



## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-25-298
<b>PROPOSED DEVELOPMENT:</b>	Single Dwelling
<b>LOCATION:</b>	60 Kiewa Rise, Lenah Valley
<b>APPLICANT:</b>	Cunic Homes
<b>ADVERTISING START DATE:</b>	09/01/2026
<b>ADVERTISING EXPIRY DATE:</b>	23/01/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **23/01/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **23/01/2025**, or for postal and hand delivered representations, by 5.00 pm on **23/01/2025**.

# PROPOSED NEW RESIDENCE

## 60 KIEWA RISE, LENAH VALLEY

### K. GREEN

H886

PD25263

#### BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	PART SITE PLAN
03	PART SITE DRAINAGE PLAN
04	SOIL & WATER MANAGEMENT PLAN
05	CUT & FILL PLAN
06	LOCALITY PLAN
07	FLOOR PLAN
08	DOOR AND WINDOW SCHEDULES
10	ELEVATIONS
11	ELEVATIONS
12	ROOF PLAN
13	SECTION
19	PERSPECTIVES
20	DRIVEWAY ELEVATIONS & TURNING CIRCLES
21	TURNING CIRCLES



FLOOR AREA 115.29 m<sup>2</sup> ( 12.41 SQUARES )  
TOTAL AREA 115.29 12.41

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No. : PLN-25-298**

**DATE RECEIVED: 10/12/2025**

#### GENERAL PROJECT INFORMATION

TITLE REFERENCE: 128/187764  
SITE AREA: 1263m<sup>2</sup>  
DESIGN WIND SPEED: N2  
SOIL CLASSIFICATION: M  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: NO  
BAL RATING: LOW  
OTHER KNOWN HAZARDS: BUSHFIRE-PRONE AREAS,  
FLOOD-PRONE AREAS, LOW LANDSLIP HAZARD BAND,  
PRIORITY VEGETATION AREA, WATERWAY AND COASTAL  
PROTECTION AREA

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REV. DATE DESCRIPTION  
7 05.11.2025 PRELIM BA ISSUE  
8 11.11.2025 ADDRESS PLANNING RFI

**CUNIC**  
**homes**  
*Built for you.*

**Prime  
Design**  
*your build, your way*

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P: 03 6332 3790  
F: Shop 9, 105-111 Main Road, Moonah, 7009  
P: 03 6228 4575  
info@primedesigntas.com.au  
Accredited Building Practitioner:  
Frank Geskus - No CC246A



NOVEMBER 2025  
**BUILDING**

THIS PROJECT HAS BEEN DETERMINED TO HAVE A  
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**  
ALL CONSTRUCTION MUST COMPLY WITH AS3959.  
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

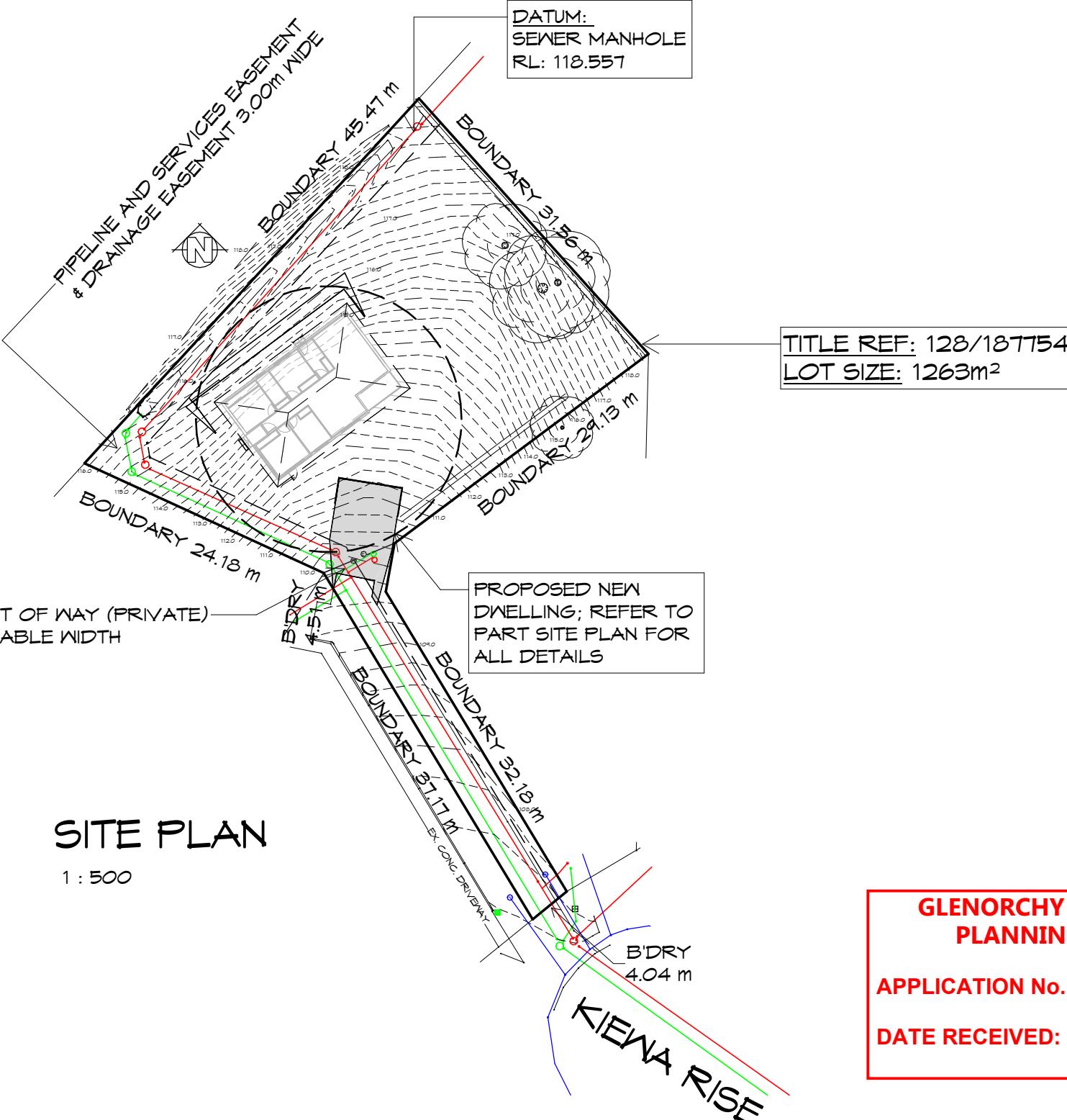
**SITE COVERAGE**  
BUILDING FOOTPRINT 116.56 / SITE AREA 1263 = 0.09  
TOTAL SITE COVERAGE 9.22%

**GENERAL NOTES**

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

**SURVEYOR NOTES**

- THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
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- IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.
- THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.
- CONTOUR INTERVAL = 0.250m
- BEARING DATUM: MGA2020 PER = SP18T164/9
- VERTICAL DATUM: AHD83 PER SPM11433



**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No. : PLN-25-298**  
**DATE RECEIVED: 10/12/2025**

NOTE: DIMENSIONED BOUNDARY OFFSETS  
TO THE PROPOSED BUILDING ARE TO THE  
EXTERNAL CLADDING U.N.O.



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790  
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Document Set ID: 3567098  
Version: 1, Version Date: 16/12/2025

REV. DATE DESCRIPTION  
7 05.11.2025 PRELIM BA ISSUE  
8 11.11.2025 ADDRESS PLANNING RFI

**BUILDING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Client name:  
K. GREEN

Project:  
PROPOSED NEW RESIDENCE  
60 KIEWA RISE,  
LENAH VALLEY  
Drawing:  
SITE PLAN

Date:  
05.11.2025  
Drafted by:  
A.D.  
Approved by:  
Approver

Project/Drawing no:  
PD25263 - 01  
Scale:  
1 : 500  
Revision:  
07

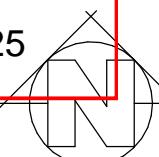
Accredited building practitioner:  
Frank Geskus - No CC246A  
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## **GLENORCHY CITY COUNCIL PLANNING SERVICES**

