

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-298
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	60 Kiewa Rise, Lenah Valley
APPLICANT:	Cunic Homes
ADVERTISING START DATE:	09/01/2026
ADVERTISING EXPIRY DATE:	23/01/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **23/01/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **23/01/2025**, or for postal and hand delivered representations, by 5.00 pm on **23/01/2025**.

PROPOSED NEW RESIDENCE

60 KIEWA RISE, LENAH VALLEY

K. GREEN

PD25263

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	PART SITE PLAN
03	PART SITE DRAINAGE PLAN
04	SOIL & WATER MANAGEMENT PLAN
05	CUT & FILL PLAN
06	LOCALITY PLAN
07	FLOOR PLAN
08	DOOR AND WINDOW SCHEDULES
10	ELEVATIONS
11	ELEVATIONS
12	ROOF PLAN
13	SECTION
19	PERSPECTIVES
20	DRIVEWAY ELEVATIONS & TURNING CIRCLES
21	TURNING CIRCLES



H886

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-298

DATE RECEIVED: 10/12/2025

FLOOR AREA	115.29 m2 (12.41 SQUARES)
TOTAL AREA	115.29 12.41

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 128/187764
SITE AREA: 1263m²
DESIGN WIND SPEED: N2
SOIL CLASSIFICATION: M
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: NO
BAL RATING: LOW
OTHER KNOWN HAZARDS: BUSHFIRE-PRONE AREAS,
FLOOD-PRONE AREAS, LOW LANDSLIP HAZARD BAND,
PRIORITY VEGETATION AREA, WATERWAY AND COASTAL
PROTECTION AREA



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p(h)+03 6228 4575
info@primedesigntas.com.au
Accredited Building Practitioner:

bdag
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au
Frank Geskus -No CC246A

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REV.	DATE	DESCRIPTION
7	05.11.2025	PRELIM BA ISSUE
8	11.11.2025	ADDRESS PLANNING RFI

NOVEMBER 2025
BUILDING

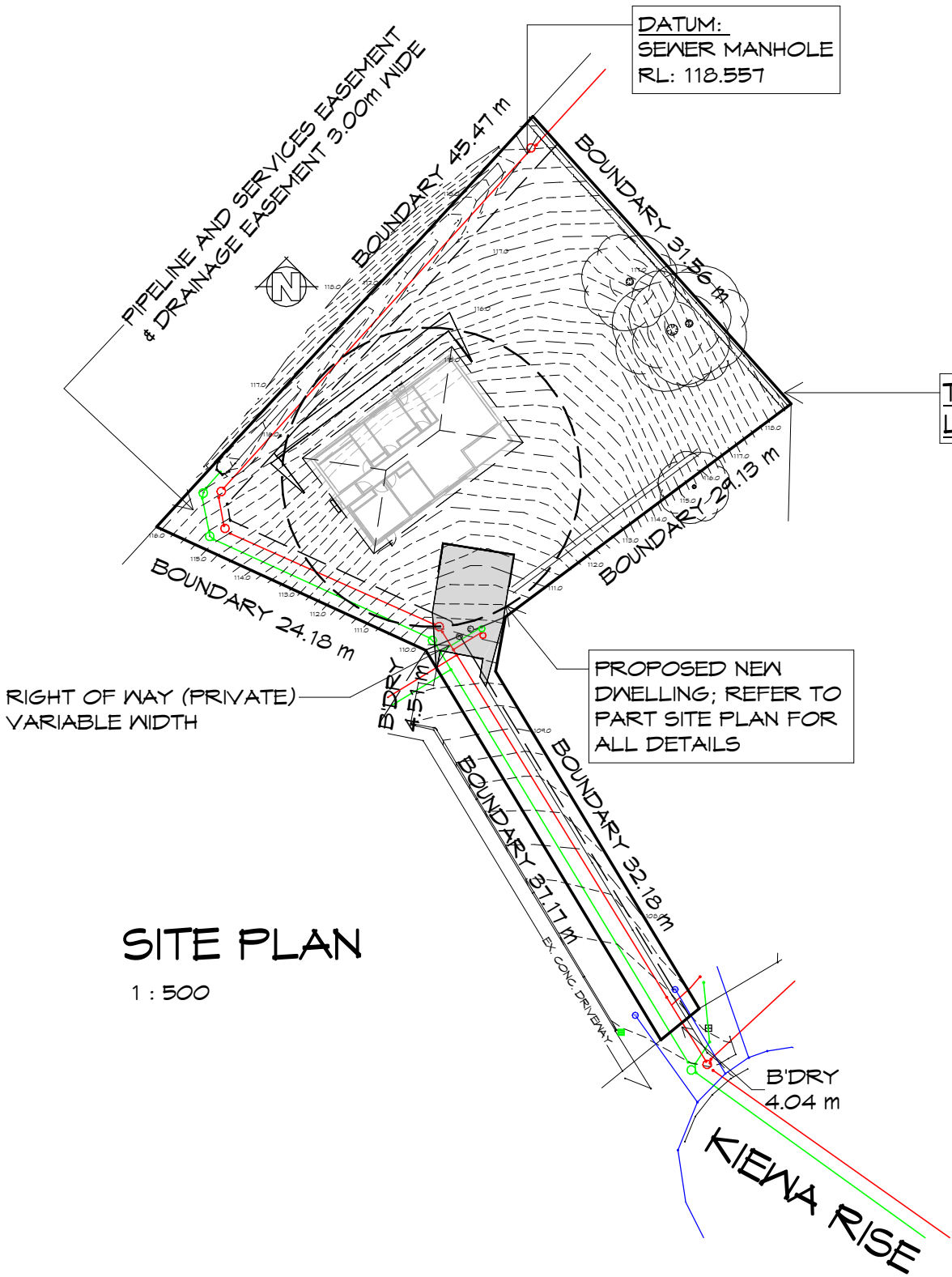


THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

SITE COVERAGE
BUILDING FOOTPRINT 116.56 /SITE AREA 1263 = 0.09
TOTAL SITE COVERAGE 9.22%

- GENERAL NOTES
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
 - DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

- SURVEYOR NOTES
- "THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
 - SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER AS-CONSTRUCTED" HAVE BEEN IMPORTED FROM EXISTING AS-CONSTRUCTED DRAWINGS FROM THIS SUBDIVISION. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
 - IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.
 - THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.
 - CONTOUR INTERVAL = 0.250m
 - BEARING DATUM: MGA2020 PER = SP187764/9
 - VERTICAL DATUM: AHD83 PER SPM11433



SITE PLAN
1 : 500

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-298
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NOTE: DIMENSIONED BOUNDARY OFFSETS
TO THE PROPOSED BUILDING ARE TO THE
EXTERNAL CLADDING U.N.O.



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Date: 05.11.2025 Drafted by: A.D. Approved by: Approver

Project/Drawing no: PD25263 - 01 Scale: 1 : 500 Revision: 07

Accredited building practitioner: Frank Geskus - No CC246A
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REV.	DATE	DESCRIPTION
7	05.11.2025	PRELIM BA ISSUE
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Client name:
K. GREEN

