key actions to expand housing choice and reduce pressure on the housing market.
https://www.tasmanianhousingstrategy.tas.gov.au/__data/assets/pdf_file/0004/600943
Housing_Tasmania_Strategy_Action_Plan_2023-2027.pdf

Housing Land Supply Act 2018 (Tas)
Tasmanian Legislation Online.
- Provides a legislative mechanism for facilitating additional housing through rezoning and accelerated planning processes in response to supply shortages.
https://www.legislation.tas.gov.au/view/whole/html/inforce/current/act-2018-008

Tasmanian Planning Policies (TPPs) – Housing
State Planning Office, Tasmanian Government.
- Sets strategic direction for ensuring sufficient, well-located, and serviced housing to meet demand through appropriate densification and efficient land use.
https://www.stateplanning.tas.gov.au/topics/housing

Planning Response- 8.4.2 Adjoining Seperation

scale NA

8.4.2 Setbacks and building envelope for all dwellings

Objective:
The siting and scale of dwellings:
(a) provides reasonably consistent separation between dwellings and their frontage within a street;
(b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;
(c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and
(d) provides reasonable access to sunlight for existing solar energy installations.

Acceptable Solution A1 & A2

Response
Proposal deemed compliant with Acceptable Solution.

Performance Criteria
P3

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:
(i) an adjoining property; or
(ii) another dwelling on the same site.

Response
P3 (b)
Please refer to the Figure 3, which identifies established properties within 100m from the subject site that have similar or less separation between dwellings on adjoining properties.

P3 (c)
The are no existing solar energy installations on an adjoining property or the same site.