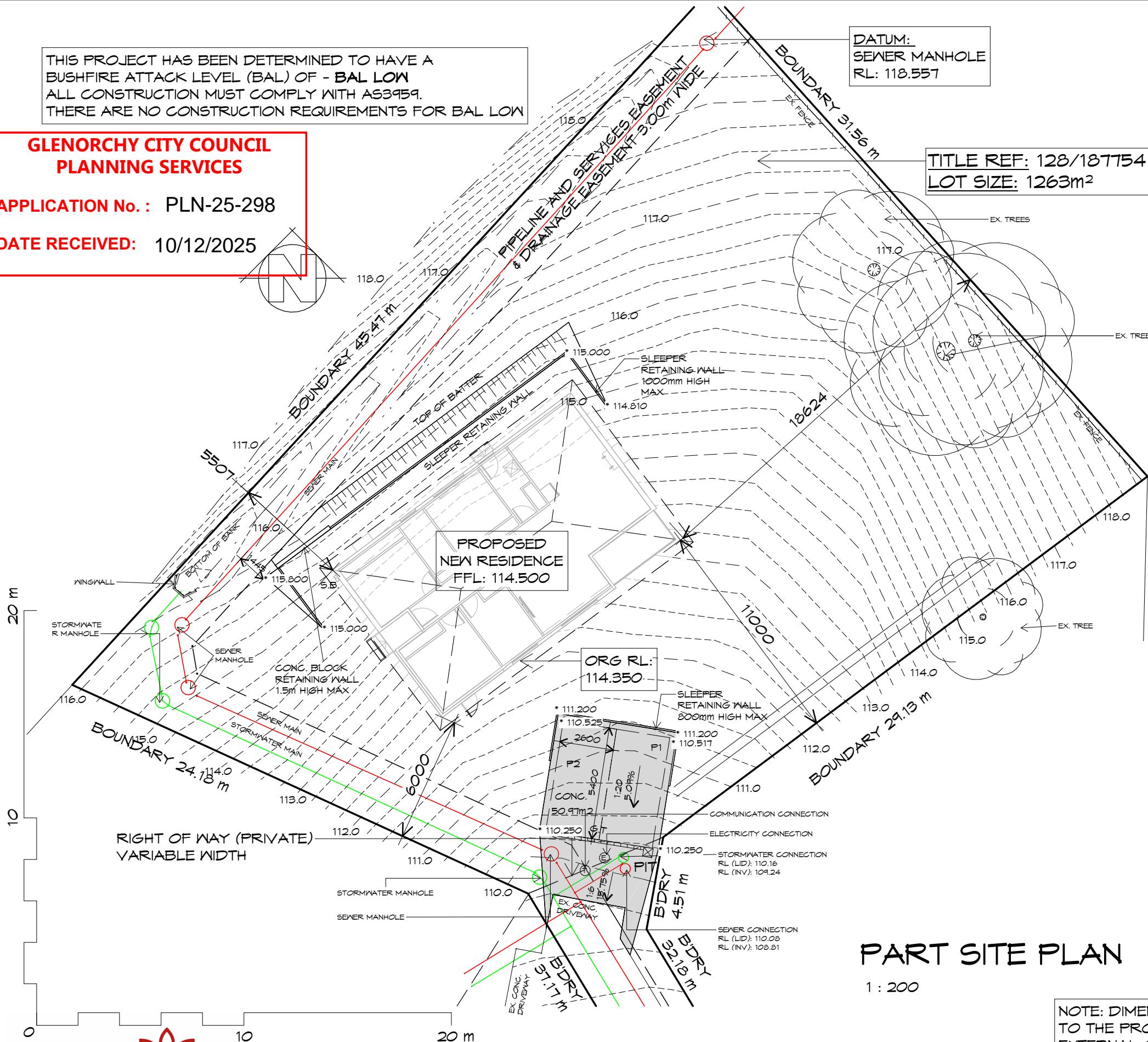
**APPLICATION No. : PLN-25-298**

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DATUM:  
SEWER MANHOLE  
RL: 118.551

TITLE REF: 128/187754  
LOT SIZE: 1263m<sup>2</sup>



## PART SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING LINE.



**CUNIC**  
homes

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REV.	DATE	DESCRIPTION
7	05.11.2025	PRELIM BA ISSUE
8	11.11.2025	ADDRESS PLANNING RFI

Client name:  
**K. GREEN**

# BUILDING

NOTE: DO NOT SCALE OFF DRAWINGS

## GENERAL NOTES

4

REES

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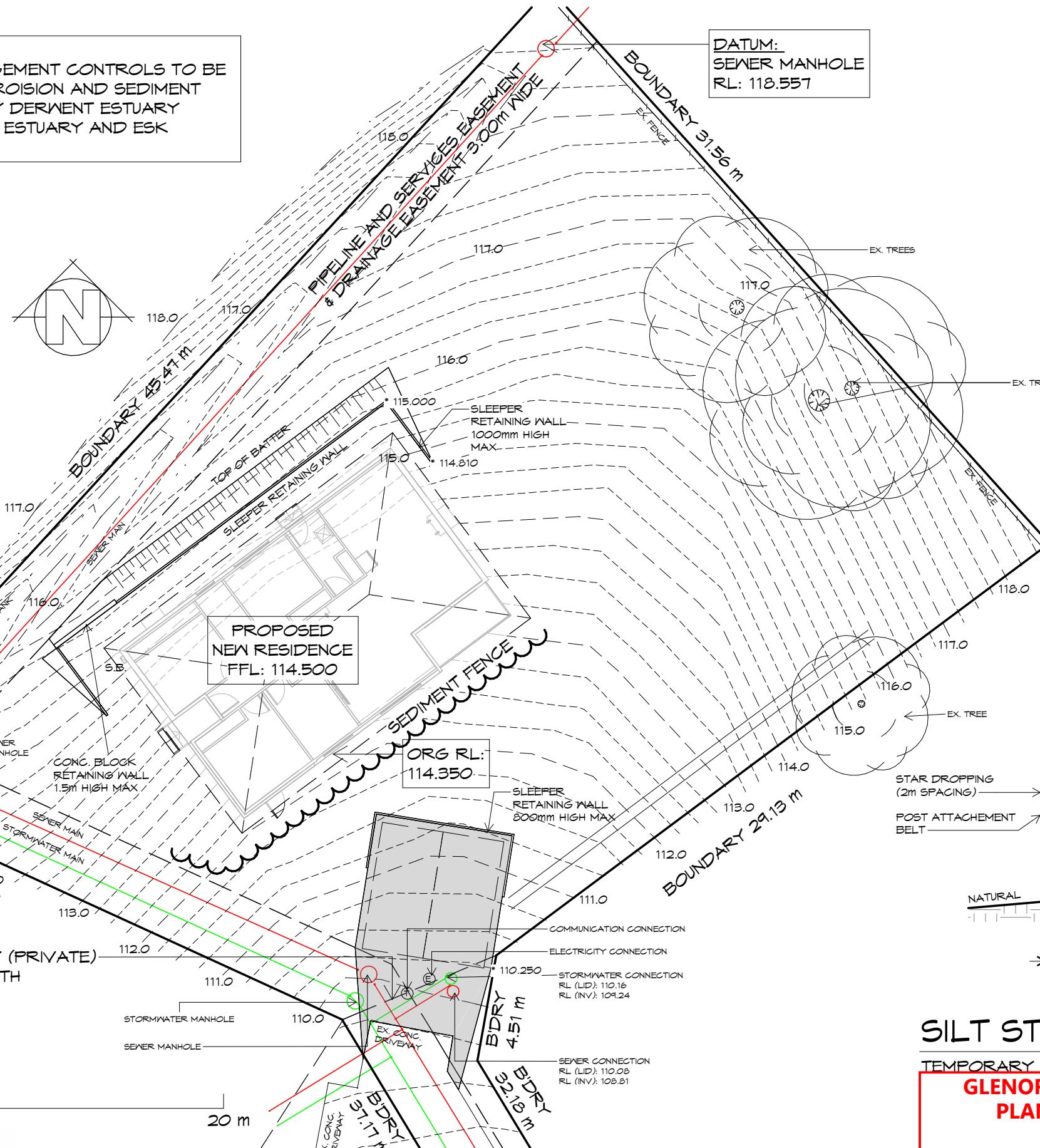
Date: 05.11.2025 Drafted by: A.D. Approved by: Approver

Project/Drawing no: Scale: Revision:  
PD25263 - 02 1 : 200 07

Accredited building practitioner: Frank Geskus -No CC246A  
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NOTE:  
SOIL AND WATER MANAGEMENT CONTROLS TO BE  
IN ACCORDANCE WITH EROSION AND SEDIMENT  
CONTROL DOCUMENT BY DERWENT ESTUARY  
PROGRAM & THE TAMAR ESTUARY AND ESK  
RIVERS PROGRAM



## PART SOIL & WATER MANAGEMENT PLAN

1 : 200

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homes  
Built for you.