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

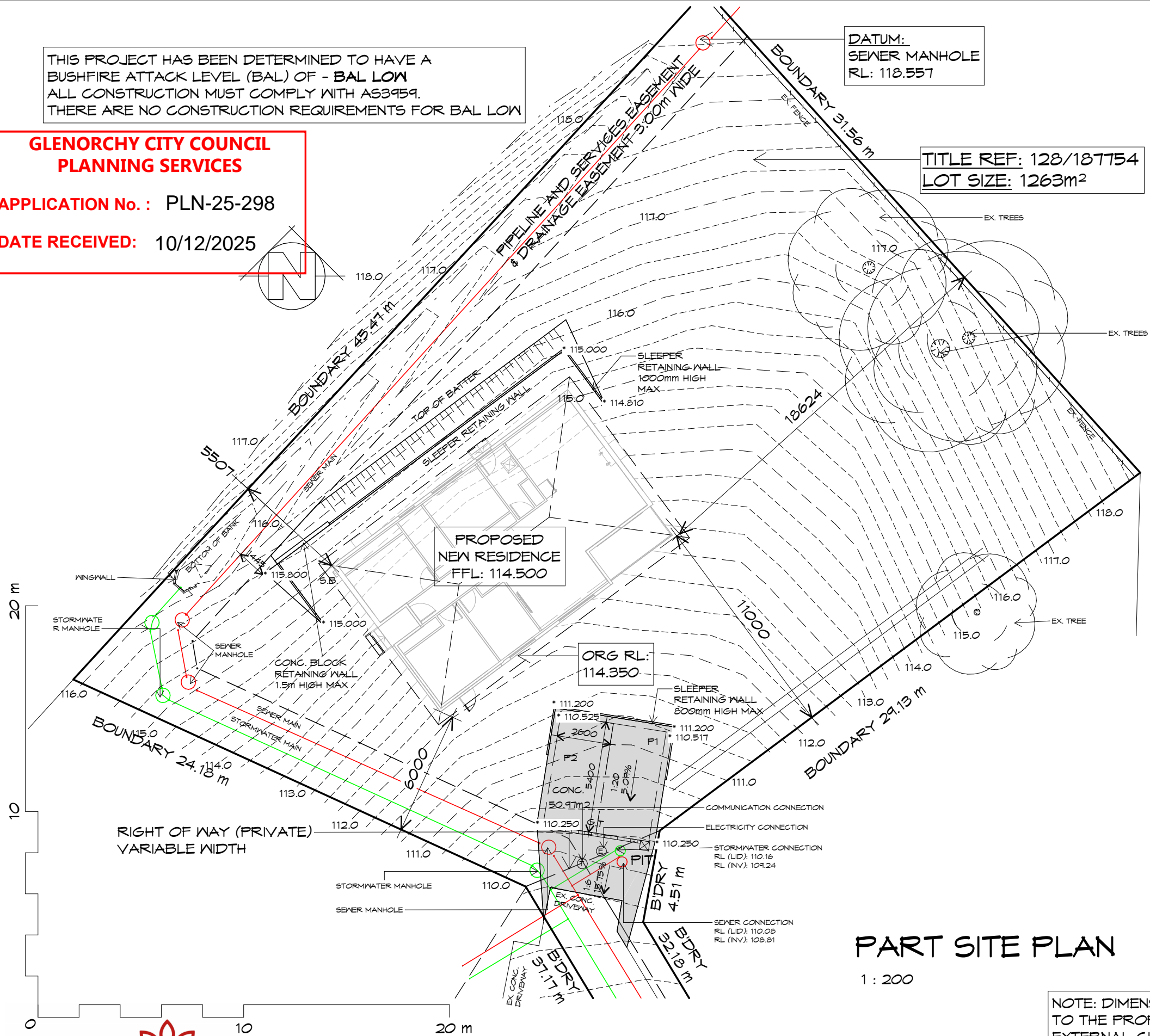
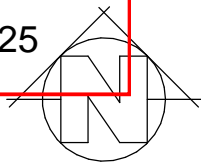
Drawing:
SITE PLAN

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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PART SITE PLAN

1 : 200

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Date: 05.11.2025 Drafted by: A.D. Approved by: Approver

Project/Drawing no: PD25263 - 02 Scale: 1 : 200 Revision: 07

Accredited building practitioner: Frank Gekus - No CC246A
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Client name:
K. GREEN

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

Drawing:
PART SITE PLAN

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

LEGEND

- PIT 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100Φ AG DRAIN
- G.T 150W GRATED TRENCH

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY

IMPERVIOUS SURFACE SLOPED AWAY FROM BUILDING

TRENCH BACKFILL PER TABLE

EMBANKMENT

GEOTEXTILE FILTER

AG DRAIN @ MIN. 1% GRADIENT

TYPICAL AG DRAIN DETAIL

N.T.S.



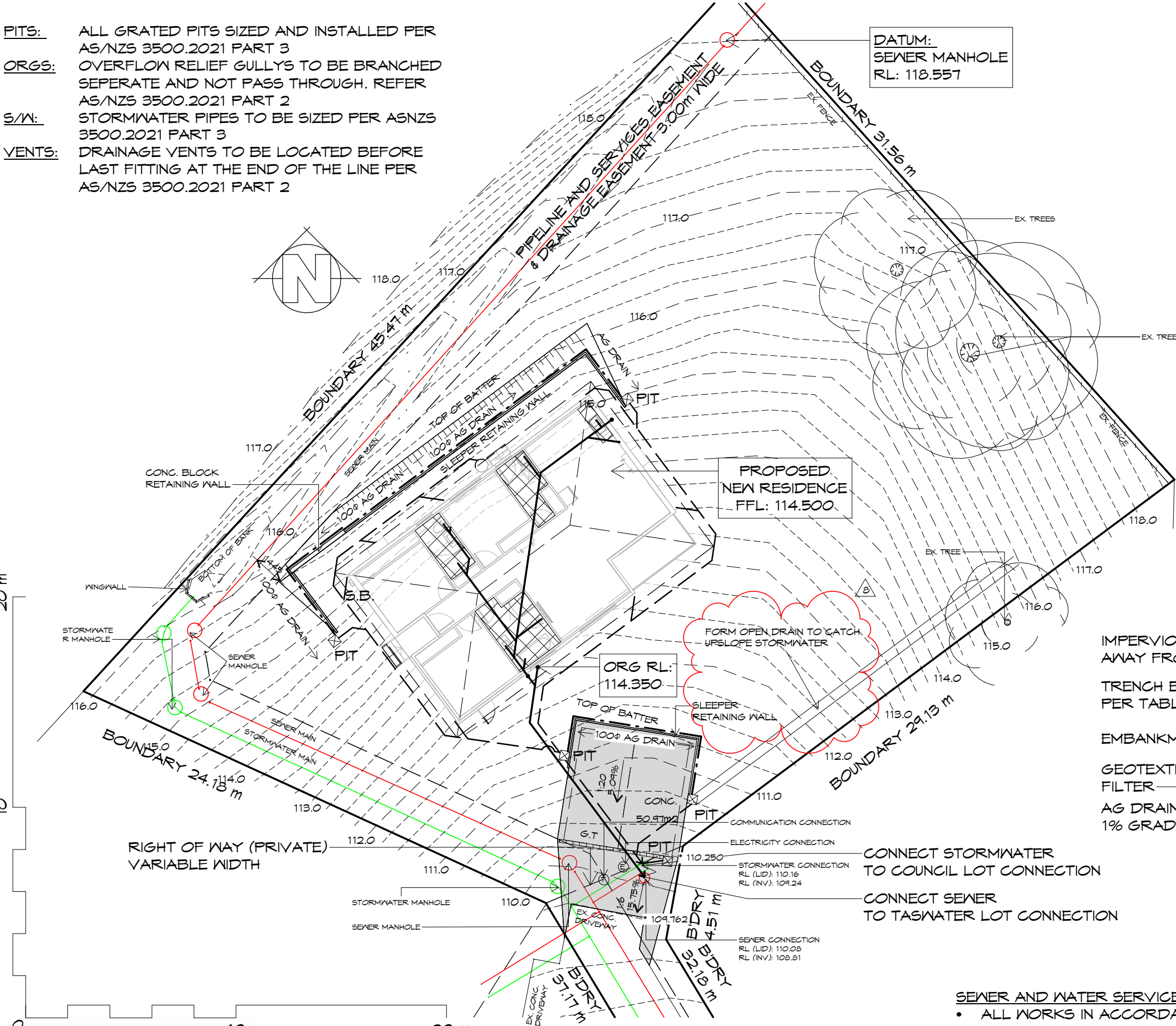
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Project/Drawing no: PD25263 - 03
Scale: As indicated
Revision: 07

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PART SITE DRAINAGE PLAN

1 : 200

- SEWER AND WATER SERVICES**
- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
 - WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

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K. GREEN

Project:
PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

Drawing:
PART SITE DRAINAGE PLAN

BUILDING
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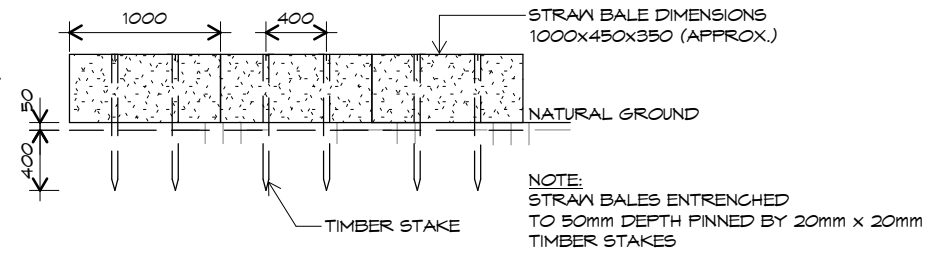
NOTE:
SOIL AND WATER MANAGEMENT CONTROLS TO BE
IN ACCORDANCE WITH EROSION AND SEDIMENT
CONTROL DOCUMENT BY DERWENT ESTUARY
PROGRAM & THE TAMAR ESTUARY AND ESK
RIVERS PROGRAM

