

## DEVELOPMENT APPLICATION

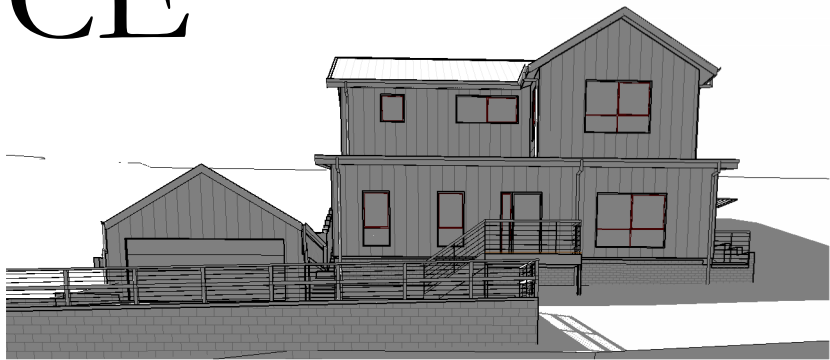
<b>APPLICATION NUMBER:</b>	PLN-25-328
<b>PROPOSED DEVELOPMENT:</b>	Residential (Dwelling)
<b>LOCATION:</b>	42 Kiewa Rise Lenah Valley
<b>APPLICANT:</b>	Cunic Homes
<b>ADVERTISING START DATE:</b>	13/02/2026
<b>ADVERTISING EXPIRY DATE:</b>	27/02/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **27/02/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **27/02/2026**, or for postal and hand delivered representations, by 5.00 pm on **27/02/2026**.

PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY  
LV PROPERTY INVESTMENTS PTY LTD  
PD24322



BUILDING

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No. : PLN-25-238  
DATE RECEIVED: 28 January 2026

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	PART SITE PLAN
03	SITE DRAINAGE PLAN
04	CUT/FILL PLAN
05	SOIL & WATER MANAGEMENT PLAN
06	LOCALITY PLAN
07	GROUND FLOOR PLAN - NOTATION
08	GROUND FLOOR PLAN - DIMENSION
09	FIRST FLOOR PLAN - NOTATION
10	FIRST FLOOR PLAN - DIMENSION
11	DOOR AND WINDOW SCHEDULES
12	LHDS PLAN
13	ELEVATIONS
14	ELEVATIONS
15	ELEVATIONS

BUILDING DRAWINGS

No	DRAWING
16	ELEVATIONS
17	ROOF PLAN
18	SECTION
19	SECTION
20	SECTION
21	DRIVEWAY SECTION/ELEVATION
29	PERSPECTIVES



LOWER GROUND FLOOR AREA	76.43	m2	( 8.23	SQUARES )
GARAGE AREA	40.98	m2	( 4.41	SQUARES )
UPPER GROUND FLOOR AREA	57.49	m2	( 6.19	SQUARES )
FIRST FLOOR AREA	91.51	m2	( 9.85	SQUARES )
TOTAL AREA	266.41		28.68	

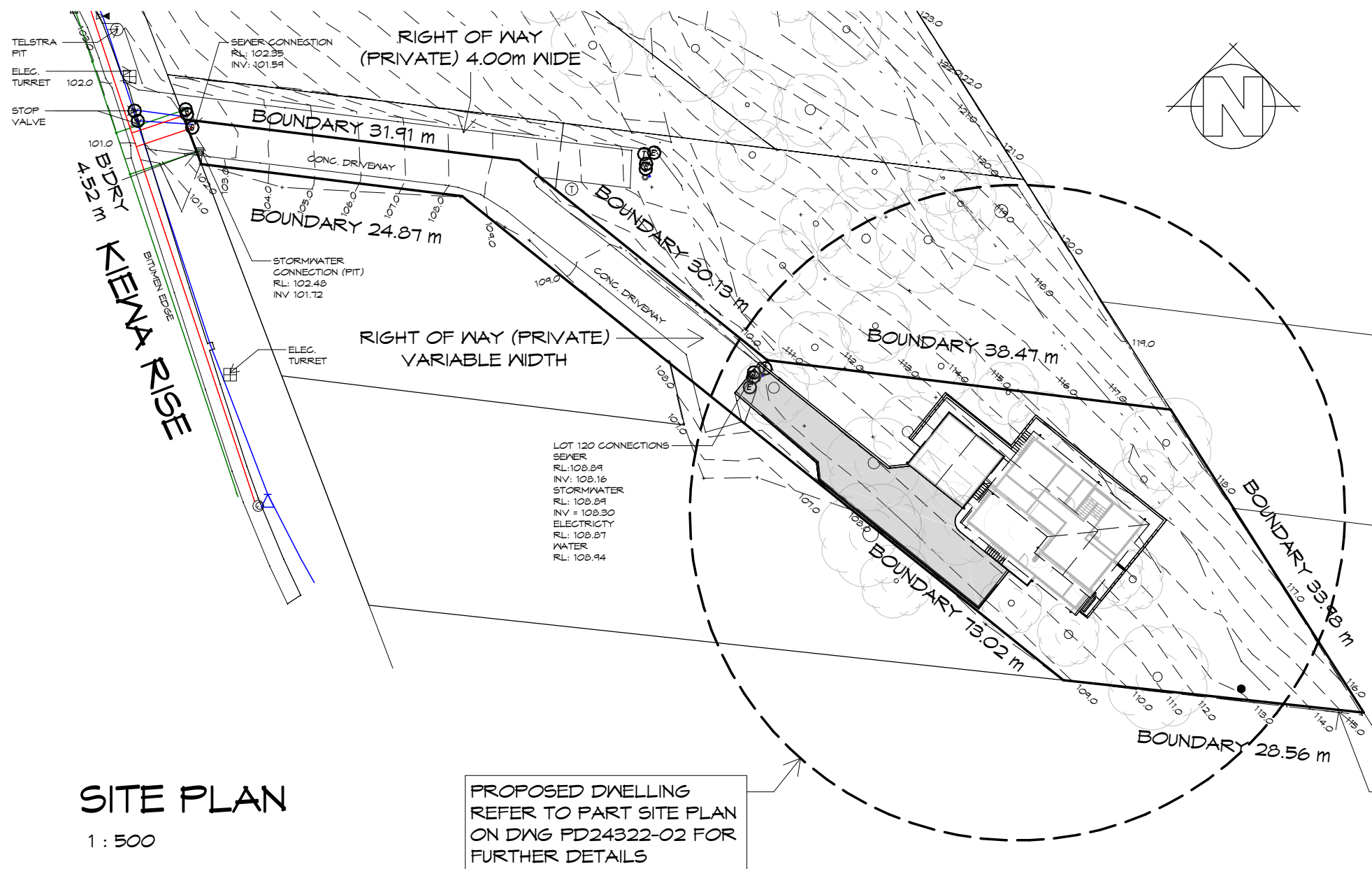
GENERAL PROJECT INFORMATION

TITLE REFERENCE: 18T764/120  
SITE AREA: 1,134m<sup>2</sup>  
DESIGN WIND SPEED: N2  
SOIL CLASSIFICATION: S  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: NO  
BAL RATING: EXEMPT  
OTHER KNOWN HAZARDS: PRIORITY  
VEGETATION AREA



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info@primedesigntas.com.au primedesigntas.com.au  
Accredited Building Practitioner: Frank Geskus -No CC246A

JANUARY 2026

**GENERAL NOTES**

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

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**SETBACKS**  
REFER TO DIMENSIONS AND  
ELEVATIONS FOR FURTHER DETAILS.

**SITE COVERAGE**  
BUILDING FOOTPRINT 175.19m<sup>2</sup> /SITE  
AREA 1314m<sup>2</sup> = 0.133  
TOTAL SITE COVERAGE 13.3%



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Project:  
**PROPOSED NEW RESIDENCE**  
42 KIEWA RISE,  
LENAH VALLEY

Client name:  
**LV PROPERTY INVESTMENTS  
PTY LTD**

Drafted by:  
**D.D.H.**

Approved by:  
**Approver**



Drawing:  
**SITE PLAN**

Date:  
**23.01.2026**

Scale:  
**1 : 500**

Project/Drawing no:  
**PD24322 -01**

Revision:  
**07**

Accredited building practitioner: Frank Geskus -No CC246A










CONTOUR INTERVAL IS 0.250m

12.5

07

Accredited building practitioner: Frank Gekus -No CC246A

## LEGEND

- PIT  450X 450 SURFACE DRAINAGE PIT
- NET AREAS  NET AREAS
- SEWER LINE  SEWER LINE
- STORMWATER LINE  STORMWATER LINE
- 100Ø AG DRAIN  100Ø AG DRAIN
- G.T. GRATED TRENCH; 150mm WIDE
- KB 150mm HIGH KERB

### PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

LOT 120 CONNECTIONS  
SEWER  
RL: 108.89  
INV: 108.16  
STORMWATER  
RL: 108.89  
INV: 108.30  
ELECTRICITY  
RL: 108.87  
WATER  
RL: 108.94

CONNECT STORMWATER  
TO COUNCIL STORMWATER  
CONNECTION

CONNECT SEWER TO  
TASWATER SEWER  
CONNECTION

PROPOSED DWELLING  
GARAGE FFL: 110.050  
LOWER FFL: 111.550  
UPPER FFL: 113.150  
FIRST FLOOR FFL: 115.850

ORG FFL  
111.400

DATUM  
BENCHMARK  
113.1386

## PART SITE DRAINAGE PLAN

1 : 250

IMPERVIOUS SURFACE SLOPED  
AWAY FROM BUILDING

TRENCH BACKFILL  
PER TABLE

EMBANKMENT

GEOTEXTILE  
FILTER

AG DRAIN @ MIN.  
% GRADIENT

WEEPHOLE

TRENCH BACKFILL PER SITE CLASS  
TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY

## TYPICAL AG DRAIN DETAIL

NTS



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Project:  
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Client name:  
**LV PROPERTY INVESTMENTS  
PTY LTD**

Drawing:  
**SITE DRAINAGE PLAN**

Drafted by:  
**D.D.H.**  
Date:  
**23.01.2026**

Approved by:  
**Approver**  
Scale:  
**As indicated**

Project/Drawing no:  
**PD24322 -03**

Revision:  
**07**

Accredited building practitioner: Frank Geskus -No CC246A

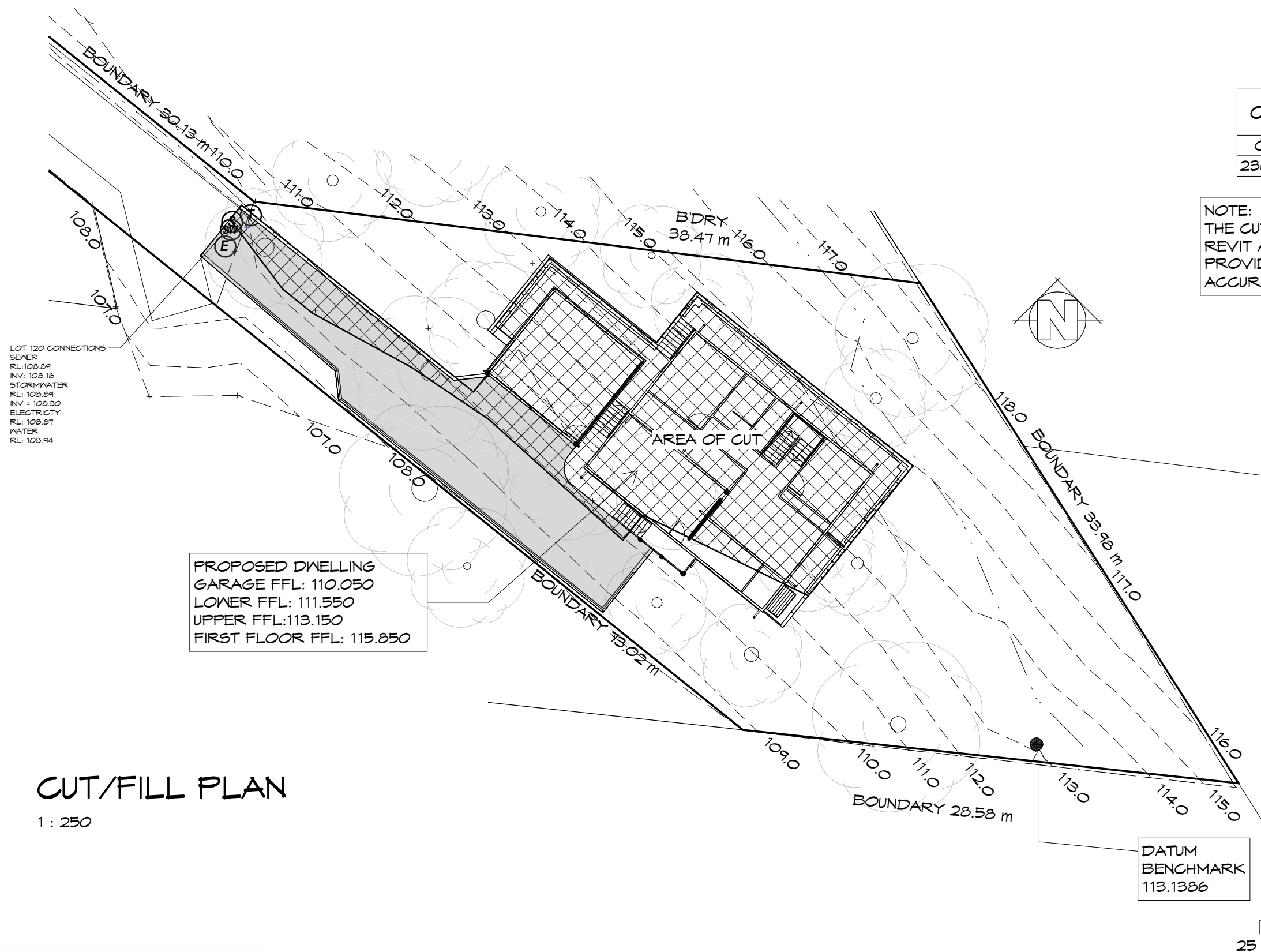
BUILDING  
NOTE: DO NOT SCALE OFF DRAWINGS



### CUT SCHEDULE

CUT VOLUME (m3)
236.13

NOTE:  
THE CUT VOLUMES CALCULATED BY  
REVIT ARE APPROXIMATE, GENERALLY  
PROVIDING RESULTS WITH +/- 1% TO 2%  
ACCURACY



## CUT/FILL PLAN

1 : 250



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LV PROPERTY INVESTMENTS  
PTY LTD

Drafted by:  
D.D.H.

