

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-25-328
<b>PROPOSED DEVELOPMENT:</b>	Residential (Dwelling)
<b>LOCATION:</b>	42 Kiewa Rise Lenah Valley
<b>APPLICANT:</b>	Cunic Homes
<b>ADVERTISING START DATE:</b>	13/02/2026
<b>ADVERTISING EXPIRY DATE:</b>	27/02/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **27/02/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **27/02/2026**, or for postal and hand delivered representations, by 5.00 pm on **27/02/2026**.

# PROPOSED NEW RESIDENCE

42 KIEWA RISE,  
LENAH VALLEY

LV PROPERTY INVESTMENTS PTY LTD

PD24322



BUILDING

## BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	PART SITE PLAN
03	SITE DRAINAGE PLAN
04	CUT/FILL PLAN
05	SOIL & WATER MANAGEMENT PLAN
06	LOCALITY PLAN
07	GROUND FLOOR PLAN - NOTATION
08	GROUND FLOOR PLAN - DIMENSION
09	FIRST FLOOR PLAN - NOTATION
10	FIRST FLOOR PLAN - DIMENSION
11	DOOR AND WINDOW SCHEDULES
12	LHDS PLAN
13	ELEVATIONS
14	ELEVATIONS
15	ELEVATIONS

## BUILDING DRAWINGS

No	DRAWING
16	ELEVATIONS
17	ROOF PLAN
18	SECTION
19	SECTION
20	SECTION
21	DRIVEWAY SECTION/ELEVATION
29	PERSPECTIVES

GLENORCHY CITY COUNCIL  
PLANNING SERVICES

APPLICATION No. : PLN-25-238

DATE RECEIVED: 28 January 2026



LOWER GROUND FLOOR AREA	76.43	m <sup>2</sup>	( 8.23	SQUARES )
GARAGE AREA	40.98	m <sup>2</sup>	( 4.41	SQUARES )
UPPER GROUND FLOOR AREA	57.49	m <sup>2</sup>	( 6.19	SQUARES )
FIRST FLOOR AREA	91.51	m <sup>2</sup>	( 9.85	SQUARES )
TOTAL AREA	266.41		28.68	

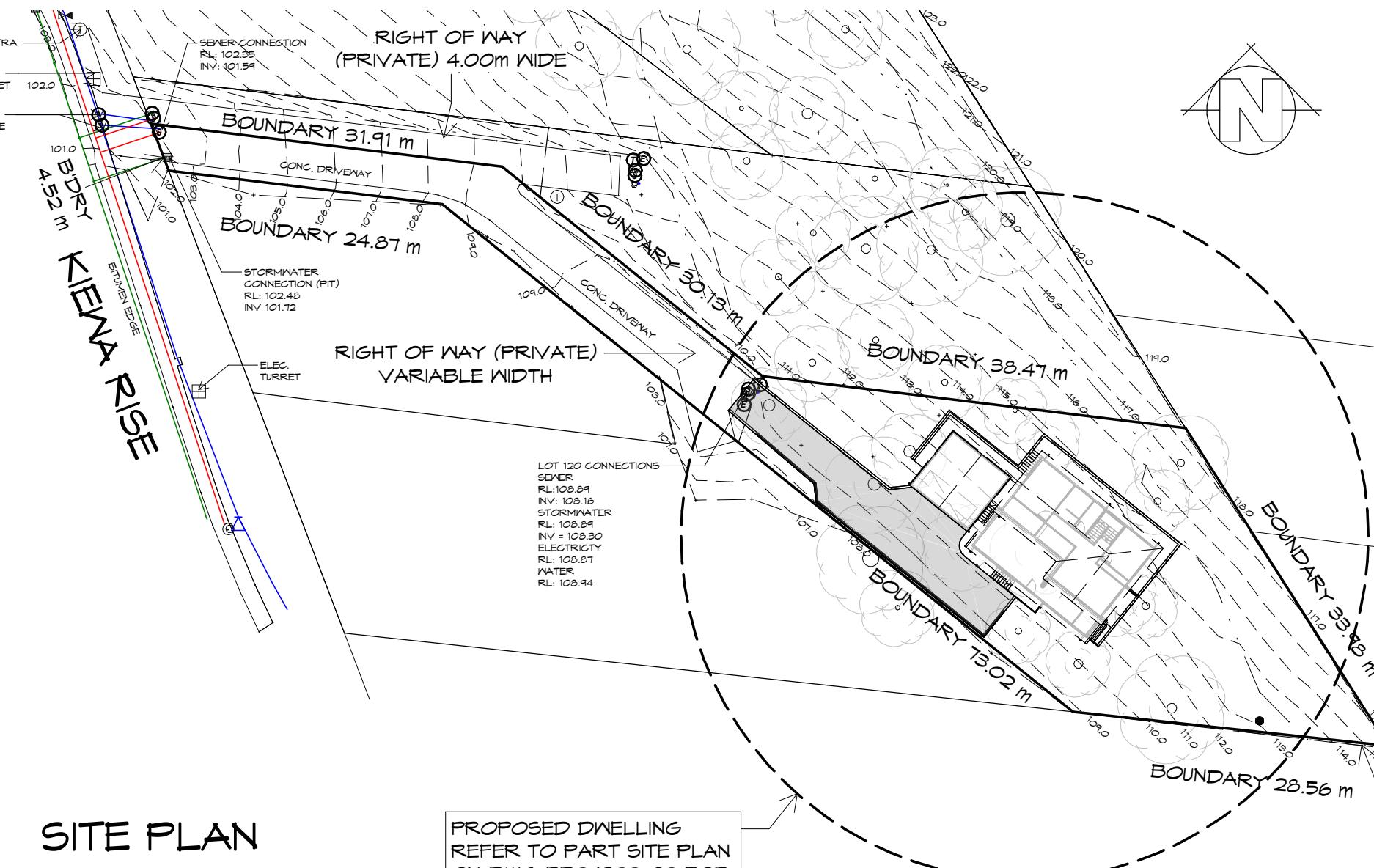
## GENERAL PROJECT INFORMATION

TITLE REFERENCE: 187764/120  
SITE AREA: 1,134m<sup>2</sup>  
DESIGN WIND SPEED: N2  
SOIL CLASSIFICATION: S  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: NO  
BAL RATING: EXEMPT  
OTHER KNOWN HAZARDS: PRIORITY  
VEGETATION AREA



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info@primedesigntas.com.au primedesigntas.com.au  
Accredited Building Practitioner: Frank Geskus -No CC246A

JANUARY 2026



#### GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION

#### IMPORTANT NOTE:

DRAWINGS CAN BE READ IN BLACK & WHITE.  
HOWEVER ARE BEST PRINTED IN FULL COLOUR  
FOR OPTIMUM CLARITY. A COLOUR COPY  
SHOULD BE RETAINED ON SITE AT ALL TIMES  
FOR CONTRACTORS COMPLETING WORKS.

**TITLE REFERENCE:** 187764/120  
**SITE AREA:** 1,134m<sup>2</sup>

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

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**SETBACKS**  
REFER TO DIMENSIONS AND  
ELEVATIONS FOR FURTHER DETAILS.

**SITE COVERAGE**  
BUILDING FOOTPRINT 175.19m<sup>2</sup> / SITE  
AREA 1314m<sup>2</sup> = 0.133  
TOTAL SITE COVERAGE 13.3%



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**Project:**  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY

**Client name:**  
LV PROPERTY INVESTMENTS  
PTY LTD

**Drafted by:**  
D.D.H. **Approved by:**  
Approver



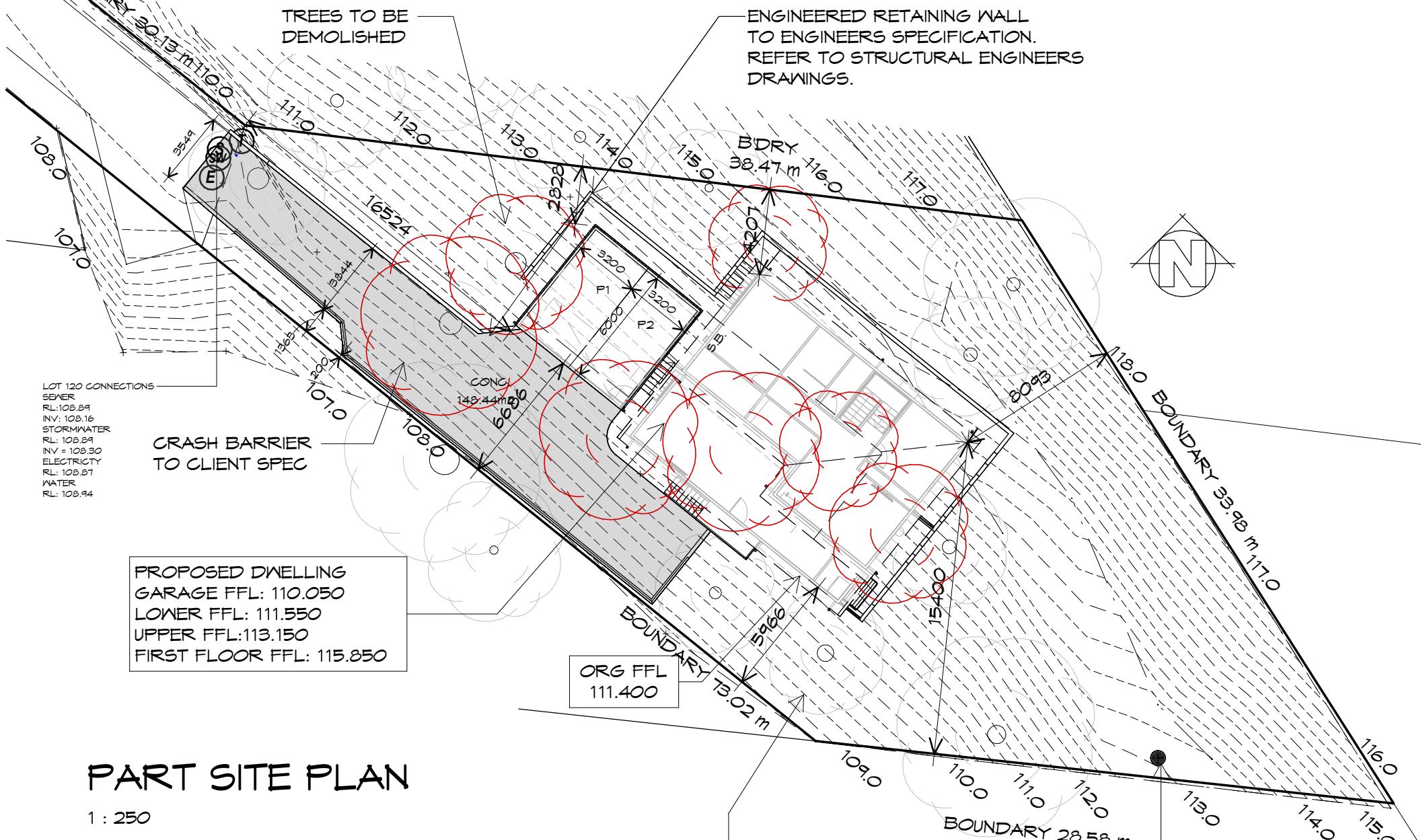
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**Drawing:**  
SITE PLAN

**Date:** 23.01.2026 **Scale:** 1 : 500

**Project/Drawing no:** PD24322 -01 **Revision:** 07

Accredited building practitioner: Frank Geskus -No CC246A



GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No.: PLN-25-238  
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## LEGEND

PIT	450x 450 SURFACE DRAINAGE PIT
WET AREAS	
SEWER LINE	
STORMWATER LINE	
100Φ AG DRAIN	
G.T.	GRATED TRENCH; 150mm WIDE
KB	150mm HIGH KERB

### PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

PITS:	ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
ORGs:	OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
S/W:	STORMWATER PIPES TO BE SIZED PER ASNzs 3500.2021 PART 3
VENTS:	DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2



**Prime  
Design**

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Client name:  
**LV PROPERTY INVESTMENTS  
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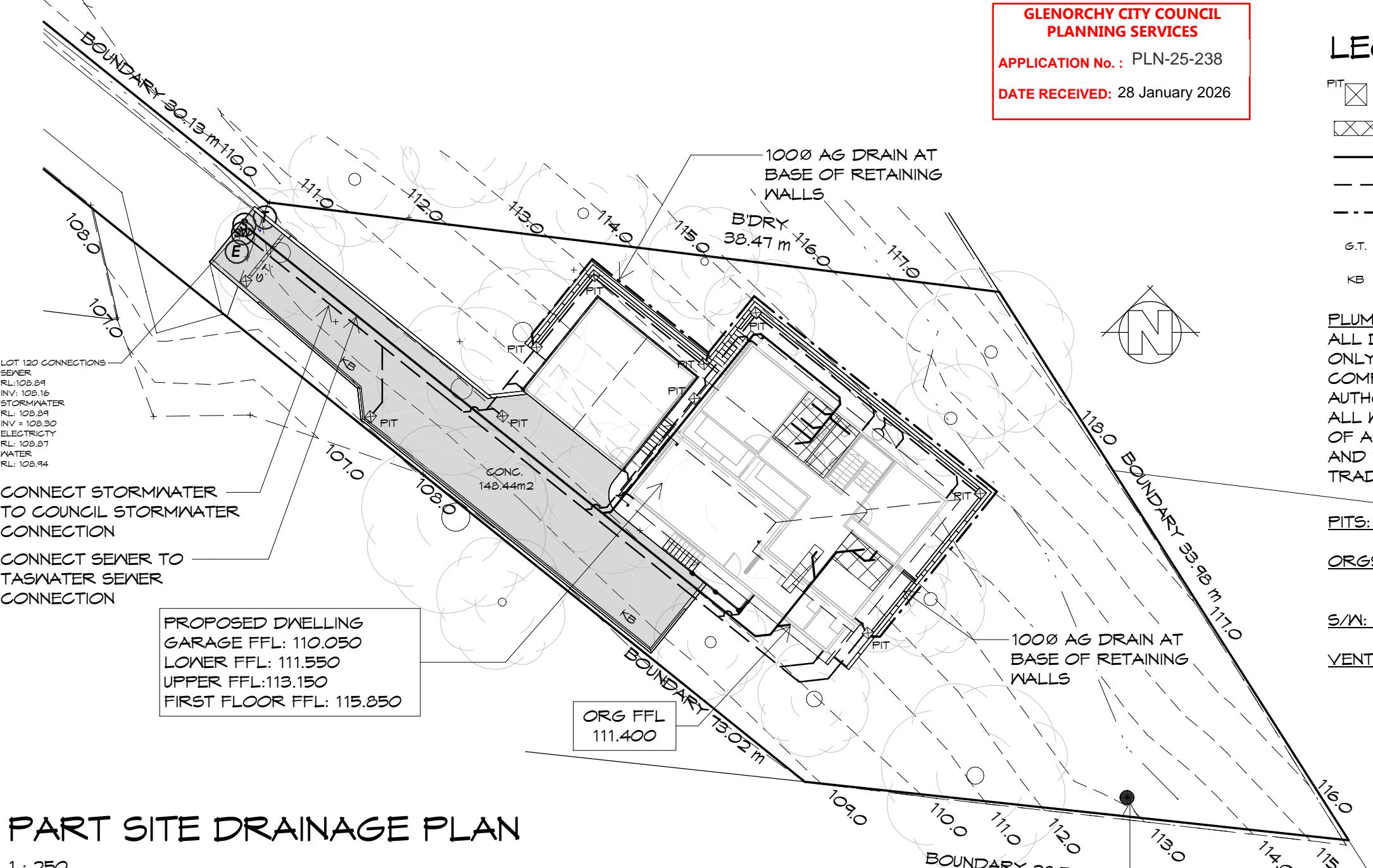
Drawing:  
**SITE DRAINAGE PLAN**