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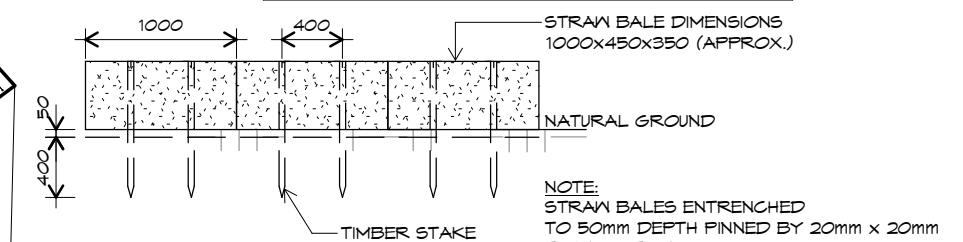
**BUILDING**  
NOTE: DO NOT SCALE OFF DRAWINGS

DATUM:  
SEWER MANHOLE  
RL: 118.557

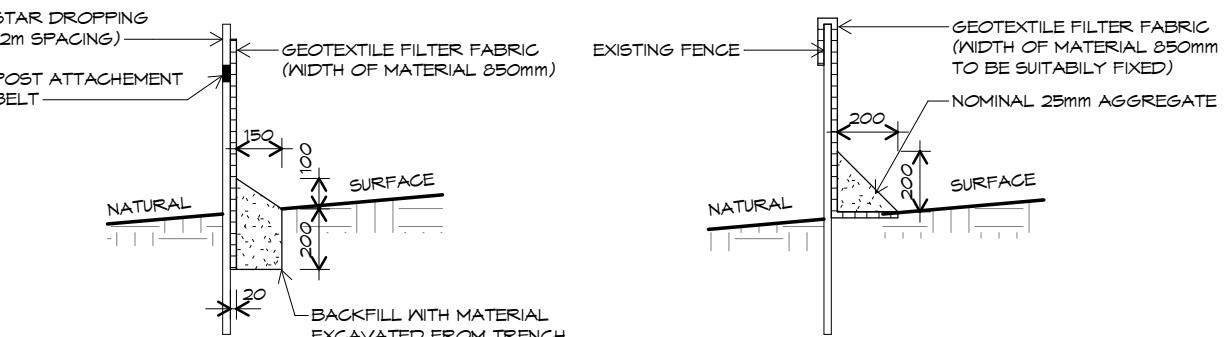
NOTES:  
SEDIMENT & EROSION CONTROL MEASURES  
SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING  
THE SITE MUST BE INSTALLED PRIOR TO ANY  
DISTURBANCE TO SITE

NOTES:  
1. ALL EROSION & SEDIMENT CONTROL STRUCTURES  
TO BE INSPECTED EACH WORKING DAY &  
MAINTAINED IN GOOD WORKING ORDER.  
2. ALL GROUND COVER VEGETATION OUTSIDE THE  
IMMEDIATE BUILDING AREA TO BE PRESERVED  
DURING BUILDING PHASE.  
3. ALL EROSION AND SEDIMENT CONTROL MEASURE  
TO BE INSTALLED PRIOR TO COMMENCEMENT OF  
MAJOR EARTHWORKS.  
4. STOCKPILES OF CLAYEY MATERIAL TO BE  
COVERED WITH AN IMPERVIOUS SHEET.  
5. ROOF WATER DOWNPipes TO BE CONNECTED TO  
THE WATER CONNECTION AS SOON AS PRACTICABLE  
AFTER THE ROOF IS LAID

NOTES:  
1. DIVERSION DRAINS ARE TO BE CONNECTED TO  
LEGAL DISCHARGE POINT (COUNCIL  
STORMWATER SYSTEM)  
2. SEDIMENT RETENTION TRAPS INSTALLED AROUND  
THE INLETS TO THE STORMWATER SYSTEM TO  
PREVENT SEDIMENT & OTHER DEBRIS BLOCKING  
THE DRAINS



## STRAW BALE SEDIMENT TRAP SECTION DETAILS



## SILT STOP TYPE 1

TEMPORARY FENCE  
**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No. : PLN-25-298

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## SILT STOP TYPE 2

EXISTING FENCE



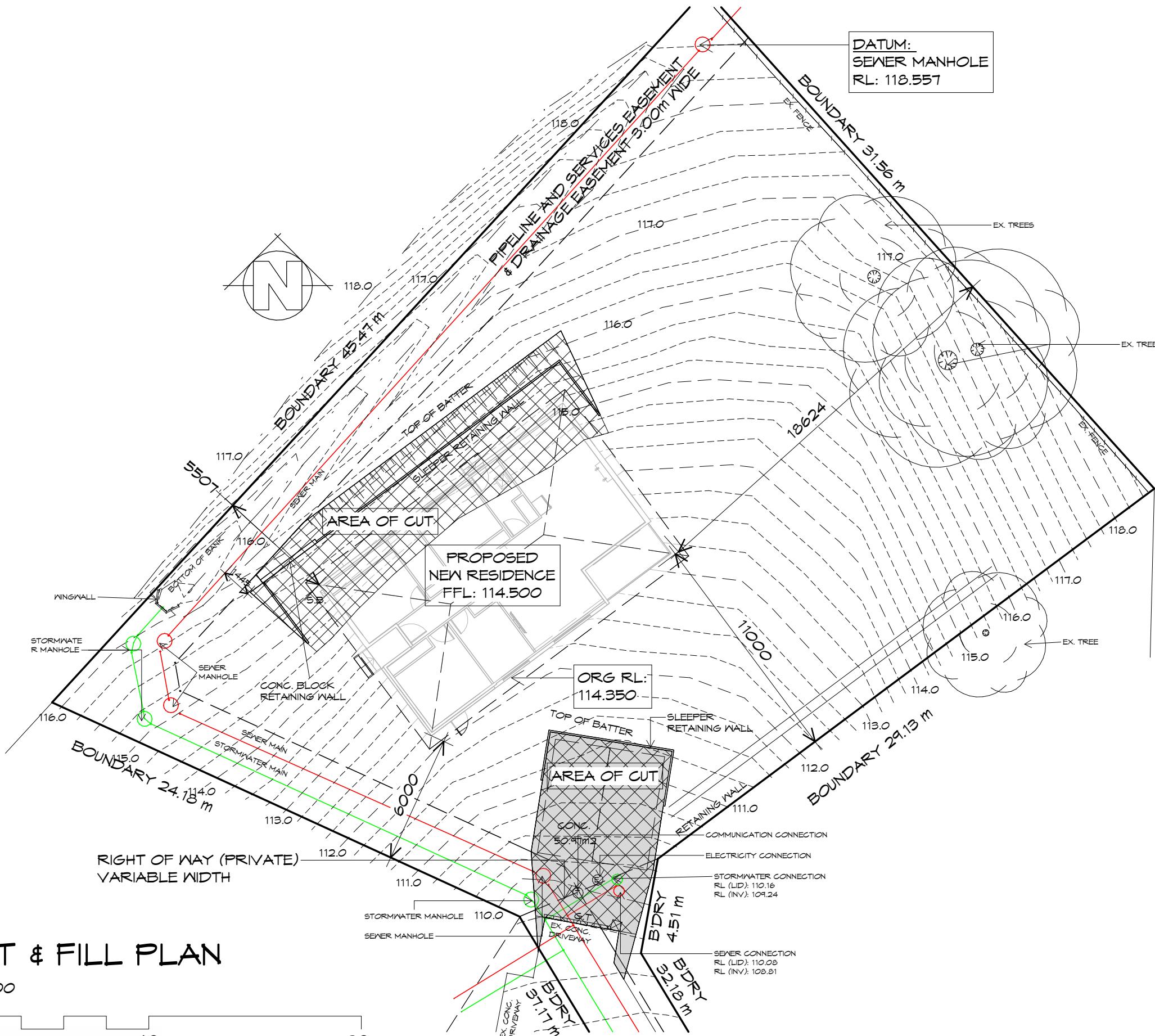
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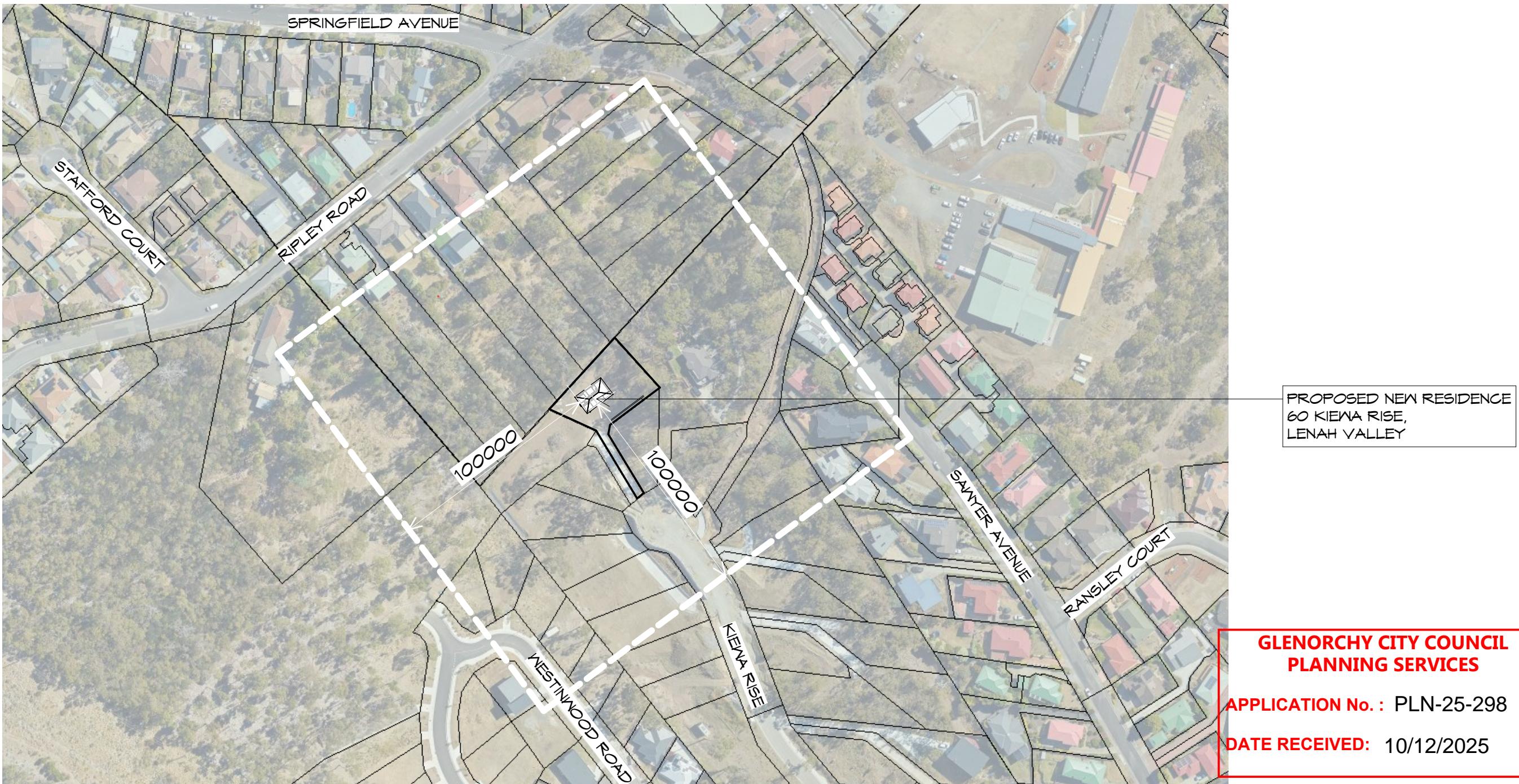
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Date: 05.11.2025 Drafted by: A.D. Approved by: Approver