DATUM:
SEWER MANHOLE
RL: 118.557

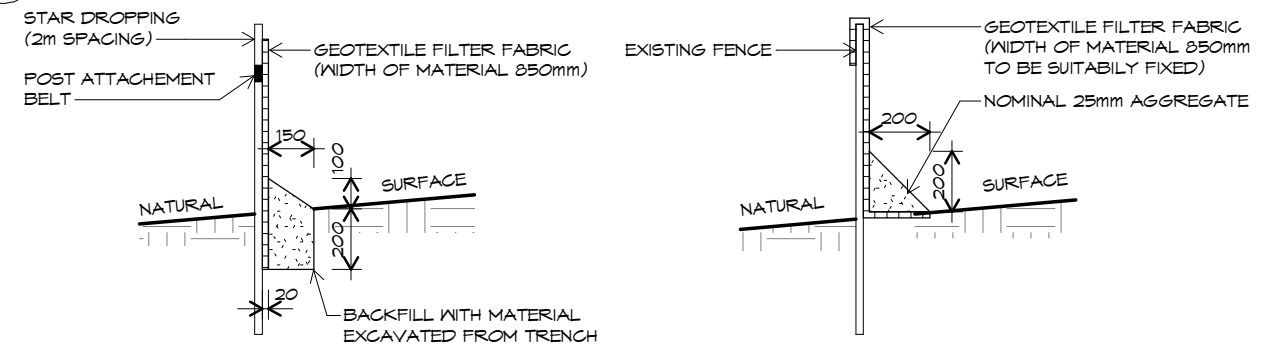
NOTES:
SEDIMENT & EROSION CONTROL MEASURES
SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING
THE SITE MUST BE INSTALLED PRIOR TO ANY
DISTURBANCE TO SITE

NOTES:
1. ALL EROSION & SEDIMENT CONTROL STRUCTURES
TO BE INSPECTED EACH WORKING DAY &
MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE
IMMEDIATE BUILDING AREA TO BE PRESERVED
DURING BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURE
TO BE INSTALL PRIOR TO COMMENCEMENT OF
MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE
COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO
THE WATER CONNECTION AS SOON AS PRACTICABLE
AFTER THE ROOF IS LAID

NOTES:
1. DIVERSION DRAINS ARE TO BE CONNECTED TO
LEGAL DISCHARGE POINT (COUNCIL
STORMWATER SYSTEM)
2. SEDIMENT RETENTION TRAPS INSTALLED AROUND
THE INLETS TO THE STORMWATER SYSTEM TO
PREVENT SEDIMENT & OTHER DEBRIS BLOCKING
THE DRAINS



STRAW BALE SEDIMENT
TRAP SECTION DETAILS
NTS



SILT STOP TYPE 1

TEMPORARY FENCE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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SILT STOP TYPE 2

EXISTING FENCE

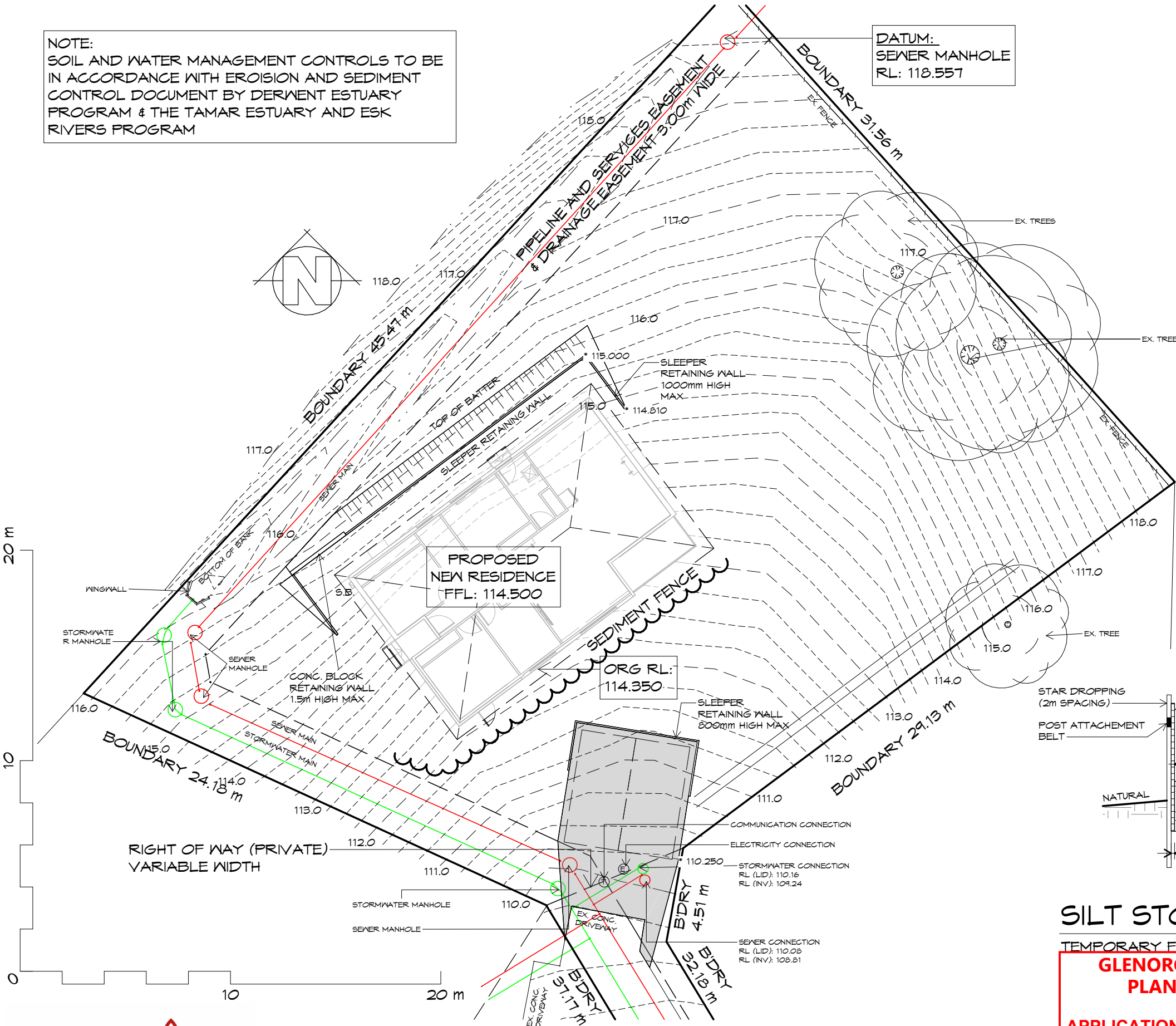
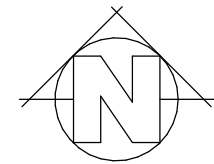
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Project/Drawing no: PD25263 - 04 Scale: As indicated Revision: 07

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PART SOIL & WATER MANAGMENT PLAN

1 : 200



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K. GREEN

BUILDING
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Project:
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60 KIEWA RISE,
LENAH VALLEY
Drawing:
SOIL & WATER MANAGEMENT PLAN

CUT/FILL SCHEDULE	
CUT VOLUME (m3)	FILL VOLUME (m3)
102.22	0.00

NOTE:
THE CUT AND FILL VOLUMES CALCULATED BY
REVIT ARE APPROXIMATE, GENERALLY
PROVIDING RESULTS WITH +/- 1% TO 2%
ACCURACY



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05.11.2025	A.D.	Approver

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PD25263 - 05	1 : 200	07

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LENAH VALLEY

Drawing:
CUT & FILL PLAN



PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED LOW DENSITY RESIDENTIAL AND REQUIRES A BUSHFIRE ASSESSMENT.
RESIDENCE IS OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR DETAILS

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
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LENAH VALLEY

Drawing:
LOCALITY PLAN

**Prime
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bdoo
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 05.11.2025 Drafted by: A.D. Approved by: Approver