Drafted by:  
**D.D.H.** Approved by:  
**Approver**

Date:  
**23.01.2026** Scale:  
**As indicated**

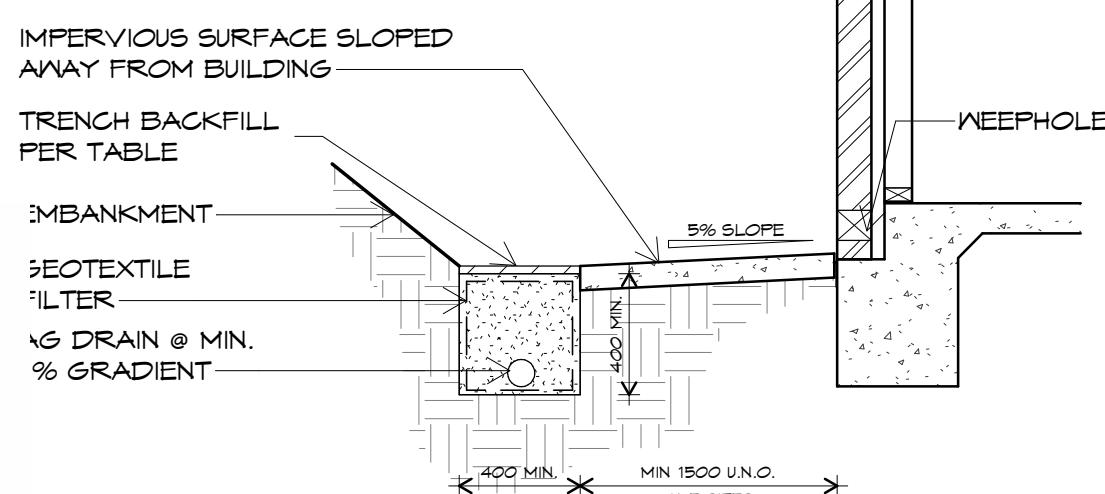
Project/Drawing no:  
**PD24322 -03** Revision:  
**07**

Accredited building practitioner: Frank Geskus -No CC246A



## PART SITE DRAINAGE PLAN

1 : 250



TRENCH BACKFILL PER SITE CLASS  
TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY

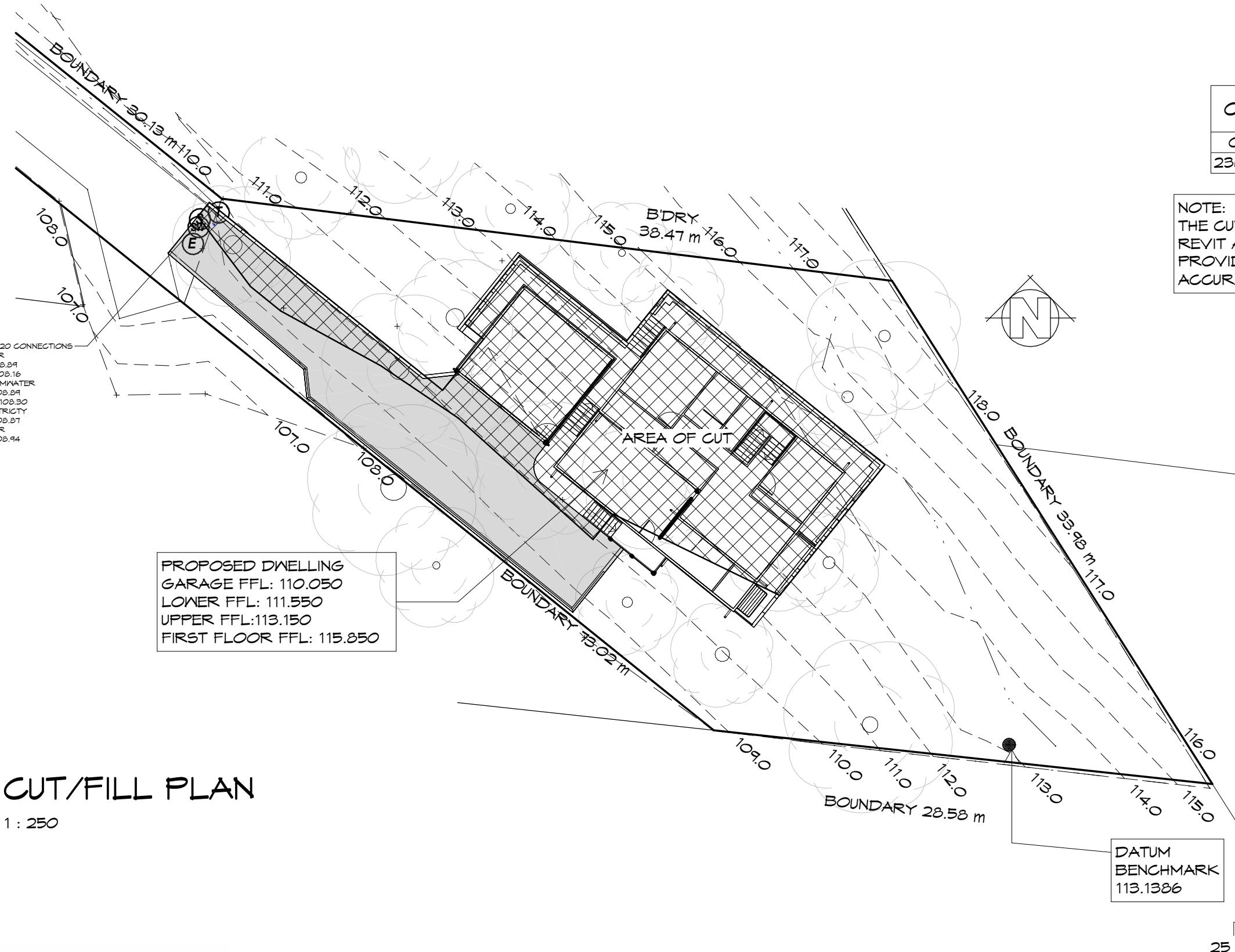
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**CUNIC**  
homes  
Built for you.

## TYPICAL AG DRAIN DETAIL

NTS

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



## CUT/FILL PLAN

1 : 250

Project: Drawing: PROPOSED NEW RESIDENCE CUT/FILL PLAN

42 KIEWA RISE,  
LENAH VALLEY

Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Date: Scale:  
23.01.2026 1 : 250

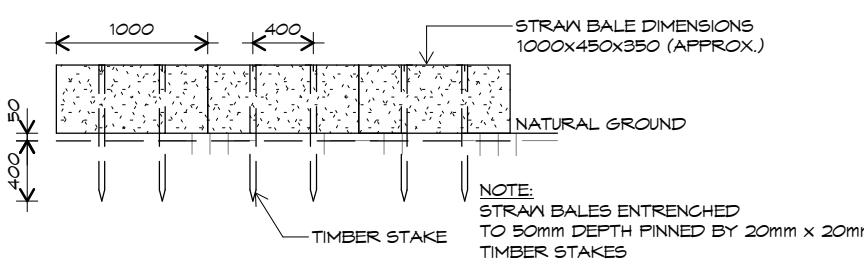
Project/Drawing no: Revision:  
PD24322 -04 07



BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Accredited building practitioner: Frank Geskus -No CC246A

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
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## STRAW BALE SEDIMENT TRAP SECTION DETAILS

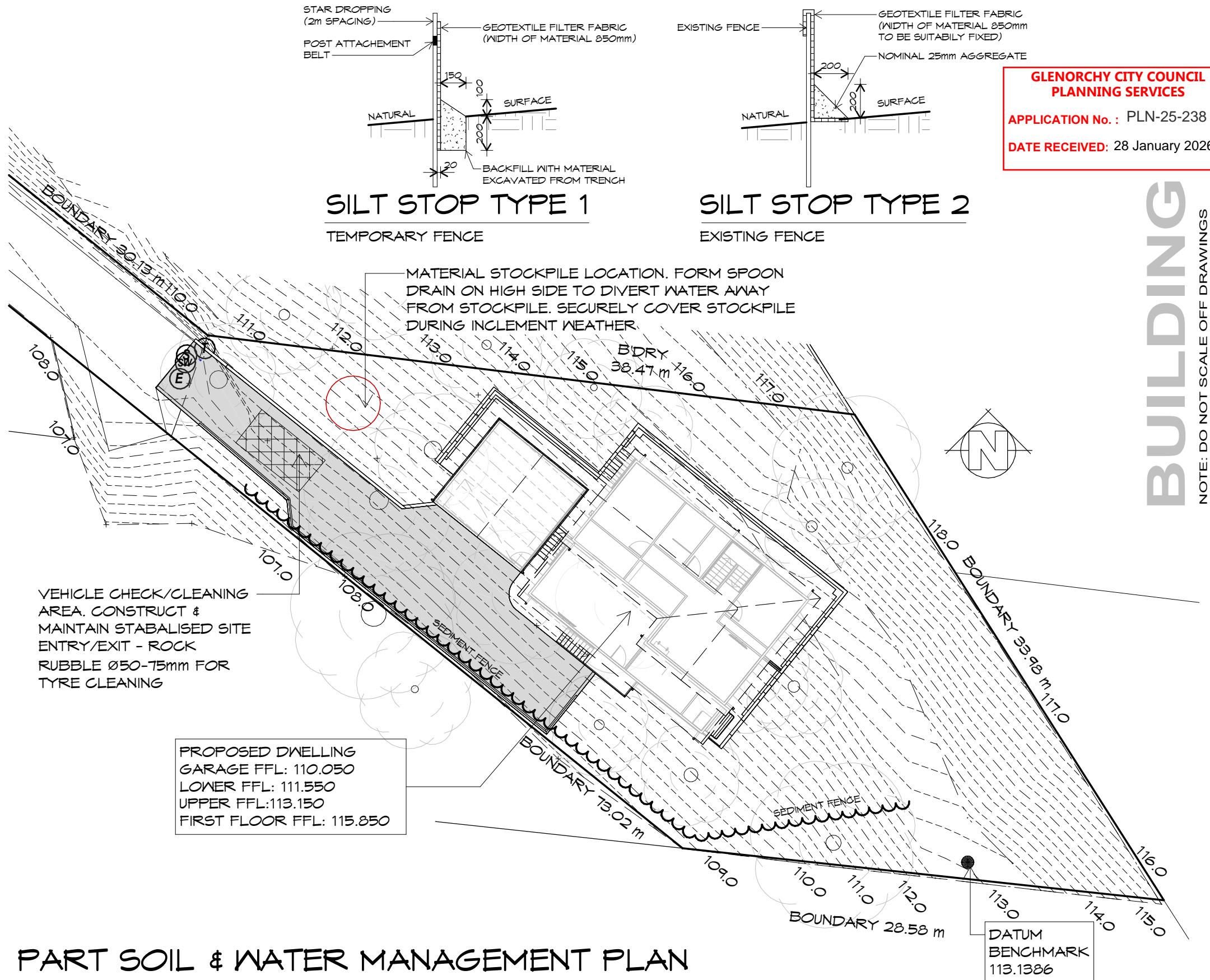
NTS

**NOTES:**  
SEDIMENT & EROSION CONTROL MEASURES SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING THE SITE MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE

**NOTES:**  
1. ALL EROSION & SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY & MAINTAINED IN GOOD WORKING ORDER.  
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING BUILDING PHASE.  
3. ALL EROSION AND SEDIMENT CONTROL MEASURE TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.  
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.  
5. ROOF WATER DOWNPipes TO BE CONNECTED TO THE WATER CONNECTION AS SOON AS PRACTICABLE AFTER THE ROOF IS LAID

**NOTES:**  
1. DIVERSION DRAINS ARE TO BE CONNECTED TO LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM)  
2. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS

**NOTE:**  
SOIL AND WATER MANAGEMENT CONTROLS TO BE IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL DOCUMENT BY DERWENT ESTUARY PROGRAM & THE TAMAR ESTUARY AND ESK RIVERS PROGRAM



## PART SOIL & WATER MANAGEMENT PLAN

1 : 250



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42 KIEWA RISE,  
LENAH VALLEY

Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Drafted by:  
Author

Approved by:  
Approver



Drawing:  
SOIL & WATER MANAGEMENT  
PLAN

Date:  
23.01.2026

Scale:  
As indicated

Project/Drawing no:  
PD24322 -05

Revision:  
07

Accredited building practitioner: Frank Geskus -No CC246A

PROPOSED NEW RESIDENCE  
42, KIEWA RISE, LENAH VALLEY



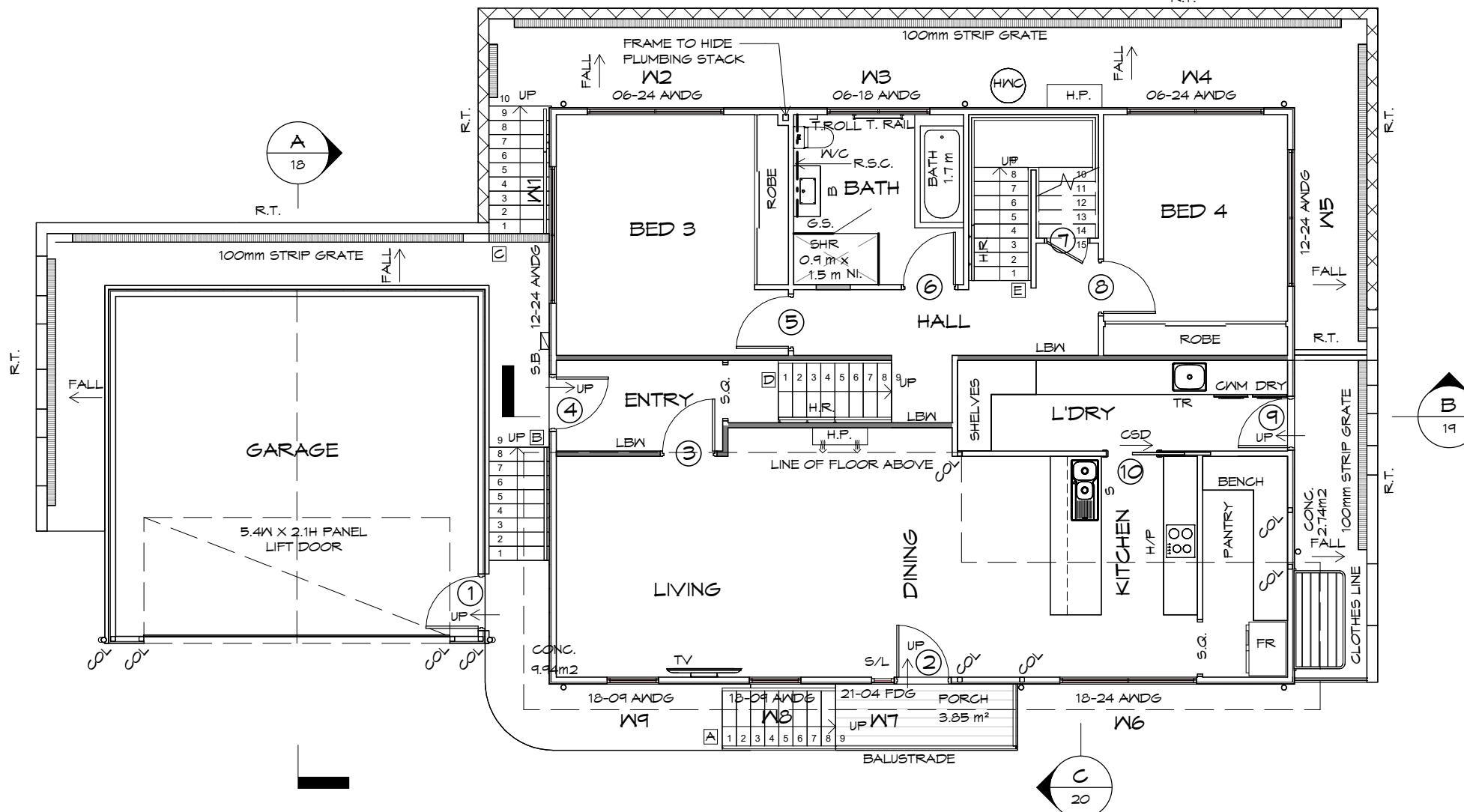
## LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED LOW DENSITY RESIDENTIAL AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS  
OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.

## LEGEND

CSD	CAVITY SLIDING DOOR
S/L	SIDELIGHT
G.S.	GLASS SCREEN
HWC	HOT WATER CYLINDER
R.T.	RETAINING WALL TO ENG. SPEC.
H.R.	HAND RAIL
S.Q.	SQUARE STOP
NI.	SHOWER NICHE 300mm x 600mm
	200mm DEEP SEMI-
R.S.C.	RECESSED SHAVING CABINET
LB.	LOAD BEARING WALL
COL	89x3.5 SHS COLUMN
T.ROLL	TOILET ROLL HOLDER
T.RAIL	TOWEL RAIL



## GROUND FLOOR PLAN - NOTATION

1 : 100

LOWER GROUND FLOOR AREA	76.43	m <sup>2</sup>	( 8.23	SQUARES )
GARAGE AREA	40.98	m <sup>2</sup>	( 4.41	SQUARES )
UPPER GROUND FLOOR AREA	57.49	m <sup>2</sup>	( 6.19	SQUARES )
FIRST FLOOR AREA	91.51	m <sup>2</sup>	( 9.85	SQUARES )
TOTAL AREA	266.41		28.68	

### NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

**SANITARY COMPARTMENTS**  
MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY ABCB HOUSING PROVISIONS PART 10.4

**WINDOW WITHIN WET AREA**  
C/W SAFETY GLASS AS PER AS1288.2021  
BEVEL WINDOW SEAL  
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

STAIR	NO RISERS	RISER HT	TREAD DEPTH
A	9	172	250
B	9	156	250
C	10	160	250
D	9	178	250
E	15	180	250

**STAIRS**  
TO COMPLY ABCB HOUSING PROVISIONS PART 11.2

**HANDRAIL**  
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3

**GLENORCHY CITY COUNCIL PLANNING SERVICES**  
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**Prime Design**

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PTY LTD

Drawing:  
GROUND FLOOR PLAN -  
NOTATION

Drafted by:  
D.D.H. Approved by:  
Approver

Date: 23.01.2026 Scale: 1 : 100



Project/Drawing no:  
PD24322 -07 Revision:  
07

Accredited building practitioner: Frank Geskus -No CC246A

# BUILDING

NOTE: DO NOT SCALE OFF DRAWINGS

- 1 -

# LEGEND

CSD	CAVITY SLIDING DOOR
S/L	SIDELIGHT
G.S.	GLASS SCREEN
HWC	HOT WATER CYLINDER
R.T.	RETAINING WALL TO ENG. SPEC.
H.R.	HAND RAIL
S.Q.	SQUARE STOP
<u>NI.</u>	SHOWER NICHE 300mm x 600mm
R.S.C.	200mm DEEP SEMI- RECESSED SHAVING CABINET
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Client name:  
**LV PROPERTY INVESTMENTS  
PTY LTD**

Drawing:  
**GROUND FLOOR PLAN -  
DIMENSION**

Drafted by:  
**D.D.H.** Approved by:  
**Approver**

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Date: Scale:  
**23.01.2026** **1 : 100**

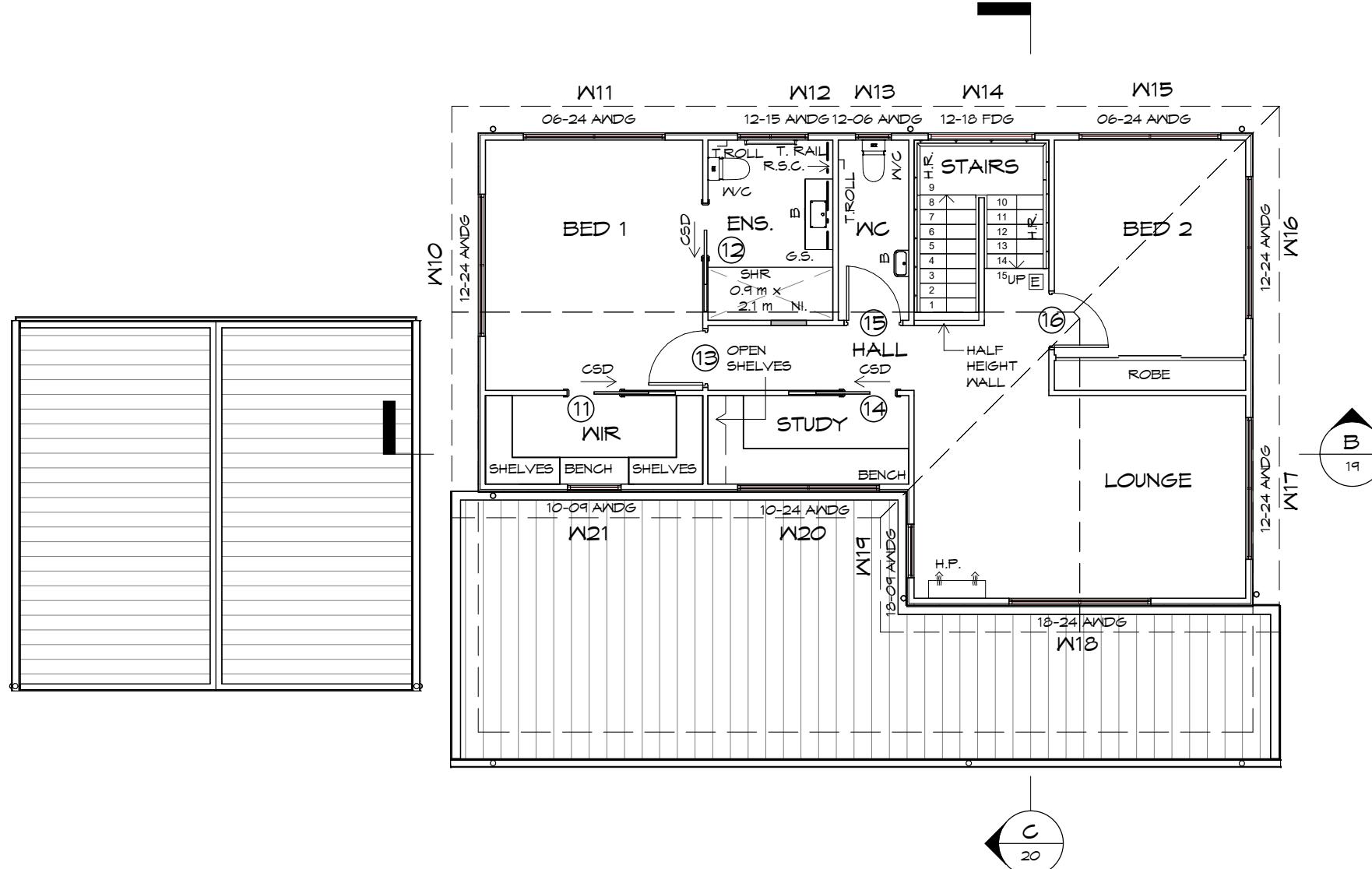


**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

# GROUND FLOOR PLAN - DIMENSION

1 : 100





## FIRST FLOOR PLAN - NOTATION

1 : 100

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OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY ABCB HOUSING PROVISIONS PART 10.4

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B	9	156	250
C	10	160	250
D	9	178	250
E	15	180	250

**STAIRS**  
TO COMPLY ABCB HOUSING PROVISIONS PART 11.2  
180 RISER  
260 GOING  
NON SLIP

**HANDRAIL**  
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3

**GLENORCHY CITY COUNCIL PLANNING SERVICES**  
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## LEGEND

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Drawing:  
FIRST FLOOR PLAN - NOTATION

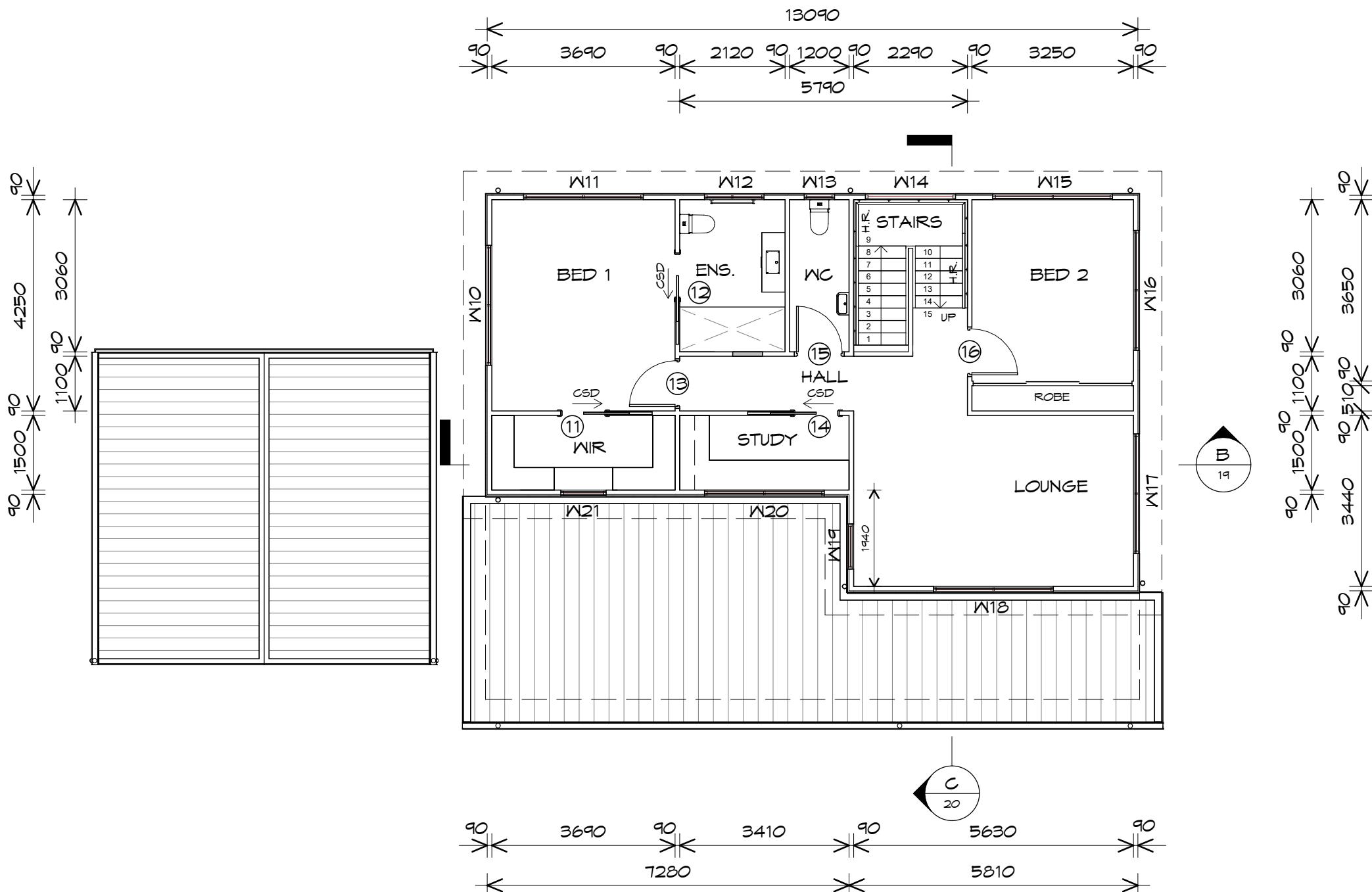
Drafted by:  
D.D.H. Approved by:  
Approver