Approved by:  
Approver



Drawing:  
CUT/FILL PLAN

Date:  
23.01.2026

Scale:  
1 : 250

Project/Drawing no:  
PD24322 -04

Revision:  
07

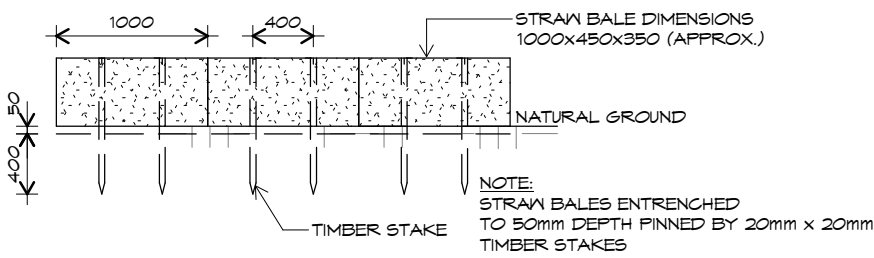
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BUILDING

25 m NOTE: DO NOT SCALE OFF DRAWINGS

12.5

0



# STRAW BALE SEDIMENT TRAP SECTION DETAILS

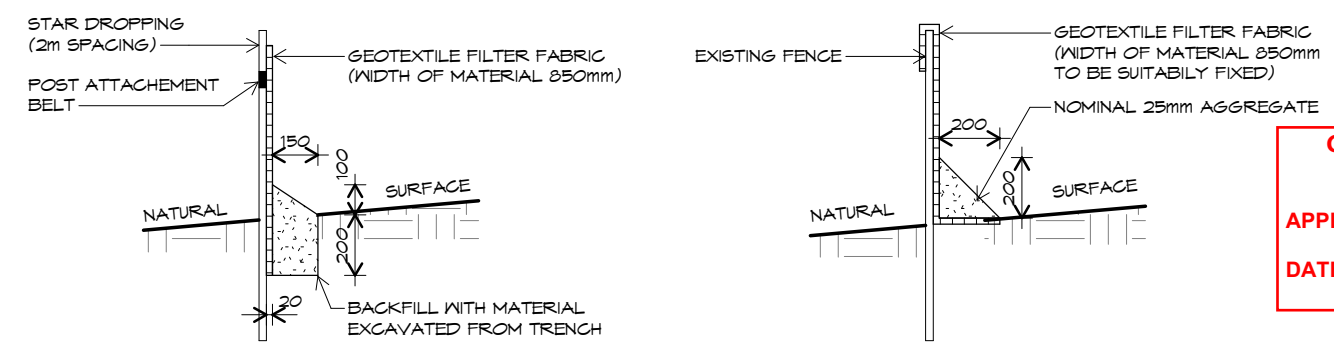
NTS

**NOTES:**  
SEDIMENT & EROSION CONTROL MEASURES SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING THE SITE MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE

- NOTES:**
1. ALL EROSION & SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY & MAINTAINED IN GOOD WORKING ORDER.
  2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING BUILDING PHASE.
  3. ALL EROSION AND SEDIMENT CONTROL MEASURE TO BE INSTALL PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
  4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
  5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE WATER CONNECTION AS SOON AS PRACTICABLE AFTER THE ROOF IS LAID

- NOTES:**
1. DIVERSION DRAINS ARE TO BE CONNECTED TO LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM)
  2. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS

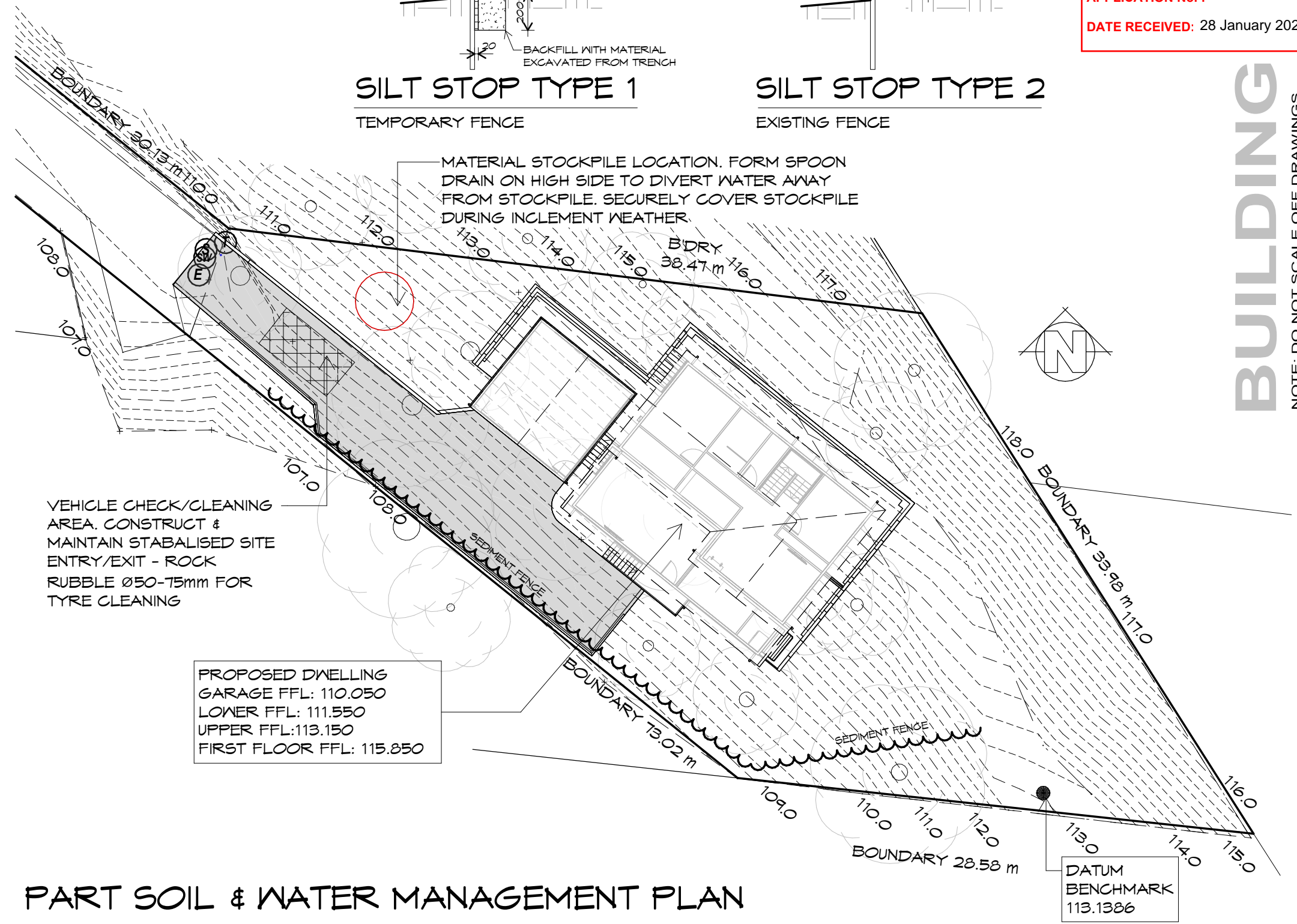
**NOTE:**  
SOIL AND WATER MANAGEMENT CONTROLS TO BE IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL DOCUMENT BY DERWENT ESTUARY PROGRAM & THE TAMAR ESTUARY AND ESK RIVERS PROGRAM



**SILT STOP TYPE 1**  
TEMPORARY FENCE

**SILT STOP TYPE 2**  
EXISTING FENCE

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**BUILDING**  
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## PART SOIL & WATER MANAGEMENT PLAN

1 : 250



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**PROPOSED NEW RESIDENCE**  
42 KIEWA RISE,  
LENAH VALLEY

Client name:  
**LV PROPERTY INVESTMENTS  
PTY LTD**

Drafted by:  
**Author**

Approved by:  
**Approver**



Drawing:  
**SOIL & WATER MANAGEMENT  
PLAN**

Date: **23.01.2026** Scale: **As indicated**

Project/Drawing no: **PD24322 -05** Revision: **07**

Accredited building practitioner: Frank Geskus -No CC246A



PROPOSED NEW RESIDENCE  
42, KIEWA RISE, LENAH VALLEY



## LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED LOW DENSITY RESIDENTIAL AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.



BUILDING  
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Project:  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY  
Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Drawing:  
LOCALITY PLAN

Drafted by: D.D.H. Approved by: Approver

Date: 23.01.2026 Scale: 1 : 2000

Project/Drawing no: PD24322 -06 Revision: 07

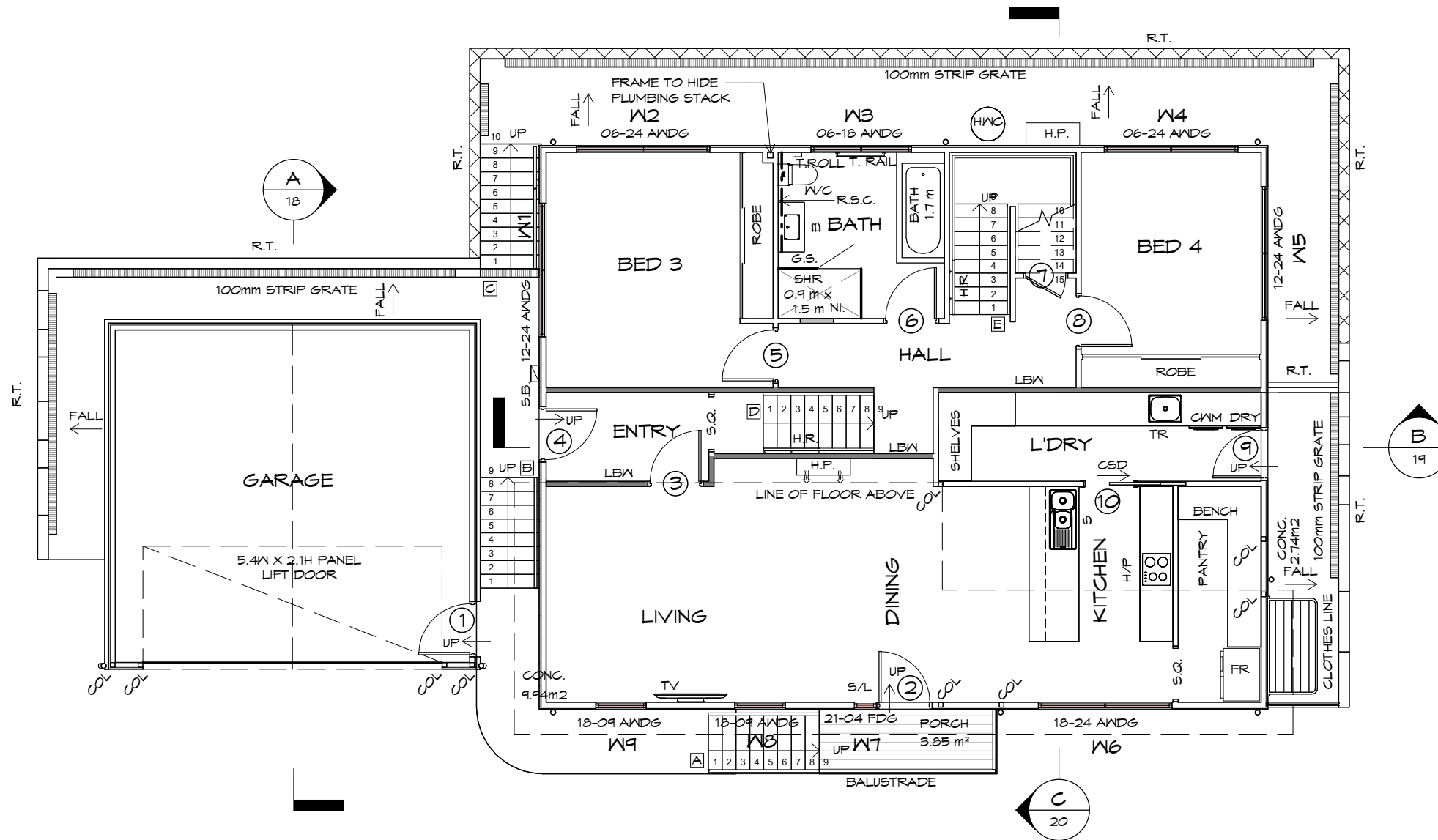
Accredited building practitioner: Frank Geskus -No CC246A



## LEGEND

CSD	CAVITY SLIDING DOOR
S/L	SIDELIGHT
G.S.	GLASS SCREEN
HWC	HOT WATER CYLINDER
R.T.	RETAINING WALL TO ENG. SPEC.
H.R.	HAND RAIL
S.Q.	SQUARE STOP
NI	SHOWER NICHE 300mm x 600mm
R.S.C.	200mm DEEP SEMI-RECESSED SHAVING CABINET
L.B.	LOAD BEARING WALL
COL	89x3.5 SHS COLUMN
T.ROLL	TOILET ROLL HOLDER
T.RAIL	TOWEL RAIL

BUILDING  
NOTE: DO NOT SCALE OFF DRAWINGS



## GROUND FLOOR PLAN - NOTATION

1 : 100

LOWER GROUND FLOOR AREA	76.43	m <sup>2</sup>	(8.23	SQUARES)
GARAGE AREA	40.98	m <sup>2</sup>	(4.41	SQUARES)
UPPER GROUND FLOOR AREA	57.49	m <sup>2</sup>	(6.19	SQUARES)
FIRST FLOOR AREA	91.51	m <sup>2</sup>	(9.85	SQUARES)
TOTAL AREA	266.41		28.68	

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

**SANITARY COMPARTMENTS**  
MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY ABCB HOUSING PROVISIONS PART 10.4

**WINDOW WITHIN WET AREA**  
C/W SAFETY GLASS AS PER AS1288.2021  
BEVEL WINDOW SEAL  
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

### STAIRS

STAIR	NO RISERS	RISER H'T	TREAD DEPTH
A	9	172	250
B	9	156	250
C	10	160	250
D	9	178	250
E	15	180	250

**STAIRS**  
TO COMPLY ABCB HOUSING PROVISIONS PART 11.2

**HANDRAIL**  
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3

**Prime Design**

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**LENAH VALLEY**  
Client name:  
**LV PROPERTY INVESTMENTS**  
**PTY LTD**