Project/Drawing no: PD25263 - 06 Scale: 1 : 2000 Revision: 07

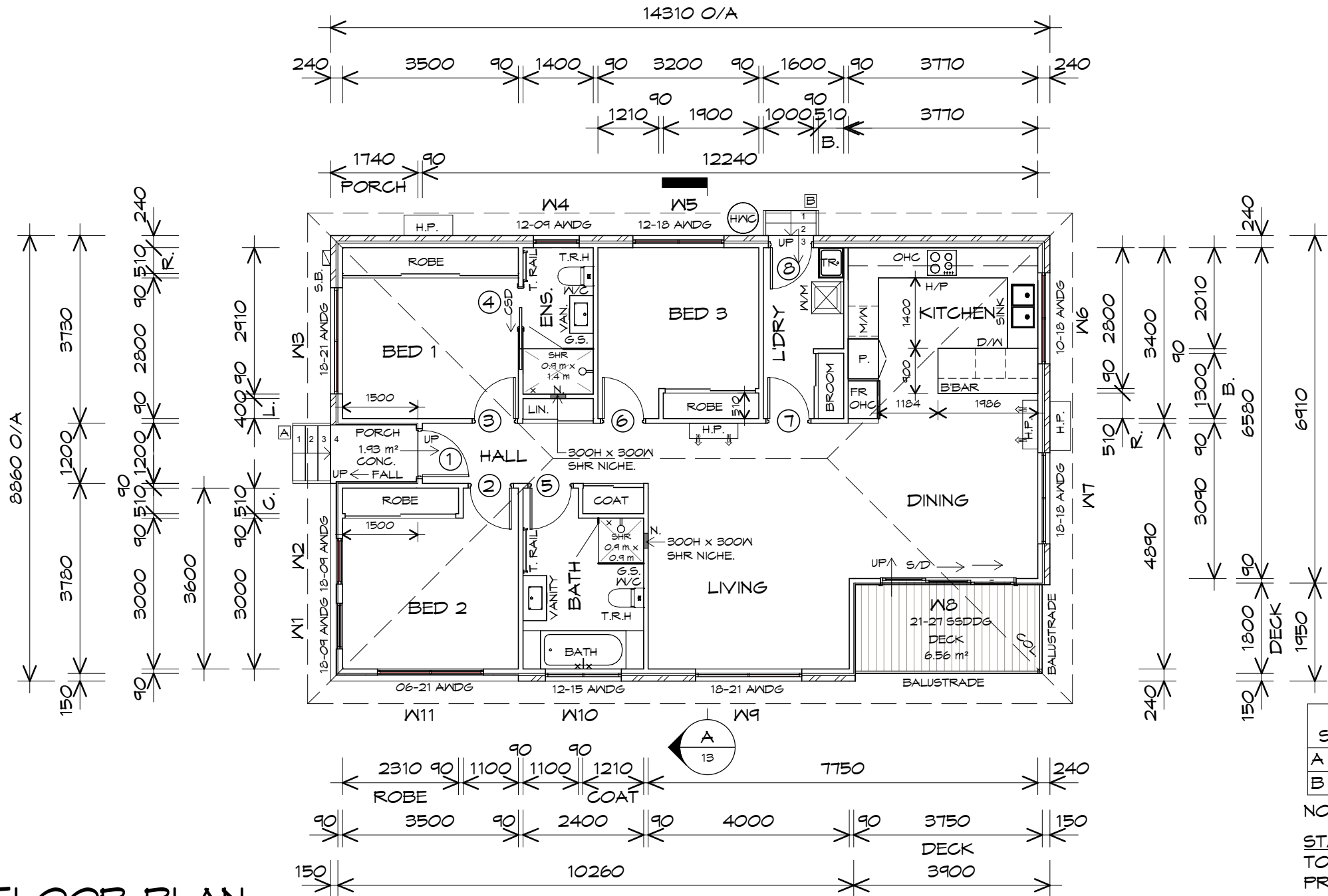
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NOTE:
WHERE LIGHT WEIGHT CLADDING IS
USED DIMENSIONS ARE TO FRAME ONLY
AND DO NOT INCLUDE LIGHT WEIGHT
CLADDING

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LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- O.H.C. OVERHEAD CUPBOARDS
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- T.RAIL TOWEL RAIL
- T.R.H TOILER ROLL HOLDER
- COL. 89X5.0 SHS COLUMN
TO ENGINEERS SPEC



**GLENORCHY CITY COUNCIL
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HANDRAIL
HANDRAIL REQUIRED TO AT LEAST
ONE SIDE OF RAMP OR
STAIRWAY IF HEIGHT MORE THAN 1m
TO COMPLY ABCB HOUSING
PROVISIONS PART 11.3

STAIRS			
STAIR	No RISERS	RISER H'T	TREAD DEPTH
A	4	163	250
B	3	167	250

NON SLIP TO COMPLY NCC 2022

STAIRS
TO COMPLY ABCB HOUSING
PROVISIONS PART 11.2

FLOOR PLAN

1 : 100

FLOOR AREA	115.29 m2 (12.41 SQUARES)
TOTAL AREA	115.29 12.41

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED
SEPARATELY.

WINDOW WITHIN NET AREA
C/W SAFETY GLASS AS PER AS1288.2021
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

SANITARY COMPARTMENTS
MAINTAIN A CLEAR SPACE OF AT LEAST
1.2m BETWEEN THE CLOSET PAN AND
NEAREST PART OF THE DOORWAY.
OTHERWISE ENSURE REMOVABLE
HINGES ARE INSTALLED TO SWING
DOORS TO COMPLY ABCB HOUSING
PROVISIONS PART 10.4



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60 KIEWA RISE,
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FLOOR PLAN

BUILDING
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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	GLAZED EXTERNAL DOOR	
9	820	EXTERNAL SOLID DOOR	SUBFLOOR DOOR; 1800 HIGH TBC ON-SITE

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1800	2110	AWNING WINDOW	
W4	1200	910	AWNING WINDOW	OPAQUE
W5	1200	1810	AWNING WINDOW	
W6	1000	1810	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	2100	2700	STACKING SLIDING DOOR	
W9	1800	2110	AWNING WINDOW	
W10	1200	1510	AWNING WINDOW	OPAQUE
W11	600	2110	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

ARTIFICIAL LIGHTING					
ROOM	FLOOR AREA	m2	ALLOWANCE	W/m2	TOTAL POWER LOAD
BATH	7.86	m2	5.00	W/m2	39.30 W
BED 1	9.80	m2	5.00	W/m2	49.00 W
BED 2	11.16	m2	5.00	W/m2	55.80 W
BED 3	9.69	m2	5.00	W/m2	48.43 W
BROOM	0.66	m2	5.00	W/m2	3.32 W
COAT	0.62	m2	5.00	W/m2	3.09 W
DINING	6.93	m2	5.00	W/m2	34.65 W
ENS.	4.07	m2	5.00	W/m2	20.37 W
HALL	10.35	m2	5.00	W/m2	51.75 W
KITCHEN	17.85	m2	5.00	W/m2	89.23 W
L'DRY	4.61	m2	5.00	W/m2	23.03 W
LIN.	0.56	m2	5.00	W/m2	2.80 W
LIVING	14.57	m2	5.00	W/m2	72.84 W
ROBE	0.97	m2	5.00	W/m2	4.85 W
ROBE	1.18	m2	5.00	W/m2	5.89 W
ROBE	1.79	m2	5.00	W/m2	8.93 W
DECK	6.56	m2	4.00	W/m2	26.25 W
PORCH	1.93	m2	4.00	W/m2	7.72 W
TOTALS	111.15	m2			547.24 W

ARTIFICIAL LIGHTING
THE ABOVE TABLE ILLUSTRATES THE MAXIMUM ALLOWANCE OF
POWER LOAD TO THE TYPE OF SPACE AS PER NCC 2019 PART
3.12.5.5.

ARTIFICIAL LIGHTING MUST NOT EXCEED:
• 5W/m2 FOR CLASS 1 BUILDING
• 4W/m2 FOR VERANDAHS & BALCONIES
• 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-298

DATE RECEIVED: 10/12/2025



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Date:	Drafted by:	Approved by:
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Accredited building practitioner: Frank Geskus -No CC246A COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd		

REV.	DATE	DESCRIPTION
7	05.11.2025	PRELIM BA ISSUE
8	11.11.2025	ADDRESS PLANNING RFI

Client name:
K. GREEN



Project:
PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

Drawing:
DOOR AND WINDOW SCHEDULES

FASCIA
COLORBOND FOLDED METAL
-GUTTER TO CLIENTS SPEC
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE
WITH THE MANUFACTURER'S
INSTRUCTIONS.
COLOUR TO BE SELECTED

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

BALUSTRADE
HANDRAIL TO BE 1020mm HIGH
MINIMUM 865 MINIMUM FOR STAIRS
POSTS AT A MAXIMUM SPACING OF 1800mm
90x19 VERTICALS
WITH 125mm GAP OR LESS
90x45 TOP AND BOTTOM RAIL
TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3

DAMP PROOF COURSE
TO BE INSTALLED UNDER EXTERNAL
MASONRY ON SLABS OR FOOTINGS,
SHALL BE OF SUFFICIENT WIDTH TO
PROJECT PAST THE EXTERNAL FACE
OF THE WALL.
ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

CAVITY VENTILATION AND DRAINAGE-
OPEN WEEPHOLES TO BRICK COURSE
IMMEDIATELY ABOVE ANY DPC
OR FLASHING AT NOT MORE THAN 1200 CRS.
SILL AND HEAD FLASHING INSTALLED
IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 5.7.4 & 5.7.5

BRICK TIE SPACINGS
FOR 450mm STUD SPACING
TYPICAL 600x450 SPACING 300x225 AT
OPENINGS AND CONTROL JOINTS
REFER TO ABCB HOUSING PROVISIONS
PART 5.6.5 / AS2699.1 FOR FURTHER
DETAILS

BUILDING MEMBRANE
IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 10.8.1
PLIABLE BUILDING MEMBRANE INSTALLED
TO EXTERIOR OF FRAMEWORK, TO BE
VAPOUR PERMEABLE TO COMPLY WITH
AS4200.1 & BE INSTALLED TO AS4200.2

FLASHINGS TO WALL OPENINGS
OPENINGS IN EXTERNAL WALL CLADDING
EXPOSED TO WEATHER MUST BE FLASHED
WITH MATERIAL COMPLYING WITH AS/NZS
2904 TO TOP, BOTTOM & SIDES OF
OPENINGS. FLASHINGS MUST BE SUITABLE
FOR FRAMING & CLADDING USED. TO
COMPLY ABCB HOUSING PROVISIONS PART
7.5.6

GLAZING
ALL GLAZING IS TO COMPLY WITH ABCB
HOUSING PROVISIONS PART 8
IN PARTICULAR THAT THE GLAZING IN
THE WINDOW LOCATED OVER THE BATH/
SHOWER INSTALLATION TO COMPLY WITH
HUMAN IMPACT SAFETY REQUIREMENTS,
SECTION 5.8 OF AS1288
WINDOWS TO BE SEALED IN
ACCORDANCE WITH AS2047
ALL GLASS INSTALLATIONS INCLUDING
ROOFS, WINDOW AND DOORS TO BE
TAGGED ON-SITE OR GLAZIER TO
SUPPLY COMPLIANCE CERTIFICATE
AT FINAL INSPECTION.