Project/Drawing no: PD25263 - 04 Scale: As indicated Revision: 07

Accredited building practitioner: Frank Geskus - No CC246A  
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## LOCALITY PLAN

1 : 2000



THIS SITE IS ZONED LOW DENSITY RESIDENTIAL AND REQUIRES A BUSHFIRE ASSESSMENT.  
RESIDENCE IS OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR DETAILS

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LOCALITY PLAN

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**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Date: 05.11.2025 Drafted by: A.D. Approved by: Approver

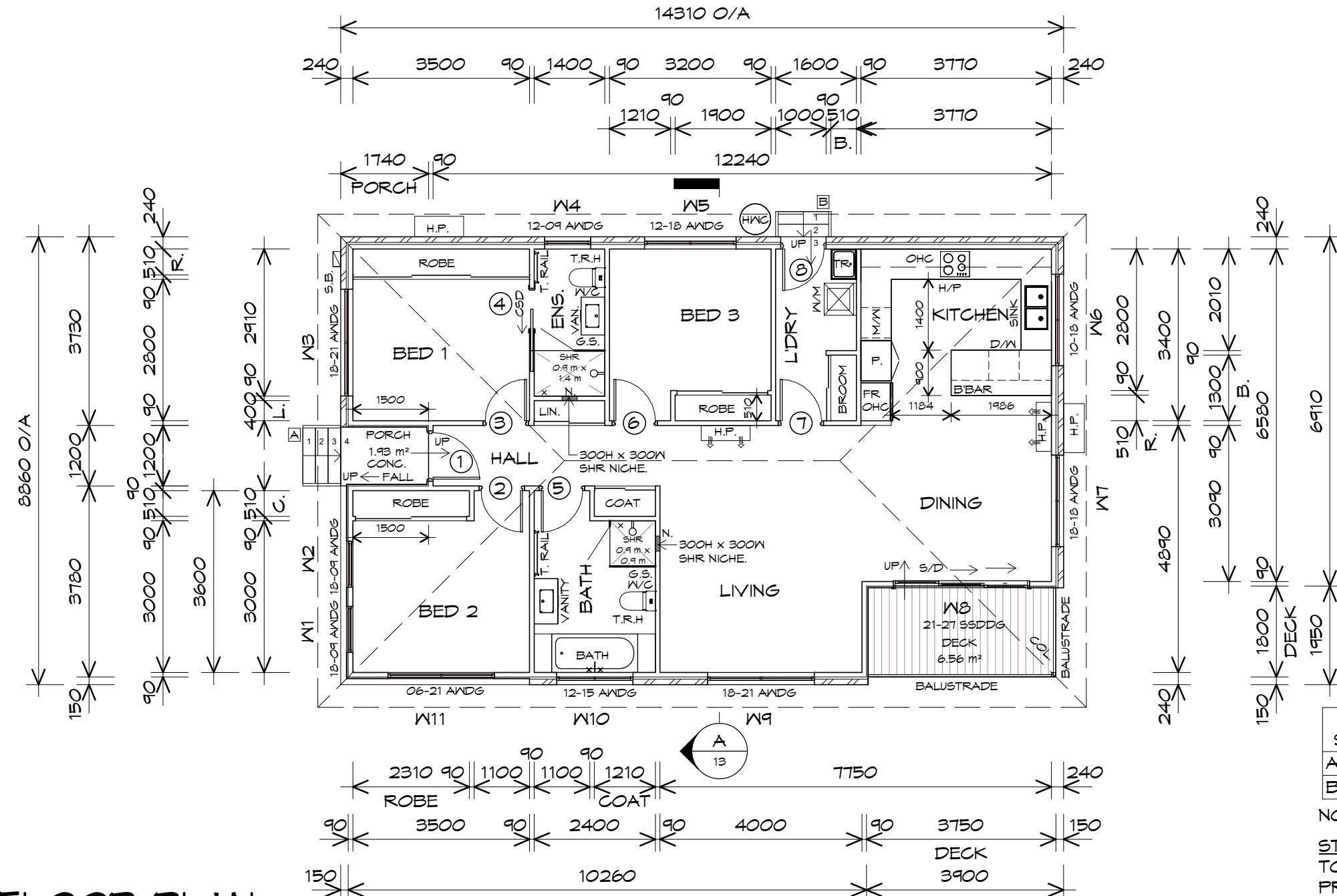
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**BUILDING**  
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**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS  
USED DIMENSIONS ARE TO FRAME ONLY  
AND DO NOT INCLUDE LIGHT WEIGHT  
CLADDING

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## LEGEND

CSD CAVITY SLIDING DOOR  
S/D SLIDING DOOR  
O.H.C. OVERHEAD CUPBOARDS  
G.S. GLASS SCREEN  
H.W.C. HOT WATER CYLINDER  
T.RAIL TOWEL RAIL  
T.R.H. TOILER ROLL HOLDER  
COL. 89X5.0 SHS COLUMN  
TO ENGINEERS SPEC

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### HANDRAIL

HANDRAIL REQUIRED TO AT LEAST  
ONE SIDE OF RAMP OR  
STAIRWAY IF HEIGHT MORE THAN 1m  
TO COMPLY ABCB HOUSING  
PROVISIONS PART 11.3

### STAIRS

STAIR	NO RISERS	RISER H'T	TREAD DEPTH
A	4	163	250
B	3	167	250

NON SLIP TO COMPLY NCC 2022

**STAIRS**  
TO COMPLY ABCB HOUSING  
PROVISIONS PART 11.2

### SANITARY COMPARTMENTS

MAINTAIN A CLEAR SPACE OF AT LEAST  
1.2m BETWEEN THE CLOSET PAN AND  
NEAREST PART OF THE DOORWAY.  
OTHERWISE ENSURE REMOVABLE  
HINGES ARE INSTALLED TO SWING  
DOORS TO COMPLY ABCB HOUSING  
PROVISIONS PART 10.4



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	GLAZED EXTERNAL DOOR	
9	820	EXTERNAL SOLID DOOR	SUBFLOOR DOOR; 1800 HIGH TBC ON-SITE

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1800	2110	AWNING WINDOW	
W4	1200	910	AWNING WINDOW	OPAQUE
W5	1200	1810	AWNING WINDOW	
W6	1000	1810	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	2100	2700	STACKING SLIDING DOOR	
W9	1800	2110	AWNING WINDOW	
W10	1200	1510	AWNING WINDOW	OPAQUE
W11	600	2110	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE  
WITH FLY SCREENS.

ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

ARTIFICIAL LIGHTING					
ROOM	FLOOR AREA	m2	ALLOWANCE	W/m2	TOTAL POWER LOAD
BATH	7.86	m2	5.00	W/m2	39.30 W
BED 1	9.80	m2	5.00	W/m2	49.00 W
BED 2	11.16	m2	5.00	W/m2	55.80 W
BED 3	9.69	m2	5.00	W/m2	48.43 W
BROOM	0.66	m2	5.00	W/m2	3.32 W
COAT	0.62	m2	5.00	W/m2	3.09 W
DINING	6.93	m2	5.00	W/m2	34.65 W
ENS.	4.01	m2	5.00	W/m2	20.31 W
HALL	10.35	m2	5.00	W/m2	51.75 W
KITCHEN	17.85	m2	5.00	W/m2	89.23 W
L'DRY	4.61	m2	5.00	W/m2	23.03 W
LIN.	0.56	m2	5.00	W/m2	2.80 W
LIVING	14.57	m2	5.00	W/m2	72.84 W
ROBE	0.97	m2	5.00	W/m2	4.85 W
ROBE	1.18	m2	5.00	W/m2	5.89 W
ROBE	1.79	m2	5.00	W/m2	8.93 W
DECK	6.56	m2	4.00	W/m2	26.25 W
PORCH	1.93	m2	4.00	W/m2	7.72 W
TOTALS	111.15	m2			547.24 W

ARTIFICIAL LIGHTING

THE ABOVE TABLE ILLUSTRATES THE MAXIMUM ALLOWANCE OF POWER LOAD TO THE TYPE OF SPACE AS PER NCC 2019 PART 3.12.5.5.