Drawing:  
**GROUND FLOOR PLAN -**  
**NOTATION**

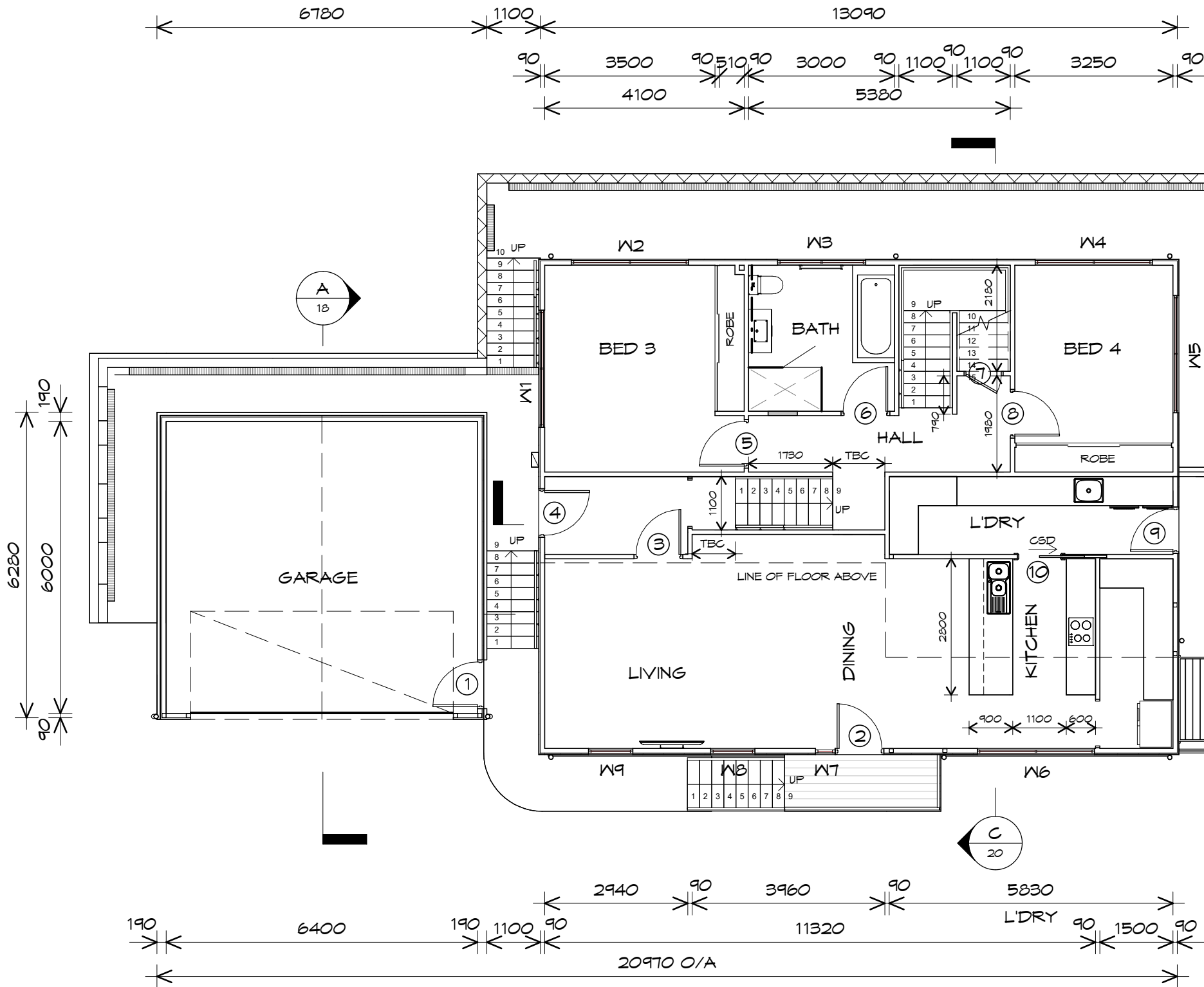
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D.D.H.  
Date:  
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Approved by:  
Approver  
Scale:  
1 : 100

Project/Drawing no:  
PD24322 -07  
Revision:  
07  
Accredited building practitioner: Frank Geskus -No CC246A



**GLENORCHY CITY COUNCIL**  
**PLANNING SERVICES**  
APPLICATION No. : PLN-25-238  
DATE RECEIVED: 28 January 2026





# LEGEND

- CSD CAVITY SLIDING DOOR
- S/L SIDELIGHT
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- R.T. RETAINING WALL TO ENG. SPEC.
- H.R. HAND RAIL
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- NI. SHOWER NICHE 300mm x 600mm
- R.S.C. 200mm DEEP SEMI-RECESSED SHAVING CABINET
- L.B. LOAD BEARING WALL
- COL 89x3.5 SHS COLUMN
- T.ROLL TOILET ROLL HOLDER
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**BUILDING**  
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**42 KIEWA RISE,**  
**LENAH VALLEY**  
Client name:  
**LV PROPERTY INVESTMENTS**  
**PTY LTD**

Drawing:  
**GROUND FLOOR PLAN -**  
**DIMENSION**

Drafted by: D.D.H. Approved by: Approver  
Date: 23.01.2026 Scale: 1 : 100

Project/Drawing no: PD24322 -08 Revision: 07  
Accredited building practitioner: Frank Geskus -No CC246A

## GROUND FLOOR PLAN - DIMENSION

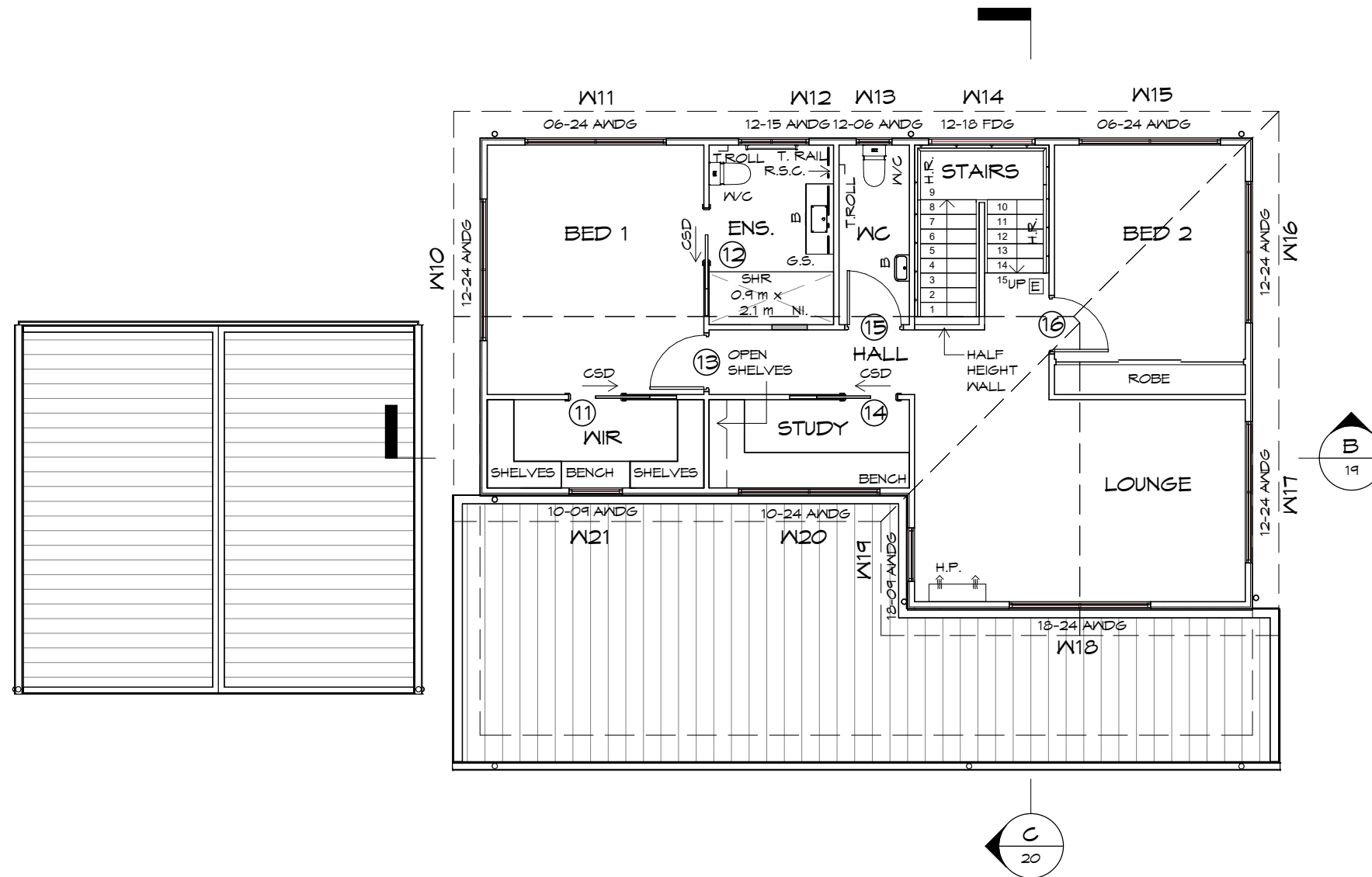
1 : 100



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## LEGEND

CSD	CAVITY SLIDING DOOR
S/L	SIDELIGHT
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BUILDING  
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## FIRST FLOOR PLAN - NOTATION

1 : 100

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### NOTE:

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### SANITARY COMPARTMENTS

MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY ABCB HOUSING PROVISIONS PART 10.4

### WINDOW WITHIN WET AREA

C/W SAFETY GLASS AS PER AS1288.2021  
BEVEL WINDOW SEAL  
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

### NOTE:

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### STAIRS

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A	9	172	250
B	9	156	250
C	10	160	250
D	9	178	250
E	15	180	250

### STAIRS

TO COMPLY ABCB HOUSING PROVISIONS PART 11.2  
180 RISER  
260 GOING  
NON SLIP

### HANDRAIL

HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3



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LV PROPERTY INVESTMENTS  
PTY LTD

### Drawing:

FIRST FLOOR PLAN - NOTATION

Drafted by:  
D.D.H.

Approved by:  
Approver

Date:

23.01.2026

Scale:

1 : 100

Project/Drawing no:

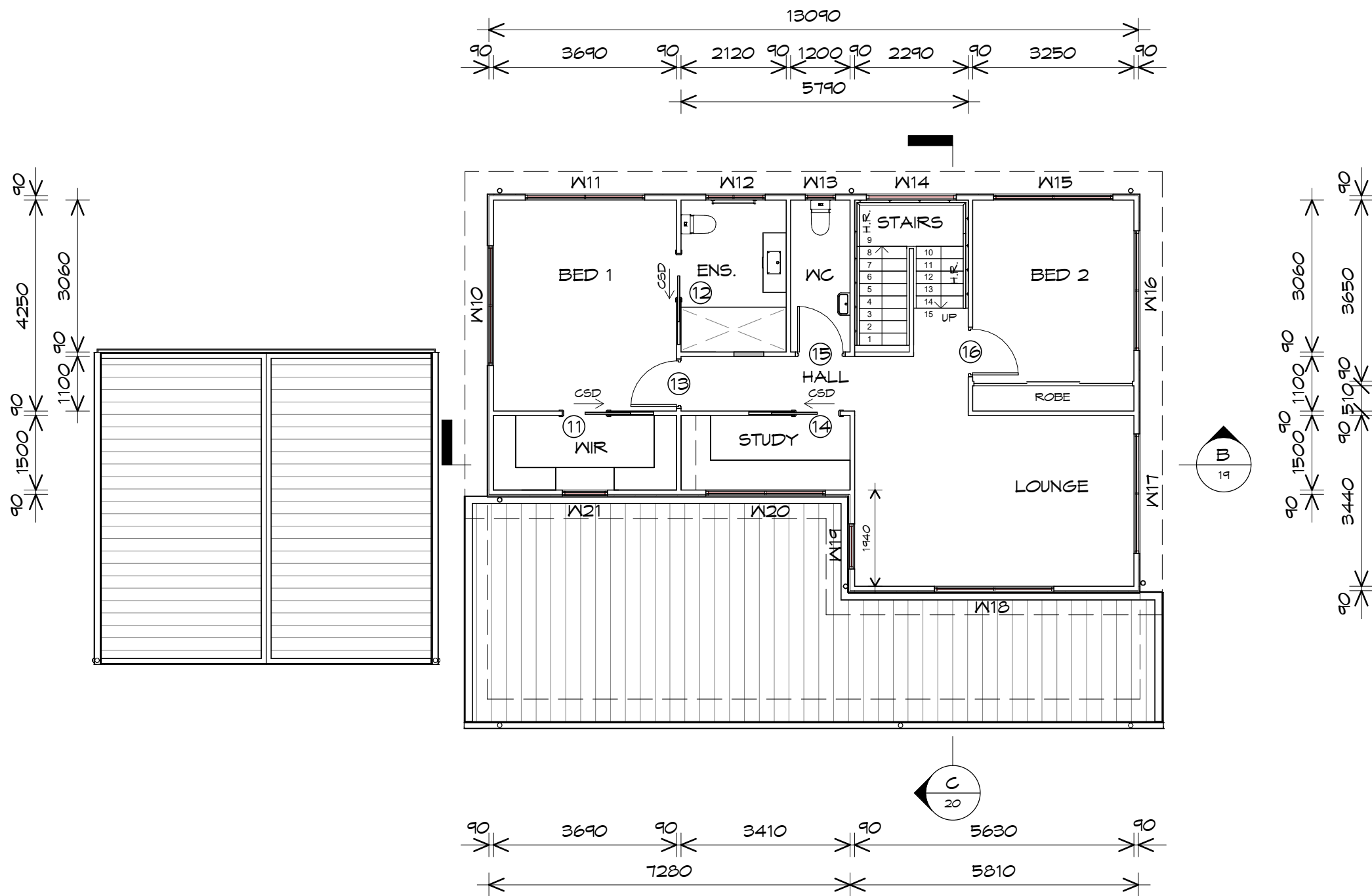
PD24322 -09

Revision:

07

Accredited building practitioner: Frank Geskus -No CC246A





FIRST FLOOR PLAN - DIMENSION

1 : 100



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- H.R. HAND RAIL
- S.Q. SQUARE STOP
- NI. SHOWER NICHE 300mm x 600mm
- R.S.C. 200mm DEEP SEMI-RECESSED SHAVING CABINET
- L.B. LOAD BEARING WALL
- COL 89x3.5 SHS COLUMN
- T.ROLL TOILET ROLL HOLDER
- T.RAIL TOWEL RAIL