Seperation of less than 3m

Seperation of 3m - 4m

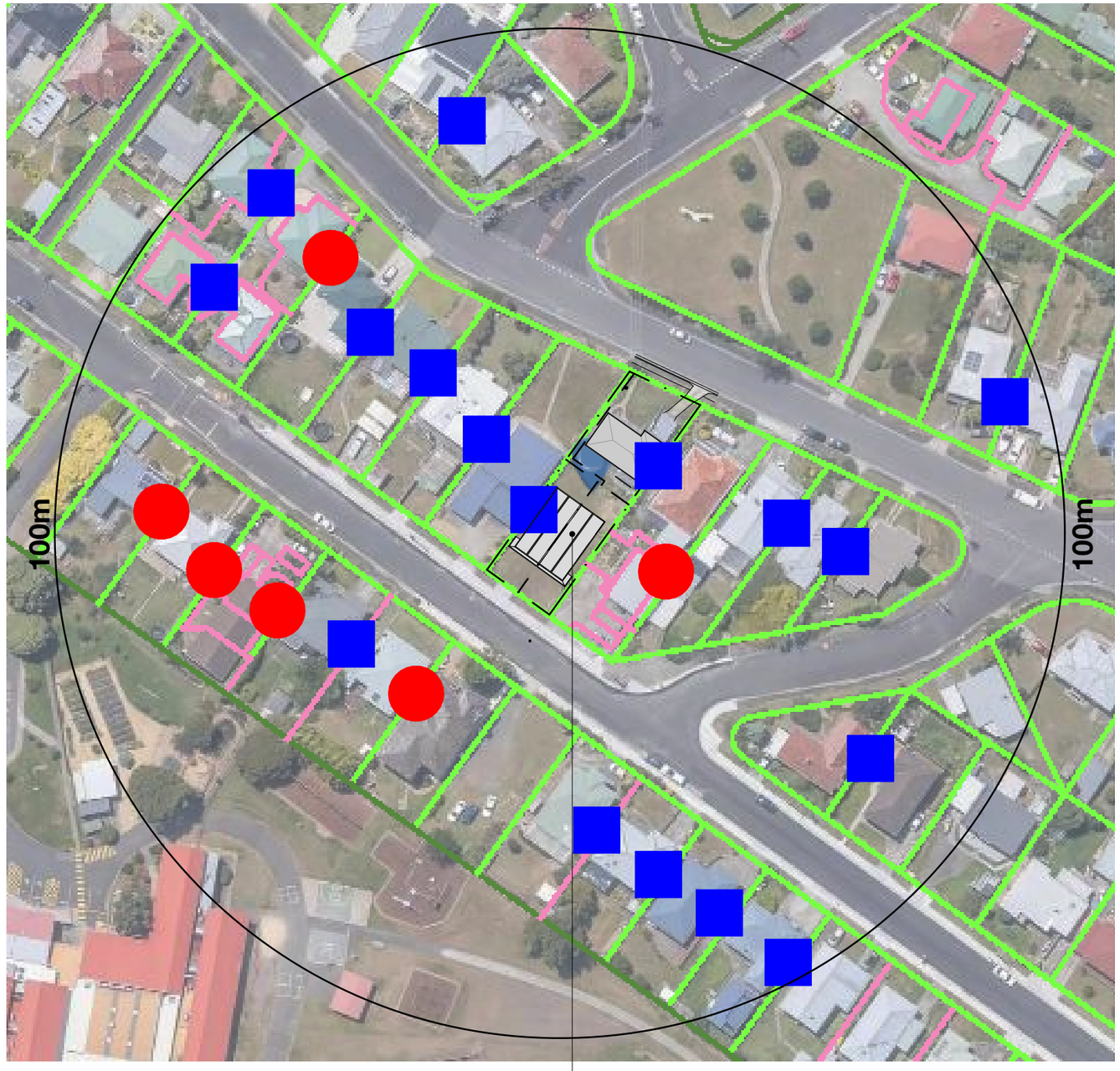


Figure 3 (Source: maps.thelist.tas.gov.au)

[Data contained within imagery estimated and subject to accuracy of satellite source tolerances].

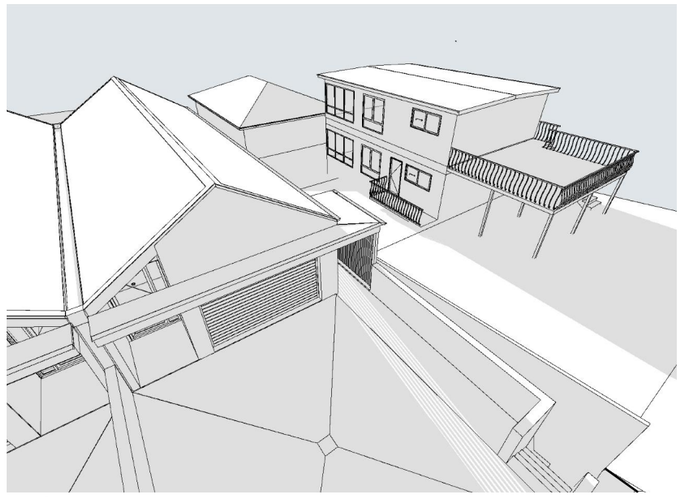
Planning Response- 8.4.2 P3(a)
scale1:1.42

8.4.2 Setbacks and building envelope for all dwellings

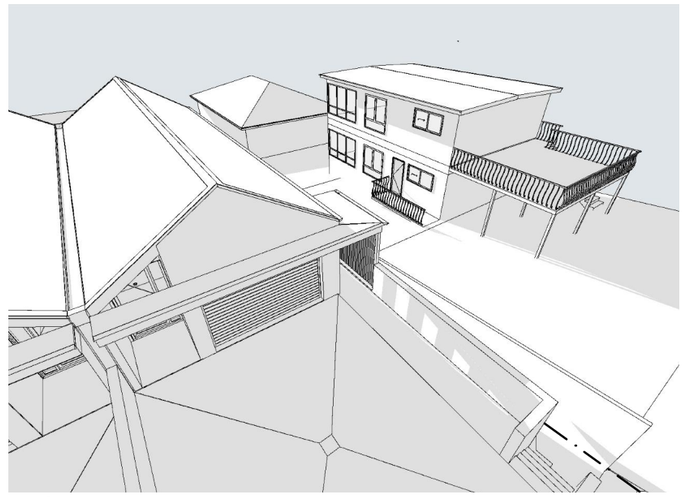
Objective:
The siting and scale of dwellings:
(a) provides reasonably consistent separation between dwellings and their frontage within a street;
(b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;
(c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and
(d) provides reasonable access to sunlight for existing solar energy installations.