ARTIFICIAL LIGHTING MUST NOT EXCEED:

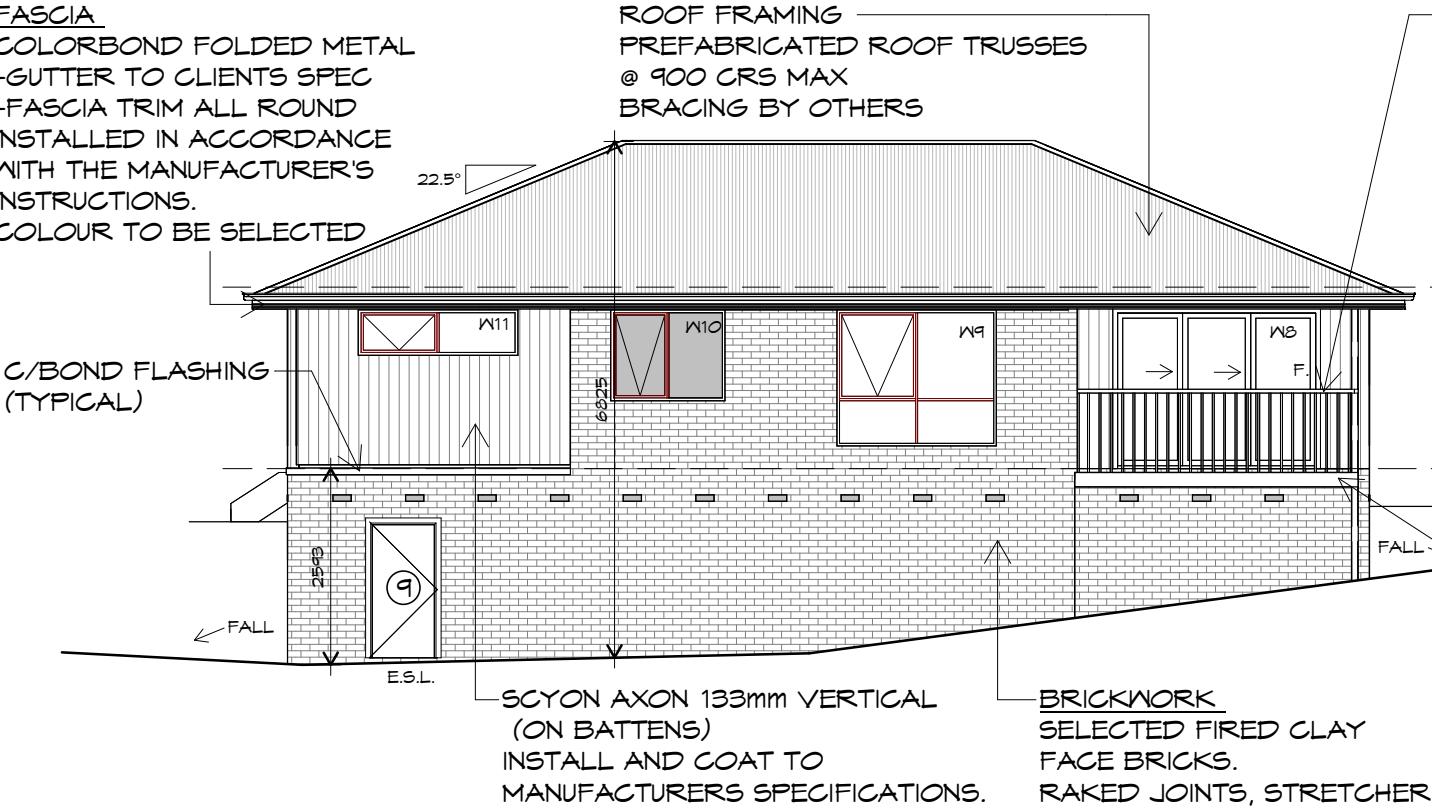
- 5W/m<sup>2</sup> FOR CLASS 1 BUILDING
- 4W/m<sup>2</sup> FOR VERANDAHS & BALCONIES
- 3W/m<sup>2</sup> FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

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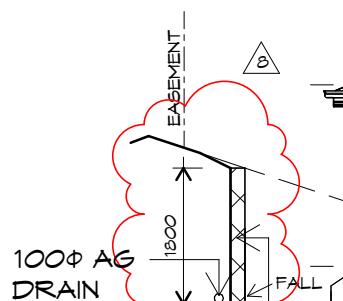
**FASCIA**  
COLORBOND FOLDED METAL  
-GUTTER TO CLIENTS SPEC  
-FASCIA TRIM ALL ROUND  
INSTALLED IN ACCORDANCE  
WITH THE MANUFACTURER'S  
INSTRUCTIONS.  
COLOUR TO BE SELECTED



## SOUTH EASTERN ELEVATION

1 : 100

**ROOF CLADDING**  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.

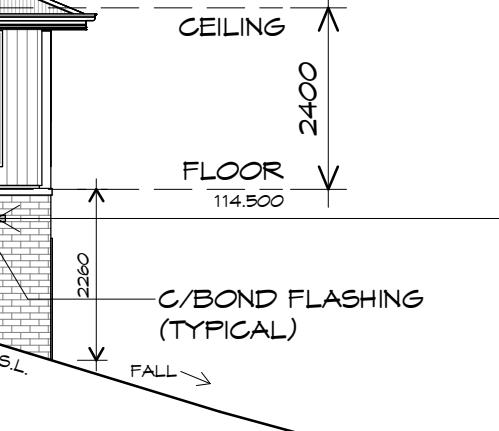


ENGINEERED RETAINING WALL  
TO ENGINEERS SPECIFICATION.  
REFER TO STRUCTURAL ENGINEERS  
DRAWINGS.

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 13.4

LINE U/S WITH HARDIEFLEX  
INSTALL AS PER MANUFACTURERS  
SPECIFICATION

**EAVES**  
OVER HANG ROOF 450mm U.N.O.  
FRAME FOR LEVEL EAVES  
LINE ALL SOFFITS  
WITH HARDIEFLEX SHEETING.  
IN ACCORDANCE WITH ABCB  
HOUSING PROVISIONS PART 7.5.5



## SOUTH WESTERN ELEVATION

1 : 100



REV. DATE DESCRIPTION  
7 05.11.2025 PRELIM BA ISSUE  
8 11.11.2025 ADDRESS PLANNING RFI

**ROOF FRAMING**  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS

**BALUSTRADE**  
HANDRAIL TO BE 1020mm HIGH  
MINIMUM 865 MINIMUM FOR STAIRS  
POSTS AT A MAXIMUM SPACING OF 1800mm  
90x19 VERTICALS  
WITH 125mm GAP OR LESS  
90x45 TOP AND BOTTOM RAIL  
TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3

**GLENORCHY CITY COUNCIL  
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**DATE RECEIVED: 10/12/2025**

**BRICKWORK**  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH ABCB HOUSING PROVISIONS PART 5

**TIMBER DECK**  
ALL TIMBER FRAMING GENERALLY IS TO COMPLY  
WITH THE REQUIREMENTS OF A.S.1684  
ALL EXTERNAL DECK COMPONENTS TO BE  
TAN E TREATED PINE (F5)  
ALL EXPOSED FIXTURES, BOLTS ETC. TO BE  
HOT DIPPED GALVANIZED.  
REFER AS 1684, AS1720.1 & NCC 2022 H1D6  
FIXING TO EXTERNAL WALL TO COMPLY WITH  
ABCB HOUSING PROVISIONS PART 12.3.2

### PROTECTION OF WINDOWS

- PROTECTION IS TO BE PROVIDED TO A  
BEDROOM WINDOW IF THE FINISHED  
FLOOR LEVEL OF THE BEDROOM HAS A  
HEIGHT GREATER THAN 2M FROM THE  
FINISHED GROUND LEVEL AND WHERE THE  
LOWEST LEVEL OF THE WINDOW OPENING  
IS WITHIN 1.7M MEASURED FROM THE  
FINISHED FLOOR LEVEL OF THE  
BEDROOM FLOOR.
- ALL BARRIERS, DEVICES AND  
OPERATION OF PROTECTED WINDOWS  
ARE TO COMPLY WITH ABCB HOUSING  
PROVISIONS PART 11.3.7

### SUB-FLOOR VENTILATION

PROVIDE EVENLY SPACED VENTILATION  
OPENINGS TO SUB-FLOOR STRICTLY IN  
ACCORDANCE WITH ABCB HOUSING  
PROVISIONS PART 6.2  
CLIMATE ZONE 7 TO BE ADOPTED.  
6000mm SQ PER METRE OF WALL  
REFER TO MANUFACTURE SPECS.  
240mm x 86mm VENTS @ 1000 CRS