PROTECTION OF WINDOWS

- PROTECTION IS TO BE PROVIDED TO A
BEDROOM WINDOW IF THE FINISHED
FLOOR LEVEL OF THE BEDROOM HAS A
HEIGHT GREATER THAN 2M FROM THE
FINISHED GROUND LEVEL AND WHERE THE
LOWEST LEVEL OF THE WINDOW OPENING
IS WITHIN 1.7M MEASURED FROM THE
FINISHED FLOOR LEVEL OF THE
BEDROOM FLOOR.
- ALL BARRIERS, DEVICES AND
OPERATION OF PROTECTED WINDOWS
ARE TO COMPLY WITH ABCB HOUSING
PROVISIONS PART 11.3.7

SUB-FLOOR VENTILATION
PROVIDE EVENLY SPACED VENTILATION
OPENINGS TO SUB-FLOOR STRICTLY IN
ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 6.2
CLIMATE ZONE 7 TO BE ADOPTED.
6000mm SQ PER METRE OF WALL
REFER TO MANUFACTURE SPECS.
240mm x 86mm VENTS @ 1000 CRS

MINIMUM CLEARANCE BETWEEN CLADDING & GROUND

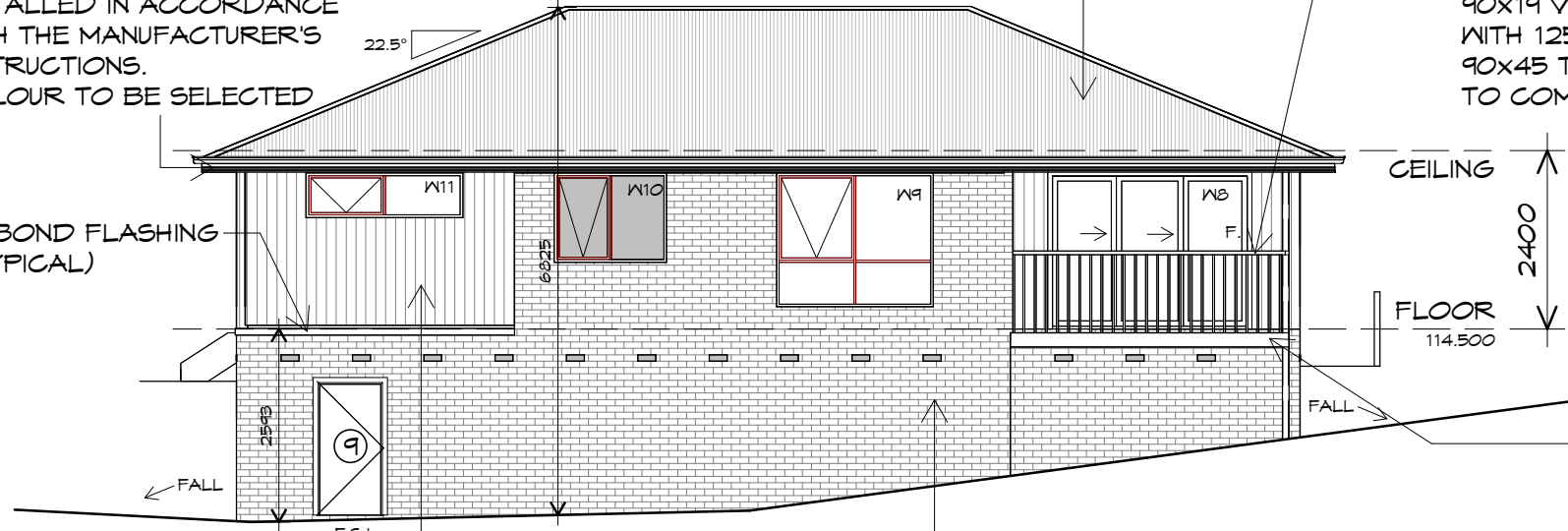
- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE
AWAY. CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW
BEARER OR LOWEST POINT OF SUSPENDED FLOOR
FRAMING. TO COMPLY WITH ABCB HOUSING
PROVISIONS PART 7.5.7

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

EAVES
OVER HANG ROOF 450mm U.N.O.
FRAME FOR LEVEL EAVES
LINE ALL SOFFITS
WITH HARDIFLEX SHEETING.
IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.5.5

WINDOWS
POWDER COATED ALUMINIUM WINDOW
FRAMES AWNING OPENING
REVEALS AND TRIMS TO CLIENTS SPEC.
ALL FLASHING TO MANUFACTURERS
SPECIFICATION
BRICK ON EDGE EXTERNAL SILLS
REFER AS 1288, AS 2047 & ABCB
HOUSING PROVISIONS PART 8.2



SOUTH EASTERN ELEVATION

1 : 100

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

LINE U/S WITH HARDIFLEX
INSTALL AS PER MANUFACTURERS
SPECIFICATION

100Φ AG DRAIN

ENGINEERED RETAINING WALL
TO ENGINEERS SPECIFICATION.
REFER TO STRUCTURAL ENGINEERS
DRAWINGS.

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

SOUTH WESTERN ELEVATION

1 : 100



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K. GREEN

Project:
PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

Drawing:
ELEVATIONS

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

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Date: 05.11.2025 Drafted by: A.D. Approved by: Approver

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Accredited building practitioner: Frank Geskus - No CC246A
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EAVES
OVER HANG ROOF 450mm U.N.O.
FRAME FOR LEVEL EAVES
LINE ALL SOFFITS
WITH HARDIFLEX SHEETING.
IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.5.5

LINE U/S WITH HARDIFLEX
INSTALL AS PER MANUFACTURERS
SPECIFICATION

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

FASCIA
COLORBOND FOLDED METAL
-GUTTER TO CLIENTS SPEC
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE
WITH THE MANUFACTURER'S
INSTRUCTIONS.
COLOUR TO BE SELECTED

DAMP PROOF COURSE
TO BE INSTALLED UNDER EXTERNAL
MASONRY ON SLABS OR FOOTINGS,
SHALL BE OF SUFFICIENT WIDTH TO
PROJECT PAST THE EXTERNAL FACE
OF THE WALL.
ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

CAVITY VENTILATION AND DRAINAGE
OPEN WEEPHOLES TO BRICK COURSE
IMMEDIATELY ABOVE ANY DPC
OR FLASHING AT NOT MORE THAN 1200 CRS.
SILL AND HEAD FLASHING INSTALLED
IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 5.7.4 & 5.7.5

BRICK TIE SPACINGS
FOR 450mm STUD SPACING
TYPICAL 600x450 SPACING 300x225 AT
OPENINGS AND CONTROL JOINTS
REFER TO ABCB HOUSING PROVISIONS
PART 5.6.5 / AS2699.1 FOR FURTHER
DETAILS

BUILDING MEMBRANE
IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 10.8.1
PLIABLE BUILDING MEMBRANE INSTALLED
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VAPOUR PERMEABLE TO COMPLY WITH
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FLASHINGS TO WALL OPENINGS
OPENINGS IN EXTERNAL WALL CLADDING
EXPOSED TO WEATHER MUST BE FLASHED
WITH MATERIAL COMPLYING WITH AS/NZS
2904 TO TOP, BOTTOM & SIDES OF
OPENINGS. FLASHINGS MUST BE SUITABLE
FOR FRAMING & CLADDING USED. TO
COMPLY ABCB HOUSING PROVISIONS PART
7.5.6

GLAZING
ALL GLAZING IS TO COMPLY WITH ABCB
HOUSING PROVISIONS PART 8
IN PARTICULAR THAT THE GLAZING IN
THE WINDOW LOCATED OVER THE BATH/
SHOWER INSTALLATION TO COMPLY WITH
HUMAN IMPACT SAFETY REQUIREMENTS,
SECTION 5.8 OF AS1288
WINDOWS TO BE SEALED IN
ACCORDANCE WITH AS2047
ALL GLASS INSTALLATIONS INCLUDING
ROOFS, WINDOW AND DOORS TO BE
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ASSOCIATION OF AUSTRALIA

Date: 05.11.2025 Drafted by: A.D. Approved by: Approver

Project/Drawing no: PD25263 - 11 Scale: 1 : 100 Revision: 07

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NORTH WESTERN ELEVATION

1 : 100

WINDOWS
POWDER COATED ALUMINIUM WINDOW
FRAMES AWNING OPENING
REVEALS AND TRIMS TO CLIENTS SPEC.
ALL FLASHING TO MANUFACTURERS
SPECIFICATION

BRICK ON EDGE EXTERNAL SILLS
REFER AS 1288, AS 2047 & ABCB
HOUSING PROVISIONS PART 8.2

SCYON AXON 133mm VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.