Date:  
23.01.2026 Scale:  
1 : 100



Project/Drawing no:  
PD24322 -09 Revision:  
07

Accredited building practitioner: Frank Geskus -No CC246A



## FIRST FLOOR PLAN - DIMENSION

1 : 100



GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
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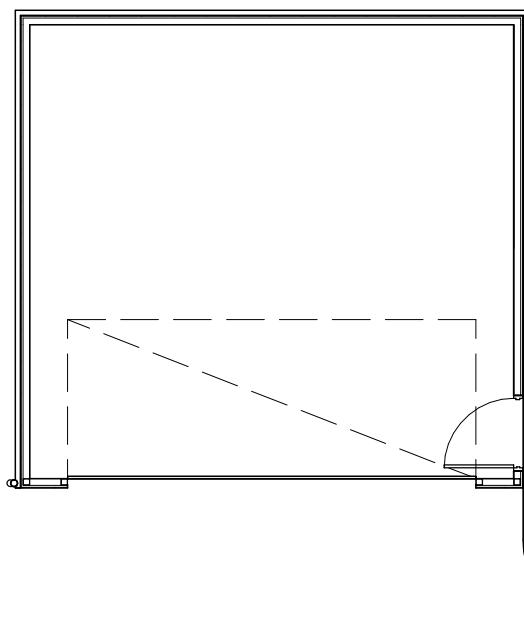
Date: 23.01.2026 Scale: 1 : 100



Project/Drawing no: PD24322 - 10 Revision: 07



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## GROUND FLOOR PLAN - NOTATION

1 : 100

### LEGEND

- 1 820 CLEAR OPENING WIDTH TO MAIN POINT OF ENTRY
- 2 CURBLESS SHOWER
- 3 DOOR REQUIRED PART 3 820 CLEAR OPENING WIDTH TO DOORWAYS

NOTE: THRESHOLDS OF AN INTERNAL DOORWAY SUBJECT TO PART 3 TO BE:

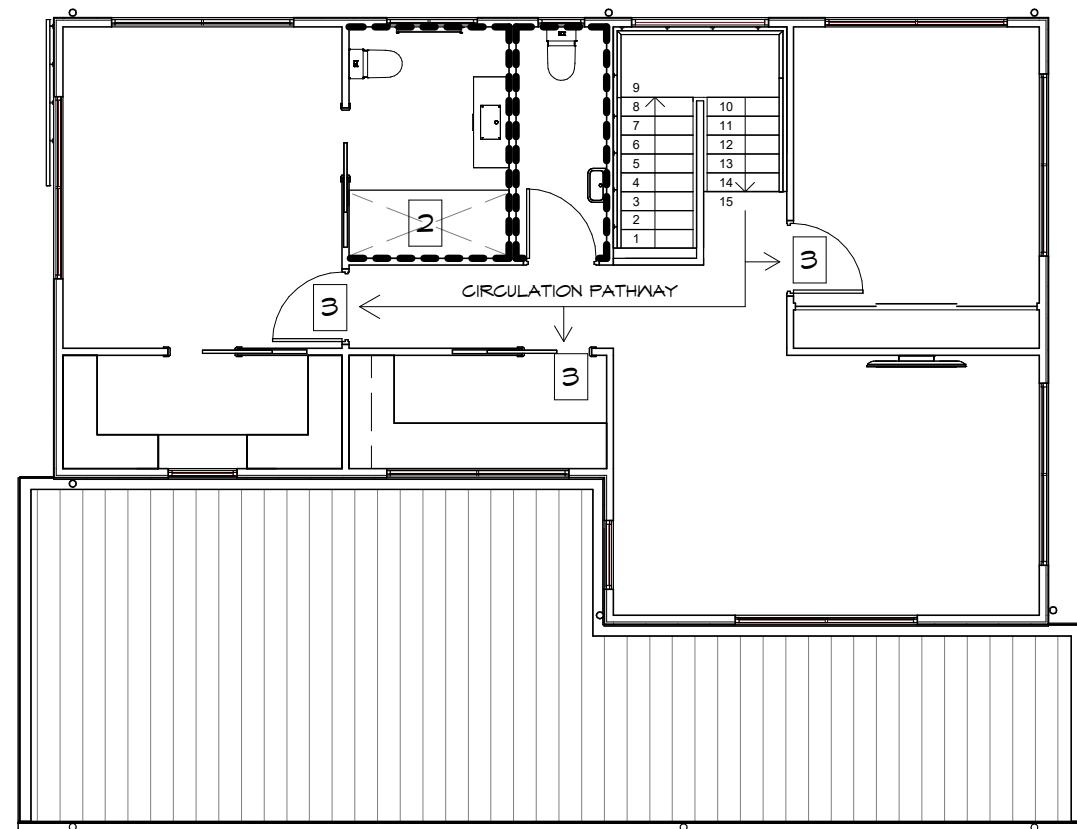
- LEVEL
- HAVE A HEIGHT NOT MORE THAN 5MM IF LIP IS ROUNDED OR BEVELED
- RAMPED THRESHOLD IN ACCORDANCE WITH ABCB LHDS PART 3

--- LINE WALL WITH 18mm PLYWOOD BEHIND PLASTER

■ 900x1200 W/C CIRCULATION

← 1000 CLEAR HALLWAY CIRCULATION

REFER TO DETAILS  
ON BD14 & BD16



## FIRST FLOOR PLAN LHDS PLAN

1 : 100

TO COMPLY WITH ABCB HOUSING PROVISIONS PART H8 & ABCB STANDARD FOR LIVABLE HOUSING DESIGN:

- PART 2.1
- PART 3
- PART 4
- PART 5, AND:
- PART 6.

IN ACCORDANCE WITH CBOS DIRECTORS DETERMINATION 2024

Drafted by:  
D.D.H.

Approved by:  
Approver

Date:  
23.01.2026

Scale:  
1 : 100

Project/Drawing no:  
PD24322 -12

Revision:  
07

EAVES  
OVER HANG ROOF 450mm U.N.O.  
FRAME FOR LEVEL EAVES  
LINE ALL SOFFITS  
WITH HARDIFLEX SHEETING.  
IN ACCORDANCE WITH ABCB  
HOUSING PROVISIONS PART 7.5.5

CEILING

2400  
FIRST FLOOR  
115.850  
CEILING

2400  
UPPER GROUND  
113.150

100mm  
AG DRAIN  
100mm  
STRIP GRATE

ENGINEERED RETAINING WALL  
TO ENGINEERS SPECIFICATION.  
REFER TO STRUCTURAL ENGINEERS  
DRAWINGS.

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 13.4

FASCIA  
COLORBOND FOLDED METAL  
-GUTTER TO CLIENTS SPEC  
-FASCIA TRIM ALL ROUND  
INSTALLED IN ACCORDANCE  
WITH THE MANUFACTURER'S  
INSTRUCTIONS.  
COLOUR TO BE SELECTED

ROOF CLADDING  
COLORBOND TRIMDEK  
TO CLIENTS SPECS.

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS

SCYON AXON (ON BATTENS),  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

#### GLAZING

ALL GLAZING IS TO COMPLY WITH ABCB  
HOUSING PROVISIONS PART 8  
IN PARTICULAR THAT THE GLAZING IN  
THE WINDOW LOCATED OVER THE BATH/  
SHOWER INSTALLATION TO COMPLY WITH  
HUMAN IMPACT SAFETY REQUIREMENTS,  
SECTION 5.8 OF AS1288  
WINDOWS TO BE SEALED IN  
ACCORDANCE WITH AS2047  
ALL GLASS INSTALLATIONS INCLUDING  
ROOFS, WINDOW AND DOORS TO BE  
TAGGED ON-SITE OR GLAZIER TO  
SUPPLY COMPLIANCE CERTIFICATE  
AT FINAL INSPECTION.

#### BUILDING MEMBRANE

IN ACCORDANCE WITH ABCB HOUSING  
PROVISIONS PART 10.8.1  
PLIABLE BUILDING MEMBRANE INSTALLED  
TO EXTERIOR OF FRAMEWORK, TO BE  
VAPOUR PERMEABLE TO COMPLY WITH  
AS4200.1 & BE INSTALLED TO AS4200.2

#### FLASHINGS TO WALL OPENINGS

OPENINGS IN EXTERNAL WALL CLADDING  
EXPOSED TO WEATHER MUST BE FLASHED  
WITH MATERIAL COMPLYING WITH AS/NZS  
2904 TO TOP, BOTTOM & SIDES OF  
OPENINGS. FLASHINGS MUST BE SUITABLE  
FOR FRAMING & CLADDING USED. TO  
COMPLY ABCB HOUSING PROVISIONS PART  
7.5.6

## NORTH EASTERN ELEVATION

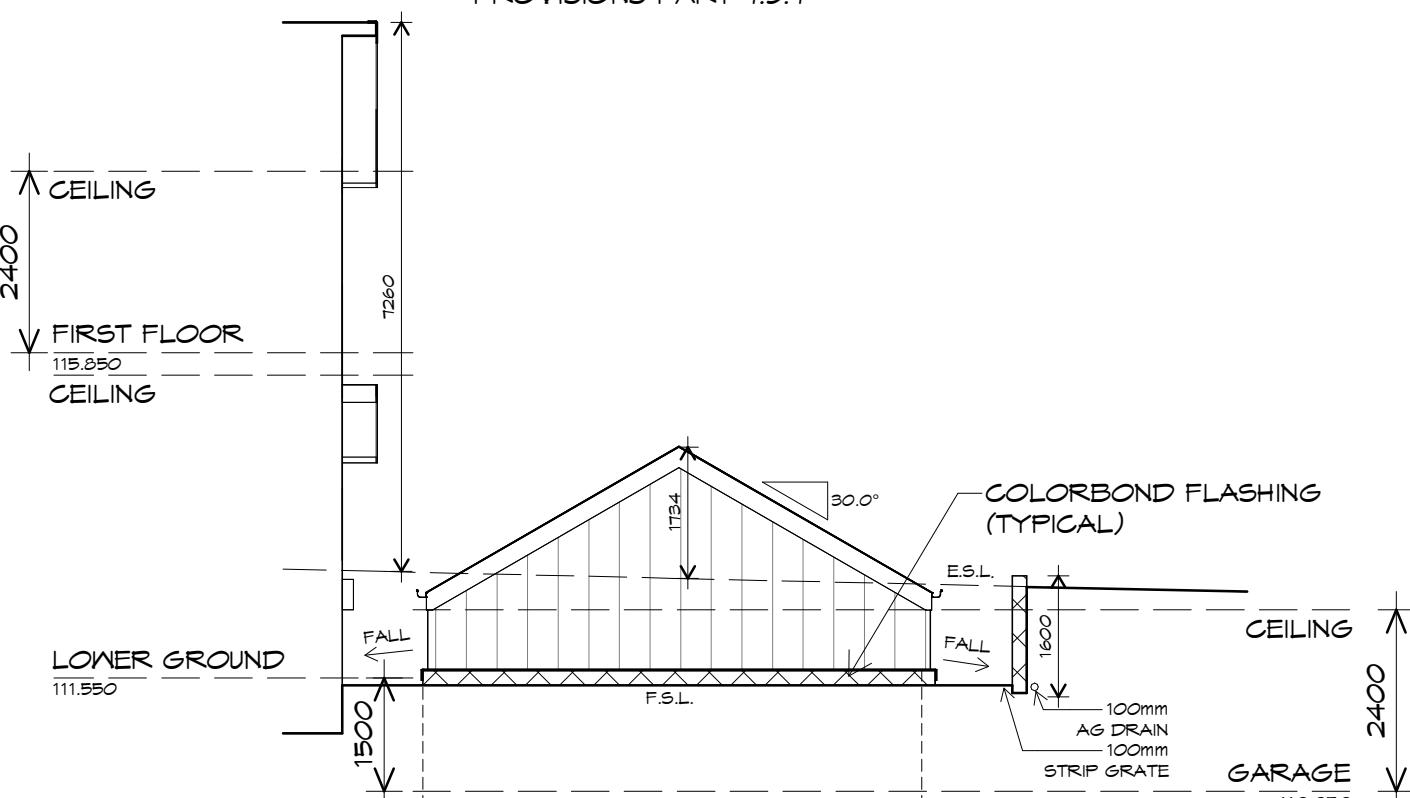
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#### WINDOWS

POWDER COATED ALUMINIUM WINDOW  
FRAMES AWNING OPENING  
REVEALS AND TRIMS TO CLIENTS SPEC.  
ALL FLASHING TO MANUFACTURERS  
SPECIFICATION  
REFER AS 1288, AS 2047 & ABCB  
HOUSING PROVISIONS PART 8.2



GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No.: PLN-25-238  
DATE RECEIVED: 28 January 2026