Performance Criteria
P3
(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;
(ii) overshadowing the private open space of a dwelling on an adjoining property;
(iii) overshadowing of an adjoining vacant property; and
(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;

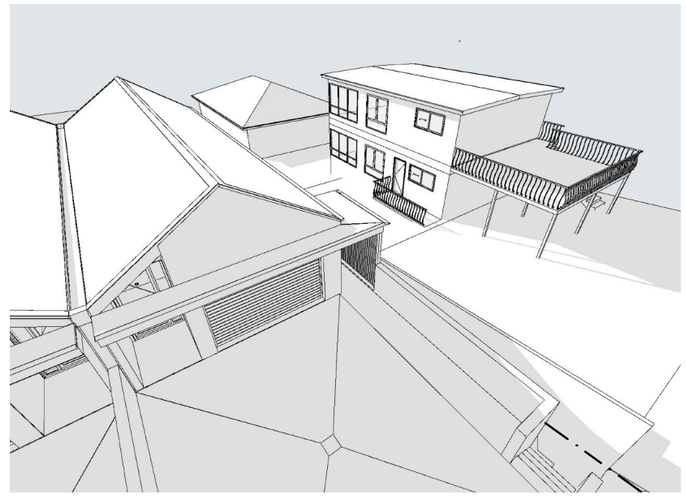
Response
P3 (a)
Please refer to the 3D shadow diagrams illustrating that the siting of the dwellings does not cause unreasonable loss of sunlight to adjoining properties.