LINE U/S WITH HARDIFLEX
INSTALL AS PER MANUFACTURERS
SPECIFICATION

C/BOND FLASHING
(TYPICAL)

TIMBER DECK
ALL TIMBER FRAMING GENERALLY IS TO COMPLY
WITH THE REQUIREMENTS OF A.S.1684
ALL EXTERNAL DECK COMPONENTS TO BE
TAN E TREATED PINE (F5)
ALL EXPOSED FIXTURES, BOLTS ETC. TO BE
HOT DIPPED GALVANIZED.
REFER AS 1684, AS1720.1 & NCC 2022 H1D6
FIXING TO EXTERNAL WALL TO COMPLY WITH
ABCB HOUSING PROVISIONS PART 12.3.2

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

BALUSTRADE
HANDRAIL TO BE 1020mm HIGH
MINIMUM 865 MINIMUM FOR STAIRS
POSTS AT A MAXIMUM SPACING OF 1800mm
90x19 VERTICALS
WITH 125mm GAP OR LESS
90x45 TOP AND BOTTOM RAIL
TO COMPLY WITH ABCB HOUSING
PROVISIONS PART 11.3

SUB-FLOOR VENTILATION
PROVIDE EVENLY SPACED VENTILATION
OPENINGS TO SUB-FLOOR STRICTLY IN
ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 6.2
CLIMATE ZONE 7 TO BE ADOPTED.
6000mm SQ PER METRE OF WALL
REFER TO MANUFACTURE SPECS.
240mm x 86mm VENTS @ 1000 CRS

ENGINEERED RETAINING WALL
TO ENGINEERS SPECIFICATION.
REFER TO STRUCTURAL ENGINEERS
DRAWINGS.

MINIMUM CLEARANCE BETWEEN CLADDING & GROUND

- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY. CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW
BEARER OR LOWEST POINT OF SUSPENDED FLOOR
FRAMING. TO COMPLY WITH ABCB HOUSING
PROVISIONS PART 7.5.7

NORTH EASTERN ELEVATION

1 : 100

CUNIC homes
Built for you

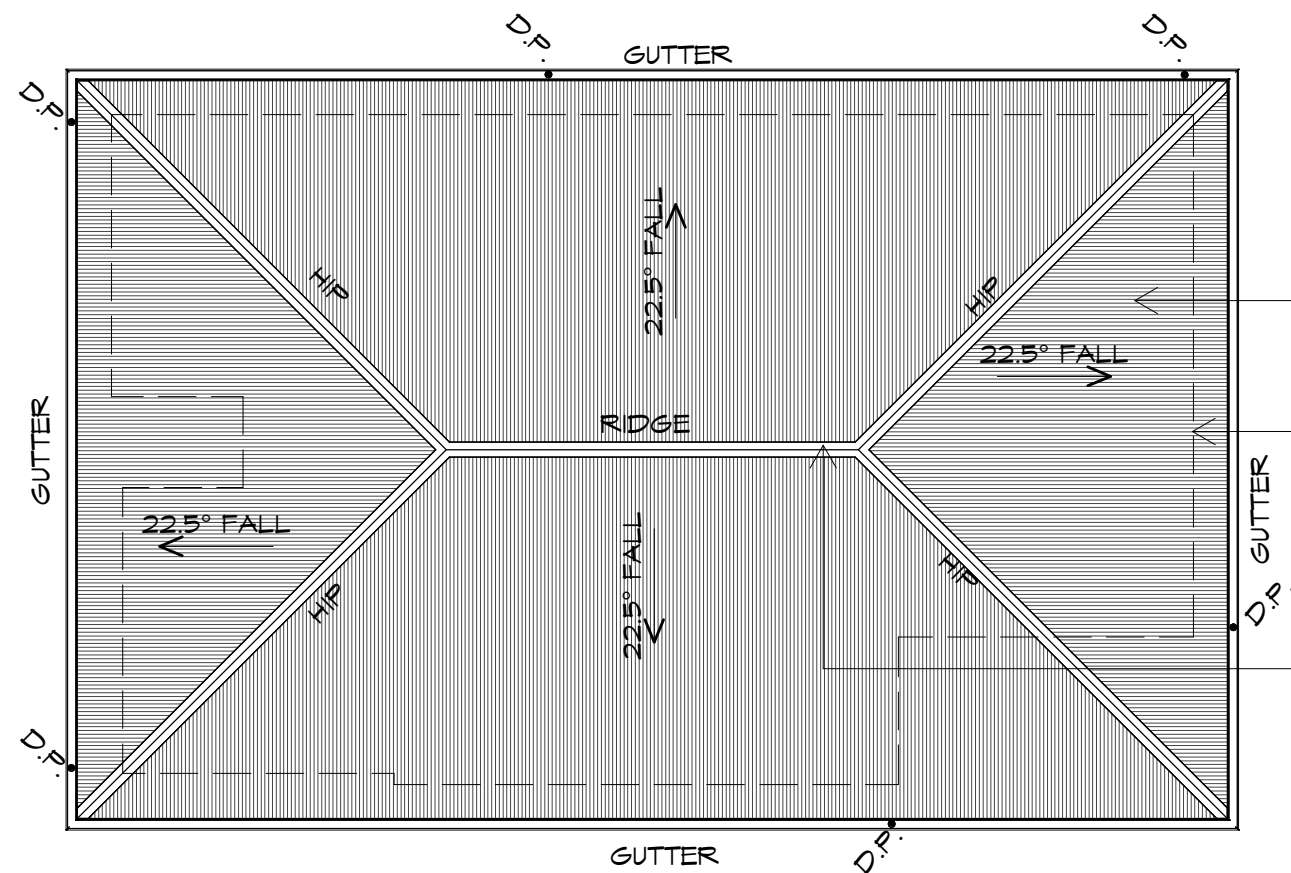
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Client name:
K. GREEN

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

Drawing:
ELEVATIONS



ROOF PLAN

1 : 100

OVERFLOW MEASURES
INSTALL FRONT FACE SLOTTED GUTTER OR 10mm CONTROLLED BACK GAP, STAND OFF BRACKET WITH SPACER.
BACK OF GUTTER INSTALLED A MINIMUM OF 10mm BELOW THE TOP OF FASCIA
INSTALL IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.6

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

EAVE VENTS
EVENLY DISTRIBUTED
@ NOMINAL CRS PER
TABLE THIS PAGE

ROOFING SISALATION
ROOFING SISALATION IS TO BE DISCONTINUOUS (CUT BACK TO TOP BATTENS) AT THE RIDGE PROVIDING RIDGE VENTILATION IN ACCORDANCE WITH 10.8.3 OF THE HOUSING PROVISIONS

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ROOF VENTILATION 15-75deg (TABLE 10.8.3.)

COMMENTS	LENGTH (m)	SUPPLY AREA REQUIRED (mm2)	EXHAUST AREA REQUIRED (mm2)	VENT WIDTHS (mm)	VENT LENGTHS (mm)	OPENING %	SUPPLY VENTS REQUIRED (#)	EXHAUST VENTS REQUIRED (#)
SUPPLY	15.2	106400.00		220	420	25%	10	
EXHAUST	15.2		76000	50	5450	100%		1

VENTILATION TO COMPLY WITH ABCB HOUSING PROVISIONS 2022, PART 10.8.3

- SUPPLY AREA: 7,000mm²/m
 - EXHAUST AREA: 5,000mm²/m
- (INT REF 01052025)

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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BUILDING
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PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