## NORTH EASTERN ELEVATION - GARAGE

1 : 100



10 Goodman Court, Invermay Tasmania 7248,  
p(03) 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h) 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY  
Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Drawing:  
ELEVATIONS

Drafted by:  
D.D.H. Approved by:  
Approver

Date:  
23.01.2026 Scale:  
1 : 100

Project/Drawing no:  
PD24322 -13 Revision:  
07



Accredited building practitioner: Frank Geskus -No CC246A

### GLAZING

ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8 IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/ SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288. WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047. ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

### BUILDING MEMBRANE

IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1. PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

### FLASHINGS TO WALL OPENINGS

OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

### WINDOWS

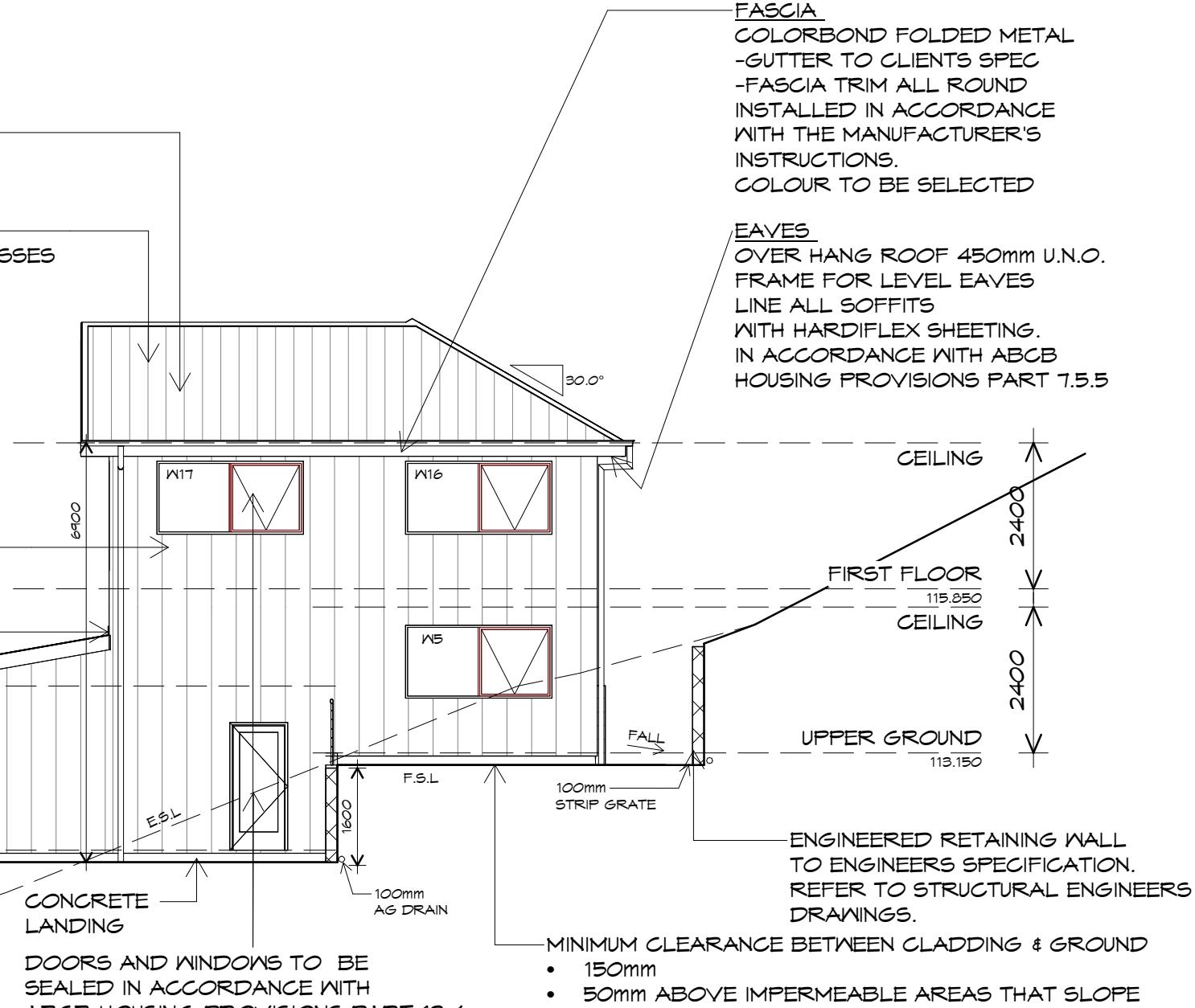
POWDER COATED ALUMINIUM WINDOW FRAMES AWNING OPENING REVEALS AND TRIMS TO CLIENTS SPEC. ALL FLASHING TO MANUFACTURERS SPECIFICATION REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

ROOF CLADDING  
COLORBOND TRIMDEK  
TO CLIENTS SPECS.

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS

SCYON AXON (ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

COLORBOND FLASHING  
(TYPICAL)



## SOUTH EASTERN ELEVATION

1 : 100



GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No. : PLN-25-238  
DATE RECEIVED: 28 January 2026



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Project:  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY

Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Drafted by:  
D.D.H. Approved by:  
Approver

Drawing:  
ELEVATIONS

Date:  
23.01.2026 Scale:  
1 : 100

Project/Drawing no:  
PD24322 -14 Revision:  
07

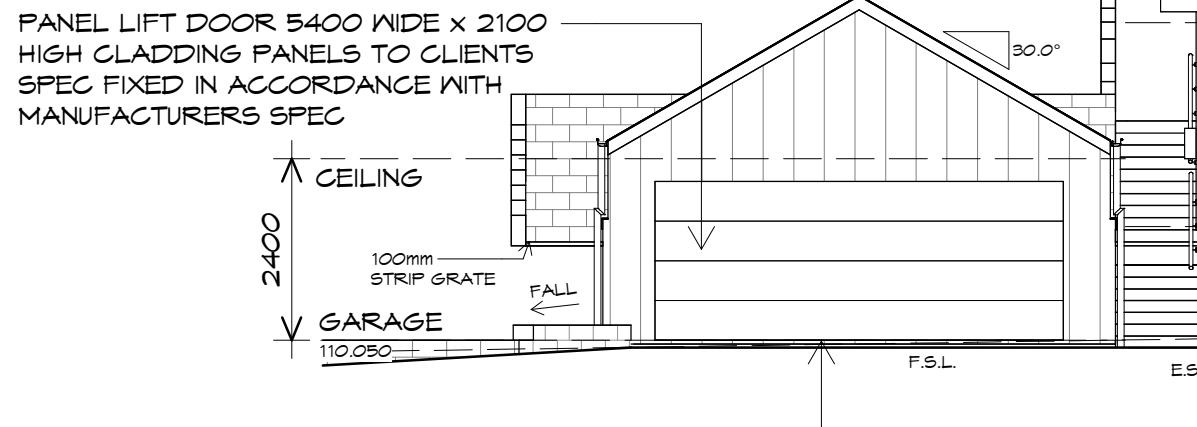


Accredited building practitioner: Frank Geskus -No CC246A

**GLAZING**  
ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8 IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/ SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288. WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047. ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

**WINDOWS**  
POWDER COATED ALUMINIUM WINDOW FRAMES AWNING OPENING REVEALS AND TRIMS TO CLIENTS SPEC. ALL FLASHING TO MANUFACTURERS SPECIFICATION REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

PANEL LIFT DOOR 5400 WIDE X 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC



MINIMUM CLEARANCE BETWEEN CLADDING & GROUND

- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY. CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO COMPLY WITH ABCB HOUSING PROVISIONS PART 7.5.7

## SOUTH WESTERN ELEVATION

1 : 100



**BUILDING MEMBRANE**  
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1  
PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

**ROOF FRAMING**  
PREFABRICATED ROOF TRUSSES @ 900 CRS MAX  
BRACING BY OTHERS

**ROOF CLADDING**  
COLORBOND TRIMDEK TO CLIENTS SPECS.

**SCYON AXON (ON BATTENS)**  
INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

**COLORBOND FLASHING (TYPICAL)**

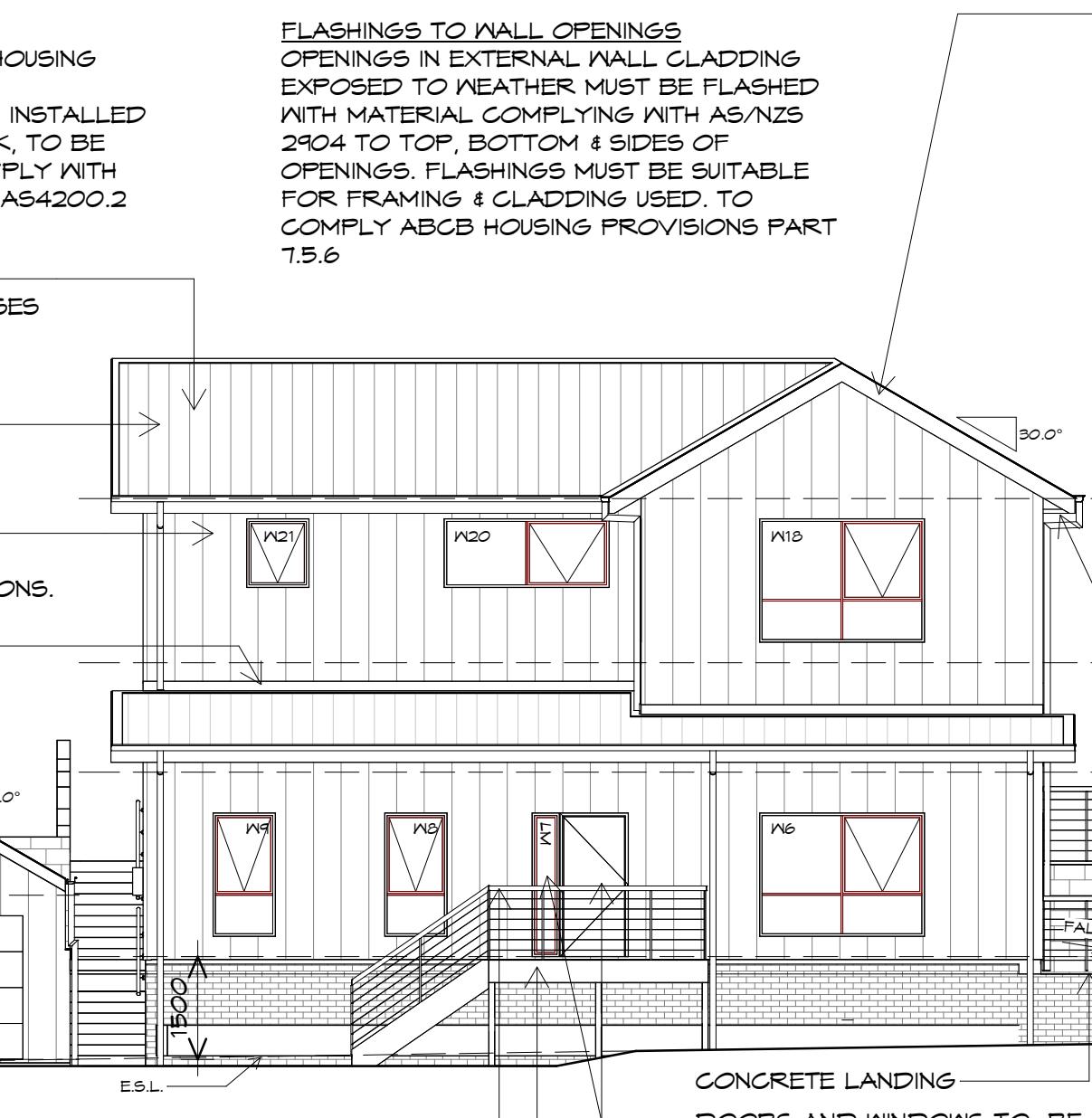
**FLASHINGS TO WALL OPENINGS**  
OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

**FASCIA**  
COLORBOND FOLDED METAL  
-GUTTER TO CLIENTS SPEC  
-FASCIA TRIM ALL ROUND  
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.  
COLOUR TO BE SELECTED

**EAVES**  
OVER HANG ROOF 450mm U.N.O.  
FRAME FOR LEVEL EAVES  
LINE ALL SOFFITS WITH HARDIFLEX SHEETING.  
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.5.5

CEILING ↑  
0  
FIRST FLOOR ↓  
115.850

CEILING ↑  
0  
LOWER GROUND ↓  
111.550



**BALUSTRADE**

HANDRAIL TO BE 1020mm HIGH  
MINIMUM 865 MINIMUM FOR STAIRS  
POSTS AT A MAXIMUM SPACING OF 1800mm  
90x19 VERTICALS  
WITH 125mm GAP OR LESS  
90x45 TOP AND BOTTOM RAIL  
TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3

**CONCRETE LANDING**

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

**TIMBER DECK**

ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF A.S.1684  
ALL EXTERNAL DECK COMPONENTS TO BE TAN E TREATED PINE (F5)  
ALL EXPOSED FIXTURES, BOLTS ETC. TO BE HOT DIPPED GALVANIZED.  
REFER AS 1684, AS1720.1 & NCC 2022 H1D6  
FIXING TO EXTERNAL WALL TO COMPLY WITH ABCB HOUSING PROVISIONS PART 12.3.2

**BRICKWORK**  
SELECTED FIRED CLAY FACE BRICKS.

RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR ARTICULATION JOINTS  
ALL MASONRY TO COMPLY WITH ABCB HOUSING PROVISIONS PART 5

**GLENORCHY CITY COUNCIL PLANNING SERVICES**  
APPLICATION No.: PLN-25-238  
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Project:  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY

Client name:  
LV PROPERTY INVESTMENTS  
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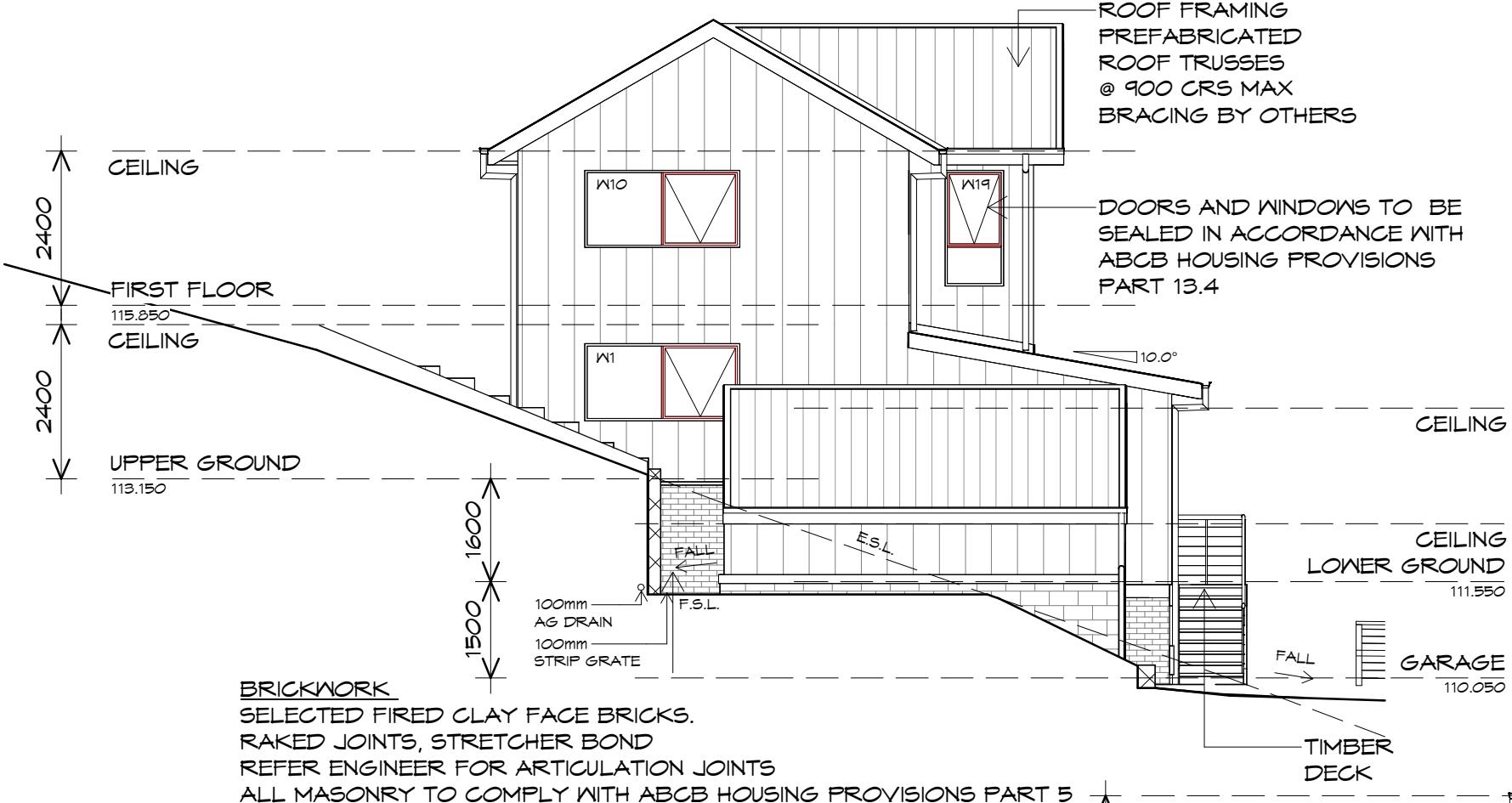
Drafted by:  
D.D.H.  
Approved by:  
Approver

Drawing:  
ELEVATIONS

Date:  
23.01.2026  
Scale:  
1 : 100

Project/Drawing no:  
PD24322 -15  
Revision:  
07





## NORTH WESTERN ELEVATION

1 : 100

## GLAZING

ALL GLAZING IS TO COMPLY WITH ABCB  
HOUSING PROVISIONS PART 8  
IN PARTICULAR THAT THE GLAZING IN  
THE WINDOW LOCATED OVER THE BATH/  
SHOWER INSTALLATION TO COMPLY WITH  
HUMAN IMPACT SAFETY REQUIREMENTS,  
SECTION 5.8 OF AS1288

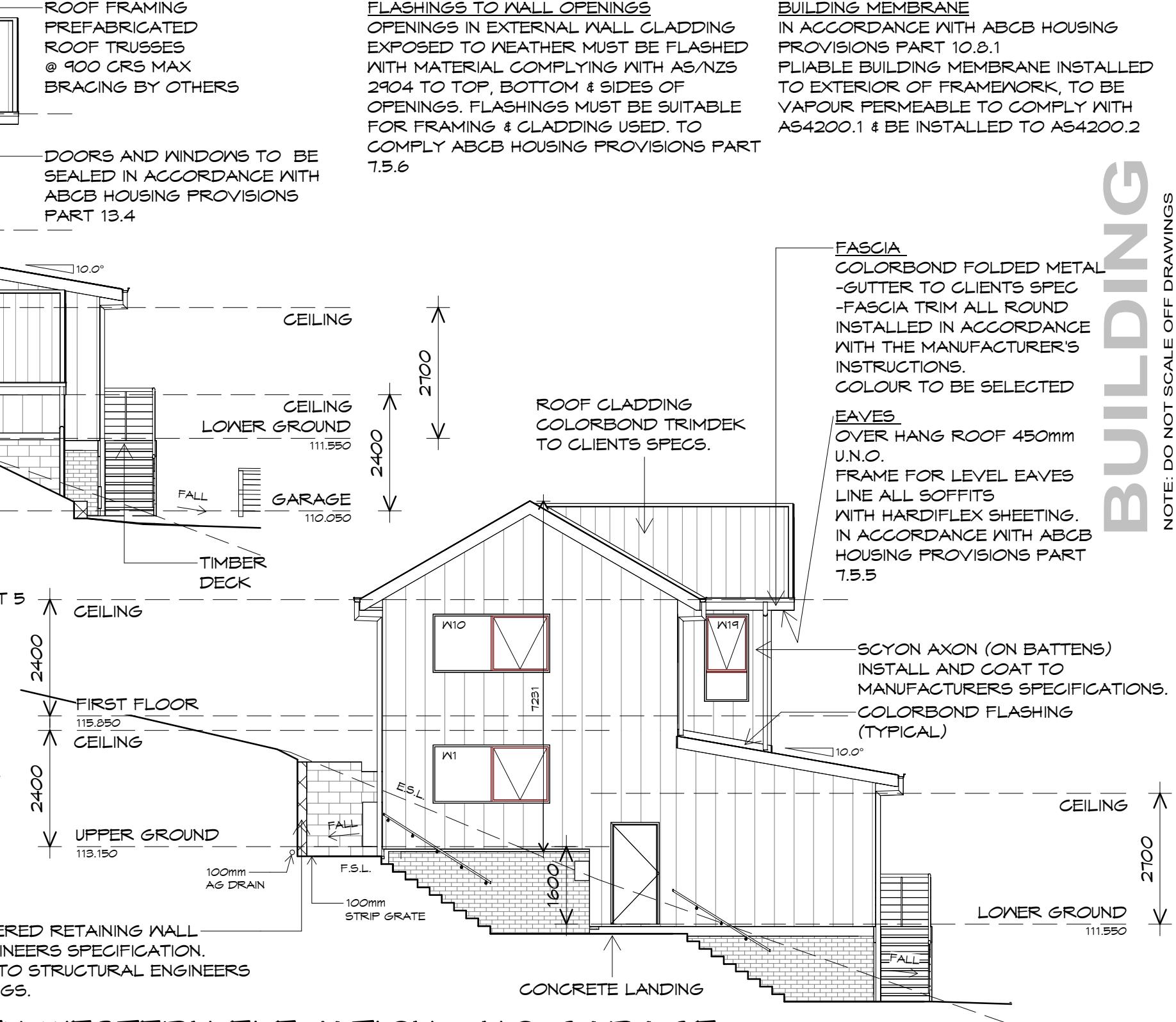
SECTION 3.5 OF AS2047  
WINDOWS TO BE SEALED IN  
ACCORDANCE WITH AS2047

ALL GLASS INSTALLATIONS INCLUDING  
ROOFS, WINDOW AND DOORS TO BE  
TAGGED ON-SITE OR GLAZIER TO  
SUPPLY COMPLIANCE CERTIFICATE  
AT FINAL INSPECTION

## WINDOWS

POWDER COATED ALUMINIUM WINDOW  
FRAMES AWNING OPENING  
REVEALS AND TRIMS TO CLIENTS SPEC  
ALL FLASHING TO MANUFACTURERS  
SPECIFICATION  
REFER AS 1288, AS 2047 & ABCB  
HOUSING PROVISIONS PART 8.2

ENGINEERED RETAINING WALL  
TO ENGINEERS SPECIFICATION.  
REFER TO STRUCTURAL ENGINEERS  
DRAWINGS



## **NORTH WESTERN ELEVATION - NO GARAGE**

1 : 100



**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**



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Project:  
**PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY**

Client name:  
**LV PROPERTY INVESTMENTS  
PTY LTD**

Drafted by:  
**D.D.H.**

LDING MEMBRANE  
CCORDANCE WITH ABCB HOUSING  
DIVISIONS PART 10.8.1  
RABLE BUILDING MEMBRANE INSTALLED  
EXTERIOR OF FRAMEWORK, TO BE  
POUR PERMEABLE TO COMPLY WITH  
200.1 & BE INSTALLED TO AS4200.2

FASCIA  
COLORBOND FOLDED METAL  
-GUTTER TO CLIENTS SPEC  
-FASCIA TRIM ALL ROUND  
INSTALLED IN ACCORDANCE  
WITH THE MANUFACTURER'S  
INSTRUCTIONS.  
COLOUR TO BE SELECTED

EAVES  
OVER HANG ROOF 450mm  
U.N.O.  
FRAME FOR LEVEL EAVES  
LINE ALL SOFFITS  
WITH HARDIFLEX SHEETING.  
IN ACCORDANCE WITH ABCB  
HOUSING PROVISIONS PART  
7.5.5

SCYON AXON (ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.  
— COLORBOND FLASHING  
(TYPICAL)

Architectural drawing showing a vertical section of a wall. The top horizontal line is labeled 'CEILING'. The bottom horizontal line is labeled 'LOWER GROUND'. A vertical dimension line on the right indicates a height of 2700 units. A small rectangular detail is shown at the base of the wall.

---

Drawing:  
**ELEVATIONS**

Date: 23.01.2026 Scale: 1 : 100

Project/Drawing no: **PD24322 -16** Revision: **07**

ROOF A VENTILATION 15-75deg (TABLE 10.8.3.)								
COMMENTS	LENGTH (m)	SUPPLY AREA REQUIRED (mm <sup>2</sup> )	EXHAUST AREA REQUIRED (mm <sup>2</sup> )	VENT WIDTHS (mm)	VENT LENGTHS (mm)	OPENING %	SUPPLY VENTS REQUIRED (#)	EXHAUST VENTS REQUIRED (#)
SUPPLY	14.1	98700.00		420	220	25%	10	
EXHAUST	14.1		70500	50	16040	25%		1

VENTILATION TO COMPLY WITH ABCB HOUSING PROVISIONS 2022, PART 10.8.3

- SUPPLY AREA: 7,000mm<sup>2</sup>/m
- EXHAUST AREA: 5,000mm<sup>2</sup>/m

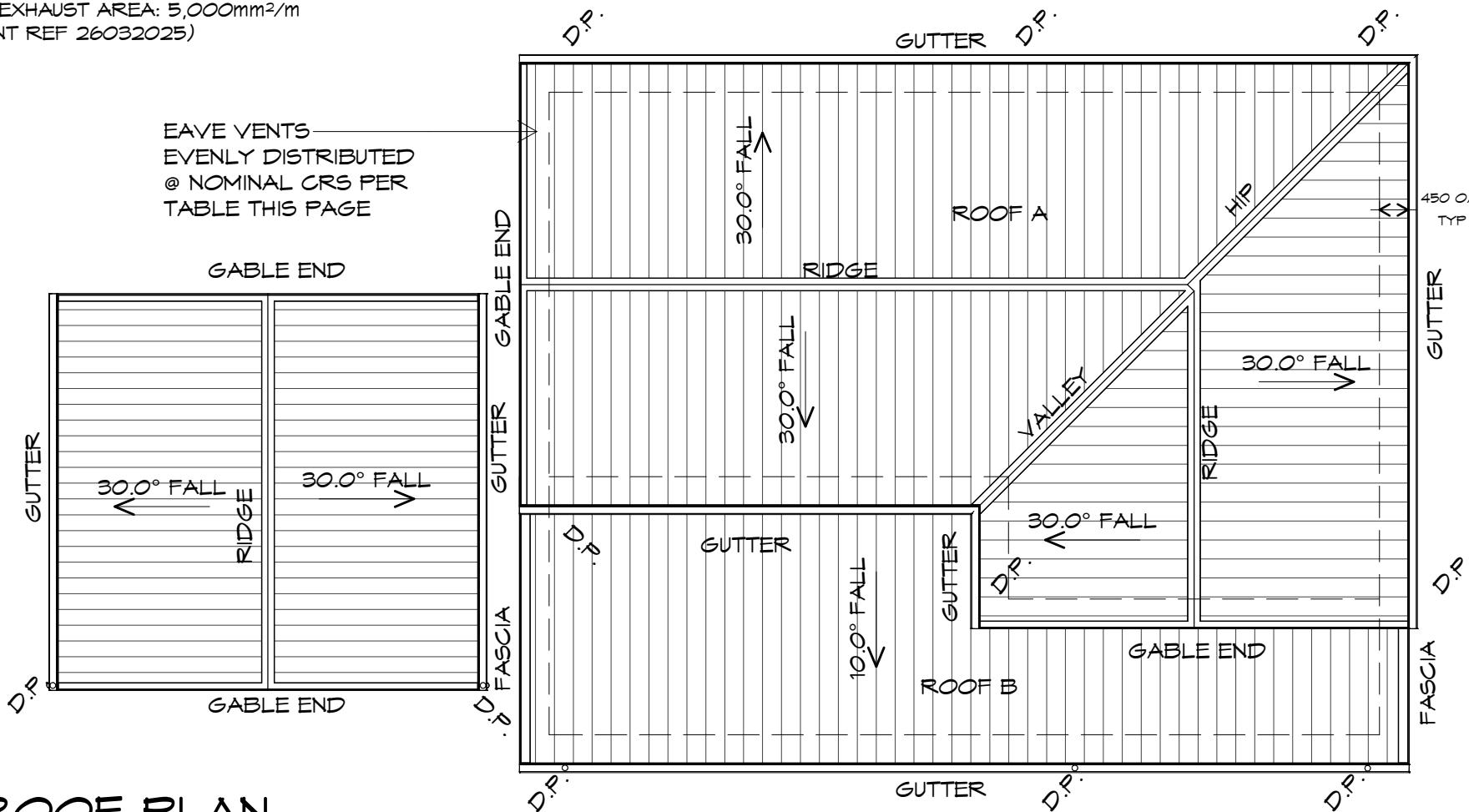
(INT REF 26032025)