**BUILDING**  
NOTE: DO NOT SCALE OFF DRAWINGS



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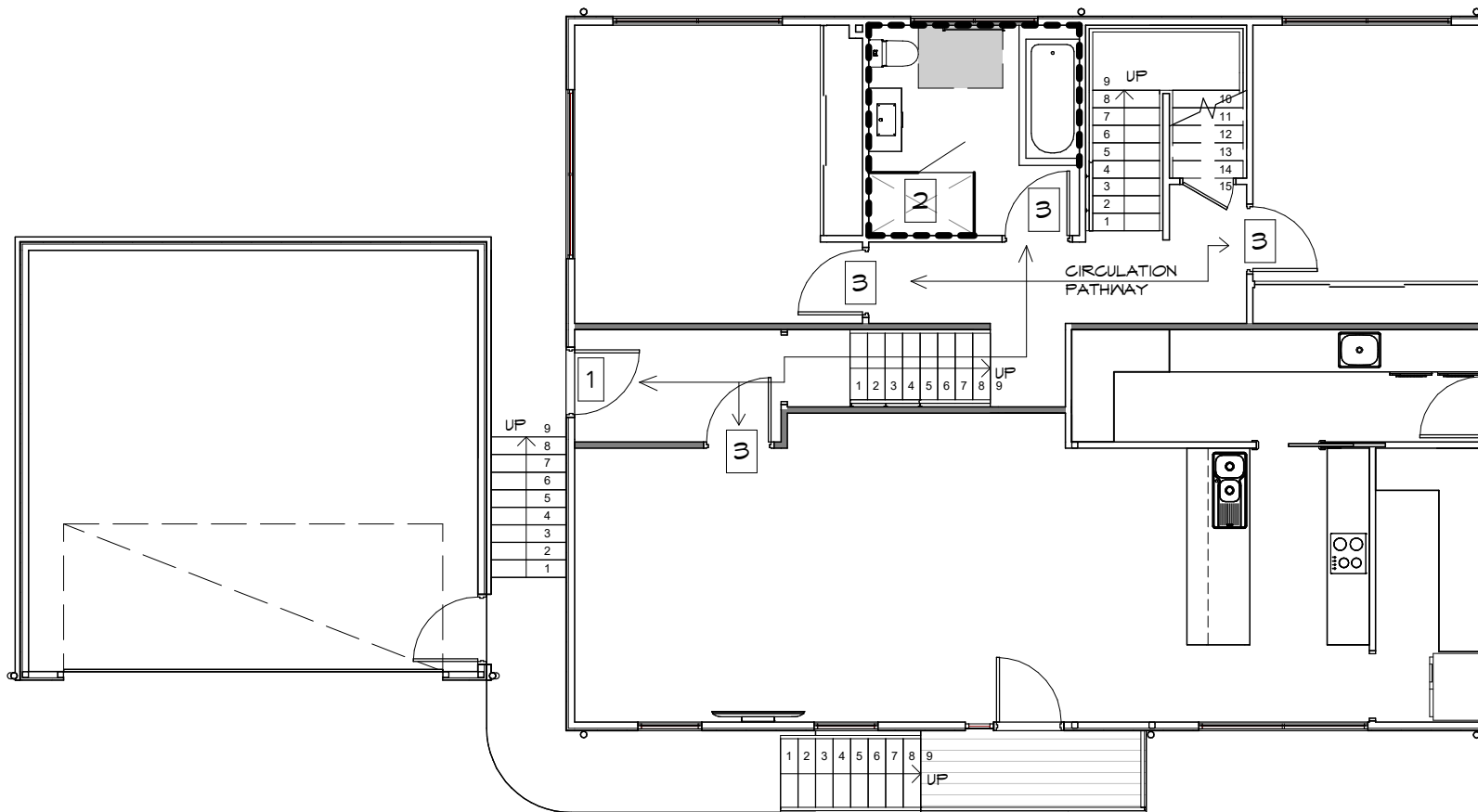
Project:  
**PROPOSED NEW RESIDENCE**  
**42 KIEWA RISE,**  
**LENAH VALLEY**  
Client name:  
**LV PROPERTY INVESTMENTS**  
**PTY LTD**

Drawing:  
**FIRST FLOOR PLAN - DIMENSION**

Drafted by: D.D.H. Approved by: Approver  
Date: 23.01.2026 Scale: 1 : 100

Project/Drawing no: PD24322 -10 Revision: 07  
Accredited building practitioner: Frank Geskus -No CC246A





GROUND FLOOR PLAN - NOTATION

1 : 100

- LEGEND
- 1

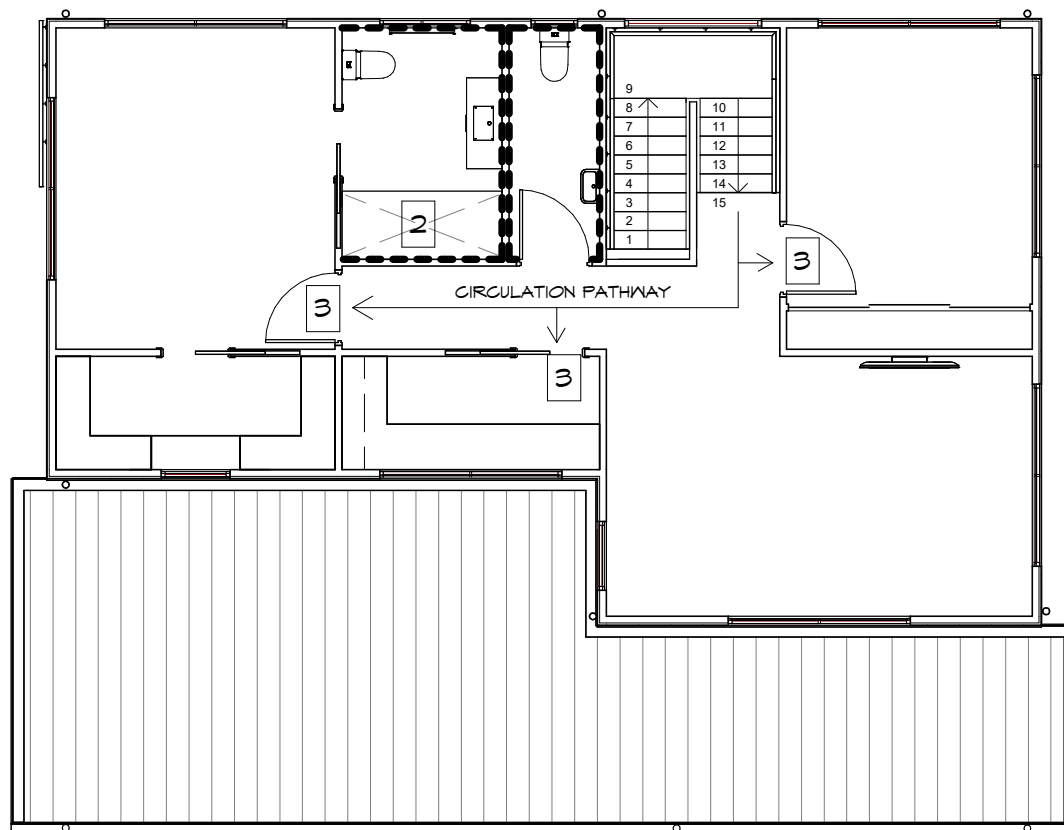
820 CLEAR OPENING WIDTH TO MAIN POINT OF ENTRY
- 2

CURBLESS SHOWER
- 3

DOOR REQUIRED PART 3 820 CLEAR OPENING WIDTH TO DOORWAYS
- NOTE: THRESHOLDS OF AN INTERNAL DOORWAY SUBJECT TO PART 3 TO BE:  
- LEVEL  
- HAVE A HEIGHT NOT MORE THAN 5MM IF LIP IS ROUNDED OR BEVELED  
- RAMPED THRESHOLD IN ACCORDANCE WITH ABCB LHDS PART 3
- LINE WALL WITH 18mm PLYWOOD BEHIND PLASTER
- 900X1200 W/C CIRCULATION
- ←

1000 CLEAR HALLWAY CIRCULATION

REFER TO DETAILS ON BD14 & BD16



FIRST FLOOR PLAN LHDS PLAN

1 : 100

TO COMPLY WITH ABCB HOUSING PROVISIONS PART H3 & ABCB STANDARD FOR LIVABLE HOUSING DESIGN:

- PART 2.1
- PART 3
- PART 4
- PART 5, AND:
- PART 6.

IN ACCORDANCE WITH CBOS DIRECTORS DETERMINATION 2024



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Project:  
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LENAH VALLEY  
Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Drawing:  
LHDS PLAN

Drafted by: D.D.H.	Approved by: Approver
Date: 23.01.2026	Scale: 1 : 100

Project/Drawing no: PD24322 -12	Revision: 07
Accredited building practitioner: Frank Geskus -No CC246A	

**EAVES**  
OVER HANG ROOF 450mm U.N.O.  
FRAME FOR LEVEL EAVES  
LINE ALL SOFFITS  
WITH HARDIFLEX SHEETING.  
IN ACCORDANCE WITH ABCB  
HOUSING PROVISIONS PART 7.5.5

**FASCIA**  
COLORBOND FOLDED METAL  
-GUTTER TO CLIENTS SPEC  
-FASCIA TRIM ALL ROUND  
INSTALLED IN ACCORDANCE  
WITH THE MANUFACTURER'S  
INSTRUCTIONS.  
COLOUR TO BE SELECTED

ROOF CLADDING  
COLORBOND TRIMDEK  
TO CLIENTS SPECS.

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS

SCYON AXON (ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

**GLAZING**  
ALL GLAZING IS TO COMPLY WITH ABCB  
HOUSING PROVISIONS PART 8  
IN PARTICULAR THAT THE GLAZING IN  
THE WINDOW LOCATED OVER THE BATH/  
SHOWER INSTALLATION TO COMPLY WITH  
HUMAN IMPACT SAFETY REQUIREMENTS,  
SECTION 5.8 OF AS1288  
WINDOWS TO BE SEALED IN  
ACCORDANCE WITH AS2047  
ALL GLASS INSTALLATIONS INCLUDING  
ROOFS, WINDOW AND DOORS TO BE  
TAGGED ON-SITE OR GLAZIER TO  
SUPPLY COMPLIANCE CERTIFICATE  
AT FINAL INSPECTION.

**BUILDING MEMBRANE**  
IN ACCORDANCE WITH ABCB HOUSING  
PROVISIONS PART 10.8.1  
PLIABLE BUILDING MEMBRANE INSTALLED  
TO EXTERIOR OF FRAMEWORK, TO BE  
VAPOUR PERMEABLE TO COMPLY WITH  
AS4200.1 & BE INSTALLED TO AS4200.2

**FLASHINGS TO WALL OPENINGS**  
OPENINGS IN EXTERNAL WALL CLADDING  
EXPOSED TO WEATHER MUST BE FLASHED  
WITH MATERIAL COMPLYING WITH AS/NZS  
2904 TO TOP, BOTTOM & SIDES OF  
OPENINGS. FLASHINGS MUST BE SUITABLE  
FOR FRAMING & CLADDING USED. TO  
COMPLY ABCB HOUSING PROVISIONS PART  
7.5.6

ENGINEERED RETAINING WALL  
TO ENGINEERS SPECIFICATION.  
REFER TO STRUCTURAL ENGINEERS  
DRAWINGS.

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 13.4

MINIMUM CLEARANCE BETWEEN CLADDING & GROUND

- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY. CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW  
BEARER OR LOWEST POINT OF SUSPENDED FLOOR  
FRAMING. TO COMPLY WITH ABCB HOUSING  
PROVISIONS PART 7.5.7

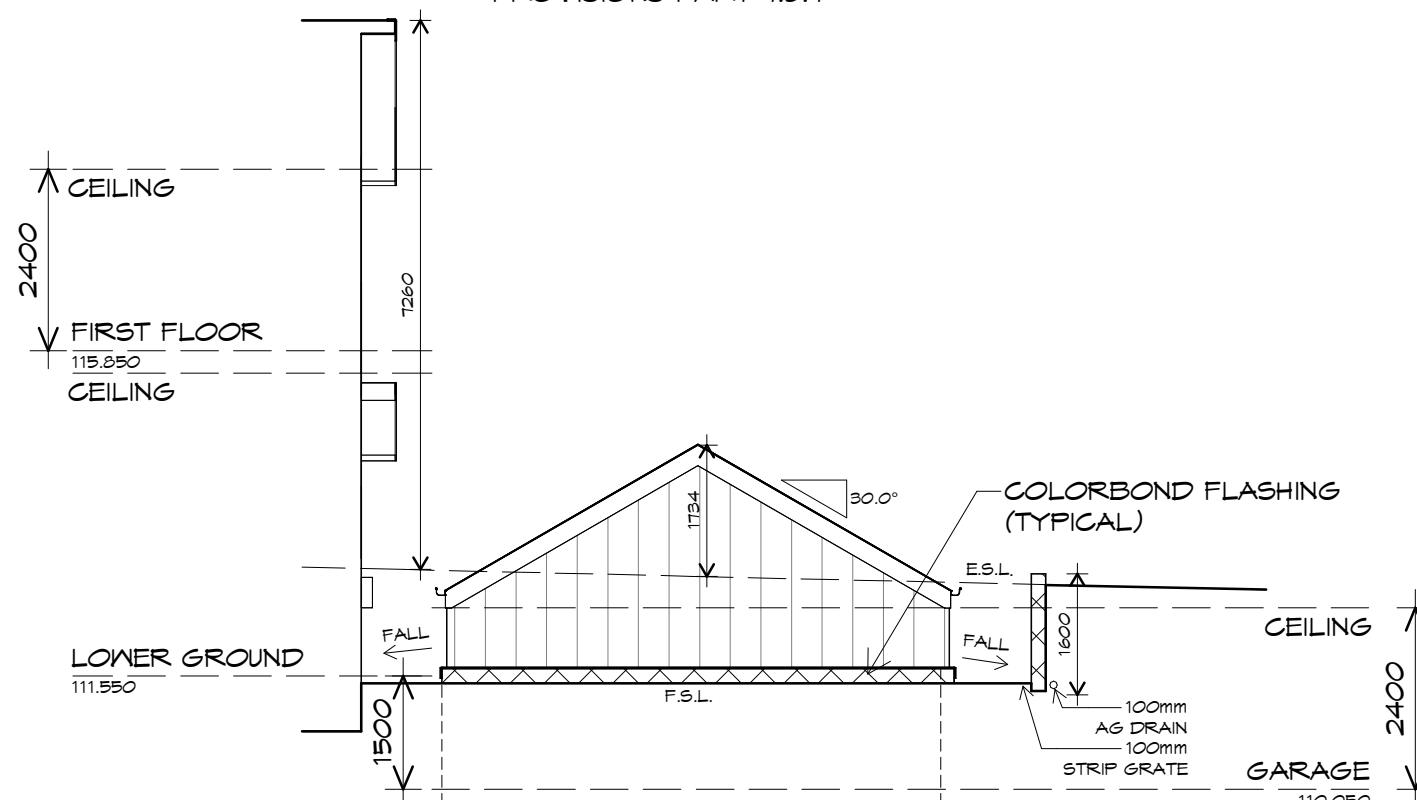
## NORTH EASTERN ELEVATION

1 : 100

**WINDOWS**  
POWDER COATED ALUMINIUM WINDOW  
FRAMES AWNING OPENING  
REVEALS AND TRIMS TO CLIENTS SPEC.  
ALL FLASHING TO MANUFACTURERS  
SPECIFICATION  
REFER AS 1288, AS 2047 & ABCB  
HOUSING PROVISIONS PART 8.2