Drawing:
ROOF PLAN

**Prime
Design**

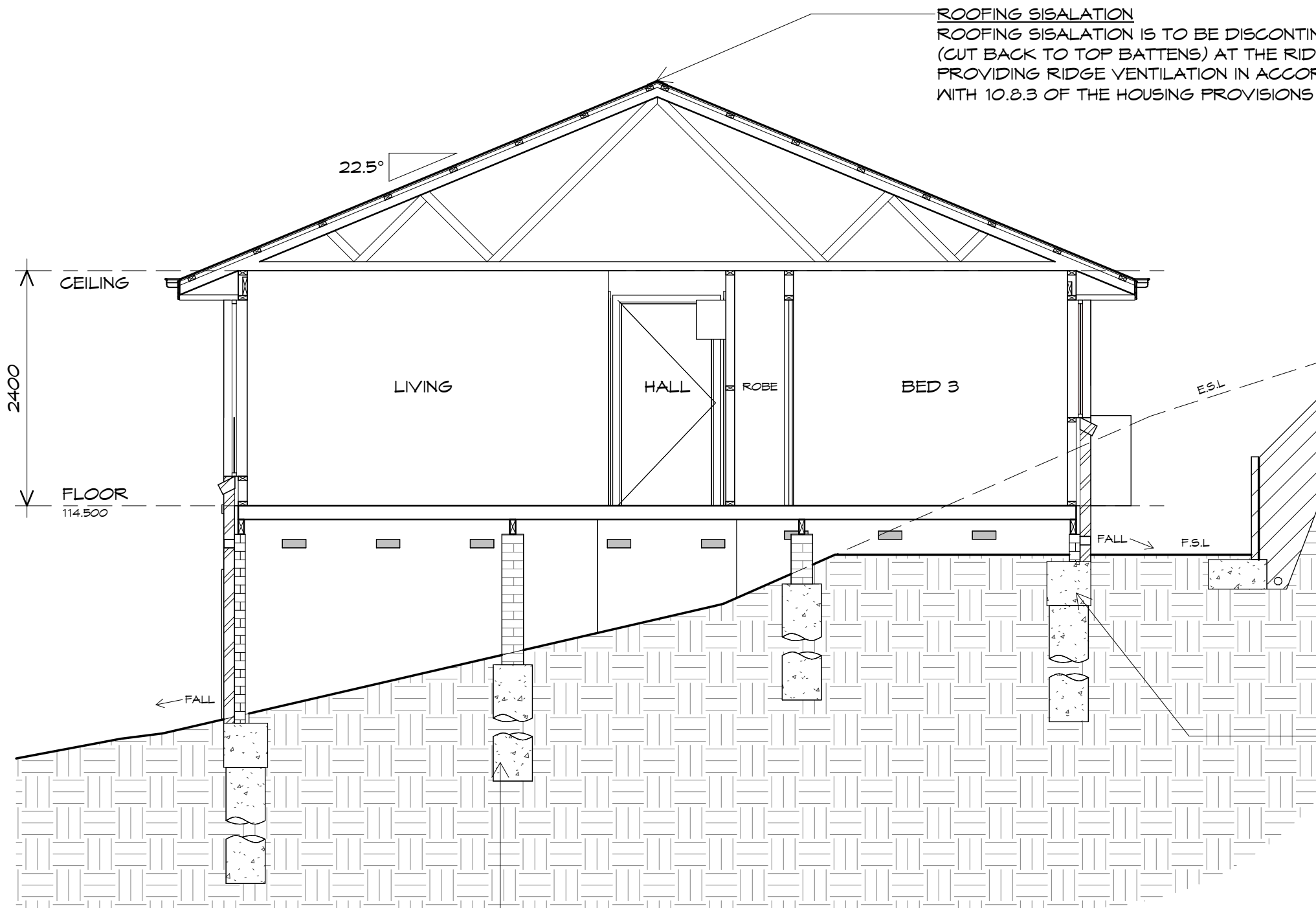
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Accredited building practitioner: Frank Geskus - No CC246A
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ROOFING SISALATION
ROOFING SISALATION IS TO BE DISCONTINUOUS (CUT BACK TO TOP BATTENS) AT THE RIDGE PROVIDING RIDGE VENTILATION IN ACCORDANCE WITH 10.8.3 OF THE HOUSING PROVISIONS

ROOF FRAMING (TRUSSES)
CUSTOM ORB OR SIMILAR APPROVED SHEET ROOFING
COLORBOND COLOUR TO SELECTION, OVER 70x35 MGP12 NAILING BATTENS AT 900 CRS OR DOUBLE BATTEN
ALTERNATIVE 70x35 MGP12 NAILING BATTENS AT 900 CRS, OVER 70x35 MGP12 COUNTER BATTENS AT 900 CRS, RUNNING PERPENDICULAR TO PRIMARY BATTENS AND APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO DOUBLE TOP PLATE.
WIND BRACING TO COMPLY WITH AS1684

BATHROOM WATER PROOFING
UNENCLOSED AND ENCLOSED SHOWER AREAS TO BE WATERPROOF TO ENTIRE SHOWER AREA
AREAS OUTSIDE SHOWER AREA AND BATH/SPA;
• TIMBER FLOORS TO BE WATER PROOF OVER ENTIRE SURFACE
• CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOOR TO HAVE WATER RESISTANT TO ENTIRE SURFACE
REFER TO ABCB HOUSING PROVISIONS PART 10.2 FOR ALTERNATIVES
BATH/FLOOR & WALL FLOOR JUNCTIONS MUST BE WATER PROOFED TO 25mm ABOVE FINISHED FLOOR LEVEL
A "WATERSTOP" ANGLE IS REQUIRED AT DOORWAYS FLUSH WITH FINISHED SURFACE LEVEL, PER ABCB HOUSING PROVISIONS PART 10.2 & AS3740. REFER TO DETAILS IN DRAWING SET.

SLABS & FOOTINGS
ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY BUILDING SURVEYOR BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE.
REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS.
REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

PAINTING
DO ALL INTERNAL AND EXTERNAL PAINTING REQUIRED ALL AT LEAST EQUAL TO FIRST CLASS TRADE STANDARD. ALL INTERNAL WOODWORK TO CLEAR NATURAL SATIN FINISH.

PLASTER
LINE WALLS AND CEILING INTERNALLY WITH 10mm PLASTERBOARD SHEETING. METAL FURRING CHANNEL @ 450 CRS VILLABOARD OR EQUA WALL LINING TO WET AREAS AS SPECIFIED & TO COMPLY WITH ABCB HOUSING PROVISIONS PART 10.2.

FLOORING
INSTALLATION OF PARTICLE FLOORING TO COMPLY WITH AS1860.2

REFER TO ENGINEERS DRAWINGS FOR SLAB DETAILS

WALL FRAMING
ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF THE NCC 2022 H1D6, AS1684 & AS1720
WALL FRAMING TO BE MGP10 RADIATA COMMON STUDS - 90x35
NOGGIN'S - 90x35
TOP AND BOTTOM PLATES - 90x35

ARCHITRAVES
ARCHITRAVES AND SKIRTINGS TO CLIENT SPEC

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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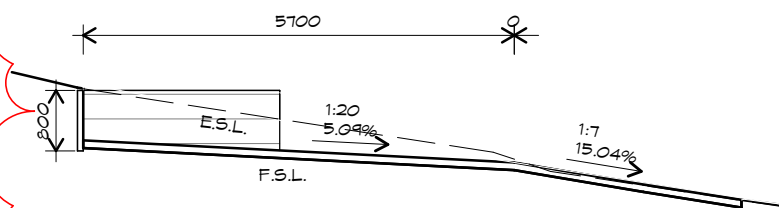
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BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

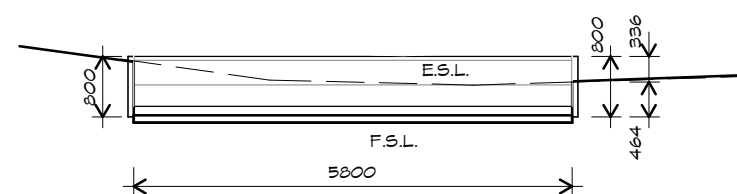
Project:
PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