### MINIMUM CLEARANCE BETWEEN CLADDING & GROUND

- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE  
AWAY. CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW  
BEARER OR LOWEST POINT OF SUSPENDED FLOOR  
FRAMING. TO COMPLY WITH ABCB HOUSING  
PROVISIONS PART 7.5.7

Client name:  
K. GREEN

Project:  
PROPOSED NEW RESIDENCE  
60 KIEWA RISE,  
LENAH VALLEY

**BUILDING**  
NOTE: DO NOT SCALE OFF DRAWINGS

**DAMP PROOF COURSE**  
TO BE INSTALLED UNDER EXTERNAL  
MASONRY ON SLABS OR FOOTINGS,  
SHALL BE OF SUFFICIENT WIDTH TO  
PROJECT PAST THE EXTERNAL FACE  
OF THE WALL.  
ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

**CAVITY VENTILATION AND DRAINAGE**  
OPEN WEEPHOLES TO BRICK COURSE  
IMMEDIATELY ABOVE ANY DPC  
OR FLASHING AT NOT MORE THAN 1200 CRS.  
SILL AND HEAD FLASHING INSTALLED  
IN ACCORDANCE WITH ABCB HOUSING  
PROVISIONS PART 5.7.4 & 5.7.5

**BRICK TIE SPACINGS**  
FOR 450mm STUD SPACING  
TYPICAL 600x450 SPACING 300x225 AT  
OPENINGS AND CONTROL JOINTS  
REFER TO ABCB HOUSING PROVISIONS  
PART 5.6.5 / AS2699.1 FOR FURTHER  
DETAILS

**BUILDING MEMBRANE**  
IN ACCORDANCE WITH ABCB HOUSING  
PROVISIONS PART 10.8.1  
PLIABLE BUILDING MEMBRANE INSTALLED  
TO EXTERIOR OF FRAMEWORK, TO BE  
VAPOUR PERMEABLE TO COMPLY WITH  
AS4200.1 & BE INSTALLED TO AS4200.2

**FLASHINGS TO WALL OPENINGS**  
OPENINGS IN EXTERNAL WALL CLADDING  
EXPOSED TO WEATHER MUST BE FLASHED  
WITH MATERIAL COMPLYING WITH AS/NZS  
2904 TO TOP, BOTTOM & SIDES OF  
OPENINGS. FLASHINGS MUST BE SUITABLE  
FOR FRAMING & CLADDING USED. TO  
COMPLY ABCB HOUSING PROVISIONS PART  
7.5.6

**GLAZING**  
ALL GLAZING IS TO COMPLY WITH ABCB  
HOUSING PROVISIONS PART 8  
IN PARTICULAR THAT THE GLAZING IN  
THE WINDOW LOCATED OVER THE BATH/  
SHOWER INSTALLATION TO COMPLY WITH  
HUMAN IMPACT SAFETY REQUIREMENTS,  
SECTION 5.8 OF AS1288  
WINDOWS TO BE SEALED IN  
ACCORDANCE WITH AS2047  
ALL GLASS INSTALLATIONS INCLUDING  
ROOFS, WINDOW AND DOORS TO BE  
TAGGED ON-SITE OR GLAZIER TO  
SUPPLY COMPLIANCE CERTIFICATE  
AT FINAL INSPECTION.

**Prime  
Design**

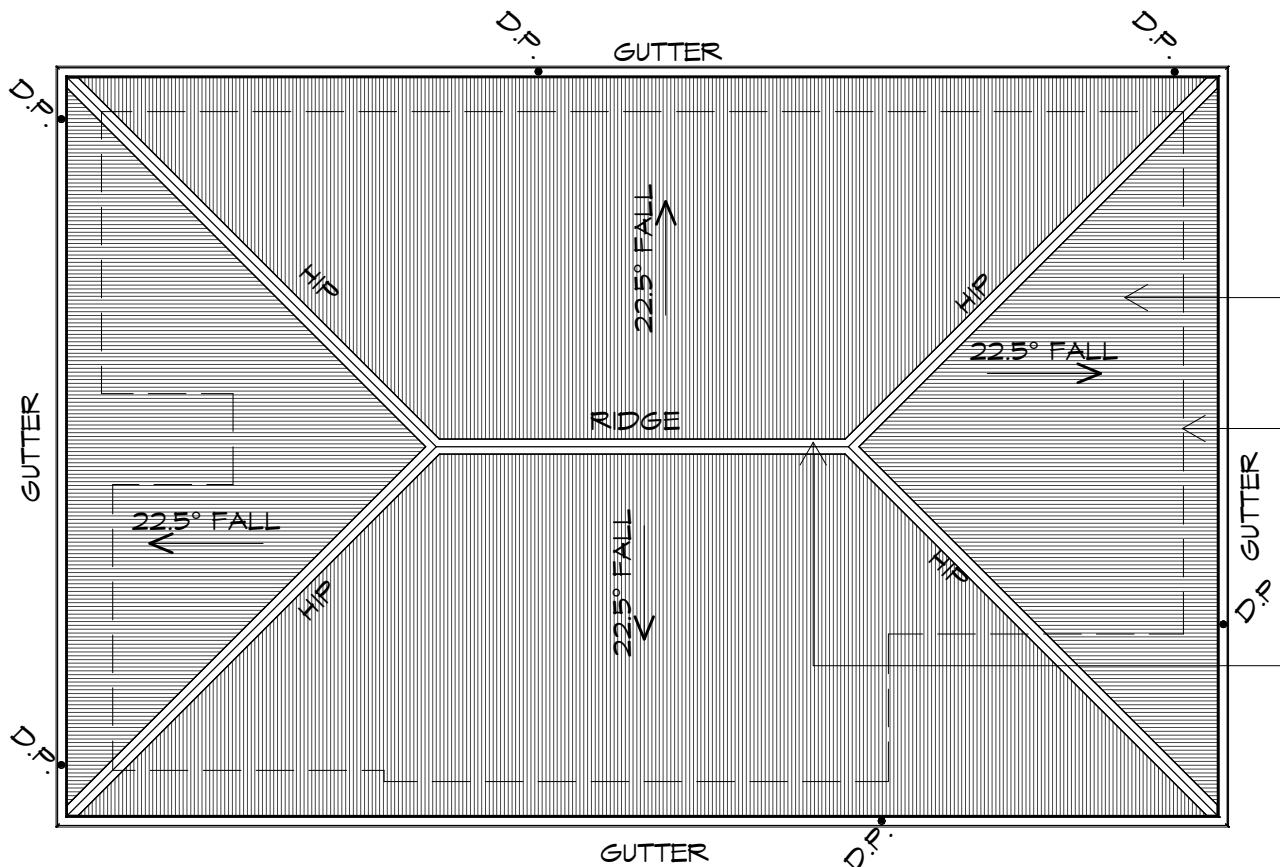
L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790  
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info@primedesigntas.com.au primedesigntas.com.au

Date: 05.11.2025 Drafted by: A.D. Approved by: Approver

Project/Drawing no: PD25263 - 10 Scale: 1 : 100 Revision: 07

Accredited building practitioner: Frank Geskus - No CC246A  
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## ROOF PLAN

1 : 100

ROOF VENTILATION 15-15deg (TABLE 10.8.3.)

COMMENTS	LENGTH (m)	SUPPLY AREA REQUIRED (mm <sup>2</sup> )	EXHAUST AREA REQUIRED (mm <sup>2</sup> )	VENT WIDTHS (mm)	VENT LENGTHS (mm)	OPENING %	SUPPLY VENTS REQUIRED (#)	EXHAUST VENTS REQUIRED (#)
SUPPLY	15.2	106400.00		220	420	25%	10	
EXHAUST	15.2		76000	50	5450	100%		1

VENTILATION TO COMPLY WITH ABCB HOUSING PROVISIONS 2022, PART 10.8.3

- SUPPLY AREA: 7,000mm<sup>2</sup>/m
- EXHAUST AREA: 5,000mm<sup>2</sup>/m

(INT REF 01052025)

**OVERFLOW MEASURES**  
 INSTALL FRONT FACE SLOTTED GUTTER OR 10mm CONTROLLED BACK GAP, STAND OFF BRACKET WITH SPACER.  
 BACK OF GUTTER INSTALLED A MINIMUM OF 10mm BELOW THE TOP OF FASCIA  
 INSTALL IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.6

**ROOF CLADDING**  
 COLORBOND CUSTOM ORB TO CLIENTS SPECS.

**EAVE VENTS**  
 EVENLY DISTRIBUTED @ NOMINAL CRS PER TABLE THIS PAGE

**ROOFING SISALATION**  
 ROOFING SISALATION IS TO BE DISCONTINUOUS (CUT BACK TO TOP BATTENS) AT THE RIDGE PROVIDING RIDGE VENTILATION IN ACCORDANCE WITH 10.8.3 OF THE HOUSING PROVISIONS

**ADDITIONAL ROOF LOAD**  
 NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR, NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
 TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:500 FOR EAVES GUTTER BOX GUTTERS IN ACCORDANCE WITH AS33500.3:2021