**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No. : PLN-25-238  
DATE RECEIVED: 28 January 2026



## NORTH EASTERN ELEVATION - GARAGE

1 : 100



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PTY LTD**

Drawing:  
**ELEVATIONS**

Drafted by:  
**D.D.H.**  
Date:  
**23.01.2026**

Approved by:  
**Approver**  
Scale:  
**1 : 100**

Project/Drawing no:  
**PD24322 -13**

Revision:  
**07**

Accredited building practitioner: Frank Geskus -No CC246A



**BUILDING**  
NOTE: DO NOT SCALE OFF DRAWINGS



GLAZING

ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8 IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/ SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288 WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047 ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

BUILDING MEMBRANE

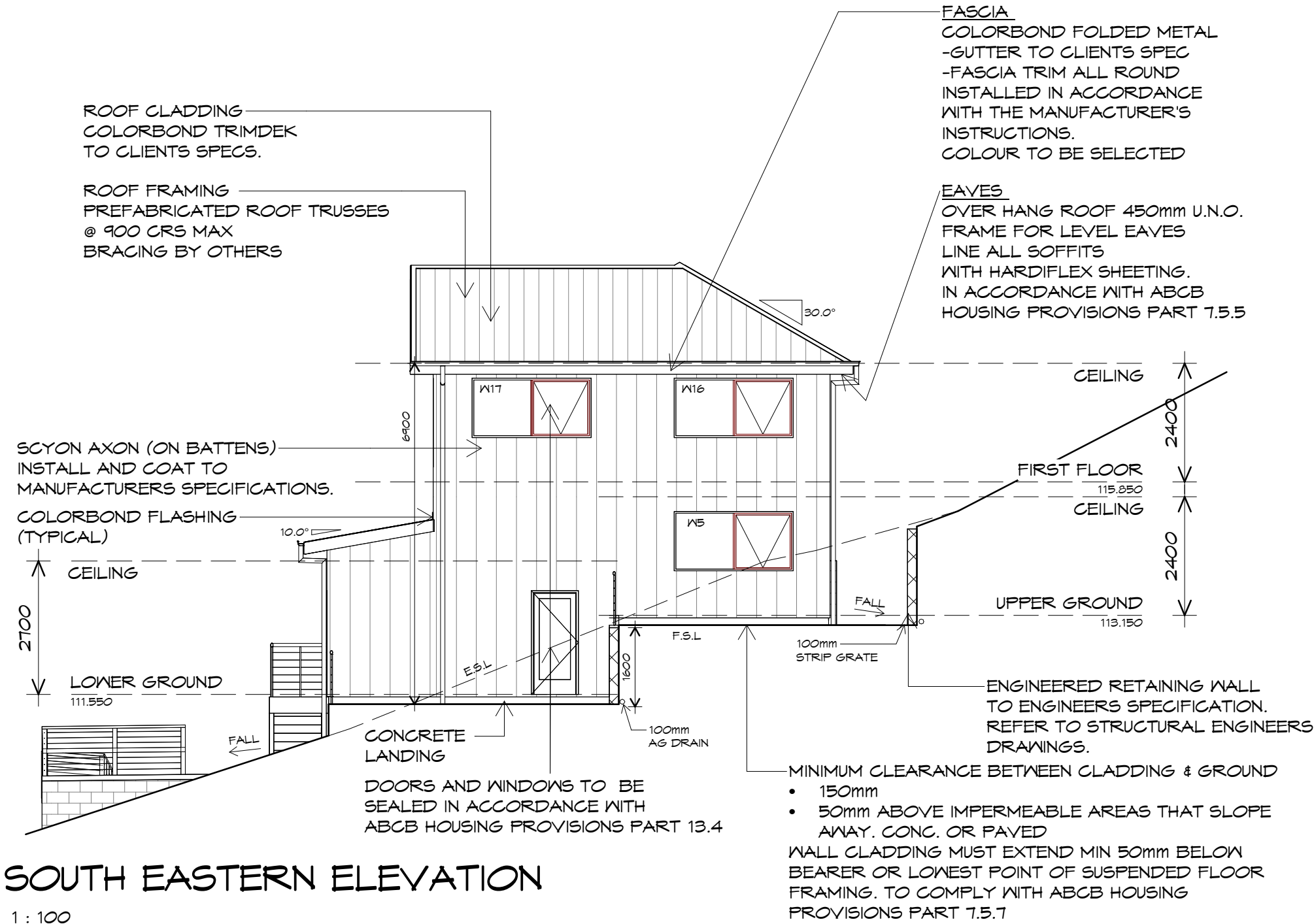
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1 PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

FLASHINGS TO WALL OPENINGS

OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

WINDOWS

POWDER COATED ALUMINIUM WINDOW FRAMES ~~ANNING~~ OPENING REVEALS AND TRIMS TO CLIENTS SPEC. ALL FLASHING TO MANUFACTURERS SPECIFICATION REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2



**GLAZING**  
ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8  
IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288  
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ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

**WINDOWS**  
POWDER COATED ALUMINIUM WINDOW FRAMES **AWNING** OPENING REVEALS AND TRIMS TO CLIENTS SPEC. ALL FLASHING TO MANUFACTURERS SPECIFICATION  
REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

**BUILDING MEMBRANE**  
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1  
PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

**ROOF FRAMING**  
PREFABRICATED ROOF TRUSSES @ 900 CRS MAX  
BRACING BY OTHERS

**ROOF CLADDING**  
COLORBOND TRIMDEK TO CLIENTS SPECS.

**SCYON AXON (ON BATTENS)**  
INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

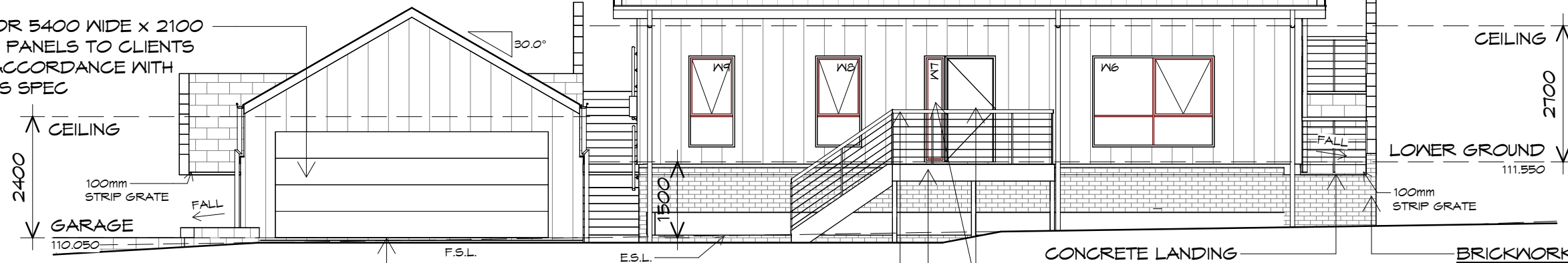
**COLORBOND FLASHING (TYPICAL)**

**FLASHINGS TO WALL OPENINGS**  
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**FASCIA**  
COLORBOND FOLDED METAL  
-GUTTER TO CLIENTS SPEC  
-FASCIA TRIM ALL ROUND  
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.  
COLOUR TO BE SELECTED

**EAVES**  
OVER HANG ROOF 450mm U.N.O.  
FRAME FOR LEVEL EAVES  
LINE ALL SOFFITS WITH HARDIFLEX SHEETING. IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.5.5

PANEL LIFT DOOR 5400 WIDE x 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC



**MINIMUM CLEARANCE BETWEEN CLADDING & GROUND**

- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY. CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO COMPLY WITH ABCB HOUSING PROVISIONS PART 7.5.7

**BALUSTRADE**  
HANDRAIL TO BE 1020mm HIGH  
MINIMUM 865 MINIMUM FOR STAIRS  
POSTS AT A MAXIMUM SPACING OF 1800mm  
90x19 VERTICALS  
WITH 125mm GAP OR LESS  
90x45 TOP AND BOTTOM RAIL  
TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3

**CONCRETE LANDING**  
DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

**TIMBER DECK**  
ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF A.S.1684  
ALL EXTERNAL DECK COMPONENTS TO BE TREATED TREATED PINE (F5)  
ALL EXPOSED FIXTURES, BOLTS ETC. TO BE HOT DIPPED GALVANIZED.  
REFER AS 1684, AS1720.1 & NCC 2022 H1D6  
FIXING TO EXTERNAL WALL TO COMPLY WITH ABCB HOUSING PROVISIONS PART 12.3.2

**BRICKWORK**  
SELECTED FIRED CLAY FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR ARTICULATION JOINTS  
ALL MASONRY TO COMPLY WITH ABCB HOUSING PROVISIONS PART 5

## SOUTH WESTERN ELEVATION

1 : 100



**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
**APPLICATION No. : PLN-25-238**  
**DATE RECEIVED: 28 January 2026**



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Project:  
**PROPOSED NEW RESIDENCE**  
42 KIEWA RISE,  
LENAH VALLEY

Client name:  
**LV PROPERTY INVESTMENTS  
PTY LTD**

Drafted by:  
**D.D.H.**

Approved by:  
**Approver**



Drawing:  
**ELEVATIONS**

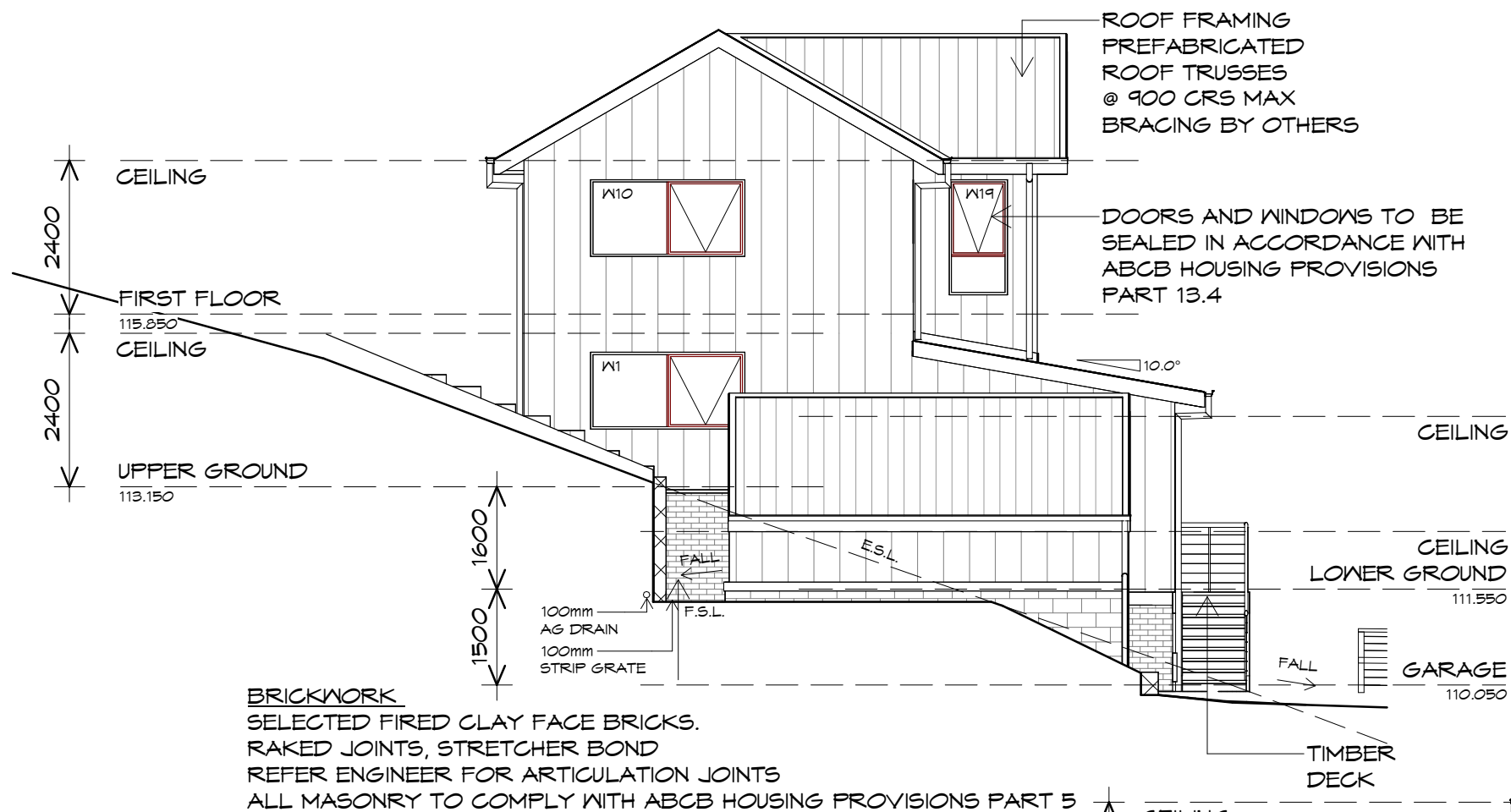
Date: 23.01.2026  
Scale: 1 : 100

Project/Drawing no: PD24322 -15  
Revision: 07

Accredited building practitioner: Frank Geskus -No CC246A

**BUILDING**  
NOTE: DO NOT SCALE OFF DRAWINGS





## NORTH WESTERN ELEVATION

1 : 100

**GLAZING**  
ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8 IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288 WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047 ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

**WINDOWS**  
POWDER COATED ALUMINIUM WINDOW FRAMES **AWNING** OPENING REVEALS AND TRIMS TO CLIENTS SPEC. ALL FLASHING TO MANUFACTURERS SPECIFICATION REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

ENGINEERED RETAINING WALL TO ENGINEERS SPECIFICATION. REFER TO STRUCTURAL ENGINEERS DRAWINGS.