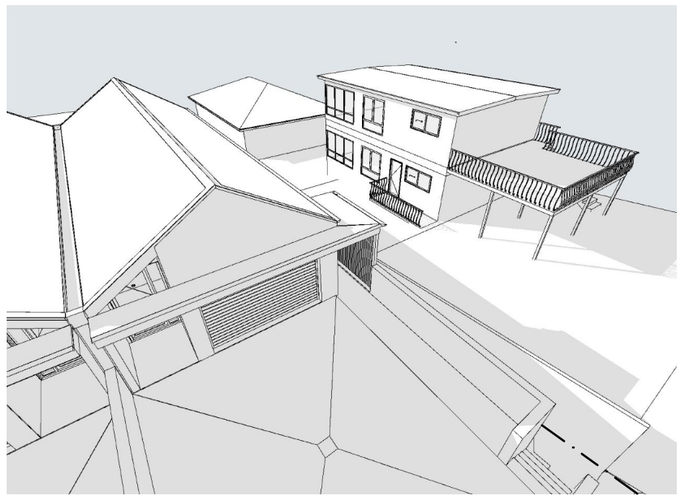
3D Shadow Diagram - 9am



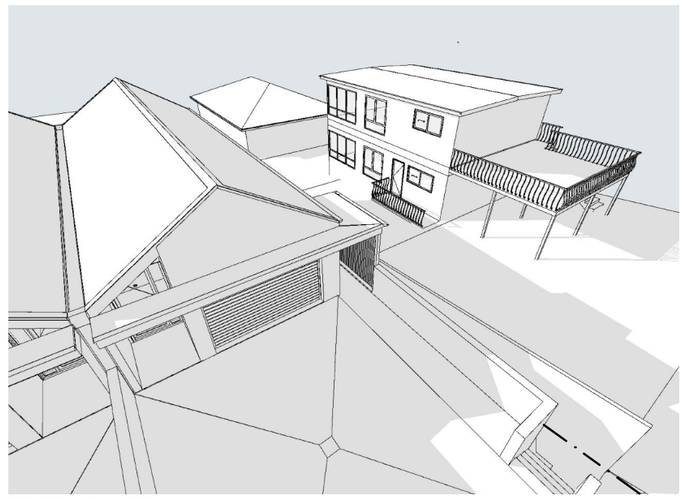
3D Shadow Diagram - 10am



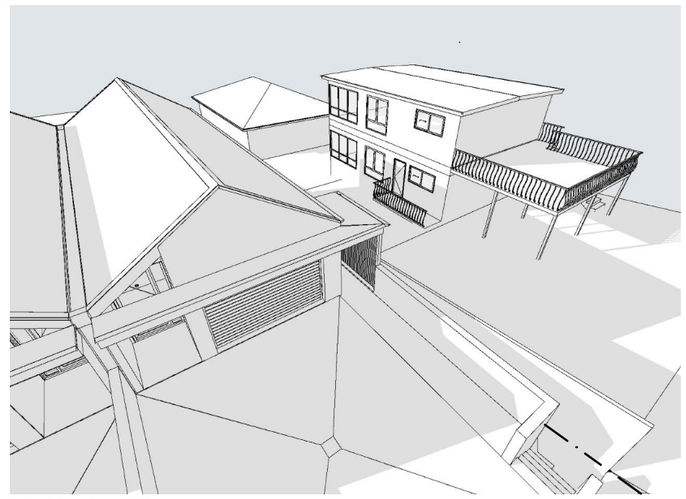
3D Shadow Diagram - 11am



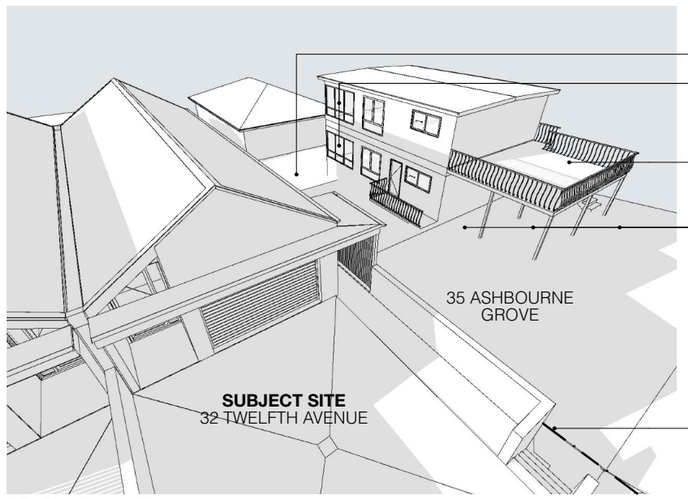