ROOF B VENTILATION 10-15deg (TABLE 10.8.3.)								
COMMENTS	LENGTH (m)	SUPPLY AREA REQUIRED (mm <sup>2</sup> )	EXHAUST AREA REQUIRED (mm <sup>2</sup> )	VENT WIDTHS (mm)	VENT LENGTHS (mm)	OPENING %	SUPPLY VENTS REQUIRED (#)	EXHAUST VENTS REQUIRED (#)
SUPPLY	14.1	352500		220	420	25%	16	
EXHAUST	14.1		70500	50	14100	25%		1

VENTILATION TO COMPLY WITH ABCB HOUSING PROVISIONS 2022, PART 10.8.3

- SUPPLY AREA: 25,000mm<sup>2</sup>/m
- EXHAUST AREA: 5,000mm<sup>2</sup>/m

(INT REF 26032025)



## ROOF PLAN

1 : 100



### ROOFING SISALATION

ROOFING SISALATION IS TO BE DISCONTINUOUS (CUT BACK TO TOP BATTENS) AT THE RIDGE PROVIDING RIDGE VENTILATION IN ACCORDANCE WITH 10.8.3 OF THE HOUSING PROVISIONS

### OVERFLOW MEASURES

INSTALL FRONT FACE SLOTTED GUTTER OR 10mm CONTROLLED BACK GAP, STAND OFF BRACKET WITH SPACER. BACK OF GUTTER INSTALLED A MINIMUM OF 10mm BELOW THE TOP OF FASCIA. INSTALL IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.6



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### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:500 FOR EAVES GUTTER BOX GUTTERS IN ACCORDANCE WITH AS33500.3:2021

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR, NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

Project:  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY

Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Drafted by:  
D.D.H. Approved by:  
Approver

Drawing:  
ROOF PLAN

Date:  
23.01.2026 Scale:  
1 : 100

Project/Drawing no:  
PD24322 -17 Revision:  
07



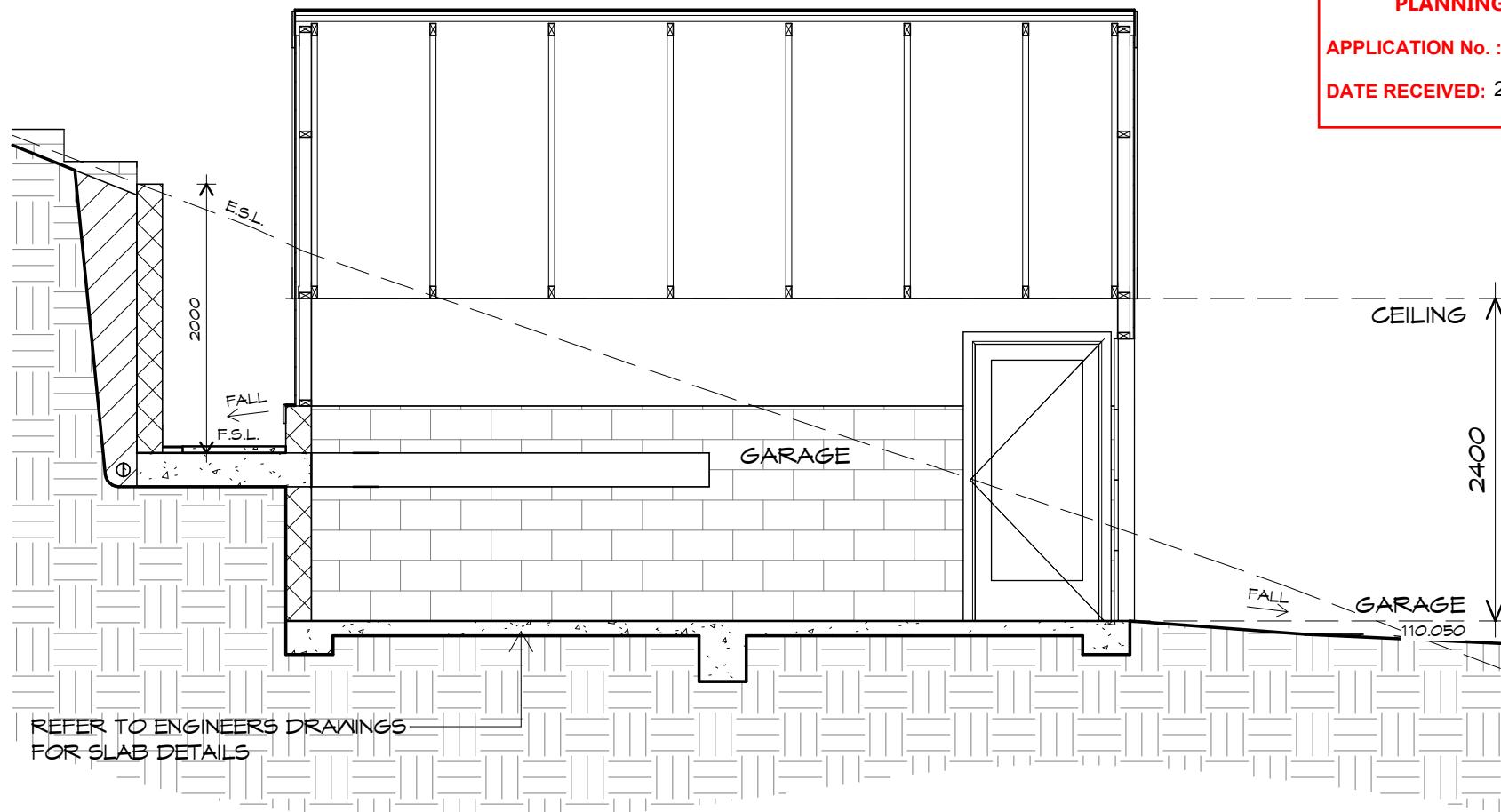
Accredited building practitioner: Frank Geskus -No CC246A

BATHROOM WATER PROOFING  
UNENCLOSED AND ENCLOSED SHOWER AREAS TO BE  
WATERPROOF TO ENTIRE SHOWER AREA  
AREAS OUTSIDE SHOWER AREA AND BATH/SPA;  
• TIMBER FLOORS TO BE WATER PROOF OVER ENTIRE  
SURFACE  
• CONCRETE AND COMPRESSED FIBRE-  
CEMENT SHEET FLOOR TO HAVE WATER  
RESISTANT TO ENTIRE SURFACE  
REFER TO ABCB HOUSING PROVISIONS PART 10.2 FOR  
ALTERNATIVES  
BATH/FLOOR & WALL FLOOR JUNCTIONS MUST  
BE WATER PROOFED TO 25mm ABOVE  
FINISHED FLOOR LEVEL  
A "WATERSTOP" ANGLE IS REQUIRED AT  
DOORWAYS FLUSH WITH FINISHED SURFACE  
LEVEL, PER ABCB HOUSING PROVISIONS PART 10.2 &  
AS3740. REFER TO DETAILS IN DRAWING SET.

RETAINING WALL  
TANKING,  
2 LAYERS OF BITUMINOUS PAINT AT BASE OF FOOTING.  
APPLY AS PER MANUFACTURERS SPECIFICATION.  
2 LAYERS OF FORTECON TO BASE OF FOOTING  
200mm ABOVE FINISHED SURFACE LEVEL.  
PROTECT WITH 1 LAYER OF CEMENT SHEET,  
INSTALL FREE DRAINING MATERIAL BEHIND  
RETAINING WALL IN 300mm LAYERS MAX.

SLABS & FOOTINGS  
ALL CONCRETE PREPARATION INCLUDING  
EXCAVATIONS & PLACEMENT OF REINFORCEMENT  
IS TO BE SEEN & APPROVED BY BUILDING SURVEYOR  
BUILDING INSPECTOR AND/OR ENGINEER PRIOR  
TO POURING ANY CONCRETE.  
REFER TO ENGINEERS DRAWINGS FOR  
FOOTING & CONCRETE SLAB DETAILS.  
REFER TO SOIL REPORT FOR CLASSIFICATION & SITE  
MAINTENANCE REQUIREMENTS.

ROOF FRAMING (TRUSSES)  
CUSTOM ORB OR SIMILAR APPROVED SHEET ROOFING  
COLORBOND COLOUR TO SELECTION, OVER 70x35 MGP12  
NAILING BATTENS AT 900 CRS OR DOUBLE BATTEN ALTERNATIVE  
70x35 MGP12 NAILING BATTENS AT 900 CRS, OVER 70x35 MGP12  
COUNTER BATTENS AT 900 CRS, RUNNING PERPENDICULAR TO  
PRIMARY BATTENS AND APPROVED ROOF TRUSSES INSTALLED  
STRICTLY IN ACCORDANCE WITH MANUFACTURERS  
RECOMMENDATIONS.  
FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS.  
PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX  
ANGLE OF 30° TO RIDGE.  
ANCHOR STRAP BRACING WITH 6 NO 30x1.5 NAILS INTO DOUBLE  
TOP PLATE.  
WIND BRACING TO COMPLY WITH AS1684



## SECTION

1 : 50

A  
01

### ROOFING SISALATION

ROOFING SISALATION IS TO BE DISCONTINUOUS (CUT  
BACK TO TOP BATTENS) AT THE RIDGE PROVIDING  
RIDGE VENTILATION IN ACCORDANCE WITH 10.8.3 OF  
THE HOUSING PROVISIONS

### PAINTING

DO ALL INTERNAL AND EXTERNAL PAINTING REQUIRED  
ALL AT LEAST EQUAL TO FIRST CLASS TRADE STANDARD.  
ALL INTERNAL WOODWORK TO CLEAR NATURAL SATIN FINISH.

### WALL FRAMING

ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE  
REQUIREMENTS OF THE NCC 2022 H1D6, AS1684 & AS1720  
WALL FRAMING TO BE MGP10 RADIATA  
COMMON STUDS - 90x35  
NOGGINS - 90x35  
TOP AND BOTTOM PLATES - 90x35

STUDS 3000t03500 - 2/90x45 @ 450 CRS  
(NOGGINS @ 1/3 POINTS)

### PLASTER

LINE WALLS AND CEILING INTERNALLY  
WITH 10mm PLASTERBOARD SHEETING.  
METAL FURRING CHANNEL @ 450 CRS  
VILLABOARD OR EQUA WALL LINING  
TO WET AREAS AS SPECIFIED & TO  
COMPLY WITH ABCB HOUSING PROVISIONS  
PART 10.2.

### ARCHITRAVES

ARCHITRAVES AND SKIRTINGS  
TO CLIENT SPEC

### FLOORING

INSTALLATION OF PARTICLE  
FLOORING TO COMPLY WITH  
AS1860.2

### PAINTING

DO ALL INTERNAL AND EXTERNAL PAINTING REQUIRED  
ALL AT LEAST EQUAL TO FIRST CLASS TRADE STANDARD.  
ALL INTERNAL WOODWORK TO CLEAR NATURAL  
SATIN FINISH.