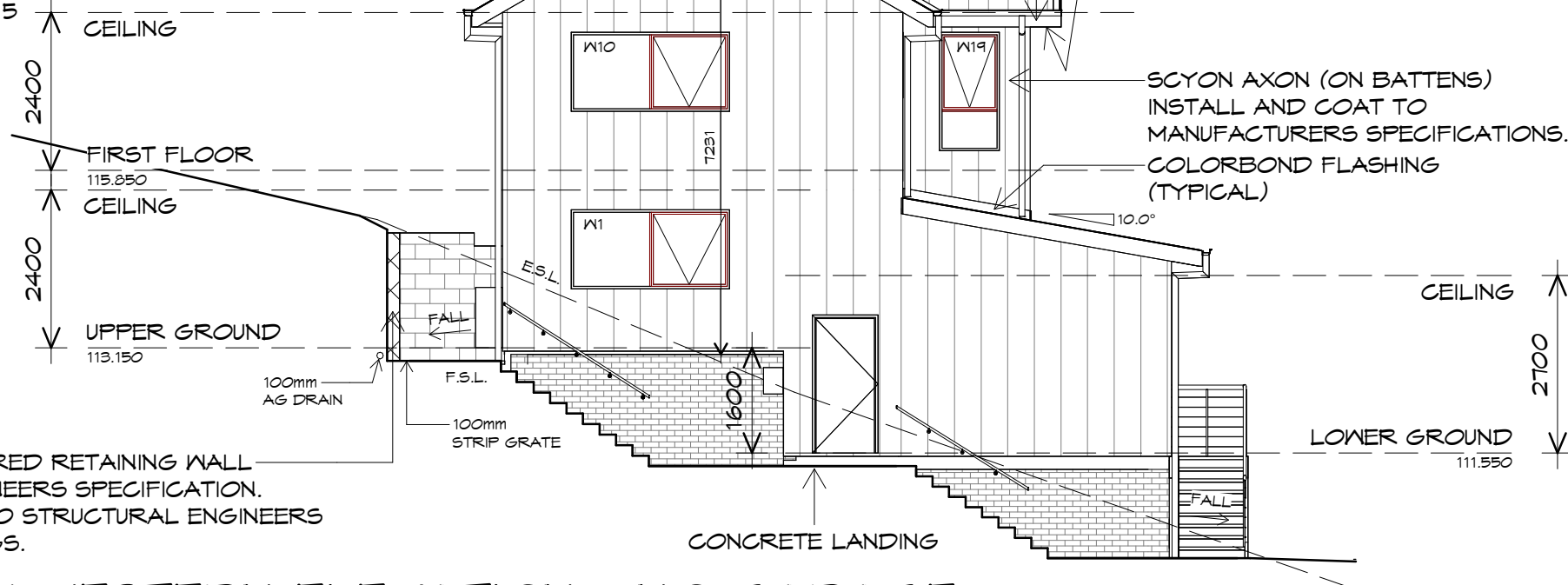
**FLASHINGS TO WALL OPENINGS**  
OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

**BUILDING MEMBRANE**  
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1 PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

**FASCIA**  
COLORBOND FOLDED METAL -GUTTER TO CLIENTS SPEC -FASCIA TRIM ALL ROUND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. COLOUR TO BE SELECTED

**EAVES**  
OVER HANG ROOF 450mm U.N.O. FRAME FOR LEVEL EAVES LINE ALL SOFFITS WITH HARDIFLEX SHEETING. IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.5.5

SCYON AXON (ON BATTENS) INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS. COLORBOND FLASHING (TYPICAL)



## NORTH WESTERN ELEVATION - NO GARAGE

1 : 100



**GLENORCHY CITY COUNCIL  
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**Project:**  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY

**Client name:**  
LV PROPERTY INVESTMENTS  
PTY LTD

**Drafted by:**  
D.D.H.

**Approved by:**  
Approver



**Drawing:**  
ELEVATIONS

**Date:** 23.01.2026  
**Scale:** 1 : 100

**Project/Drawing no:** PD24322 -16  
**Revision:** 07  
Accredited building practitioner: Frank Geskus -No CC246A

**BUILDING**  
NOTE: DO NOT SCALE OFF DRAWINGS

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:500 FOR EAVES GUTTER  
BOX GUTTERS IN ACCORDANCE WITH  
A533500.3:2021

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ROOF A VENTILATION 15-75deg (TABLE 10.8.3.)

COMMENTS	LENGTH (m)	SUPPLY AREA REQUIRED (mm2)	EXHAUST AREA REQUIRED (mm2)	VENT WIDTHS (mm)	VENT LENGTHS (mm)	OPENING %	SUPPLY VENTS REQUIRED (#)	EXHAUST VENTS REQUIRED (#)
SUPPLY	14.1	98700.00		420	220	25%	10	
EXHAUST	14.1		70500	50	16040	25%		1

VENTILATION TO COMPLY WITH ABCB HOUSING PROVISIONS 2022, PART 10.8.3

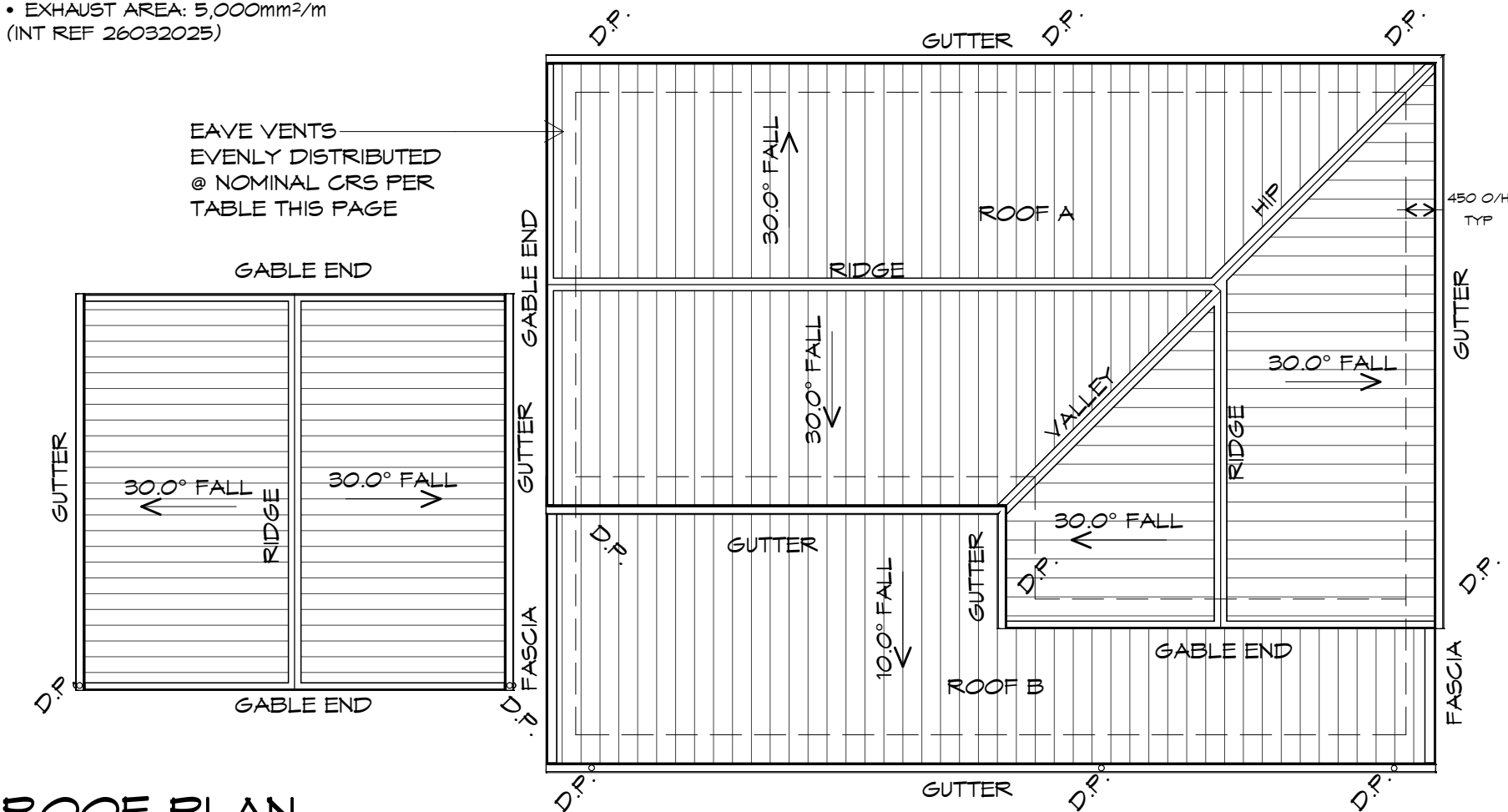
- SUPPLY AREA: 7,000mm<sup>2</sup>/m
  - EXHAUST AREA: 5,000mm<sup>2</sup>/m
- (INT REF 26032025)

ROOF B VENTILATION 10-15deg (TABLE 10.8.3.)

COMMENTS	LENGTH (m)	SUPPLY AREA REQUIRED (mm2)	EXHAUST AREA REQUIRED (mm2)	VENT WIDTHS (mm)	VENT LENGTHS (mm)	OPENING %	SUPPLY VENTS REQUIRED (#)	EXHAUST VENTS REQUIRED (#)
SUPPLY	14.1	352500		220	420	25%	16	
EXHAUST	14.1		70500	50	14100	25%		1

VENTILATION TO COMPLY WITH ABCB HOUSING PROVISIONS 2022, PART 10.8.3

- SUPPLY AREA: 25,000mm<sup>2</sup>/m
  - EXHAUST AREA: 5,000mm<sup>2</sup>/m
- (INT REF 26032025)



ROOF PLAN

1 : 100



ROOFING SISALATION

ROOFING SISALATION IS TO BE DISCONTINUOUS  
(CUT BACK TO TOP BATTENS) AT THE RIDGE  
PROVIDING RIDGE VENTILATION IN ACCORDANCE  
WITH 10.8.3 OF THE HOUSING PROVISIONS

OVERFLOW MEASURES

INSTALL FRONT FACE SLOTTED GUTTER OR  
10mm CONTROLLED BACK GAP, STAND OFF  
BRACKET WITH SPACER.  
BACK OF GUTTER INSTALLED A MINIMUM OF  
10mm BELOW THE TOP OF FASCIA  
INSTALL IN ACCORDANCE WITH ABCB HOUSING  
PROVISIONS PART 7.4.6



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Drafted by:  
D.D.H.

Approved by:  
Approver



Drawing:  
ROOF PLAN

Date:  
23.01.2026

Scale:  
1 : 100

Project/Drawing no:  
PD24322 -17

Revision:  
07

Accredited building practitioner: Frank Geskus -No CC246A

BUILDING  
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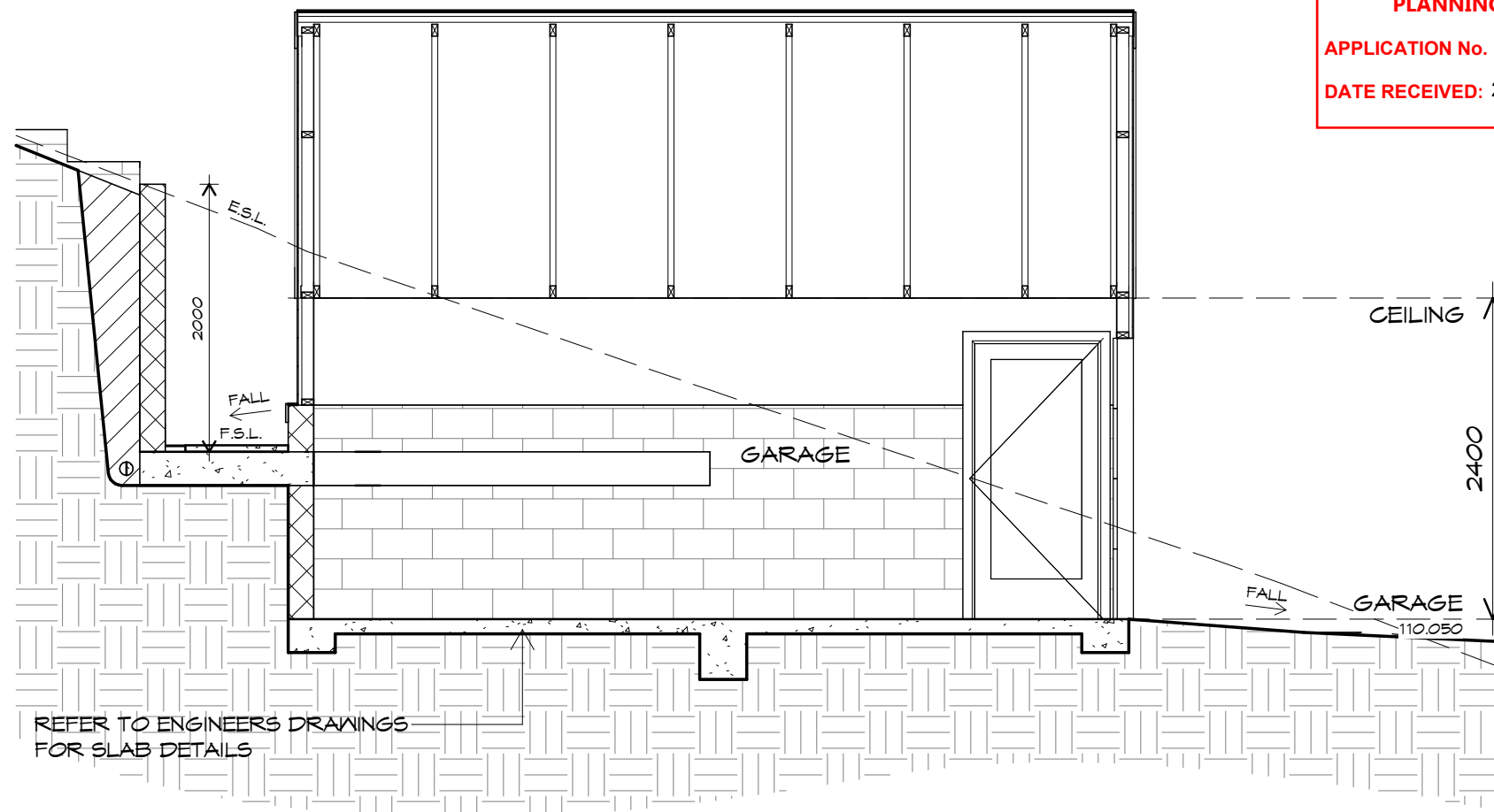


**BATHROOM WATER PROOFING**  
UNENCLOSED AND ENCLOSED SHOWER AREAS TO BE WATERPROOF TO ENTIRE SHOWER AREA  
AREAS OUTSIDE SHOWER AREA AND BATH/SPA;  
• TIMBER FLOORS TO BE WATER PROOF OVER ENTIRE SURFACE  
• CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOOR TO HAVE WATER RESISTANT TO ENTIRE SURFACE  
REFER TO ABCB HOUSING PROVISIONS PART 10.2 FOR ALTERNATIVES  
BATH/FLOOR & WALL FLOOR JUNCTIONS MUST BE WATER PROOFED TO 25mm ABOVE FINISHED FLOOR LEVEL  
A "WATERSTOP" ANGLE IS REQUIRED AT DOORWAYS FLUSH WITH FINISHED SURFACE LEVEL, PER ABCB HOUSING PROVISIONS PART 10.2 & AS3740. REFER TO DETAILS IN DRAWING SET.