3D Shadow Diagram - 12pm



3D Shadow Diagram - 1pm

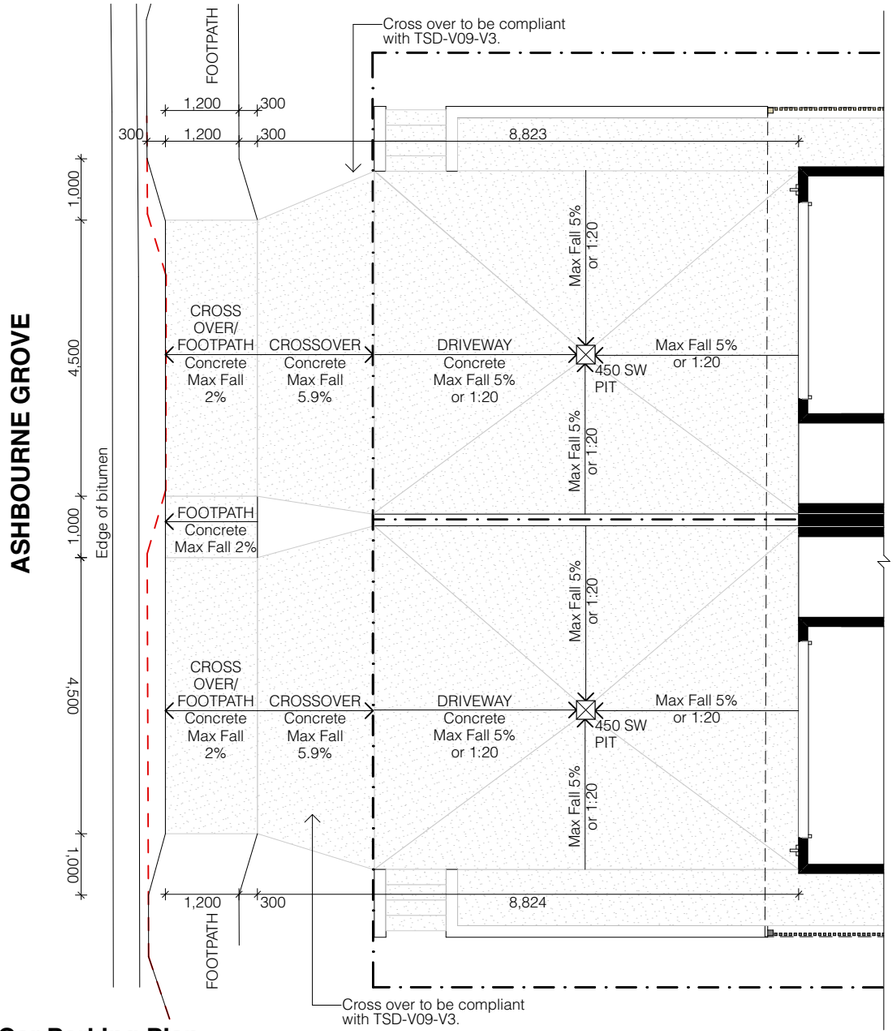


3D Shadow Diagram - 2pm

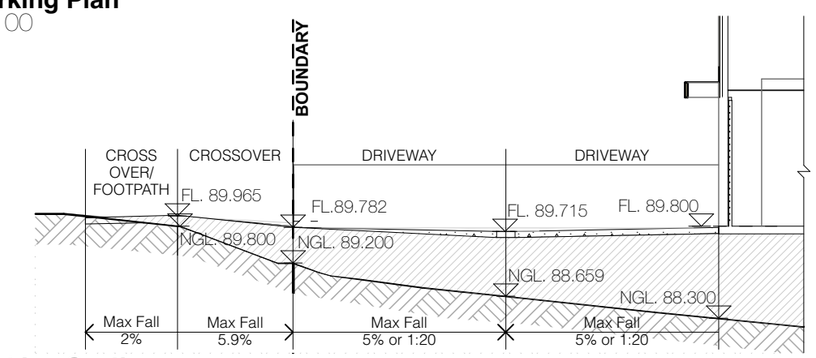


3D Shadow Diagram - 3pm

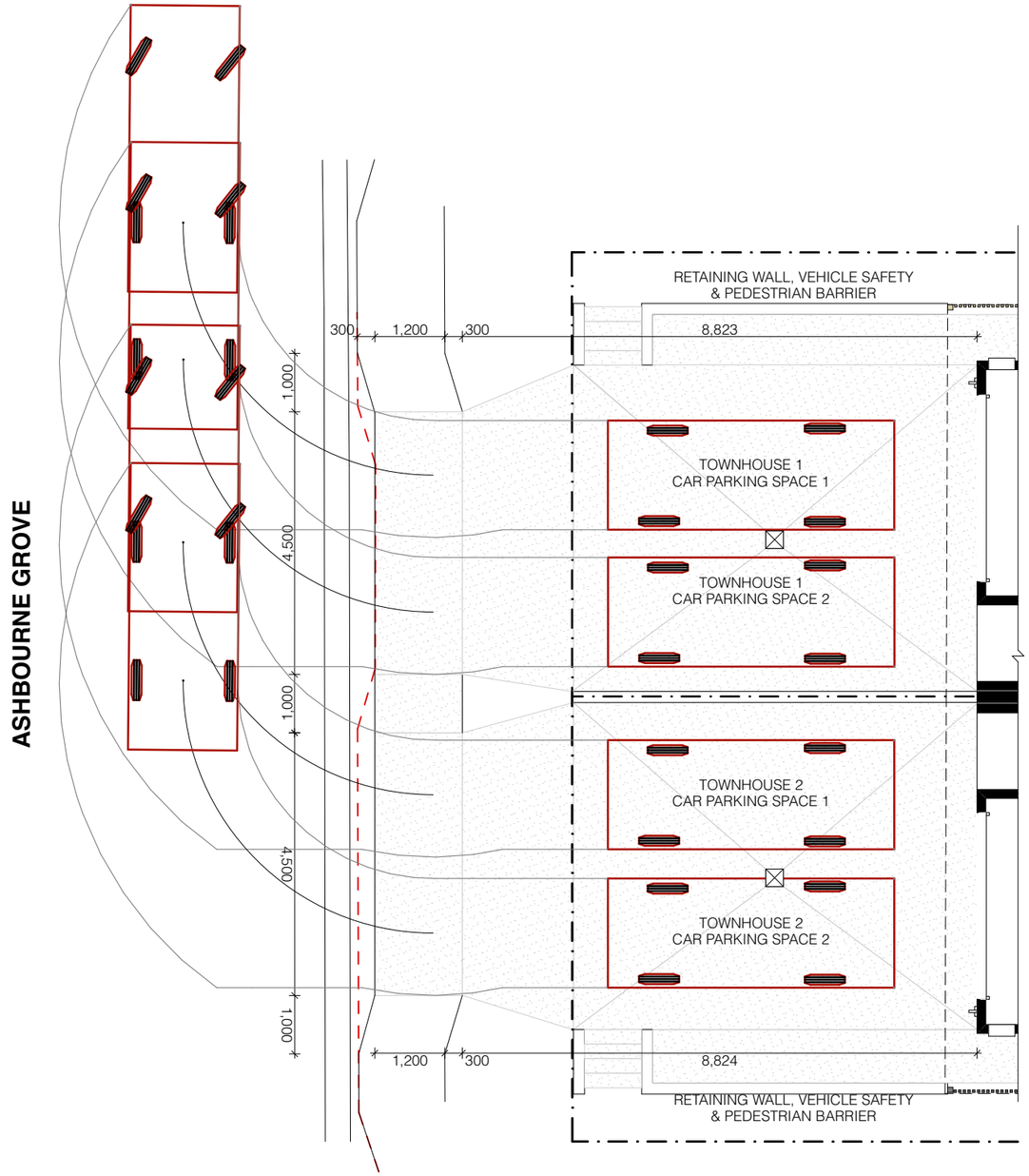
Planning Response- C2.6.2
scale1:100



Car Parking Plan
scale1:100



Car Parking Section
scale1:100



Turning Path Plan
scale1:100

SCHEDULE

GRATED DRAIN	Grated Drain. Class B galvanised bar grate and channel.

GENERAL NOTES

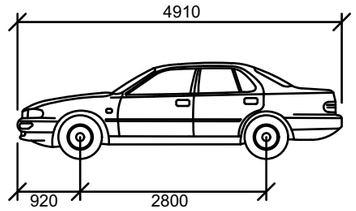
Vehicle Movement:

1. Movement templates demonstrate the ability of vehicles to enter in a forward direction and reverse.

2. The base dimension of the car template represents the B85 (85th percentile) vehicle.

3. The swept path of the vehicle represent the outer extents of the vehicle body.

4. The paths were generated with a turning speed of 5km/h.



B85 vehicle	mm
Width	1870
Track	1770
Lock to Lock Time	6000
Steering Angle	3400

C2.0 Parking and Sustainable Transport Code
C2.6.1 Construction of parking areas

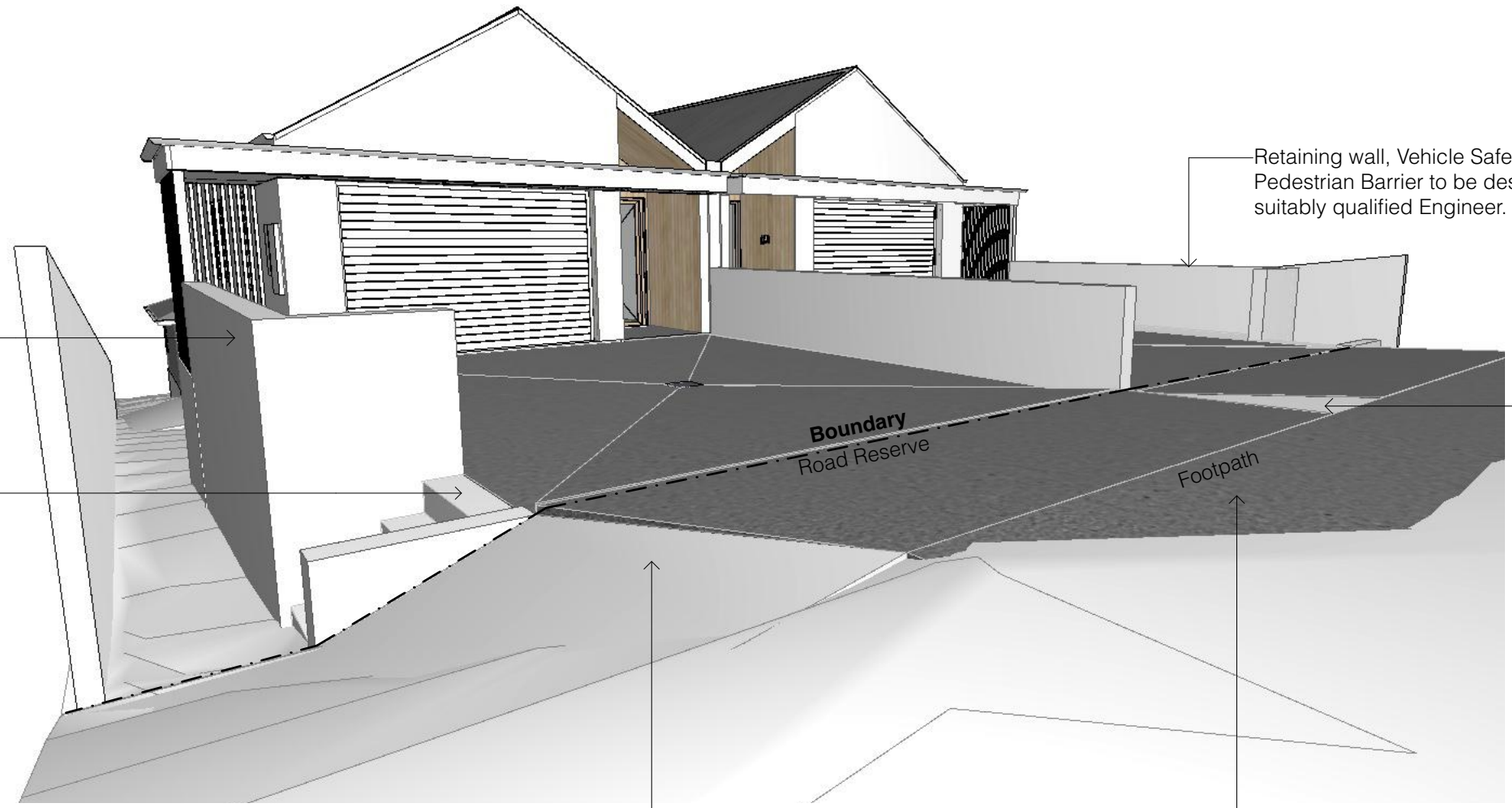
Please provide a stormwater concept plan showing the capture and disposal of stormwater run-off from all parking/driveway areas, other impermeable surfaces, and roofed areas to the on-site detention system then to an approved stormwater outlet/ system. A concept plan incorporating OSD is required.

Response

Please refer to the Site Plan, which demonstrates that all stormwater run-off from parking/ driveway areas and other permeable surfces will be captured and directed to the On-site Stormwater Detention (OSD) System.

The OSD will be designed and certified by a suitably qualified Engineer, with detailed design provided at the Building and Plumbing Permit stage.

Planning Response- C2.6.2
scale1:200



Artist Impression (Subject to Engineers Design)