### Project:

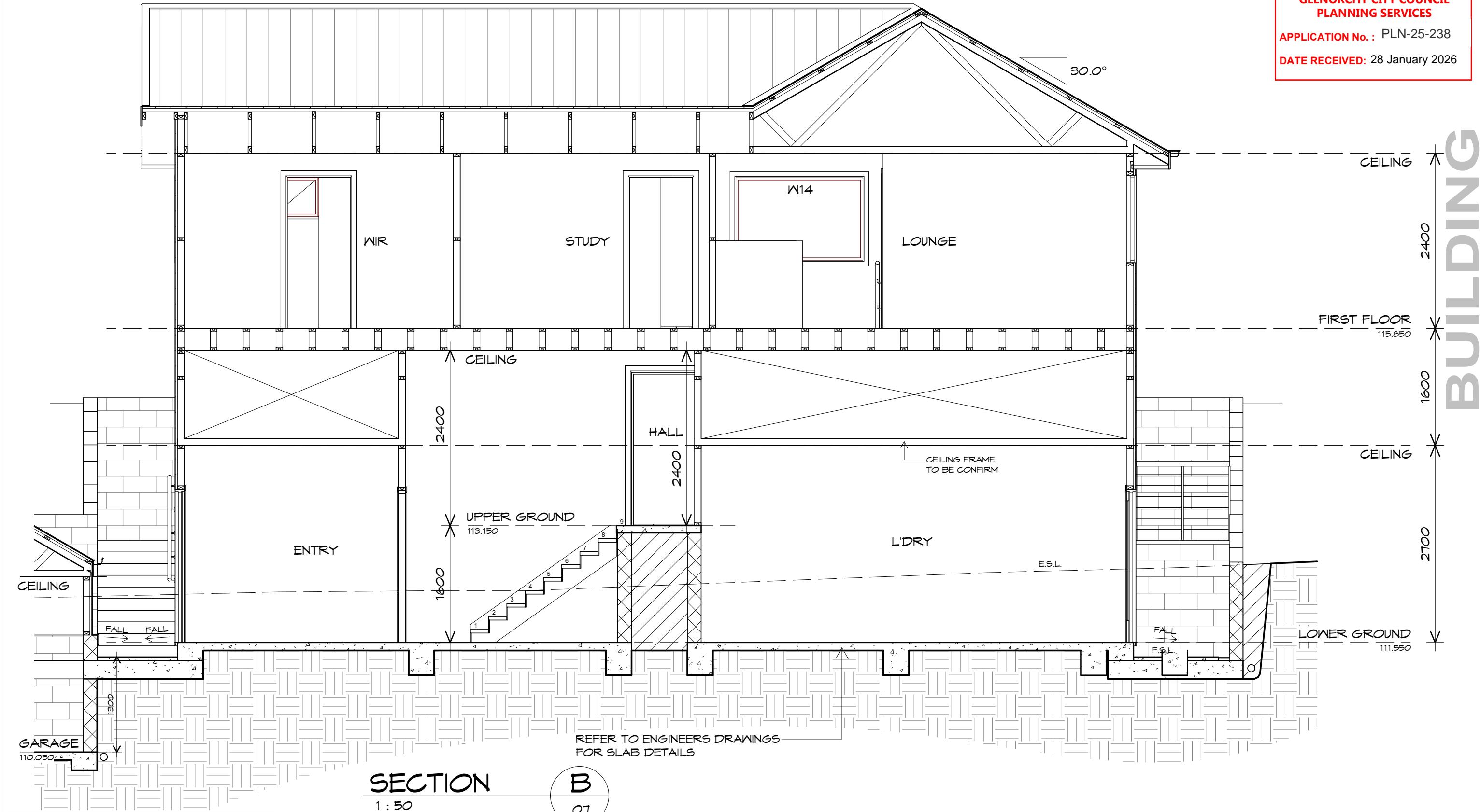
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY

Drawing:  
SECTION

# BUILDING

NOTE: DO NOT SCALE OFF DRAWINGS

NOTE: DO NOT SCALE OFF DRAWINGS



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Client name:  
**LV PROPERTY INVESTMENTS  
PTY LTD**

---

Drafted by:  
**Author**

Approved by:  
**Approver**



BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

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Drawing:  
**SECTION**

Date: 23.01.2026 Scale: 1 : 50

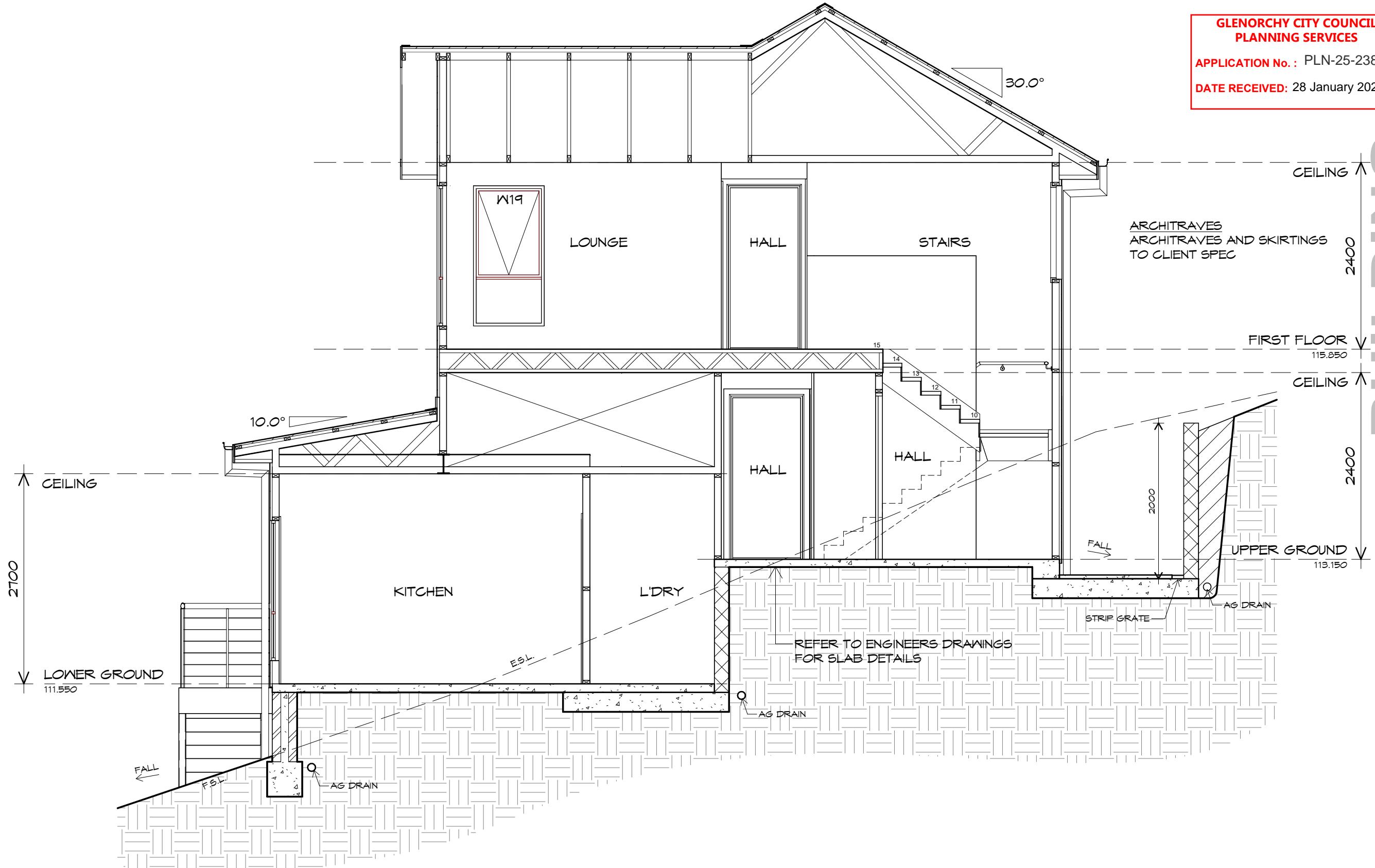
Revision:  
07

Project/Drawing no: **PD24322 -19** Revision: **07**  
Accredited building practitioner: Frank Geskus No CC216A

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No.: PLN-25-238  
DATE RECEIVED: 28 January 2026

**BUILDING**

NOTE: DO NOT SCALE OFF DRAWINGS



SECTION

C  
01

**PD** Prime  
Design

10 Goodman Court, Invermay Tasmania 7248,  
p(0) 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(h) 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY

Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Drafted by:  
Author  
Approved by:  
Approver



Date: 23.01.2026 Scale: 1:50  
Project/Drawing no: PD24322 -20 Revision: 07

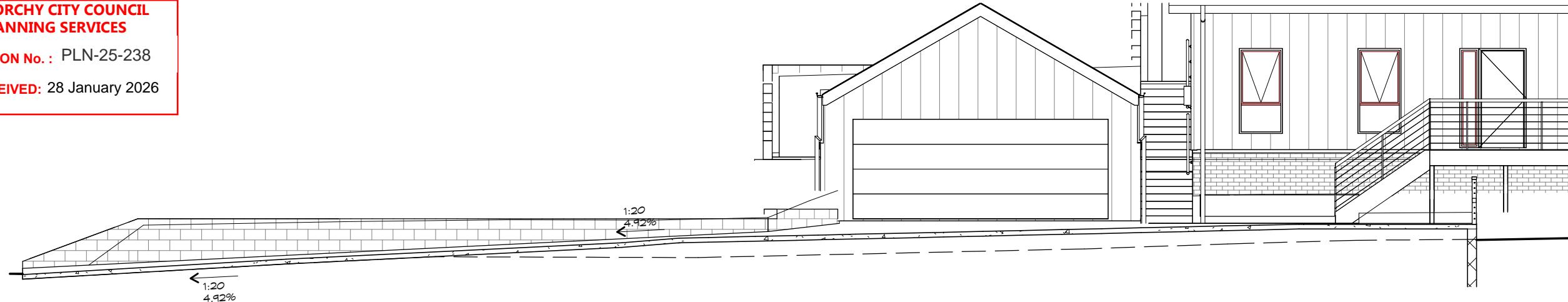
Accredited building practitioner: Frank Geskus -No CC246A

GLENORCHY CITY COUNCIL  
PLANNING SERVICES

APPLICATION No.: PLN-25-238

DATE RECEIVED: 28 January 2026

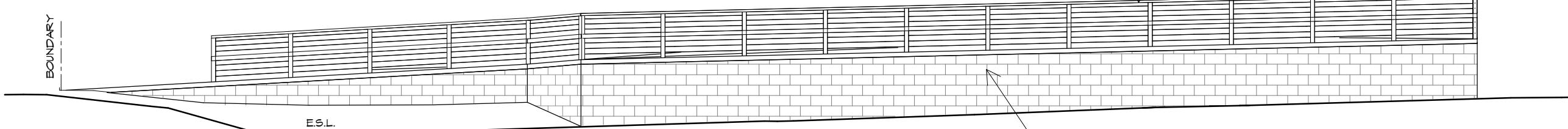
**BUILDING**  
NOTE: DO NOT SCALE OFF DRAWINGS



DRIVEWAY LONG SECTION

1 : 100

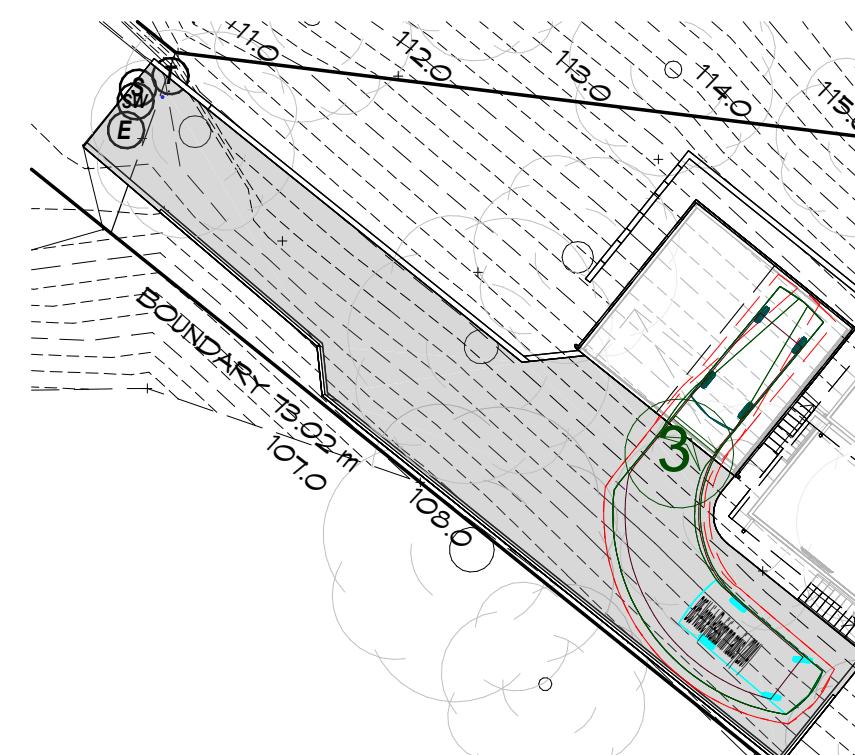
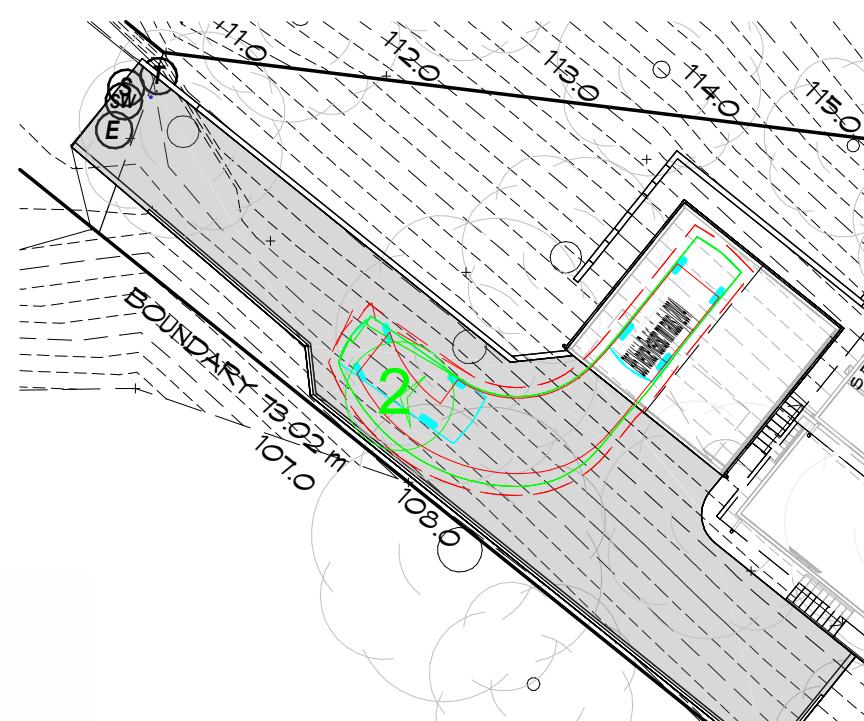
STEEL POST & FRAME  
CRASH BARIER TO  
ENGINEERS SPECIFICATION.  
WIRE INFILL TO TO COMPLY  
WITH ABCB HOUSING  
PROVISIONS PART 11.3



DRIVEWAY ELEVATION

1 : 100

BLOCK RETAINING WALL TO  
ENGINEERS SPECIFICATION



TURNING CIRCLES - IN MOVEMENT

1 : 250

TURNING CIRCLES - OUT MOVEMENT

1 : 250

**CUNIC**  
homes  
*Built for you.*

**PD** Prime  
Design

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Project:  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY  
Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Drawing:  
DRIVEWAY SECTION/ELEVATION

Drafted by:  
D.D.H.

Approved by:  
Approver

Date:

Scale:

23.01.2026

As indicated

Project/Drawing no:  
PD24322 -21

Revision:  
07

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