**RETAINING WALL**  
TANKING,  
2 LAYERS OF BITUMENOUS PAINT AT BASE OF FOOTING.  
APPLY AS PER MANUFACTURERS SPECIFICATION.  
2 LAYERS OF FORTECON TO BASE OF FOOTING 200mm ABOVE FINISHED SURFACE LEVEL.  
PROTECT WITH 1 LAYER OF CEMENT SHEET, INSTALL FREE DRAINING MATERIAL BEHIND RETAINING WALL IN 300mm LAYERS MAX.

**SLABS & FOOTINGS**  
ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY BUILDING SURVEYOR BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE.  
REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS.  
REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

**ROOF FRAMING (TRUSSES)**  
CUSTOM ORB OR SIMILAR APPROVED SHEET ROOFING COLORBOND COLOUR TO SELECTION, OVER 70x35 MGP12 NAILING BATTENS AT 900 CRS OR DOUBLE BATTEN ALTERNATIVE 70x35 MGP12 NAILING BATTENS AT 900 CRS, OVER 70x35 MGP12 COUNTER BATTENS AT 900 CRS, RUNNING PERPENDICULAR TO PRIMARY BATTENS AND APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.  
FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS.  
PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE.  
ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO DOUBLE TOP PLATE.  
WIND BRACING TO COMPLY WITH AS1684



SECTION  
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**ROOFING SISALATION**  
ROOFING SISALATION IS TO BE DISCONTINUOUS (CUT BACK TO TOP BATTENS) AT THE RIDGE PROVIDING RIDGE VENTILATION IN ACCORDANCE WITH 10.8.3 OF THE HOUSING PROVISIONS

**PAINTING**  
DO ALL INTERNAL AND EXTERNAL PAINTING REQUIRED ALL AT LEAST EQUAL TO FIRST CLASS TRADE STANDARD.  
ALL INTERNAL WOODWORK TO CLEAR NATURAL SATIN FINISH.

**WALL FRAMING**  
ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF THE NCC 2022 H1D6, AS1684 & AS1720  
WALL FRAMING TO BE MGP10 RADIATA  
COMMON STUDS - 90x35  
NOGGIN'S - 90x35  
TOP AND BOTTOM PLATES - 90x35

STUDS 3000to3500 - 2/90x45 @ 450 CRS  
(NOGGINS @ 1/3 POINTS)

**PLASTER**  
LINE WALLS AND CEILING INTERNALLY WITH 10mm PLASTERBOARD SHEETING.  
METAL FURRING CHANNEL @ 450 CRS  
VILLABOARD OR EQUA WALL LINING TO WET AREAS AS SPECIFIED & TO COMPLY WITH ABCB HOUSING PROVISIONS PART 10.2.

**ARCHITRAVES**  
ARCHITRAVES AND SKIRTINGS TO CLIENT SPEC

**FLOORING**  
INSTALLATION OF PARTICLE FLOORING TO COMPLY WITH AS1860.2

**PAINTING**  
DO ALL INTERNAL AND EXTERNAL PAINTING REQUIRED ALL AT LEAST EQUAL TO FIRST CLASS TRADE STANDARD.  
ALL INTERNAL WOODWORK TO CLEAR NATURAL SATIN FINISH.

Project:  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
LENAH VALLEY

Client name:  
LV PROPERTY INVESTMENTS  
PTY LTD

Drafted by:  
Author

Approved by:  
Approver

bdaa  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Drawing:  
SECTION

Date: 23.01.2026  
Scale: 1 : 50

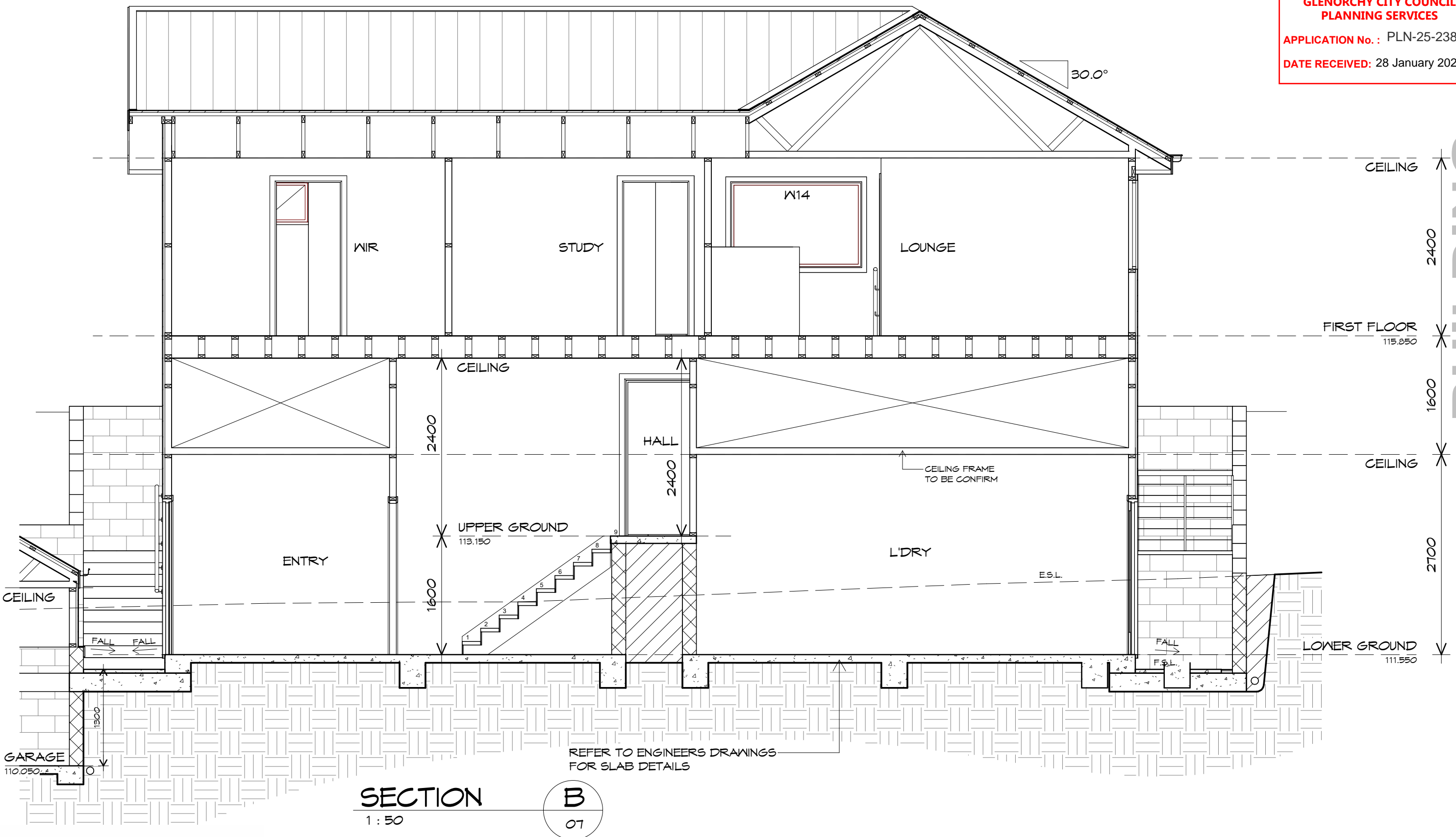
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Revision: 07  
Accredited building practitioner: Frank Geskus -No CC246A



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**PTY LTD**

Drafted by:  
**Author**

Approved by:  
**Approver**

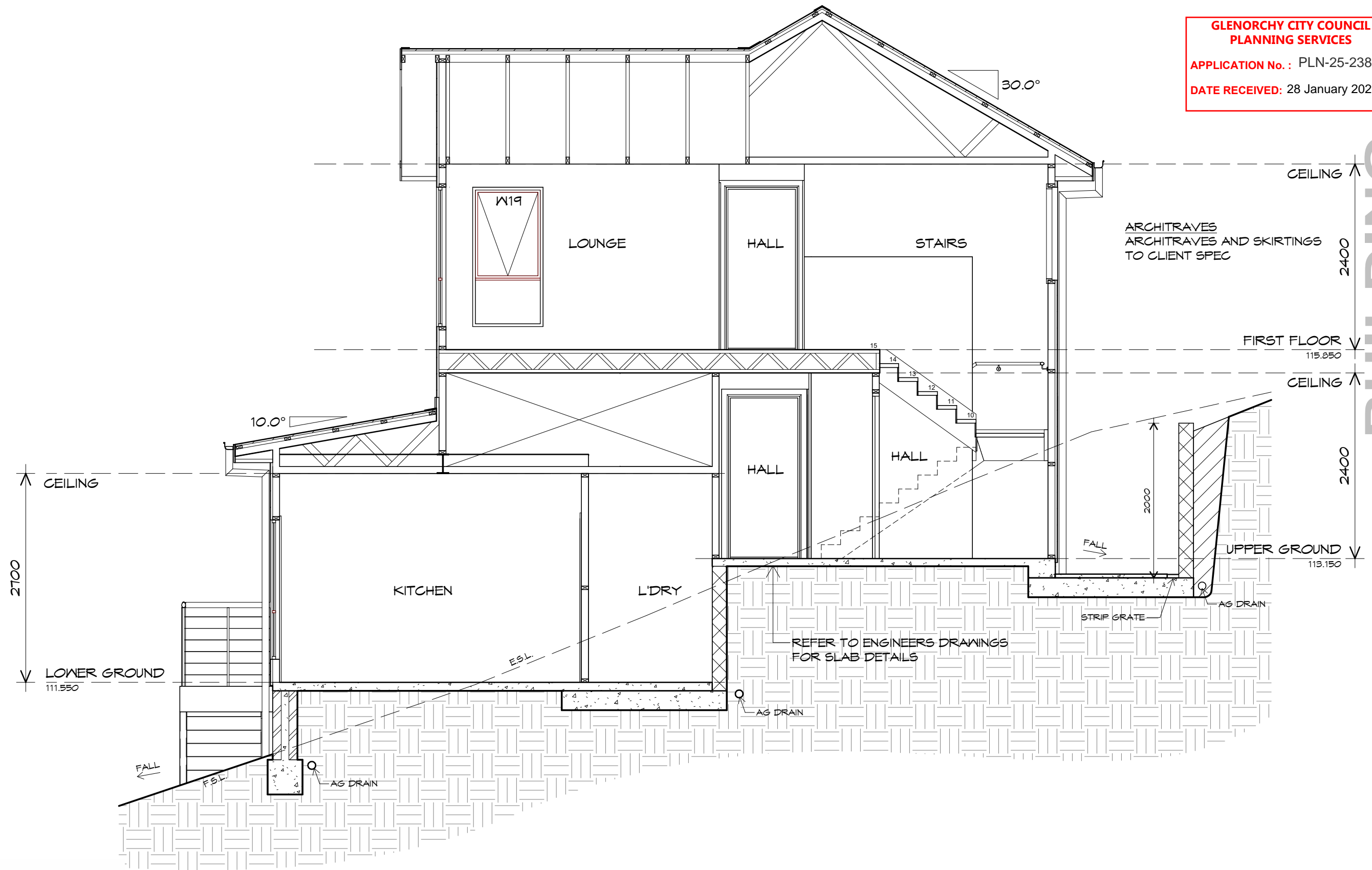


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**SECTION**

Date: 23.01.2026 Scale: 1 : 50

Project/Drawing no: PD24322 -19 Revision: 07

Accredited building practitioner: Frank Geskus -No CC246A



BUILDING  
NOTE: DO NOT SCALE OFF DRAWINGS



SECTION  
1 : 50

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**Prime  
Design**

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PROPOSED NEW RESIDENCE  
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Drafted by:  
Author

Approved by:  
Approver



Drawing:  
SECTION

Date:  
23.01.2026

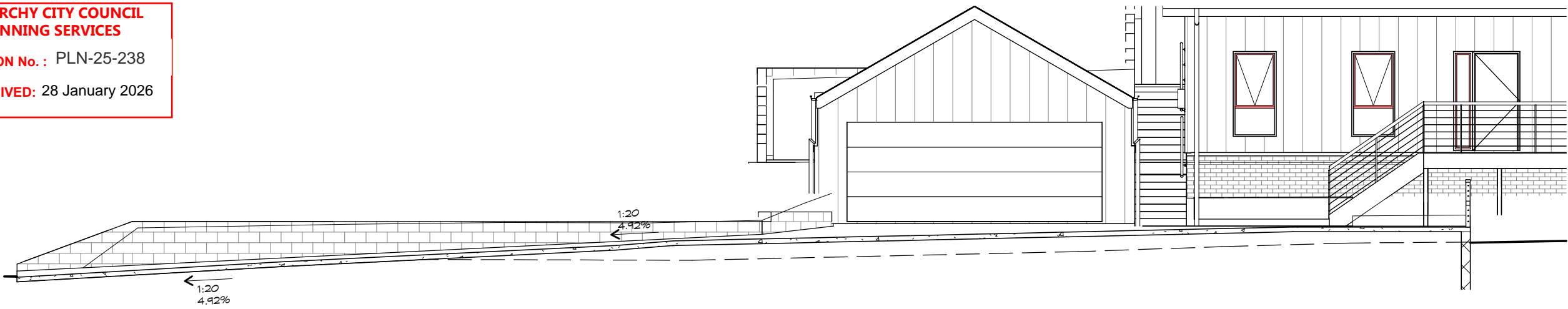
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PD24322 -20

Revision:  
07

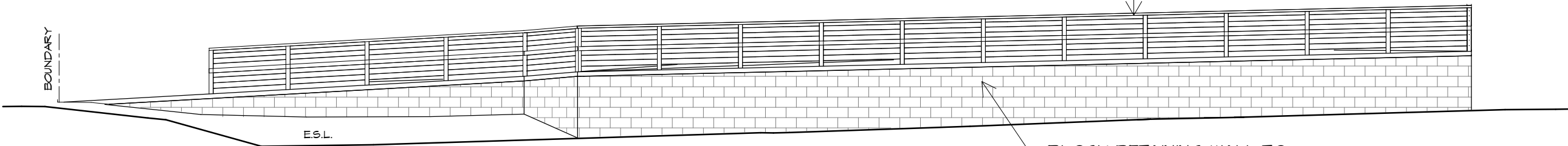
Accredited building practitioner: Frank Geskus -No CC246A