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

- MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

**DNPIPE POSITIONS** SHOWN ON THIS PLAN ARE NOMINAL ONLY.  
 EXACT LOCATION & NUMBER OF D.P.'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.  
 SPACING BETWEEN DNPPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

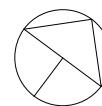
### METAL ROOF

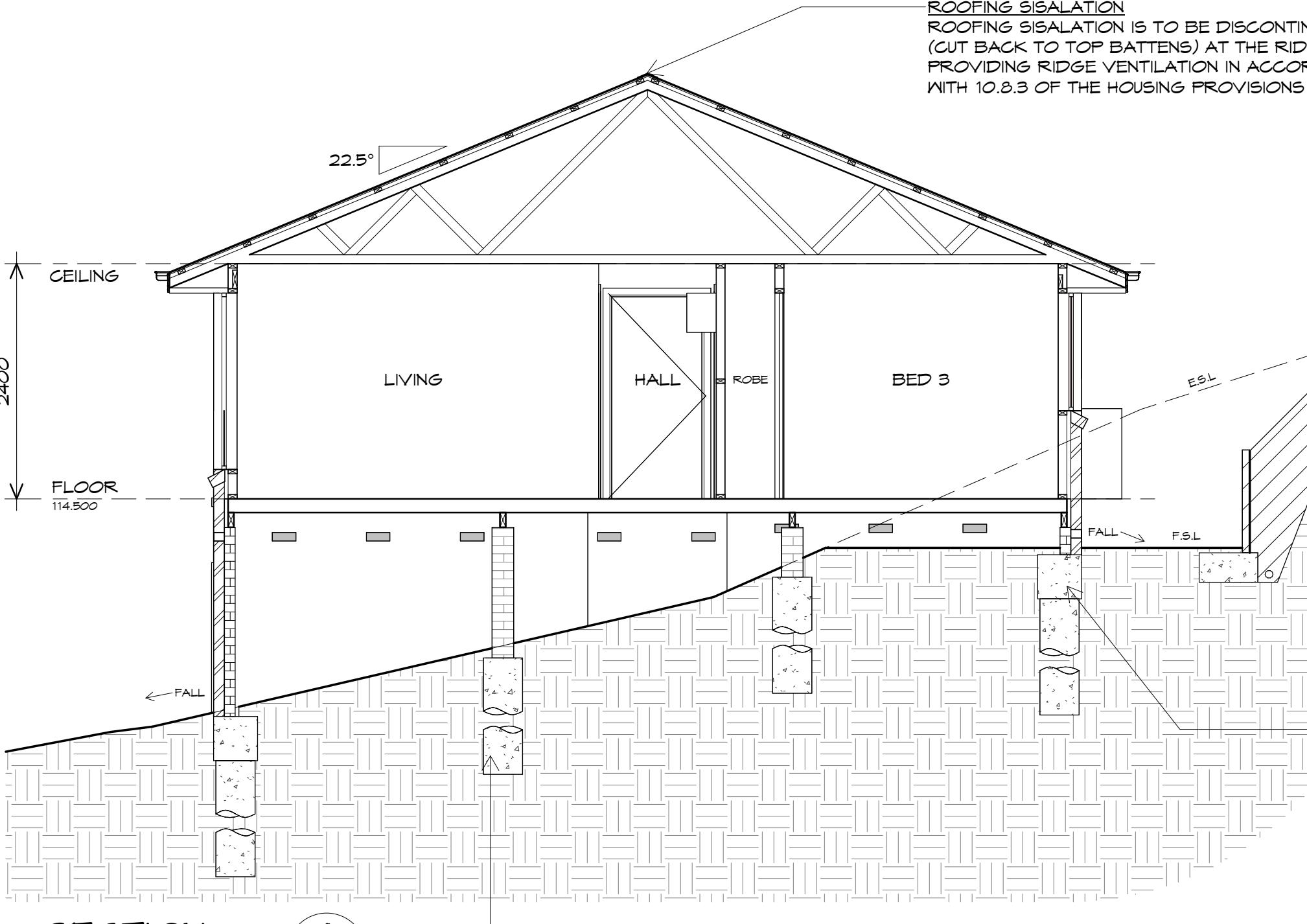
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

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**SECTION**

1 : 50

**A**

07

REFER TO ENGINEERS DRAWINGS  
FOR SLAB DETAILS

WALL FRAMING

ALL TIMBER FRAMING GENERALLY IS  
TO COMPLY WITH THE REQUIREMENTS OF  
THE NCC 2022 H1D6, AS1684 & AS1720  
WALL FRAMING TO BE MGP10 RADIATA  
COMMON STUDS - 90x35  
NOGGINS - 90x35  
TOP AND BOTTOM PLATES - 90x35

ARCHITRAVES

ARCHITRAVES AND SKIRTINGS  
TO CLIENT SPEC

ROOFING SISALATION

ROOFING SISALATION IS TO BE DISCONTINUOUS  
(CUT BACK TO TOP BATTENS) AT THE RIDGE  
PROVIDING RIDGE VENTILATION IN ACCORDANCE  
WITH 10.8.3 OF THE HOUSING PROVISIONS

ROOF FRAMING (TRUSSES)

CUSTOM ORB OR SIMILAR APPROVED SHEET ROOFING  
COLORBOND COLOUR TO SELECTION, OVER 10X35 MGP12  
NAILING BATTENS AT 900 CRS OR DOUBLE BATTEN  
ALTERNATIVE 10X35 MGP12 NAILING BATTENS AT 900 CRS,  
OVER 10X35 MGP12 COUNTER BATTENS AT 900 CRS,  
RUNNING PERPENDICULAR TO PRIMARY BATTENS AND  
APPROVED ROOF TRUSSES INSTALLED STRICTLY IN  
ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.  
FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP  
CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP  
CHORDS AT A MAX ANGLE OF 30° TO RIDGE.  
ANCHOR STRAP BRACING WITH 6 NO 30x1.5 NAILS INTO  
DOUBLE TOP PLATE.  
WIND BRACING TO COMPLY WITH AS1684

BATHROOM WATER PROOFING

UNENCLOSED AND ENCLOSED SHOWER AREAS TO  
BE WATERPROOF TO ENTIRE SHOWER AREA  
AREAS OUTSIDE SHOWER AREA AND BATH/SPA;

- TIMBER FLOORS TO BE WATER PROOF OVER  
ENTIRE SURFACE
- CONCRETE AND COMPRESSED FIBRE-  
CEMENT SHEET FLOOR TO HAVE WATER  
RESISTANT TO ENTIRE SURFACE

REFER TO ABCB HOUSING PROVISIONS PART 10.2  
FOR ALTERNATIVES

BATH/FLOOR & WALL FLOOR JUNCTIONS MUST  
BE WATER PROOFED TO 25mm ABOVE  
FINISHED FLOOR LEVEL

A "WATERSTOP" ANGLE IS REQUIRED AT  
DOORWAYS FLUSH WITH FINISHED SURFACE  
LEVEL, PER ABCB HOUSING PROVISIONS PART 10.2  
& AS3740. REFER TO DETAILS IN DRAWING SET.

SLABS & FOOTINGS

ALL CONCRETE PREPARATION INCLUDING  
EXCAVATIONS & PLACEMENT OF REINFORCEMENT  
IS TO BE SEEN & APPROVED BY BUILDING SURVEYOR  
BUILDING INSPECTOR AND/OR ENGINEER PRIOR  
TO POURING ANY CONCRETE.

REFER TO ENGINEERS DRAWINGS FOR  
FOOTING & CONCRETE SLAB DETAILS.

REFER TO SOIL REPORT FOR CLASSIFICATION & SITE  
MAINTENANCE REQUIREMENTS.

PAINTING

DO ALL INTERNAL AND EXTERNAL PAINTING REQUIRED  
ALL AT LEAST EQUAL TO FIRST CLASS TRADE STANDARD.  
ALL INTERNAL WOODWORK TO CLEAR NATURAL  
SATIN FINISH.