Drawing:
SECTION



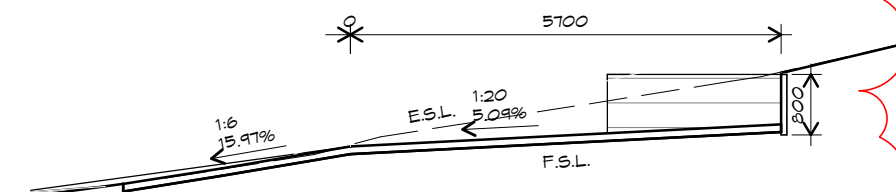
DRIVEWAY EASTERN ELEVATION

1 : 100



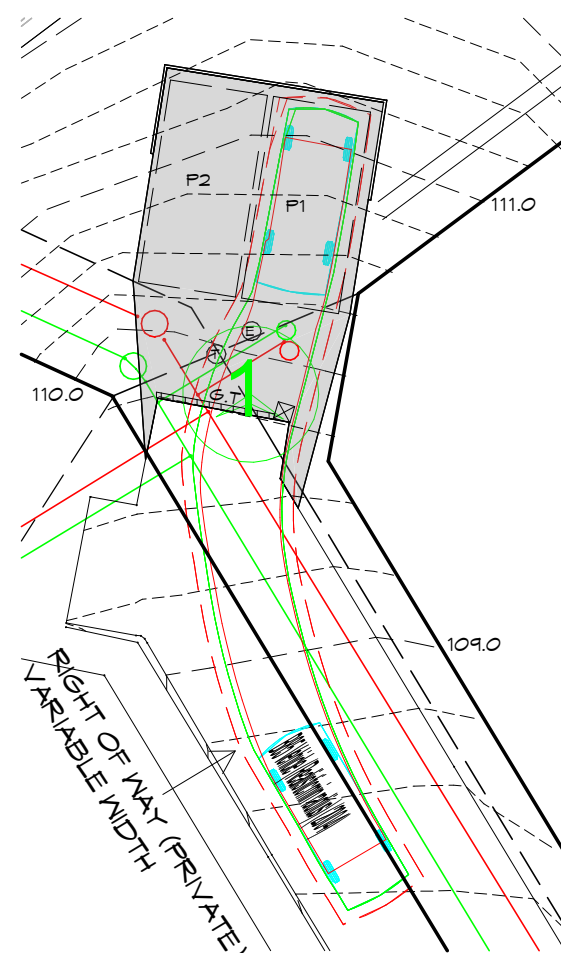
DRIVEWAY NORTHERN ELEVATION

1 : 100



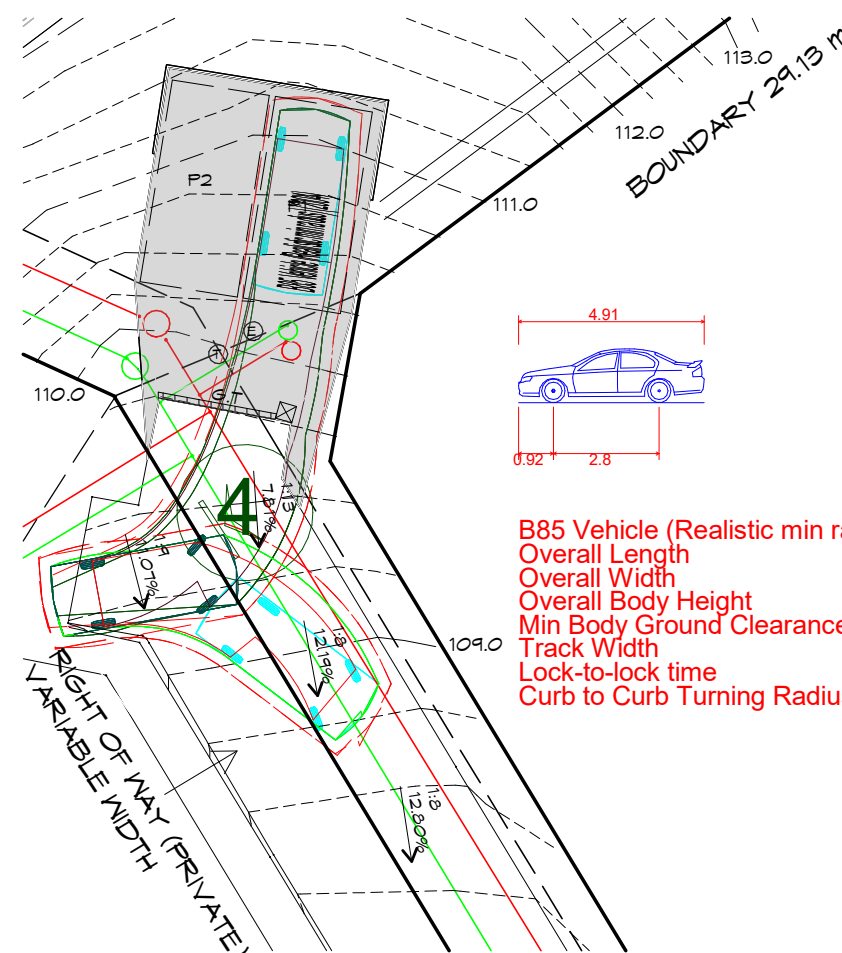
DRIVEWAY WESTERN ELEVATION

1 : 100



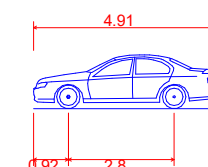
TURNING MOVEMENT - P1 IN

1 : 200



TURNING MOVEMENT - P1 OUT

1 : 200



B85 Vehicle (Realistic min radius) (2004)
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Curb to Curb Turning Radius

4.910m
1.870m
1.420m
0.159m
1.770m
4.00s
5.750m
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-298
DATE RECEIVED: 10/12/2025



REV.	DATE	DESCRIPTION
7	05.11.2025	PRELIM BA ISSUE
8	11.11.2025	ADDRESS PLANNING RFI

Client name:
K. GREEN

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

Drawing:
DRIVEWAY ELEVATIONS & TURNING CIRCLES

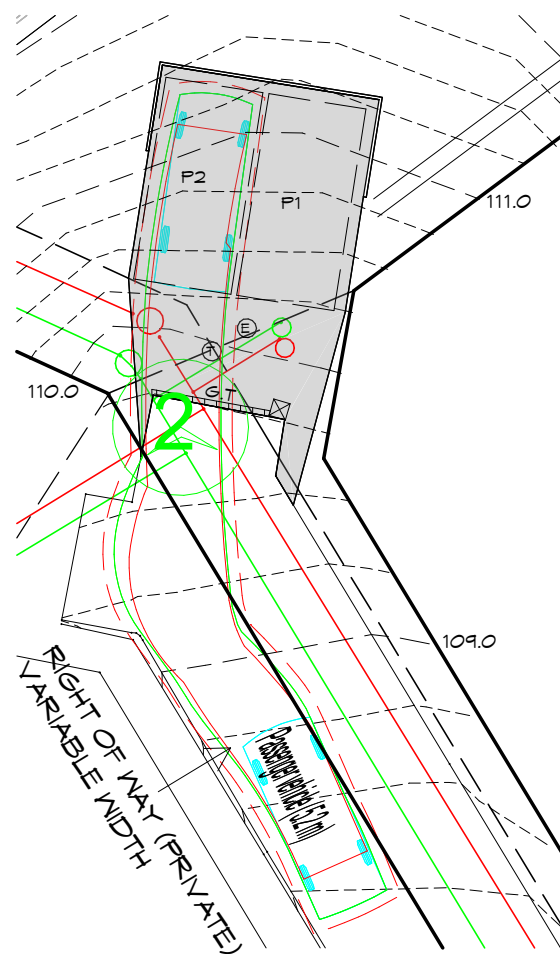
**Prime
Design**

L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
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info@primedesigntas.com.au primedesigntas.com.au

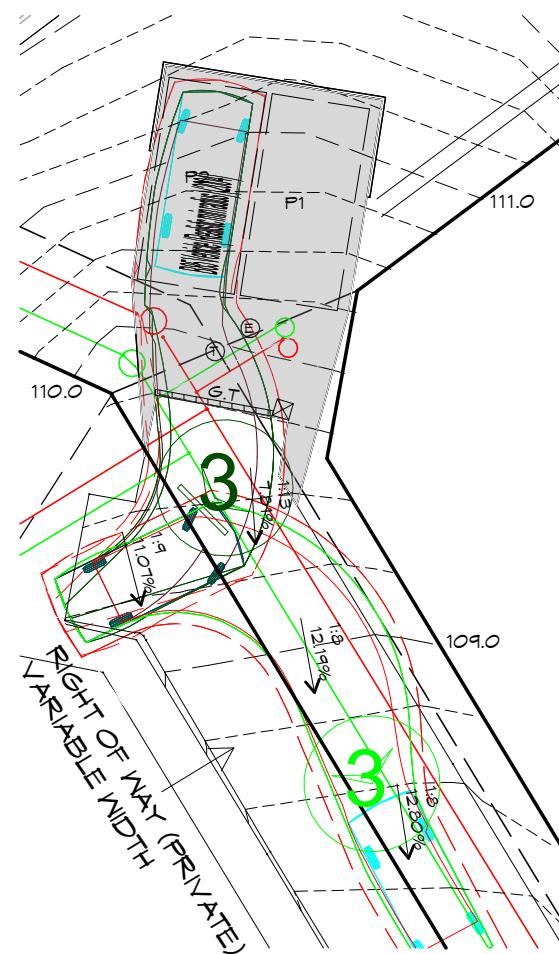
bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 11.11.2025	Drafted by: Author	Approved by: Approver
Project/Drawing no: PD25263 - 20	Scale: As indicated	Revision: 08

Accredited building practitioner: Frank Geskus - No CC246A
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TURNING MOVEMENT - P2 IN
1 : 200



TURNING MOVEMENT - P2 OUT
1 : 200

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-298

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REV.	DATE	DESCRIPTION
7	05.11.2025	PRELIM BA ISSUE
8	11.11.2025	ADDRESS PLANNING RFI

Client name:
K. GREEN

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
60 KIEWA RISE,
LENAH VALLEY

Drawing:
TURNING CIRCLES

Date: 11.11.2025	Drafted by: Author	Approved by: Approver
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Project/Drawing no: PD25263 - 21	Scale: 1 : 200	Revision: 08
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