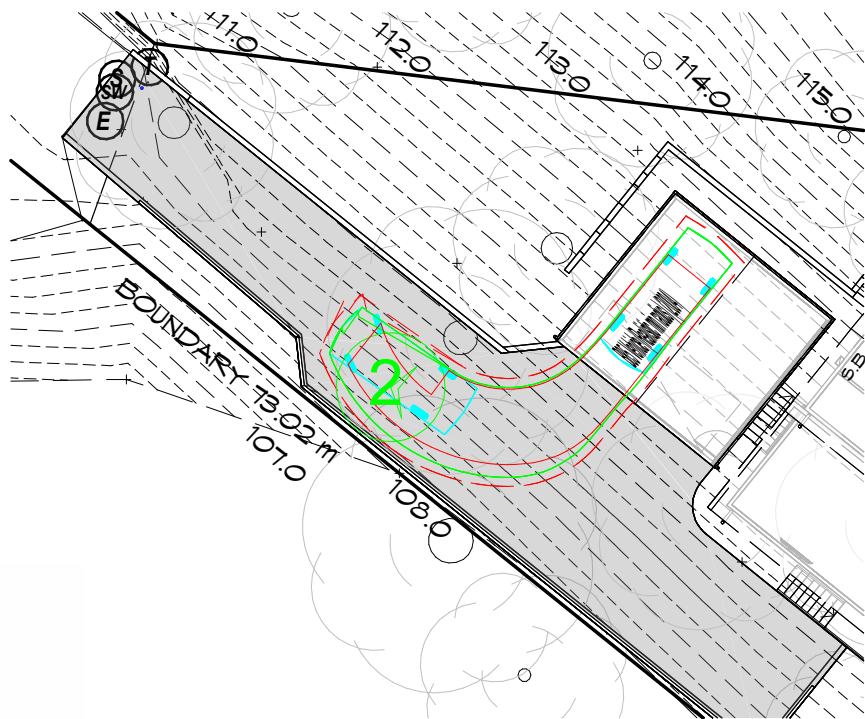
DRIVEWAY LONG SECTION

1 : 100



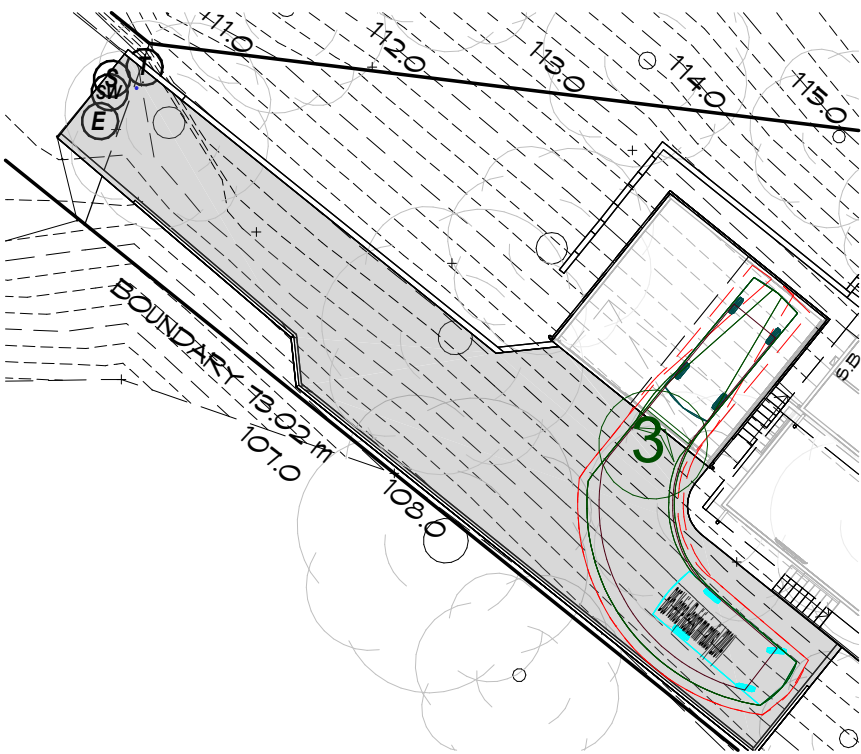
DRIVEWAY ELEVATION

1 : 100



TURNING CIRCLES - IN MOVEMENT

1 : 250



TURNING CIRCLES - OUT MOVEMENT

1 : 250

BUILDING

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Project:  
PROPOSED NEW RESIDENCE  
42 KIEWA RISE,  
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Client name:  
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PTY LTD

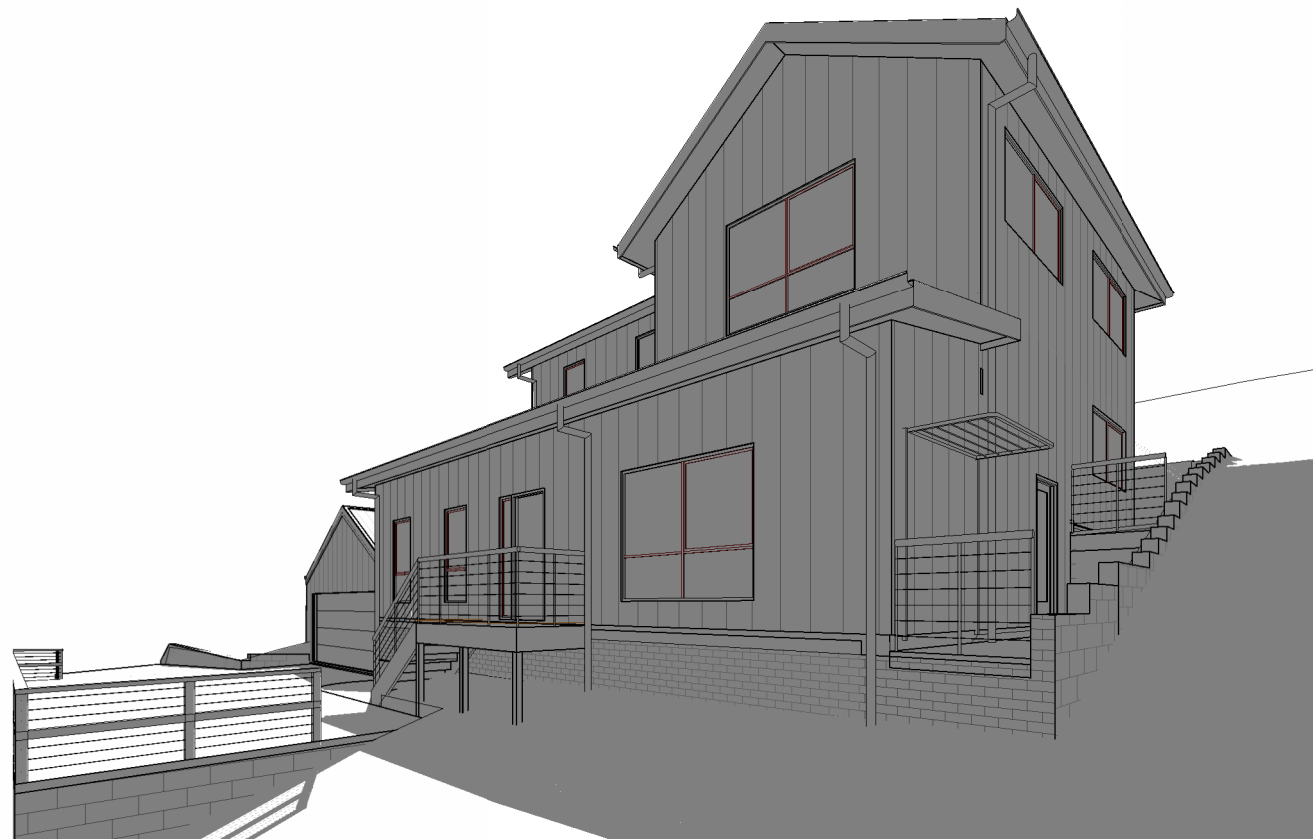
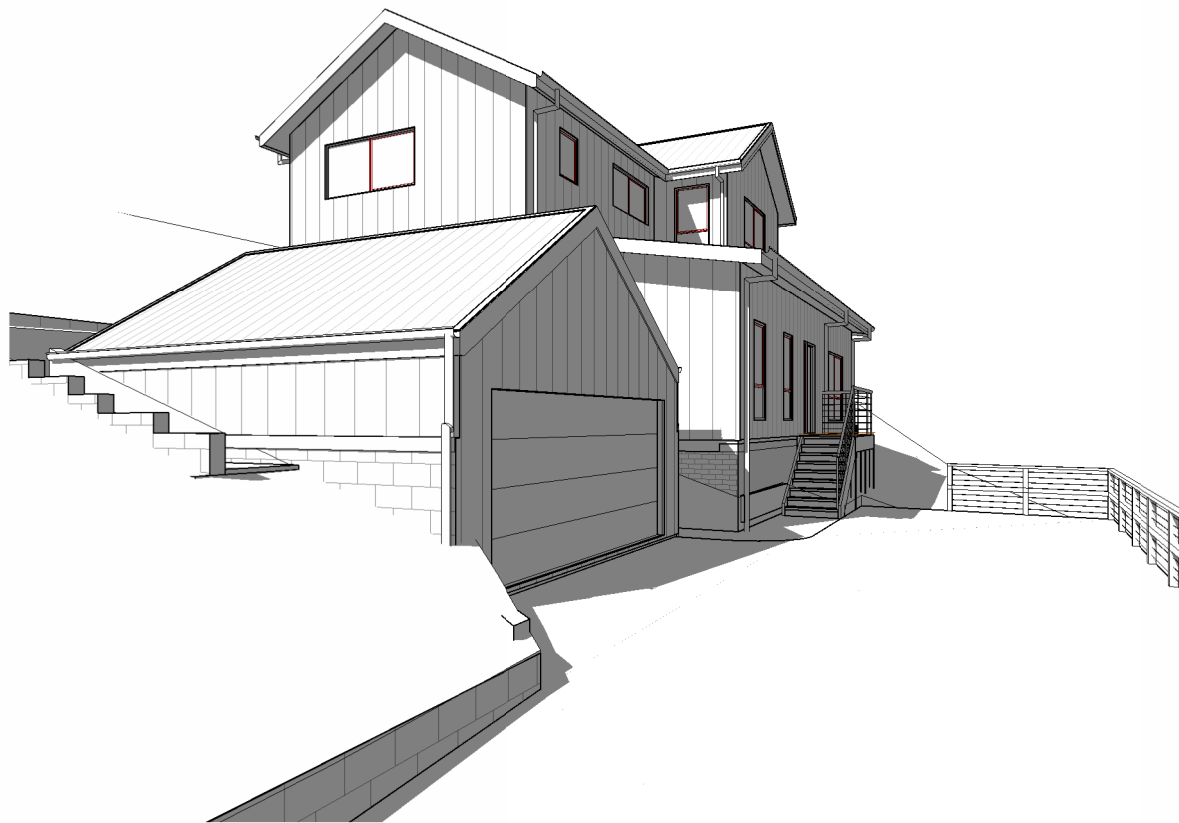
Drawing:  
DRIVEWAY SECTION/ELEVATION

Drafted by: D.D.H. Approved by: Approver  
Date: 23.01.2026 Scale: As indicated

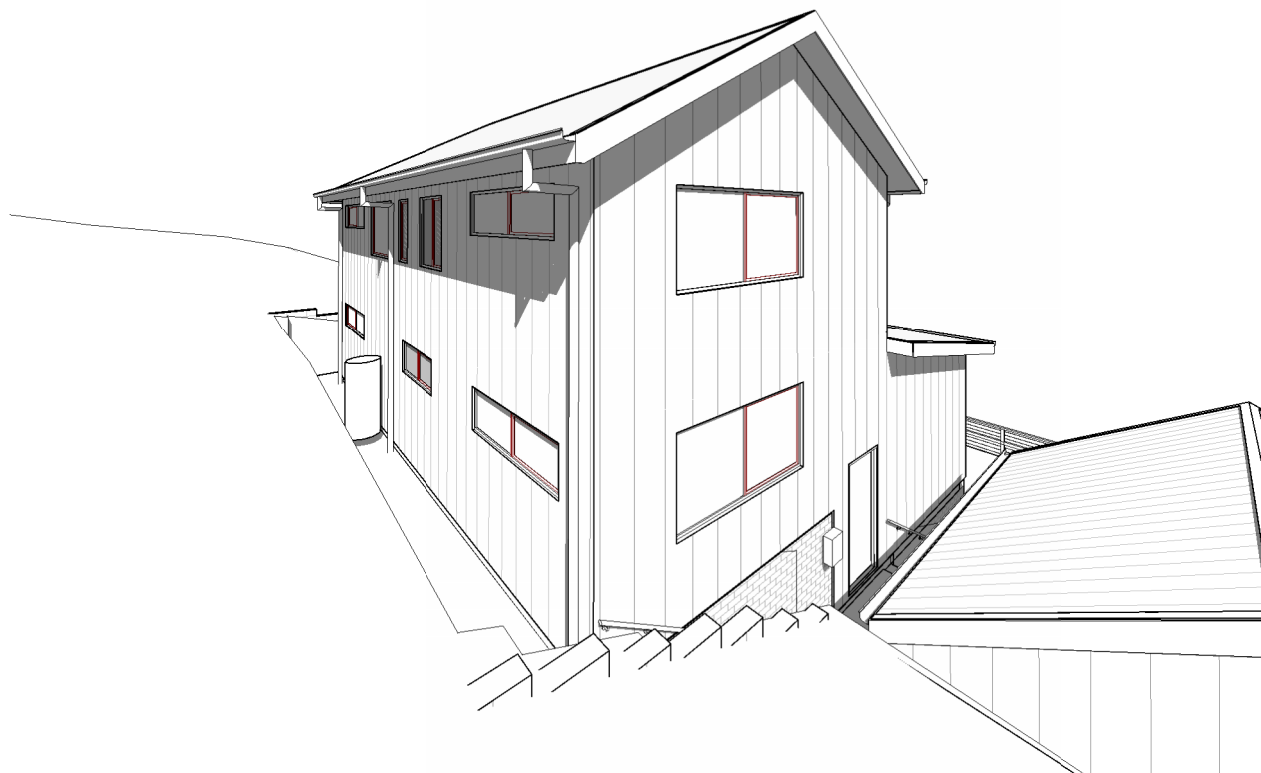
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Accredited building practitioner: Frank Geskus -No CC246A





BUILDING  
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Project:  
**PROPOSED NEW RESIDENCE**  
**42 KIEWA RISE,**  
**LENAH VALLEY**  
Client name:  
**LV PROPERTY INVESTMENTS**  
**PTY LTD**

Drawing:  
**PERSPECTIVES**

Drafted by: D.D.H. Approved by: Approver

Date: 23.01.2026 Scale:

23.01.2026

Project/Drawing no: PD24322 -29 Revision: 07

Accredited building practitioner: Frank Geskus -No CC246A