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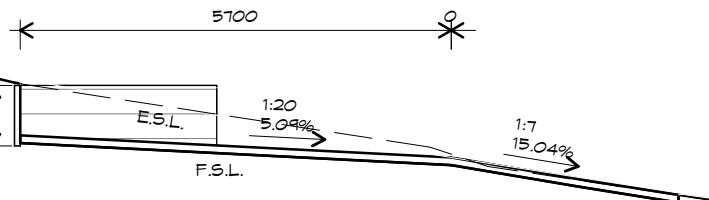
Client name:  
K. GREEN

Project:  
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60 KIEWA RISE,  
LENAH VALLEY

Drawing:  
SECTION

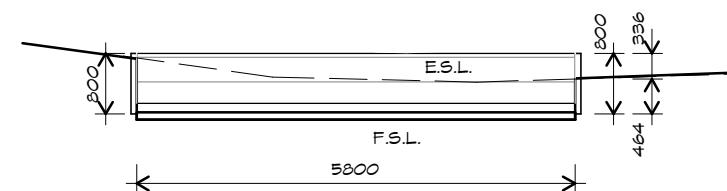
**BUILDING**  
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**bdaa**  
BUILDING DESIGNERS  
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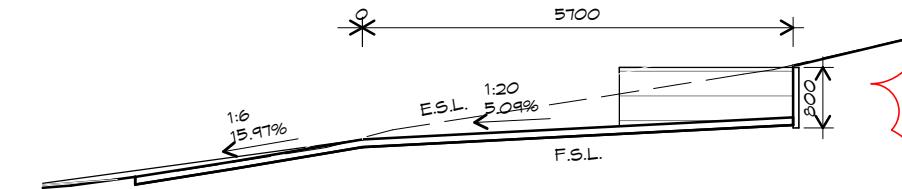
DRIVEWAY EASTERN ELEVATION

1 : 100



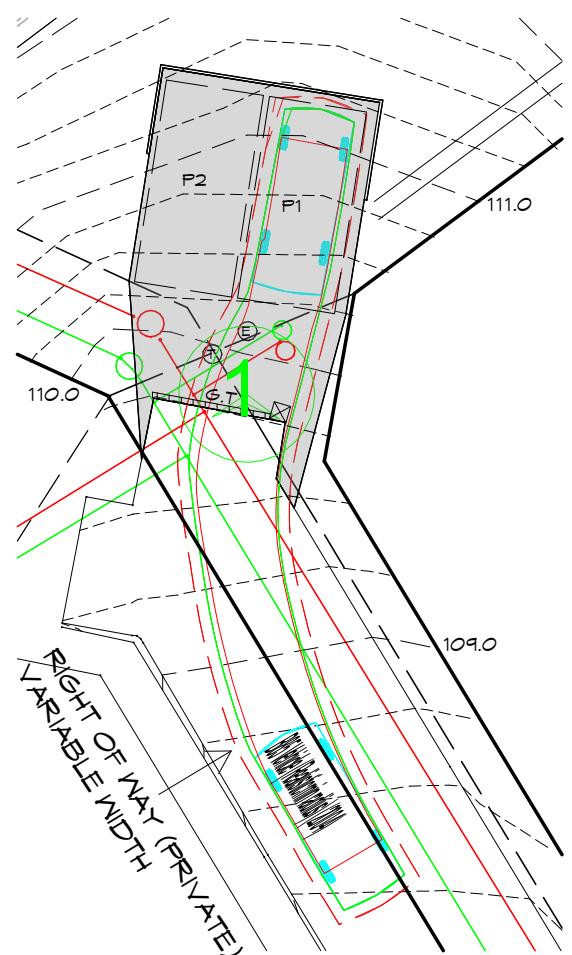
DRIVEWAY NORTHERN ELEVATION

1 : 100



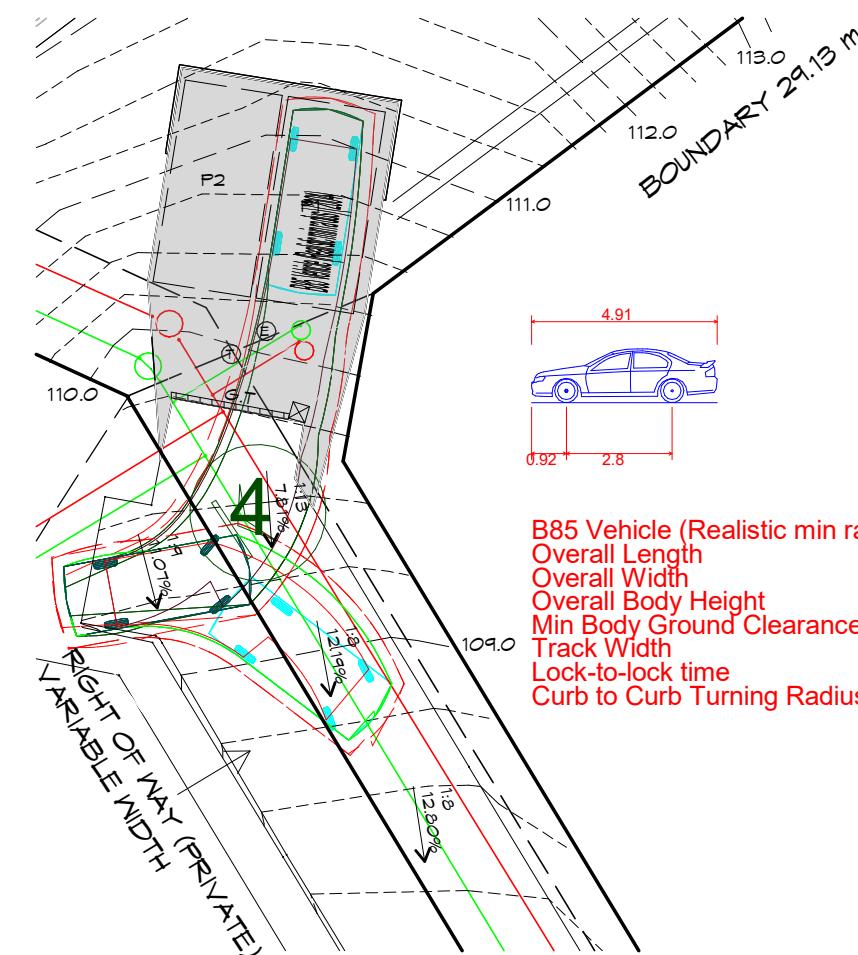
DRIVEWAY WESTERN ELEVATION

1 : 100



TURNING MOVEMENT - P1 IN

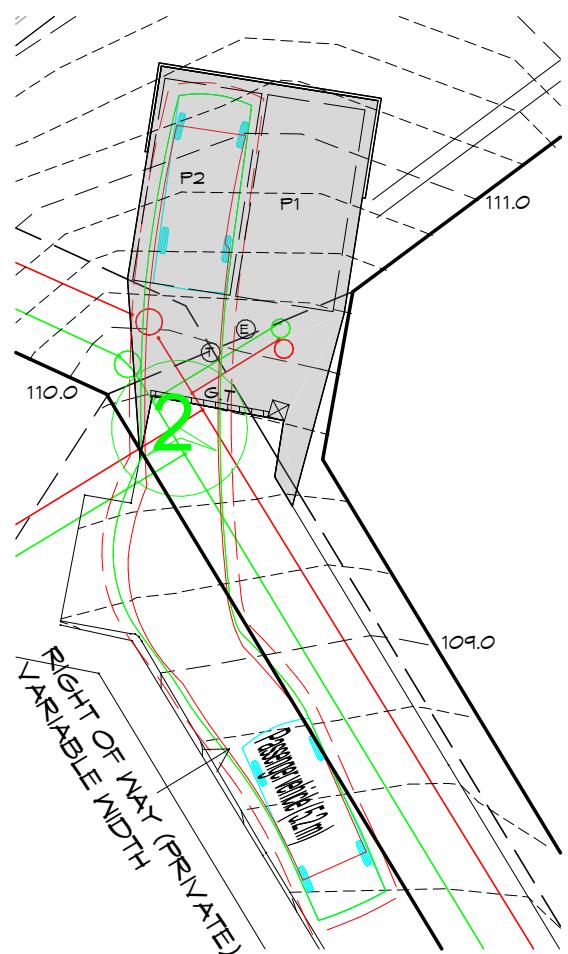
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TURNING MOVEMENT - P1 OUT

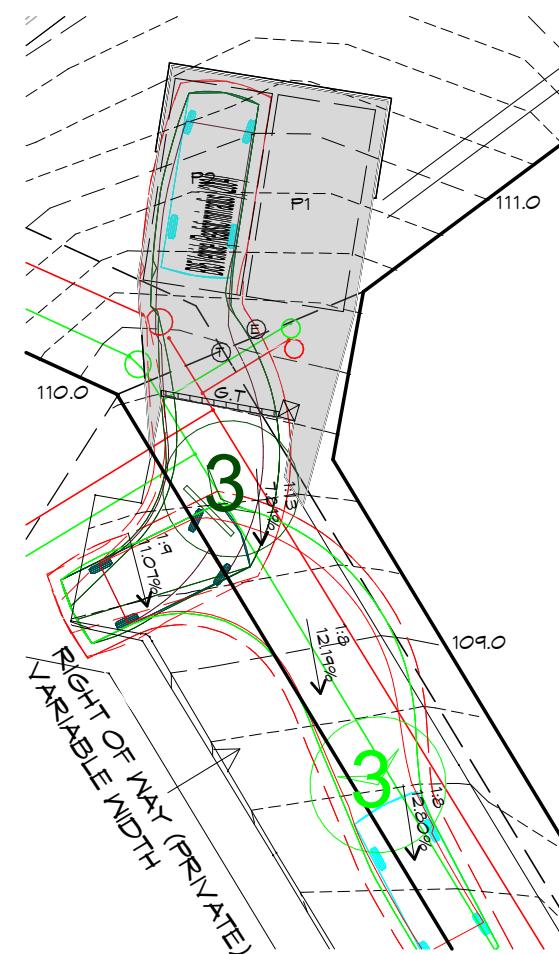
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TURNING MOVEMENT - P2 IN

1 : 200



TURNING MOVEMENT - P2 OUT

1 : 200

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PLANNING SERVICES**  
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